

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, SEPTEMBER 24, 2013
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairperson Rick Brasher
2. Roll Call, excused members
3. Pledge of Allegiance

4. Approval of Agenda
5. Approval of Minutes of the September 10, 2013 –Regular Meeting

6. NEW BUSINESS:
 - A. Architectural Review –Comfort Inn at 1601 Sheridan Avenue
Exterior remodel submitted by Blair Hotels
 - B. Architectural Modification –Millstone Pizza Company at 1057 Sheridan Avenue
Exterior remodel re-submitted by Tundra General Construction
 - C. Request for Fence over 6 Feet –Hooper Residence at 10 Spoon Club
Request for 7-foot fence submitted by Cheryl Lee Hooper
 - D. Minor Subdivision Final Plat –Willow Creek Minor Subdivision on Cougar Avenue
Final Plat submitted by Gloria Borner
 - E. Minor Subdivision Final Plat –Kamm Subdivision on North 37th Street
Final Plat submitted by Katherine Kamm
 - F. Major Subdivision Conceptual Plat–J. and K. Subdivision on 29th Street
17-Lot Major Subdivision submitted by Jerry Thiel and Sons Construction
 - G. Site Plan Review –Signal Hill Office Building at 1525 18th Street
New professional office building submitted by Ted Williams

7. APPROVED SIGN APPLICATIONS:
 - A. Canyon Therapy at 1726 Beck Avenue
Attached wall sign

8. P&Z Board Matters (announcements, comments, etc.)

9. Council Update: Steve Miller

10. Staff Items

11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, September 10, 2013

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, September 10, 2013 at 12:00 PM

Present: Rick Brasher, Chairperson; Kim Borer; Justin Lundvall, Vice Chairperson; Bud McDonald; Mark Musser; Bob Senitte; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant;

Excused Absence: Justin Ness;

Chairperson Rick Brasher called the meeting to order at 12:05 PM, followed by the pledge of allegiance.

Bud McDonald made a motion seconded by Bob Senitte to approve the agenda as presented. Vote on the motion was unanimous, motion carried.

Bud McDonald made a motion seconded by Bob Senitte to approve the minutes of the August 27, 2013 regular meeting with the addition of the restaurant to the Good 2 Go motion and the correction of right-of-way terminology. Vote on the motion was unanimous, motion carried.

PRESENTATION OF COMMUNICATIONS:

Todd Stowell presented the staff report regarding the additional proposed cryogenic bulk storage tank submitted by West Park Hospital at 707 Sheridan Avenue.

Tim Waldner, Director of Facilities at West Park Hospital, answered questions from the board including lighting, existing underground piping, and the use of the current tank.

Justin Lundvall made a motion seconded by Kim Borer to approve the additional cryogenic bulk storage tank submitted by West Park Hospital at 707 Sheridan Avenue subject to City Council authorization of the use of the Stock Drive right-of-way. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report regarding the proposed new façade for Plains Tire at 2707 Big Horn Avenue, the former location of Cody Feed.

HR Coe of Coe Construction, representing Larry Nicholls of Plains Tire and Battery, answered questions from the board regarding landscaping, ADA parking, and sewer. He agreed it would be prudent to have the health department review the current sewer conditions. The planter and tree on the rendering are planned by the applicant as well. The landscaping on the west frontage can be matched on the east side of the driveway. Eight cut-off lights mounted on the exterior of the building are currently planned by the project electrician.

Justin Lundvall made a motion seconded by Bud McDonald to approve the exterior remodel project and parking lot improvements Plains Tire at 2707 Big Horn Avenue subject to the following:

1. That the dimensions of the van accessible ADA parking space be modified to meet code.
2. That the site plan improvements be completed prior to occupancy of the building.
3. That any exterior lighting be full-cutoff style.
4. That the landscaping be mirrored on the east side of the driveway and the planter and tree shown on the rendering also be included.
5. That the proposed ADA parking spaces be rotated as shown on the rendering.
6. That the existing septic service be allowed, if desired, contingent on the approval of the health department.
7. That the project otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report outlining the setback issue at 1401 Wyoming Avenue for property belonging to Art and Rita Lovell.

Mark Musser made a motion seconded by Kim Borer to approve the stairwell enclosure as presently located. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report regarding the possible minor revisions to the previously approved site plan for the new GDA professional office building to be located at 502 33rd Street.

Rick Patton, GDA Engineers, stated that while GDA Engineers will not be using the metal roofing, some of the other identified issues may be remain subject to affordability.

Mark Musser made a motion seconded by Bud McDonald to approve the possible revisions proposed for the GDA professional office building to be located at 502 33rd Street. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the issue of convenience signs as proposed by West Park Hospital for visitor parking banners and requested the board's recommendation for review procedures.

The board concluded that convenience signs can be reviewed by staff.

Jolene Osborne presented the following approved sign applications to the board: Cleary Building Corp at 2608 Big Horn Avenue, Mountain Girl Bakery at 205 Trail Avenue, and Wyoming Authentic Products at 2517 Lt. Childers Street.

Mark Musser recommended that the lawn mowing for the Roger Sedam Park not be scheduled during meeting times. Steve Miller stated he would take care of the issue.

Todd Stowell presented the letter from Frank Cocchia which requested a code amendment to allow for a garage apartment in Residential AA zoning. A board formed a subcommittee consisting of Justin Lundvall, Justin Ness, and Bob Senitte.

Bud McDonald made a motion seconded by Kim Borer to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Rick Brasher adjourned the meeting at 1:02 PM.

Jolene Y. Osborne
Engineering Administrative Assistant

DRAFT

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	ARCHITECTURAL REVIEW: COMFORT INN EXTERIOR REMODEL SPR 2013-32	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	JOLENE OSBORNE	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Blair Hotels has submitted an application for an exterior remodel of the Comfort Inn buildings at 1601 Sheridan Avenue. The project involves removing the existing wood siding and installing an Exterior Insulation Finishing System (EIFS) in three shades of beige. The existing brick veneer and metal roofing are to remain. An architectural depiction of the project is attached. Additionally, new sliding glass doors will be installed in the entrance vestibule. No modifications to the site are proposed.



Existing Exterior



Existing Vestibule



Existing Annex Building

REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

Note: The property is outside of the downtown architectural district.

STAFF COMMENTS:

The attached plan and elevations clearly depict the proposal. The proposed colors and materials appear professional and well designed from an architectural standpoint. While more "modern" than the existing wood siding, the EIFS is the siding material of choice for many commercial building developers. The existing siding is clearly showing signs of wear.

Surrounding properties include the remainder of the Buffalo Bill Village (Holiday Inn hotel to the east and Buffalo Bill Village Cabins to the north), Walgreens Pharmacy across 16th Street to the west, and the Denny Menholt car dealership across Sheridan Avenue to the south.

The current signage on the building is proposed to remain.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the commercial exterior remodel as proposed.

RECOMMENDATION:

Approve the project as proposed.

COMFORT INN



CODY, WYOMING

ARTIST'S RENDERING. ACTUAL DETAILS IN THE DRAWINGS GOVERN AND MAY DIFFER FROM RENDERING ABOVE

EXTERIOR IMPROVEMENTS & ELEVATOR INSTALLATION

STANDARD ABBREVIATIONS

ABV	Above	E.J.	Expansion Joint	JAN	Janitor	S.C.	Solid Core
A/C	Air Conditioning	E.J.C.	Expansion Joint Cover	JT	Joint	SCHED	Schedule
ACT	Asbestos Ceiling Tile	EL	Elevation	LR2S	Lockers	S.C.W.	Solid Core Wood
ADJ	Adjustable, Adjust	ELEC	Electric/Electrical	LL.H.	Long Lay Horizontal	S.D.	Stair Step
A.F.F.	Above Finish Floor	ELEV	Elevation	L.L.H.	Long Lay Horizontal	SECT	Section
A.I.B.	Air Infiltration Barrier	E.O.	Equipment by Owner	LLV	Long Lay Vertical	S.F.	Square Foot
ALT	Alternate	E.P.D.M.	Ethylene Propylene Diene Monomer	LOC	Location	S.F.C.	Special Floor Coating
ALUM	Aluminum	E.P.S.	Expanded Polystyrene	MASRY	Masonry Block	S.G.T.	Structural Glazed Tile
APPROX	Approximate	EQ	Equipment	MAT/MATL	Metal	SHT	Sheet
ARCH	Architectural/Architect	EQIP	Equipment	MAX	Maximum	SHTS	Sheetings
ATH	Aluminum Threshold	E.W.C.	Electric Water Cooler	MECH	Mechanical	SM	Similar
BD	Board	E.W.S.	Electric Wall System	MEMB.W.P.	Membrane Waterproofing	SPCS	Specifications
BKDS	Building	EXP	Expansion	MEZ	Mezzanine	SO	Square
BK	Block	EXT	Exterior	MFR/MFG	Manufacturer/Manufacturing	STD	Standard
BM	Beam	F.D.	Floor Drain	MH	Minimum	STL	Steel
B.M.	Bench Mark	FDN	Foundation	M.L.P.	Metal Lath Panel	STR	Storage
BK	Bulkhead	F.E.	Fire Extinguisher	M.D.	Masonry Opening	STRUC	Structural
B.O.F.	Bottom of Roofing	FIN	Finish	M.T.	Metal Threshold	SUSP	Suspended
BOS	Beaming	F.R./P.L.	Furniture Nipple Diaphragm	M.T.	Metal Threshold	S.W.C.	Special Wall Coating
BSMT	Basement	F.N.D.	Furniture Nipple Vendor	N.T.P.	Not To Partition	T.E.	Telephone
BTM	Bottom	F.N.V.	Furniture Nipple	NY	Necessary	TEMP	Tempered
BTM	Bottom	F.O.B.	Face of Brick	OC	On Center	T.D.M.	Top of Deck
BU	Bullup	F.S.	Face of Stud	N.C.	Not in Contact	T.O.C.	Top of Concrete
CAD	Cabinet	F.S.	Face of Stud	NOM	Nominal	T.O.F.	Top of Footing
CEM	Cement	F.S.S.	Flashing Stem Sink	N.T.S.	Not To Scale	T.O.J.	Top of Joint
C.I.	Cast Iron	FF	Foot/Floor	O.A.F.	Overall Foot	T.D.M.	Top of Masonry
C.J.	Control Joint	FR	Flooring	OP	Opposite	T.P.D.	Top of Paper Dispenser
CLB	Ceiling	FUR	Furring	OS	On Side	T.T.D.	Top of Toilet
CLO	Closet	GA	Gauge	OH	Overhead	TYP	Typical
C.M.	Construction Manager	GA/V	Gauge/Vent	OPNG	Opening	U.G.	Underground
C.M.U.	Concrete Masonry Unit	G.B.	Grab Bar	OPP	Opposite	UL	Underlayment Laboratory
C.O.	Column	GEN	General	OPP.H.	Opposite Hand	UNFIN	Unfinished
CONC	Concrete	GL	Glass	ORIS	Original	U.S.	Underlayment
CONST.JT.	Construction Joint	G.W.B.	Gypsum Wallboard	PL	Plate	(V)	Verify
CONT	Continuous	H	High	PLAM	Plastic Laminates	V.C.T.	Vinyl Composition Tile
CONTR	Contractor	H.B.	High Bibb	PLYM	Plastic Laminates	VENT	Ventilation/Ventilator
COORD	Coordinate	H/C	Handicapped	PLYWD	Plywood	VERT	Vertical
CORR	Corrosion	H/C	Handicapped	PLYWD	Plywood	V.F.	Verify in Field
CPT	Carpet	H.C.	Handicapped Core	PS/PFB	Pre-finished	V.S.G.V.B.	Vacuum Vapor Barrier
C.S.A.	Cold Rolled Angle	H.C.	Handicapped Core	PS/PFB	Pre-finished	V.T.R.	Vent Thru Roof
C.T.	Ceramic Tile	HDR	Hardener	P.T.D.	Paper Towel Dispenser	V.V.C.	Vinyl Wallcovering
CTR	Center	H.M.	Hollow Metal	PTN	Partition	W/	With
C.W.	Cold Water	H.M.	Hollow Metal	QT	Quarry Tile	W.C.	Water Closet
DBL	Double	HSZ	Horizontal	RD	Removes	W/O	Without
DET	Detail	HT	Hot Water	RD	Removes	W/P	Waterproof
DF	Drinking Fountain	HRD	Hot Dryer	RECOND	Recondition	W/W	Water Resistant
DA	Dimension	H.W.	Hot Water	REF	Reference	W.F.	Wetted Wire Fabric
DM	Dimension/Disposal	I.D.	Inside Diameter	REINP	Reinforce/Reinforcing		
DSP	Dispenser	IN	Inch/Inches	REIN	Reinforce/Reinforcing		
DN	Down	INCL	Including	REIN	Reinforce/Reinforcing		
DR	Drain	INFL	Inflation	REIN	Reinforce/Reinforcing		
DSP	Dispenser	INSUL	Insulation	REIN	Reinforce/Reinforcing		
D.S.	Down Spout	INT	Interior	REIN	Reinforce/Reinforcing		
DWG	Drawing	INV	Invert	REIN	Reinforce/Reinforcing		
EA	Each			REIN	Reinforce/Reinforcing		
E.C.	Electrical Contractor			REIN	Reinforce/Reinforcing		
E.E.	Each End			REIN	Reinforce/Reinforcing		
E.I.F.S.	Exterior Insulation and Finish System			REIN	Reinforce/Reinforcing		

KEY TO SYMBOLS

	STUD WALL		BUILDING SECTION LETTER
	BATTEN INSULATION		SHEET DRAWN ON
	RIGID INSULATION IN SECTION		WALL SECTION NUMBER
	SOUNDBOARD IN SECTION		SHEET DRAWN ON
	E.I.F.S. IN SECTION		DETAIL NUMBER
	DRYWALL OR PLASTER IN SECTION		SHEET DRAWN ON
	ACOUSTICAL TILE IN SECTION		EXTERIOR ELEVATION NUMBER
	FINISHED WOOD IN SECTION		SHEET DRAWN ON
	PLYWOOD IN SECTION		INTERIOR ELEVATION NUMBER
	METAL IN SECTION		SHEET DRAWN ON
	GROUT IN SECTION		ROOM NUMBER
	BRICK IN SECTION		INTERIOR & EXTERIOR DOOR OR GATE NUMBER
	CONCRETE BLOCK IN SMALL SCALE SECTION		EXTERIOR WINDOW LETTER
	CONCRETE BLOCK IN LARGE SCALE SECTION		BORROWED LIGHT
	CONCRETE IN SMALL SCALE SECTION		WALL TYPE LETTER
	CONCRETE IN LARGE SCALE SECTION		CEILING TYPE TAG
	GRAVEL IN SECTION		TOILET ACCESSORY
	EARTH IN SECTION		KEYED NOTE NUMBER
	INDICATES CENTER LINE		

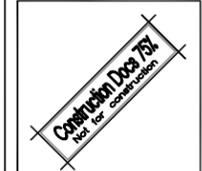
PROJECT TEAM

OWNER: TED & JUDY BLAIR P.O. BOX 30 CODY, WY 82433 (307) 272-9012 CONTACT: TED BLAIR
ARCHITECT: PLAN ONE/ARCHITECTS 1001 12th STREET CODY, WY 82414 (307) 587-8646 CONTACT: DAN ODASZ, AIA
STRUCTURAL ENGINEER: HICKS ENGINEERING, P.C. 676 PERSHON AVENUE, SUITE 5 BOZEMAN, MT 59716 (406) 586-4365 CONTACT: JASON HICKS, P.E.
MECHANICAL ENGINEER: ASSOCIATED CONSTRUCTION ENGINEERING 2040 HARNISH BOULEVARD BILLINGS, MT 59101 (406) 245-0136 CONTACT: TODD MELING, P.E.
ELECTRICAL ENGINEER: ASSOCIATED CONSTRUCTION ENGINEERING 2040 HARNISH BOULEVARD BILLINGS, MT 59101 (406) 245-0136 CONTACT: RON FAUST, P.E.
PROJECT ADDRESS: 1601 SHERIDAN AVENUE CODY, WY 82414

INDEX TO DRAWINGS

TITLE T1.1	TITLE SHEET
ARCHITECTURAL A3.1 ELEVATIONS - MAIN BUILDING A3.2 ELEVATIONS - BACK BUILDING	
PROJECT SUMMARY	
EXTERIOR IMPROVEMENTS WILL BE MADE TO THE EXISTING BUILDING EIFS TO UPDATE BUILDING LOOK. NEW SLIDING GLASS DOORS WILL BE INSTALLED THE ENTRANCE VESTIBULE AND MAIN LOBBY OF THE BUILDING AS WELL AS A COMPLETE HYDRAULIC ELEVATOR SYSTEM BETWEEN THE HOTEL RECEPTION AREA TO THE SECOND FLOOR SITTING ROOM. ICE AND VENDING MACHINES WILL ALSO BE RELOCATED, AND EXISTING STAIRCASE WILL BE REMOVED.	
CONSTRUCTION DOCUMENTS	
project:	1335
date:	09/16/13
revisions:	
SET NO.	
T1.1	

COMFORT INN AT BUFFALO BILL VILLAGE RESORT
REMODEL/ ELEVATOR INSTALLATION
Plan One / architects

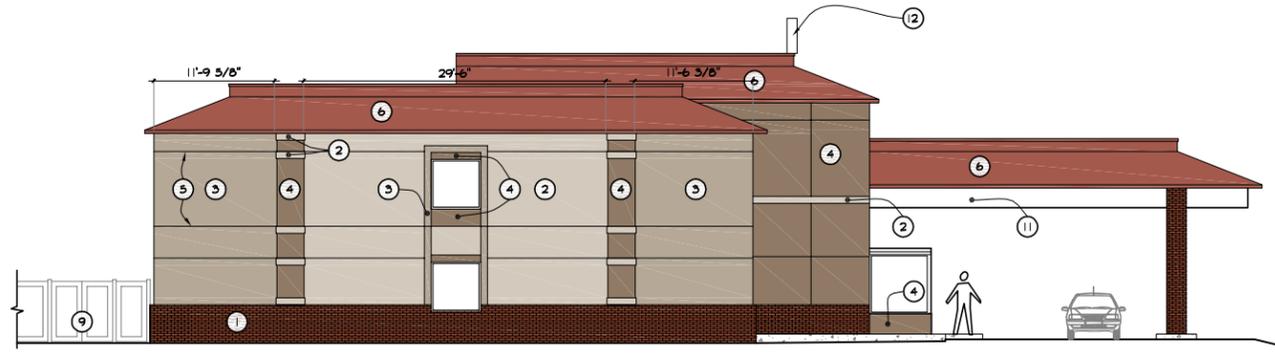


The professional portion of the construction documents is prepared by and for the use of the architect. The architect is not responsible for the construction of the building. The contractor is responsible for the construction of the building.

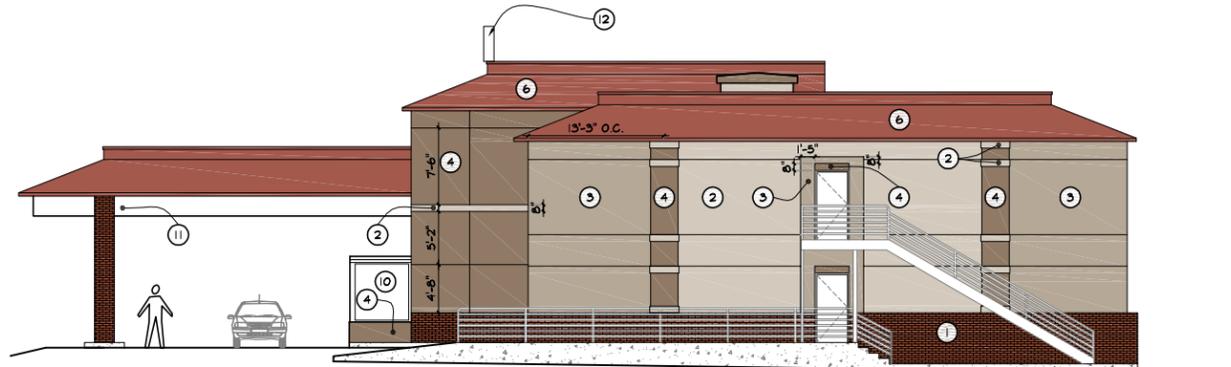
cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036



5 EXISTING BUILDING FRONT
A3.1 SCALE NTS



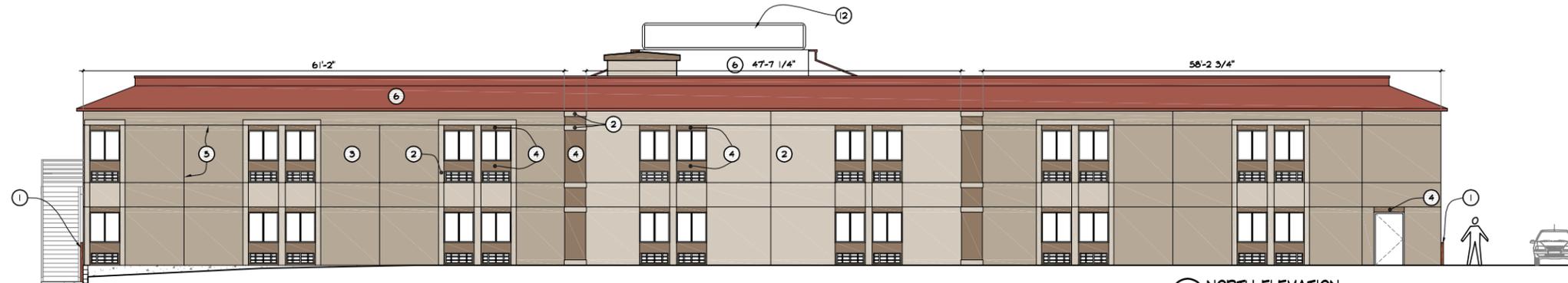
1 WEST ELEVATION
A3.1 SCALE 1/8" = 1'-0"



2 EAST ELEVATION
A3.1 SCALE 1/8" = 1'-0"



3 SOUTH ELEVATION
A3.1 SCALE 1/8" = 1'-0"



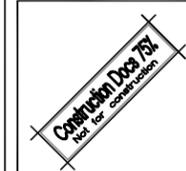
4 NORTH ELEVATION
A3.1 SCALE 1/8" = 1'-0"

GENERAL NOTES

KEYED NOTES NOTED THIS (X)

- 1 EXISTING BRICK VENEER TO REMAIN
- 2 NEW EIFS COLOR # 1 - SHERWIN WILLIAMS 6078 REALIST BEIGE
- 3 NEW EIFS COLOR # 2 - SHERWIN WILLIAMS 6080 UTTERLY BEIGE
- 4 NEW EIFS COLOR # 3 - SHERWIN WILLIAMS 6081 DOWN HOME
- 5 1" GROOVE IN STUCCO FINISH
- 6 EXISTING ROOF TO REMAIN
- 7 REMOVE EXISTING WOOD SIDING
- 8 NEW AUTOMATIC SLIDING GLASS DOORS
- 9 EXISTING FENCE - NOT TO BE MODIFIED
- 10 NEW WINDOW
- 11 EXISTING BEAM - NOT TO BE MODIFIED
- 12 EXISTING SIGN - NOT TO BE MODIFIED

COMFORT INN AT BUFFALO BILL VILLAGE RESORT
REMODEL / ELEVATOR INSTALLATION
 pianone / architects

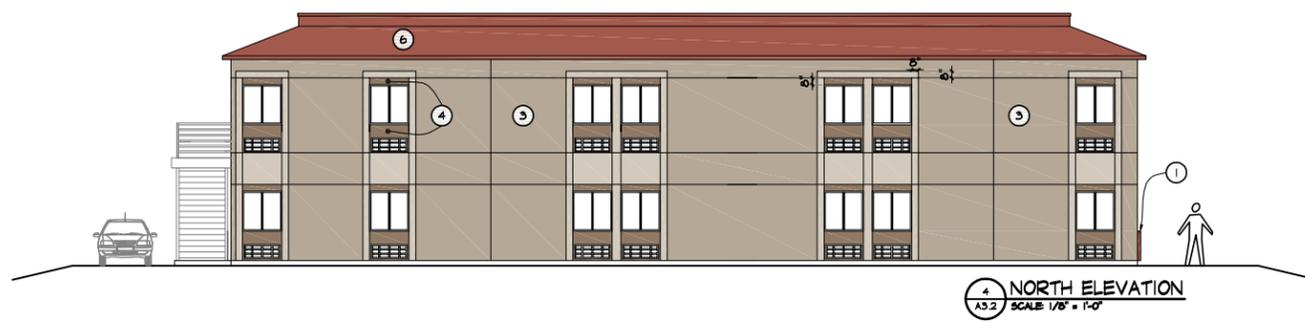
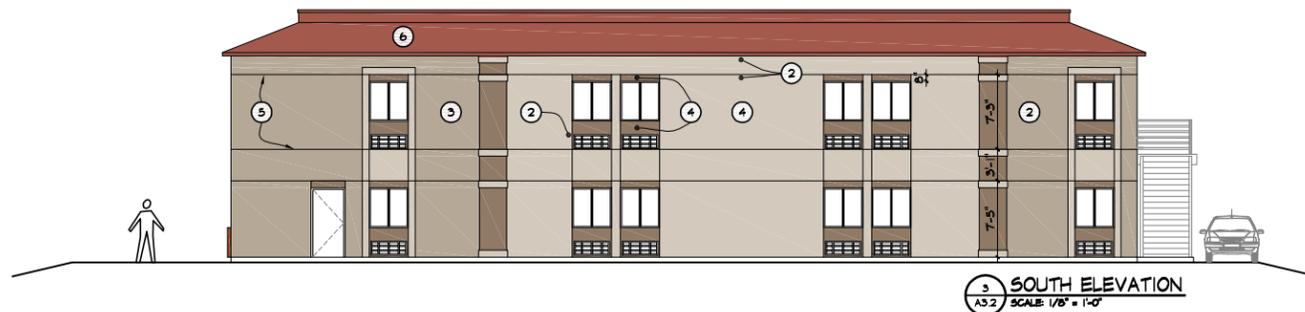
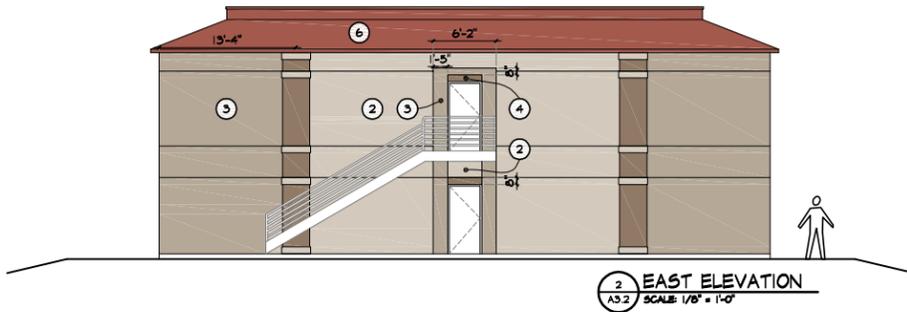
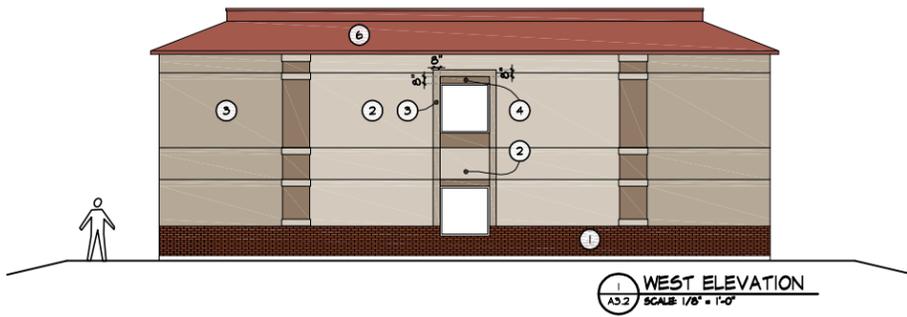


The professional portion of the architecture is updated for and is performed to the benefit of the client. The architect's professional liability is assumed by the architect for the benefit of any client parties involved in the project.

project: 1335
 date: 09/16/13
 revisions:

A3.1

~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 devar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



GENERAL NOTES

- KEYED NOTES**
- 1 EXISTING BRICK VENEER TO REMAIN
 - 2 NEW EIFS COLOR # 1 - SHERWIN WILLIAMS 6078 REALIST BEIGE
 - 3 NEW EIFS COLOR # 2 - SHERWIN WILLIAMS 6080 UTTERLY BEIGE
 - 4 NEW EIFS COLOR # 3 - SHERWIN WILLIAMS 6081 DOWN HOME
 - 5 1/4" GROOVE IN STUCCO FINISH
 - 6 EXISTING ROOF TO REMAIN
 - 7 REMOVE EXISTING WOOD SIDING
 - 8 NEW AUTOMATIC SLIDING GLASS DOORS
 - 9 EXISTING FENCE - NOT TO BE MODIFIED
 - 10 NEW WINDOW
 - 11 EXISTING BEAM - NOT TO BE MODIFIED
 - 12 EXISTING SIGN - NOT TO BE MODIFIED

COMFORT INN AT BUFFALO BILL VILLAGE RESORT
REMODEL/ ELEVATOR INSTALLATION
 pianone / architects
 ~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



The professional portion of the architecture is updated only for and as permitted on the basis of the client's requests. No structural obligation is assumed by the architect for the benefit of any third parties involved in the project.

project: 1335
 date: 09/16/13
 revisions:

A3.2

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REVISIONS TO MILLSTONE PIZZA ARCHITECTURAL PLANS, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW SPR 2013-28	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

WNT L.L.C. has submitted an application for a modification to the previously approved improvements to the new Millstone Pizza site (former library). The proposal does not affect the approved site plan layout, but includes the following exterior modifications:

- The outdoor seating area will no longer be bordered by a stone planter. Instead, a pipe railing is proposed.
- In place of the new arched roofs at the south and east entrances, awnings of standing seam metal roofing with corrugated rusted metal accent and wood beams are proposed (see attached renderings).

Existing Conditions:



The applicant has received an encroachment permit/lease agreement for the encroachment of the outdoor seating area into the 11th Street right-of-way from City Council.

REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

The project is also within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

Architecture

The Board will need to determine if the proposal is architecturally compatible with the downtown district.

Signage

Signage will be applied for at a later date. All signage at the site is subject to Planning and Zoning review.

ATTACHMENTS:

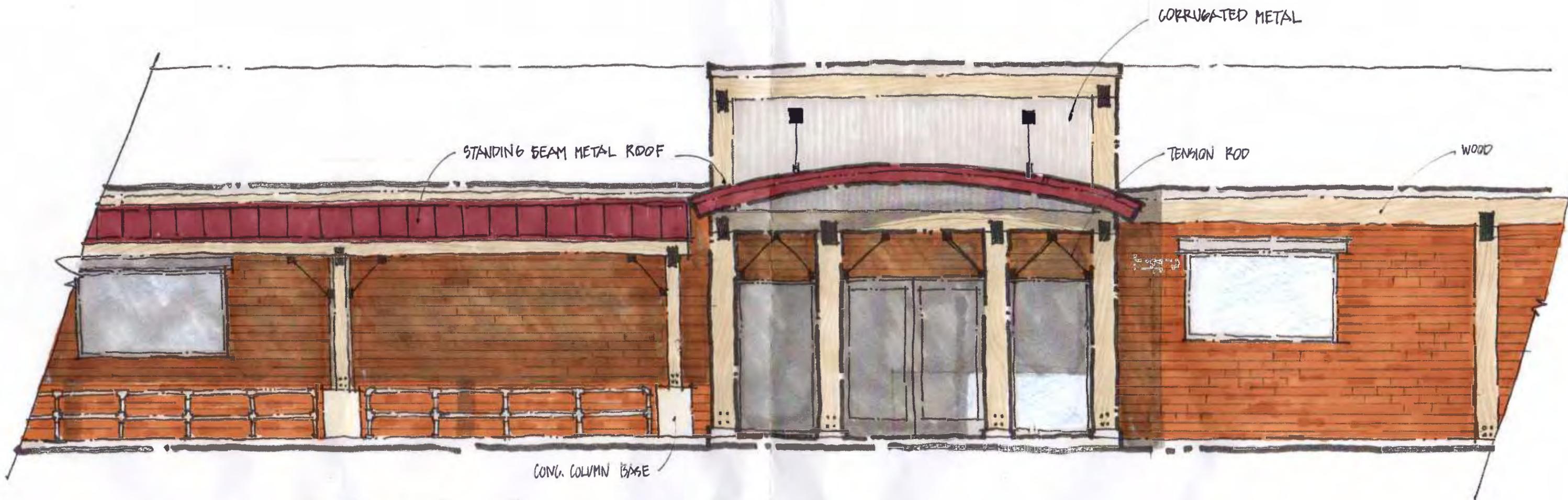
Application.

ALTERNATIVES:

Approve or deny the architectural changes to the plans.

RECOMMENDATION:

Approve the proposed modifications to the Millstone Pizza architecture, including new arched entryways at the south and east entrances and the railing for the outdoor patio.

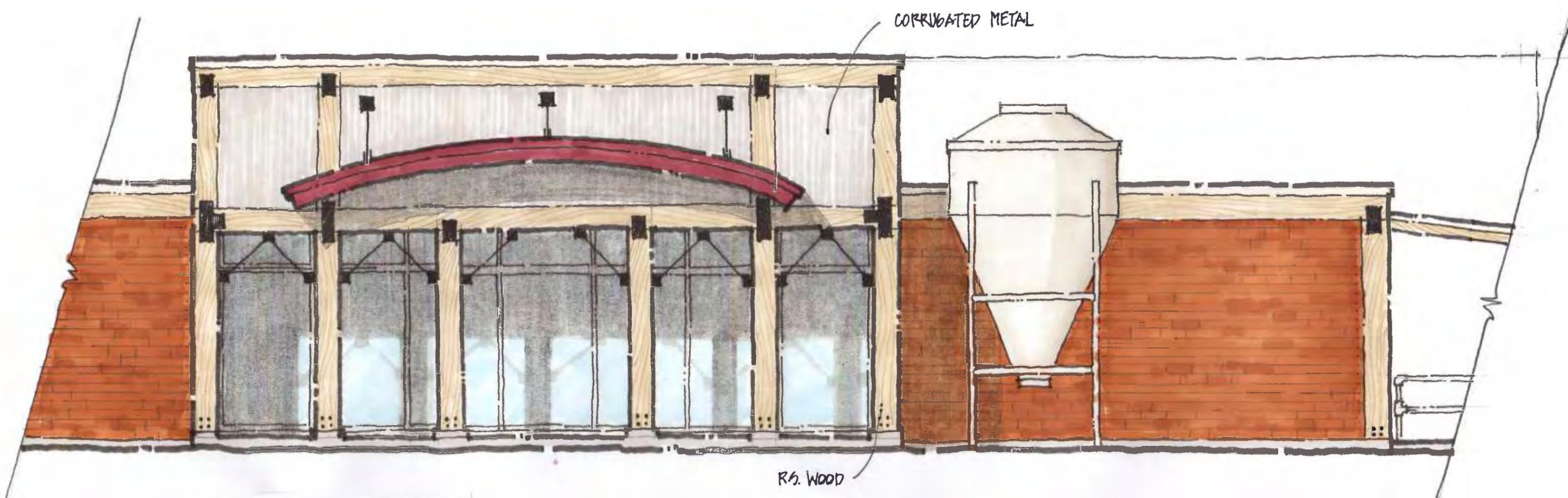


EAST ELEVATION

MILLSTONE PIZZA

9/18/13

KPA



SOUTH ELEVATION

MILLSTONE PIZZA

9/19/13

KPA

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REQUEST FOR 8-FOOT FENCE AT 10 SPOON CLUB SPR 2013-15	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Cheryl Hooper has submitted a letter requesting permission to install a 7-foot fence between her property at 10 Spoon Club and the adjacent neighbor to the east. The fence would be located on the side property line of both properties and extend about the length of the neighbor's house. The fence is intended to screen the neighbor's camper and recreational vehicles. The total length would be approximately 60 feet from the corner. Material for the fence would be 6 feet of cedar plank with 1 foot of lattice attached to the top.

Existing conditions:



REVIEW PROCEDURE:

Section 10-12(F) of the zoning ordinance states: "Height: No fence shall exceed the height of six feet (6') without approval of the planning and zoning commission." Due to

the lack of criteria, staff requested the applicant obtain a letter of consent from the neighbor, but apparently that will not happen.

ATTACHMENTS:

Applicant's letter.

ALTERNATIVES:

Approve or deny the request for the seven-foot fence. A permit is required for installation of any fence.

**Cheryl Lee Hooper
10 Spoon Club
Cody, WY 82414
307-527-5439**

**City of Cody
Planning and Zoning Committee
1338 Rumsey Ave
Cody, WY 82414**

September 17, 2013

Dear Committee Members:

I am requesting permission to build an 8-foot fence on my property. I only want to build on one side of the property; separating my property from my neighbor, Lorene Grosskopf's property. I have made several attempts asking Mr. Grosskopf to do a partition enclosing his camper shell and his trailer with his ATV's on it. I have consulted an attorney and in short of filing a suit this request is my last resort to resolve the matter.

On the advice of my attorney I have written Mr. Grosskopf a letter which he refused to respond to. Enclosed is a copy of the letter. I also wrote a letter to the Editor in hopes that Mr. Grosskopf would respond in a positive manner. Instead of a positive reaction Mr. Grosskopf called me on 9-9-13 at 8:22 PM and threatened me. His comments to me: "You have raised the bar!", "There is no going back!", and "You are going to be very very sorry for what you have done!". Then he again told me that "You will be very very sorry!" and requested that I have my husband call him.

We also have another issue of Mr. Grosskopf's refusal to cooperate concerning his rock pile that is partially on my property. We were told that if we pushed that issue of removing the rocks he is going to make me destroy a very old tree because part of the trunk has grown over onto his property.

I believe by having an 8-foot fence that I will not have to look at Mr. Grosskopf's recreational vehicles nor will I have to communicate with him any further.

Regards,

Cheryl Lee Hooper



RECEIVED

SEP 17 2013

CITY OF CODY

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	FINAL PLAT OF THE WILLOW CREEK MINOR SUBDIVISION. SUB 2012-04	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

Gloria Borner, as property owner, has submitted a final plat application for a two-lot subdivision known as the Willow Creek Minor Subdivision. The 3.15 acre property is located on the south side of Cougar Avenue, immediately east of the Bee Hive Home and Jehovah Witness Kingdom Hall. A site plan for development of a 12-unit apartment complex on the north lot next to Cougar Avenue has been submitted by Summit Housing Group and reviewed by staff. The property is zoned Residential B.

STAFF COMMENTS:

The conditions required with the preliminary plat approval are listed below, with a note indicating the status of the condition in italics.

Conditions of Approval:

1. The water main shall be looped between the lines in Cougar Avenue and West Avenue, and the main extended along the frontage of West Avenue. The design must be reviewed and approved by the City engineer and the Department of Environmental Quality (DEQ).
Status: The plans have been submitted, but DEQ approval is still pending.
2. Provide a city easement for the water line loop between Cougar Avenue and West Avenue.
Status: A 20-foot wide utility easement is shown on the final plat for this purpose.
3. Provide utility easements as required by the utility providers. At a minimum, provide 10-foot utility easement along West Avenue, and a 10-foot wide power easement for the loop system described by the City Electrical Engineer.
Status: As of the time of this staff report, a letter from Energy West had been received. Letters from TCT, Optimum/Charter, and Cody Canal are pending. It is expected that an easement for the irrigation canal/ditch along Cougar Avenue will be required by Cody Canal. The 10-foot utility easement along West Avenue is provided, yet the power easement is lacking and needs to be added.

4. As a storm water system is not available in the immediate area, include a note on the final plat that storm water must be retained on-site in accordance with the City storm water policy.
Status: Included (3^d note).
5. In addition to the standard submittal requirements for the final plat, it is specifically required that the final plat application include:
 - a. Engineered designs for the 26-foot wide, paved interior roadway.
Status: Plans were provided with the apartment site plan. That site plan is attached for your reference.
 - b. Evidence that the water main plans have been reviewed and approved by DEQ.
Status: As noted above, DEQ approval is pending.
 - c. A maintenance agreement for the shared private roadway.
Status: A draft agreement has been provided and is attached.
6. Note the variances granted on the final plat.
Status: The variances are generally noted on the plat, but staff would prefer some modifications to more accurately reflect the language noted in the motions, and to change the tense from future to present.
7. Sewer, water, and power are available and are to be provided to each lot as specified by the City as part of the subdivision. Payment of ¾" or larger water connections and applicable electrical service fees must occur prior to final plat approval by Council. Installation of the sewer stubs to each lot must be completed prior to any building permit or development on any lot.
Status: Fees are still owing.
8. No vehicular access to West Avenue is permitted unless West Avenue is paved and improved to city standards for a local access street. A note to this effect must be included on the final plat.
Status: The note is included (4th note).
9. Vehicle access to Cougar Avenue is limited to the common access easement, unless permitted otherwise by the City Engineer.
Status: A note to this effect is included (5th note).
10. With the final plat application, provide evidence of compliance with City Code 11-3-3(B)(1), relating to transfer of the Cody Canal water rights.
Status: An agreement between the developer and surveyor has been executed to complete the water right transfer process. As the developer is not yet the owner, that agreement would not be valid if the intended purchase does not occur. Staff requests that the owner and surveyor execute a "backup" agreement, to complete transfer of the water rights if the intended purchase does not occur. The agreement would need to be provided prior to the mayor signing the final plat.
11. Sidewalk shall be installed to City standards along the full Cougar Avenue frontage at the time multi-family development occurs on either of these lots. Include a note to this effect on the final plat.
Status: A note is included (6th note).
12. Include the following in the dedication certificate on the final plat:

"And do hereby agree to promote and participate in an improvement district for curb, gutter, and sidewalk on West Avenue when deemed necessary by the City of Cody. And further, that this language shall be contained in each and all conveyances of record."

Status: Included in Certificate of Dedication.

OTHER:

The preliminary plat review indicated that if the irrigation ditch would not be piped, a variance would be needed. The irrigation ditch will be piped, and is part of the plans for development of the apartment complex.

ALTERNATIVES:

Depending on the status of what is provided or not before the Planning and Zoning Board may table, deny, or approve the final plat application.

RECOMMENDATION:

The following items must be completed before the final plat can be recorded. If the items are not completed prior to Board review, the Board may wish to table the matter, or at least recommend that Council approval not occur until the first four conditions are met.

Recommended Conditions for prior to Council Approval:

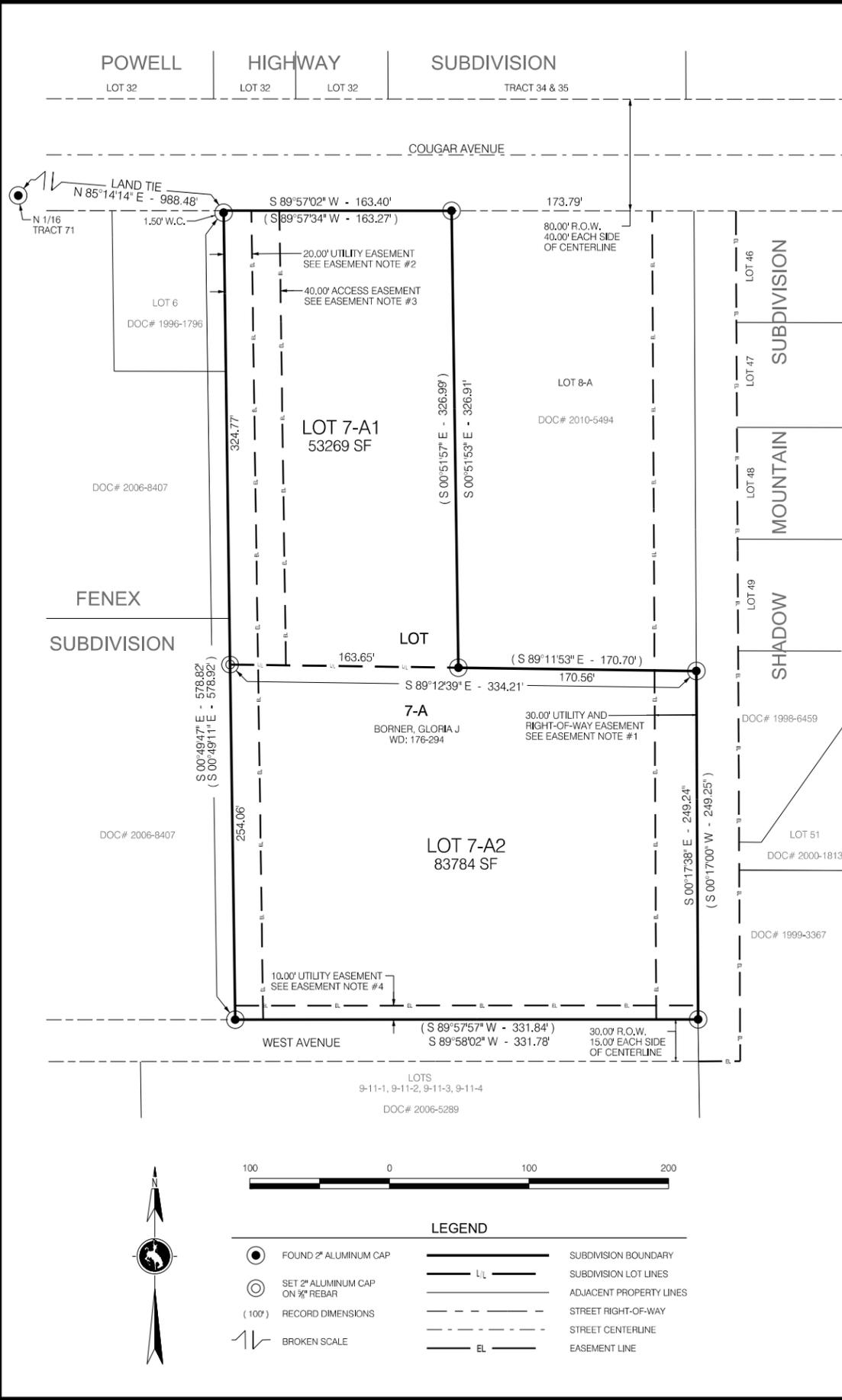
1. Provide an agreement (backup) between the property owner and surveyor for transfer of the water rights to the City of Cody.
2. Provide utility letters and any easements required by the utility providers (TCT, Optimum/Charter, and Cody Canal).
3. Add a 15-foot wide utility easement across the north end of Lot 7-A2.
4. Modify the variance language as requested.

In addition there are conditions to be completed prior to mayor signing final plat, including:

5. Provide the corrected final plat mylar for signature (2 copies).
6. Payment of applicable utility fees for the subdivision.

ATTACHMENTS:

Final Plat drawing.
Site Plan.



CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT WE, THE UNDERSIGNED, ALL HEIRS AND/OR ASSIGNS HEREBY CERTIFY THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS NOTED HEREON IN THE DESCRIPTION OF LANDS; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE THE EASEMENTS AND RIGHT-OF-WAY LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE SOLE PURPOSE OF THE SUBDIVISION IS TO SUBDIVIDE THE LANDS AS SHOWN HEREON; THAT WE HEREBY AGREE TO PROMOTE AND PARTICIPATE IN AN IMPROVEMENT DISTRICT FOR CURB, GUTTER, AND SIDEWALK ON WEST AVENUE WHEN DEEMED NECESSARY BY THE CITY OF CODY, AND FURTHER, THAT THIS LANGUAGE SHALL BE CONTAINED IN EACH AND ALL CONVEYANCE OF RECORD; AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

GLORIA J. BORNER

STATE OF WYOMING)
) SS
 COUNTY OF PARK)

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY GLORIA J. BORNER ON THIS _____ DAY OF _____, 2013.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

DESCRIPTION OF LANDS

A PARCEL OF LAND DESCRIBED AS LOT 7-A OF FENEX SUBDIVISION AS SHOWN ON THE RECORD OF SURVEY FILED IN PLAT CABINET J ON PAGE 113 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER, SAID RECORD OF SURVEY BEING A BOUNDARY ADJUSTMENT RESULTING IN LOTS 7-A AND 8-A OF SAID FENEX SUBDIVISION, RESURVEY, T.53N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, SAID LOT 7-A BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 2 INCH ALUMINUM CAP FOUND IN PLACE THIS SURVEY AT THE NORTHEAST CORNER OF SAID LOT 7A; THENCE S 00°51'53" E FOR A DISTANCE OF 326.91 FEET TO A 2 INCH ALUMINUM CAP FOUND IN PLACE THIS SURVEY; THENCE S 89°12'39" E FOR A DISTANCE OF 170.56 FEET TO A 2 INCH ALUMINUM CAP FOUND IN PLACE THIS SURVEY; THENCE S 00°17'38" E FOR A DISTANCE OF 249.24 FEET TO A 2 INCH ALUMINUM CAP FOUND IN PLACE THIS SURVEY ON THE NORTH RIGHT-OF-WAY OF WEST AVENUE; THENCE S 89°58'02" W ON AND ALONG THE NORTH RIGHT-OF-WAY OF WEST AVENUE FOR A DISTANCE OF 331.78 FEET TO A 2 INCH ALUMINUM CAP AT THE SOUTHWEST CORNER OF SAID LOT 7A; THENCE N 00°49'47" E ON AND ALONG THE WEST LINE OF SAID LOT 7A FOR A DISTANCE OF 578.82 FEET TO THE SOUTH RIGHT-OF-WAY OF COUGAR AVENUE; THENCE N 89°57'02" E ON AND ALONG THE SOUTH RIGHT-OF-WAY OF COUGAR AVENUE FOR A DISTANCE OF 163.40 FEET TO THE POINT OF BEGINNING, SAID PARCEL CONTAINING 4.84 ACRES MORE OR LESS.

APPROVALS

STATE OF WYOMING)
) SS
 COUNTY OF PARK)

CITY PLANNING AND ZONING BOARD

RECOMMENDED FOR APPROVAL THIS _____ DAY OF _____, 2013 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

BY CHAIRMAN: _____

CITY COUNCIL

APPROVED THIS _____ DAY _____, 2013 BY THE CITY COUNCIL CODY, WYOMING.

BY MAYOR: _____
 NANCY TIA BROWN

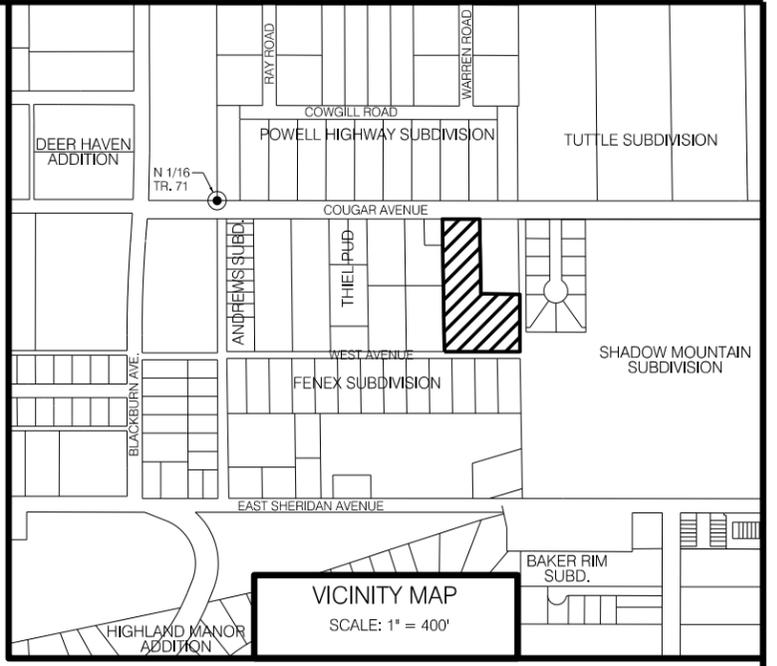
ATTESTED BY: _____
 ADMINISTRATIVE SERVICES DIRECTOR

SUBDIVISION NOTES

- BEARING BASE: BEARINGS AND DISTANCES SHOWN ON THIS PLAT ARE GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, NAD83, WYOMING WEST CENTRAL ZONE.
- RECORD DIMENSIONS SHOWN HEREON ARE FROM THE RECORD OF SURVEY RECORDED IN PLAT CABINET J ON PAGE 113 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER.
- STORM WATER MUST BE RETAINED ON-SITE IN ACCORDANCE WITH THE CITY STORM WATER POLICY.
- NO VEHICULAR ACCESS TO WEST AVENUE IS PERMITTED UNTIL SUCH TIME AS IMPROVEMENTS ARE MADE TO WEST AVENUE MEETING CITY STANDARDS FOR A LOCAL ACCESS STREET.
- VEHICULAR ACCESS TO COUGAR AVENUE IS LIMITED TO THE COMMON ACCESS EASEMENT, UNLESS PERMITTED OTHERWISE BY THE CITY ENGINEER.
- SIDEWALK SHALL BE INSTALLED TO CITY STANDARDS ALONG THE FULL COUGAR AVENUE FRONTAGE AT THE TIME OF MULTI-FAMILY DEVELOPMENT ON EITHER LOT.
- ALL WATER RIGHTS FOR THIS PROPERTY ARE TO BE TRANSFERRED TO THE CITY OF CODY.
- ALL SURVEY WORK WAS COMPLETED TO AN ACCURACY OF 1:15,000.
- TOTAL SUBDIVISION AREA IS 4.84 ACRES.

EASEMENT NOTES

- A 30 FT UTILITY EASEMENT AND RIGHT-OF-WAY AS RECORDED IN BK: 168 PG: 411 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER.
- A 20 FT PUBLIC UTILITY EASEMENT ALONG THE WEST LINE OF LOTS 7-A1 AND 7-A2 OF THE WILLOW CREEK MINOR SUBDIVISION AS SHOWN HEREON.
- A 40 FT RIGHT-OF-WAY EASEMENT FOR INGRESS AND EGRESS SERVING LOTS 7-A1 AND 7-A2 OF THE WILLOW CREEK MINOR SUBDIVISION AS SHOWN HEREON.
- A 10 FT PUBLIC UTILITY EASEMENT ALONG THE NORTH RIGHT-OF-WAY OF WEST AVENUE AS SHOWN HEREON.



VARIANCES GRANTED BY THE CITY OF CODY

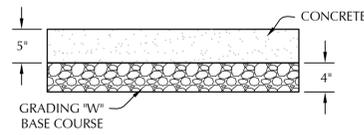
- CITY ORDINANCE 11-4-2: K. ADDITIONAL RIGHT-OF-WAY WILL NOT BE REQUIRED. A 10' PUBLIC UTILITY EASEMENT ALONG THE NORTH RIGHT-OF-WAY OF WEST AVENUE IS DEDICATED AS SHOWN HEREON.
- CITY ORDINANCE 11-4-2: P. THE REQUIREMENT FOR ALLEYS HAS BEEN WAIVED.
- LOT 7-A2 WILL NOT BE REQUIRED TO PROVIDE 50 FEET OF FRONTAGE TO COUGAR AVENUE.

CERTIFICATE OF SURVEYOR

I, PAUL R. CAMPBELL, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY CERTIFY AS FOLLOWS: BETWEEN OCTOBER 2012 AND AUGUST 2013, THE WILLOW CREEK MINOR SUBDIVISION; SHOWN HEREON WAS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION. THE LAND SURVEYED IS CORRECTLY DESCRIBED IN THE DESCRIPTION OF LANDS AND THE SUBDIVISION THEREOF IS CORRECTLY SHOWN ON THIS PLAT, WHICH IS DRAWN TO THE SCALE INDICATED. I AM FAMILIAR WITH THE CITY OF CODY SUBDIVISION REGULATIONS AND BELIEVE THIS SUBDIVISION COMPLIES WITH THEM IN EVERY RESPECT.

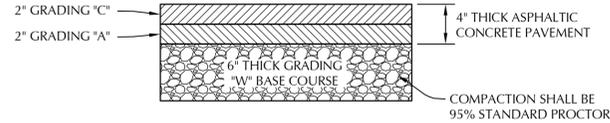
PAUL R. CAMPBELL
 WYOMING REGISTRATION NO. 2571 L.S.

<p>DEVELOPER:</p> <p>SUMMIT HOUSING GROUP, INC. 283 WEST FRONT ST. STE. 1 MISSOULA, MT 59802 406-541-0999 EXT. 231</p> <p>PROPERTY OWNER: GLORIA BORNER 531 LANE 1/2 POWELL, WY 82435</p>	<p>FINAL PLAT</p> <p>SHOWING</p> <p>WILLOW CREEK MINOR SUBDIVISION</p> <p>A SUBDIVISION OF LOT 7-A, WITHIN FENEX SUBDIVISION</p> <p>T.53N., R.101W., 6TH P.M. CITY OF CODY, PARK COUNTY, WYOMING</p>	
	<p>SAGE CIVIL ENGINEERING 2824 BIGHORN AVE. CODY, WY 82414 307-527-0915</p>	<p>SEPTEMBER, 2012 PROJ. #2012-64 2012-64_FPLAT.dgn</p>

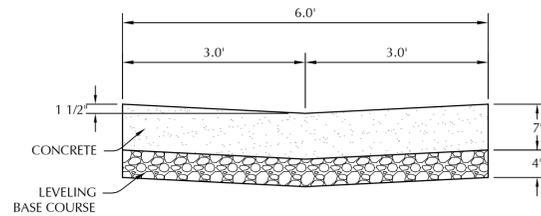


NOTE: THIS CONFIGURATION SHALL BE USED FOR AREAS SUBJECT ONLY TO PEDESTRIAN TRAFFIC.

TYPICAL SIDEWALK SECTION
SCALE: NTS

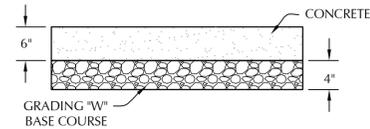


TYPICAL ASPHALT SECTION
SCALE: NTS



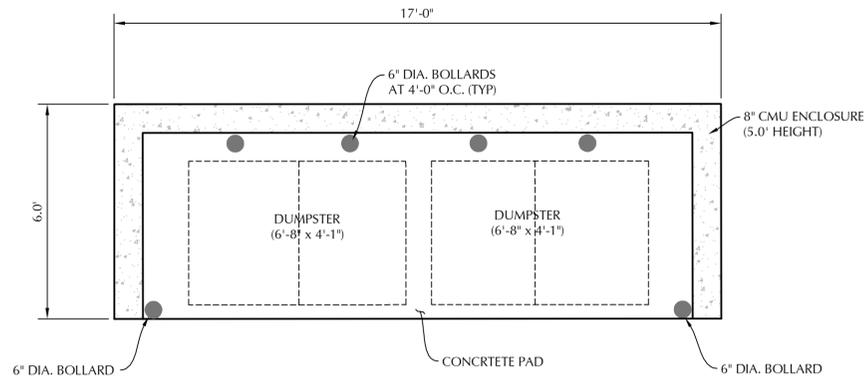
NOTE: VALLEY GUTTER SHALL BE REINFORCED WITH WWF 4 x 4 x W4 x W4 OR PROPYLENE FIBERS OR #4 REBAR AT 18" ON CENTER EACH WAY

VALLEY GUTTER
SCALE: NTS



NOTE: THIS CONFIGURATION SHALL BE USED FOR AREAS SUBJECT TO VEHICULAR TRAFFIC.

TYPICAL CONCRETE PAVING SECTION
SCALE: NTS



DUMPSTER ENCLOSURE PLAN
NTS



VICINITY MAP
SCALE: NTS

PROJECT INFORMATION

- PROJECT CONTACTS:**
 - OWNER: WYOMING HOUSING NETWORK INC., CASPER WYOMING (307)472-5843
 - CIVIL ENGINEER: JKC ENGINEERING / CASPER, WYOMING / Ph (307)265-4601
 - ARCHITECT: ECONOMIDES ARCHITECTS, LLC / EAST LANSING, MICHIGAN / Ph (517)351-6720
- SITE INFORMATION**
 - ADDRESS: NOT ASSIGNED
 - LEGAL DESCRIPTION: PART OF LOT 7A-1, WILLOW CREEK MINOR SUBDIVISION, CODY, WYOMING
 - SIZE OF PROJECT SITE: 53,382sq.ft. (1.23 ACRES ±)
 - SITE ZONING: "B" RESIDENTIAL (RESIDENTIAL GENERAL)
- LOT COVERAGE BY TYPE:**
 - BUILDINGS = 7,915 sq.ft. (14.82%)
 - ASPHALT PAVING = 13,224 sq.ft. (24.77%)
 - MISC. CONCRETE PAVING = 1,627 sq.ft. (3.58%)
 - OPEN SPACE = 29,802 sq.ft. (56.83%)
 - NOTE: AREAS PROVIDED FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BIDDING.
- PARKING DETAILS (12 RESIDENTIAL UNITS)**
 - (8) THREE BEDROOM APARTMENTS (20 SPACES)
 - (4) TWO BEDROOM APARTMENTS (8 SPACES)
 - TOTAL PARKING REQUIRED = 28 (2 ADA)
 - PARKING PROVIDED = 28 (2 ADA)

GENERAL NOTES

- The location of the existing utilities and pipelines has been shown on the Drawings based on "as-built" maps and location maps provided by the owner's of the utilities and pipelines. The exact location of these facilities may not be shown accurately on the drawings. It is the responsibility of the CONTRACTOR to contact the utility and/or pipeline companies in the area of the planned work and secure exact locations for those facilities. The CONTRACTOR shall request the owner of the utility to provide the nature, location and elevation of the utility at each location and at whatever interval is necessary for the work. If the utility company cannot or will not provide the information, the CONTRACTOR shall obtain the information by whatever means necessary. For each location, the utility shall be tied both horizontally and vertically, by coordinates, to a datum determined by the ENGINEER. The CONTRACTOR shall show the nature, location and elevation of the utility on the ENGINEER's contract drawings and provide a copy of the information to the OWNER. No trenching or excavation operations shall take place until all utilities have been contacted and locations and elevations of the utilities confirmed.
- All work shall conform to The Wyoming Public Works Standard Specifications or Wyoming Department of Transportation standard specifications for road and bridge construction.
- The CONTRACTOR performing the site work shall coordinate all work with the building CONTRACTOR.
- CONTRACTOR is to maintain construction material storage within the construction limits, unless noted otherwise.
- CONTRACTOR is to be responsible for security of the site at all times.
- Every effort has been made to ensure that utilities have been represented on these plans. Other utilities may be present. The CONTRACTOR is responsible for appropriate locating of underground obstructions before proceeding with excavation. Contact One-Call #811

REVISION TABLE

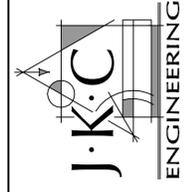
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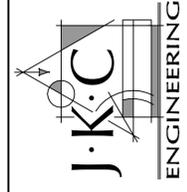
CITY REVIEW DRAWINGS
WILLOW CREEK APARTMENTS
CODY, WYOMING

DATE: 8/16/2013
PROJECT #: 13-48
DRAWN BY: GVIII
SHEET TITLE:
GENERAL NOTES AND DETAILS
SHEET NUMBER
C0.1



ENGINEERING • SURVEYING • CONSTRUCTION
OIL AND GAS COMPLIANCE • GIS MAPPING
111 W. 2nd St., Ste 420 • Casper, Wyoming 82601
Ph: 307-265-4601 • Fax: 307-265-4672

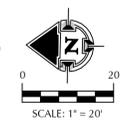
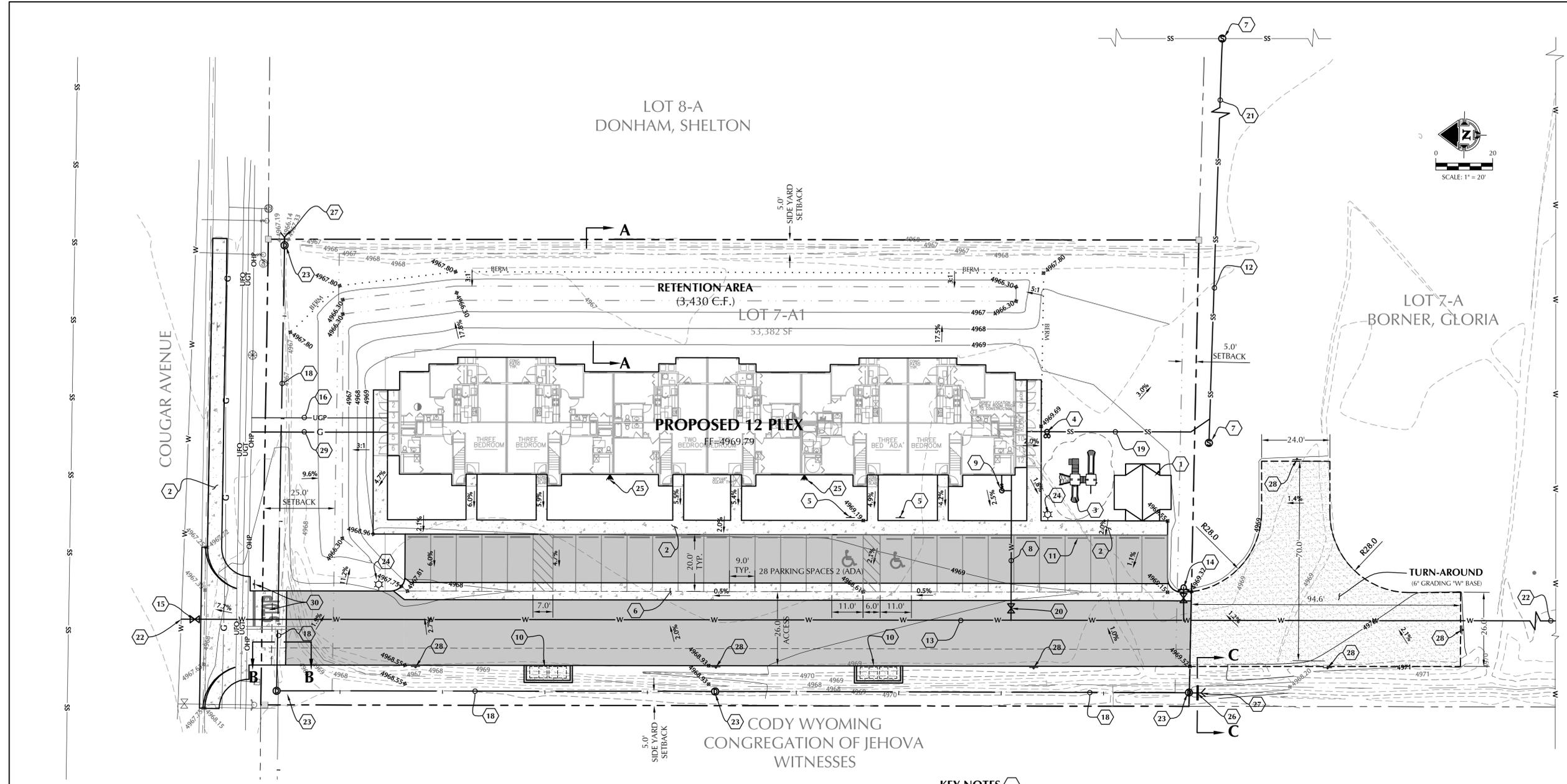




CITY REVIEW DRAWINGS
WILLOW CREEK APARTMENTS
CODY, WYOMING

DATE: 8/16/2013
PROJECT #: 13-48
DRAWN BY: GVIII
SHEET TITLE:
SITE PLAN
SHEET NUMBER
C1.0

REVISION TABLE	NUMBER	DATE	DESCRIPTION

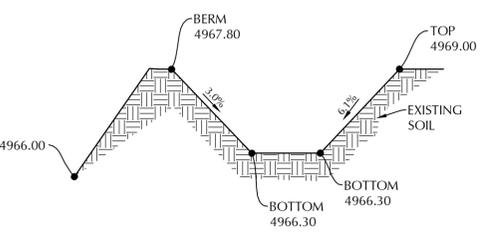


LEGEND

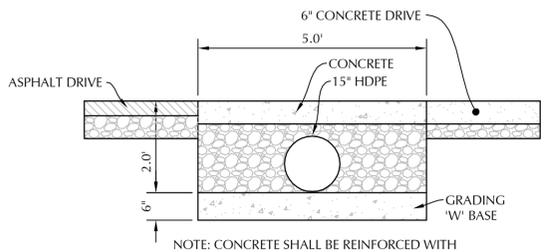
<ul style="list-style-type: none"> ○ RECOVERED BRASS CAP ○ RECOVERED ALUMINUM CAP EX. UTILITY POLE EX. ELECTRICAL METER EX. ELECTRICAL TRANSFORMER EX. TELEPHONE PEDESTAL EX. TELEPHONE MANHOLE EX. CABLE TV PEDESTAL EX. GAS METER EX. GAS MARKER EX. CURB STOP EX. WATER VALVE EX. FIRE HYDRANT EX. SANITARY SEWER CLEANOUT EX. SANITARY SEWER MANHOLE EX. SANITARY SEWER MANHOLE EX. SIGN SLOPE DIRECTION PROPOSED CURB STOP PROPOSED GATE VALVE PROPOSED FIRE HYDRANT PROPOSED CLEANOUT PROPOSED STORM SEWER CURB INLET PROPOSED LIGHT POLE PROPOSED WALL MOUNTED LIGHT 	<ul style="list-style-type: none"> — UGT — UFO — G — W — SS — W — SS — ST — SITE BOUNDARY — LOT LINES — EASEMENT LINES 6" GRADING "W" BASE COURSE PROPOSED ASPHALT PAVING PROPOSED CONCRETE PAVING / SIDEWALK — EX. CONTOUR MAJOR — EX. CONTOUR MINOR — PROPOSED CONTOUR MAJOR — PROPOSED CONTOUR MINOR 	<ul style="list-style-type: none"> EX. UNDERGROUND TELEPHONE EX. UNDERGROUND FIBER OPTICS EX. GAS LINE EX. WATER LINE EX. SANITARY SEWER LINE PROPOSED WATER LINE PROPOSED SANITARY SEWER LINE PROPOSED STORM SEWER LINE
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KEY NOTES

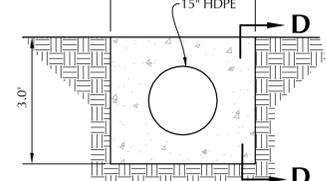
1. INSTALL PAVILION. (SEE ARCHITECTURAL PLANS)
2. INSTALL 5" WIDE SIDEWALK.
3. INSTALL PLAYGROUND EQUIPMENT.
4. INSTALL 6" CLEAN-OUT. (SEE CITY OF CODY DETAIL)
5. INSTALL ADA PARKING SIGNS (R7-8 12X8 & R7-8P).
6. INSTALL 6" WIDE VALLEY GUTTER.
7. INSTALL 48" MANHOLE.
8. INSTALL 4" FIRE AND DOMESTIC WATER SERVICE. (SEE CITY OF CODY DETAIL)
9. INSTALL 1 1/2" CURB STOP.
10. INSTALL DUMPSTER ENCLOSURE AND CONCRETE PAD. (SEE SHEET C0.1 FOR DETAILS)
11. INSTALL PARKING BLOCK.
12. INSTALL 8" SANITARY SEWER MAIN.
13. INSTALL 8" PVC WATERLINE.
14. INSTALL FIRE HYDRANT ASSEMBLY.
15. INSTALL 8" GATE VALVE.
16. PROPOSED ELECTRIC SERVICE.
17. INSTALL 8" HOT TAP.
18. INSTALL 15" HDPE.
19. INSTALL 6" SANITARY SEWER SERVICE. (SEE CITY OF CODY DETAIL)
20. INSTALL 4" GATE VALVE.
21. CONNECT TO EXISTING 8" PVC SANITARY SEWER MAIN.
22. HOT TAP CONNECT TO EXISTING WATERLINE ON WEST AVENUE & COUGAR AVENUE.
23. INSTALL 24" NYLOPLAST DRAIN BASIN W/ SOLID LID+ 1" MIN. SUMP.
24. INSTALL LIGHT POLE
25. INSTALL WALL MOUNTED LIGHT.
26. INSTALL CONCRETE ANTI-SEEP COLLAR.
27. INSTALL FLARED END.
28. INSTALL "NO PARKING" SIGN.
29. INSTALL GAS SERVICE.
30. INSTALL "STOP" SIGN AND STRIPING.



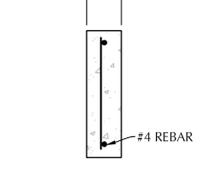
**SECTION A-A
RETENTION AREA**
SCALE: NTS



**SECTION B-B
IRRIGATION CHANNEL CROSSING**
SCALE: NTS



**SECTION C-C
ANTI-SEEP COLLAR**
SCALE: NTS

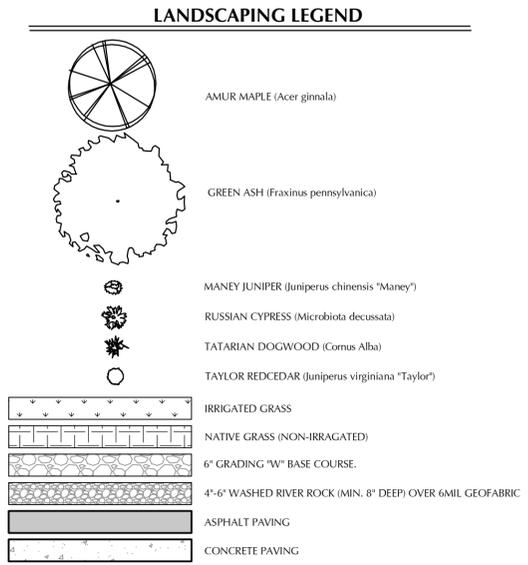
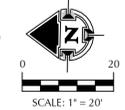
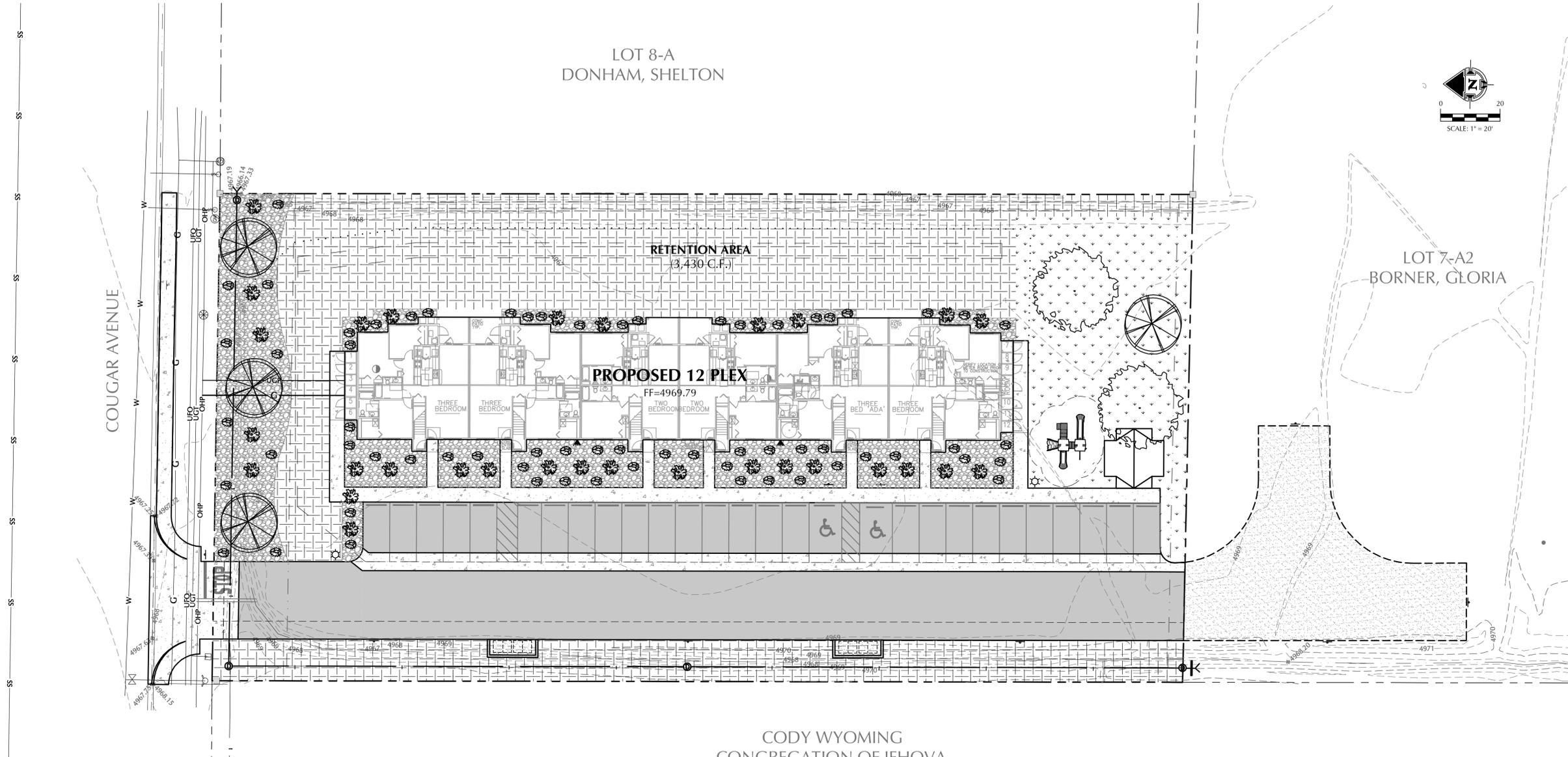


**SECTION D-D
ANTI-SEEP COLLAR**
SCALE: NTS



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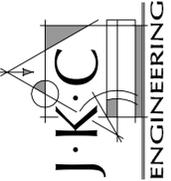


CODY WYOMING
CONGREGATION OF JEHOVA
WITNESSES

- LANDSCAPING NOTES**
1. CONTRACTOR shall design, supply and install complete automatic irrigation system to all new plantings, trees, shrubs, grass.
 2. CONTRACTOR shall spread a min. of 6" topsoil in all planting areas.
 3. CONTRACTOR shall coordinate planting of shrubs around building with locations of exterior windows as not to obstruct view when plantings have matured.

REVISION TABLE		DESCRIPTION
NUMBER	DATE	DESCRIPTION

CITY REVIEW DRAWINGS
WILLOW CREEK APARTMENTS
CODY, WYOMING



ENGINEERING • SURVEYING • CONSTRUCTION
OIL AND GAS COMPLIANCE • GIS MAPPING
111 W. 2nd St., Ste 420 • Casper, Wyoming 82601
Ph: 307-265-4601 • Fax: 307-265-4672

DATE: 8/16/2013
PROJECT #: 13-48
DRAWN BY: GVIII
SHEET TITLE:
LANDSCAPING PLAN
SHEET NUMBER
C2.0

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	FINAL PLAT OF KAMM MINOR SUBDIVISION SUB 2013-05	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

Katherine Kamm, of 212 North 37th Street, has submitted the final plat application for the two-lot Kamm Simple Subdivision. The subdivision, while in the County, is within the 1-mile area of joint subdivision review and must be approved by both the City and County. The city council approved the preliminary plat on June 6, 2013.

During County review it was determined that the balance lot (32 acres) did not qualify for their exemption and therefore needed to be included in the subdivision. The final plat reflects this change.

The preliminary plat process resulted in the following variances from the City subdivision ordinance. It is interpreted that the variances would apply to both lots, now that the second lot is included in the subdivision.

Variances:

- A. From all street improvement requirements.
- B. From the alley requirement.
- C. From the agreement of future annexation (Section 11-2-3(B) of City Code).
- D. From the 50-foot frontage requirement.

Since the time of preliminary plat approval, the home on Lot 1 has connected to Northwest Rural Water. The 32-acre balance lot (Lot 2) does not have a domestic water service. A Northwest Rural Water line is at the south end of the property, but there is not a commitment for Northwest Rural Water to serve the Lot 2 at this time. The County is considering a variance request from the applicant to allow the creation of the 32-acre lot without a water service. The owner intends to use the lot for agricultural purposes and if it is ever sold, intends to sell it for non-development purposes. If the County issues a variance to allow the creation of Lot 2 without a water connection, a note indicating such should be included on the final plat.

The conditions of the preliminary plat approval with the status of each, noted in italics, are as follows.

Conditions of Approval:

1. Prior to the Mayor signing the final plat, submit the following:
 - A. Copies of all easement documents, such that it can be verified that all easements of record are shown. (Add any missing easements.)
Status- Easement documents have been provided and are referenced on the final plat.
 - B. Verification that the existing well to which the house is connected meets the County's requirements or that connection to the Northwest Rural Water tap has occurred.
Status- Connection to Northwest Rural Water has occurred for Lot 1.
 - C. A document that establishes an easement for the gas line to the lot.
Status- A new easement is established on the final plat for this purpose.
 - D. Provide utility easements as required by the utility providers.
Status- We have received letters from Energy West and Northwest Rural Water. A letter from Rocky Mountain Power is pending as of the time of this staff report—an existing line and easement are shown. A letter from Cody Canal is also still pending.
 - E. Submit a revised final plat, meeting all requirements for recording, and which reflects the conditions noted.
Status- The final plat drawing includes all items required by the City subdivision ordinance, pending verification of "D".
2. Note the variances granted on the final plat.
Status -Noted.

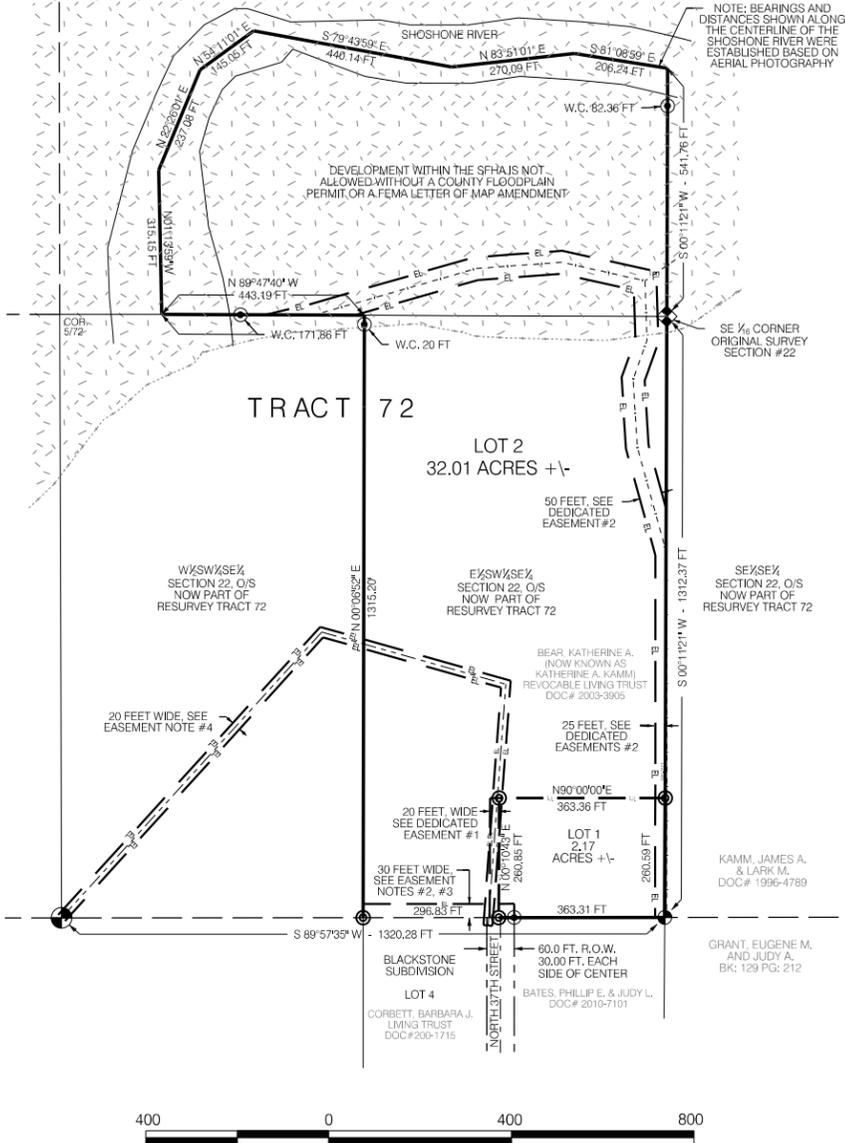
RECOMMENDATION:

If the utility letters have been provided and any needed easements added to the final plat, the Board should recommend approval of the final plat to the City Council. If the items are still pending, the Board could condition their recommendation on the utility letters and any needed easements being provided prior to City Council action.

If the County authorizes the variance for a water supply for Lot 2, it shall be noted on the final plat.

ATTACHMENTS:

Final Plat



**NO ROADS ARE PROPOSED AS PART OF THIS SUBDMISION
NO PROPOSED CENTRALIZED SEWAGE DISPOSAL SYSTEM**

OWNERS AGREEMENT AND APPROVAL

IN CONSIDERATION OF THE BOARD OF COUNTY COMMISSIONERS' DETERMINATION OF THIS DIVISION OF LAND AS A "SUBDIVISION" AND "SUBDIVIDED LAND" AS NOTED HEREON:
I HEREBY WAIVE ALL CLAIMS AGAINST PARK COUNTY FOR DAMAGE OR LOSS TO MY PERSON AND/OR PROPERTY WHICH MAY BE CAUSED BY SUCH DETERMINATION, AND HEREBY AGREE TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PARK COUNTY IN ANY ACTION WHICH MAY ARISE IN CONNECTION WITH ANY AND ALL ERRORS, OMISSIONS, OR MISTAKES IN THIS LAND SURVEY PLAT AND/OR OTHER INFORMATION WHICH I HAVE SUBMITTED IN CONNECTION WITH THIS REQUEST.
I HEREBY FURTHER ACKNOWLEDGE AND STATE UNDER OATH THAT I AM THE LEGAL OWNER OF THE PROPERTY DESCRIBED HEREIN. THE SUBDIVISION OF A PORTION OF THE E1/2SW1/4SE1/4, AND A PORTION OF THE NW1/4SE1/4 ORIGINAL SURVEY SECTION 22, NOW BEING PART OF TRACT 72 RESURVEY T.53N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, AS APPEARS ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR.

I HEREBY FURTHER AGREE THAT THIS PLAT, WHEN RECORDED IN THE OFFICE OF THE CLERK AND RECORDER ESTABLISHES VESTED PROPERTY RIGHTS. I HEREBY AGREE TO ABIDE BY THE CONDITIONS AND STIPULATIONS CONTAINED HEREIN, AND IN THE COMMISSIONERS RESOLUTION AND SUBDIVISION PERMIT.

IN WITNESS WHEREOF, THE SAID OWNER KATHERINE KAMM HAS CAUSED HER NAME HEREON TO BE SUBSCRIBED THIS ____ DAY OF _____, 2013.

KATHERINE KAMM

STATE OF WYOMING)
COUNTY OF PARK) SS

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY KATHERINE KAMM ON THIS ____ DAY OF _____, 2013, WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

DESCRIPTION OF LANDS

A PARCEL OF LAND WITHIN A PORTION OF THE W1/2SE1/4 OF ORIGINAL SECTION 22, NOW BEING A PORTION OF TRACT 72, RESURVEY T.53N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST 1/2 CORNER OF TRACT 72, RESURVEY T.52N., R.102W., 6TH P.M., PARK COUNTY, WYOMING, SAID CORNER BEING A 3 IN. BRASS CAP FOUND IN PLACE WITH THIS SURVEY; THENCE S 89°16'29" W ON AND ALONG THE SOUTH LINE OF SAID TRACT 72 FOR A DISTANCE OF 660.14 FEET TO THE WEST LINE OF THE E1/2SW1/4SE1/4, SECTION 22; THENCE N 00°06'52" E FOR A DISTANCE OF 1315.20 FEET TO THE NORTHEAST CORNER OF SAID E1/2SW1/4SE1/4, SECTION 22; THENCE N 89°47'40" W ON AND ALONG THE NORTH LINE OF THE W1/2SW1/4SE1/4, SECTION 22 FOR A DISTANCE OF 443.19 FEET MORE OR LESS TO THE CENTERLINE OF THE SHOSHONE RIVER; THENCE ON AND ALONG THE CENTERLINE OF THE SHOSHONE RIVER N 01°13'59" W FOR A DISTANCE OF 315.15 FEET; N 22°20'01" E FOR A DISTANCE OF 237.08 FEET; THENCE N 54°11'01" E FOR A DISTANCE OF 145.05 FEET; THENCE S 79°43'59" E FOR A DISTANCE OF 440.14 FEET; THENCE N 83°5'10" E FOR A DISTANCE OF 270.09 FEET; THENCE S 81°08'59" E FOR A DISTANCE OF 206.24 FEET MORE OR LESS TO THE EAST LINE OF THE NW1/2SE1/4, SECTION 22; THENCE S 00°11'21" W ON AND ALONG THE WEST LINE OF THE NW1/2SE1/4, SECTION 22 FOR A DISTANCE OF 541.76 FEET TO THE NORTHEAST CORNER OF THE E1/2SW1/4SE1/4, SECTION 22; THENCE S 00°11'21" W FOR A DISTANCE OF 1312.37 FEET TO THE POINT OF BEGINNING.

EXISTING EASEMENT NOTES

- NORTH 37TH STREET IS PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION OF THE BLACKSTONE SUBDIVISION. ACCESS TO THE KAMM SS IS GRANTED BY THE HOMEOWNERS ASSOCIATION OF THE BLACKSTONE SUBDIVISION IN DOC# 2002-3376
- EXISTING 30 FT RIGHT-OF-WAY AND UTILITY EASEMENT (BK: 265 PG: 987)
- EXISTING 30 FT UTILITY EASEMENT GRANTED TO NORTHWEST RURAL WATER (DOC# 1997-7038)
- EXISTING 20 FT RIGHT-OF-WAY EASEMENT FOR THE PURPOSE OF OVERHEAD POWER (BK: 258 PG: 649)

DEDICATED EASEMENTS DESCRIPTIONS

- A 20 FOOT WIDE RIGHT-OF-WAY AND UTILITY EASEMENT SERVING UNDERGROUND GAS TO LOT 1 OF THE KAMM SIMPLE SUBDIVISION BEING A PORTION OF TRACT 72, RESURVEY T.53N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, SAID EASEMENT BEING PARALLEL TO AND 20 FEET IN PERPENDICULAR DISTANCE TO THE WEST OF THE WEST LINE OF SAID LOT 1, AND BEING 260.65 FEET IN LENGTH.
- AN IRRIGATION EASEMENT GRANTED TO CODY CANAL LOCATED WITHIN THE KAMM SIMPLE SUBDIVISION BEING A PORTION OF TRACT 72, RESURVEY T.53N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, FOLLOWING THE CENTERLINE OF THE EXISTING WASTEWATER DITCH MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A 25 FOOT EASEMENT BEING THE SOUTH 800 FEET OF THE EAST 25 FEET OF THE E1/2SW1/4SE1/4 ORIGINAL SURVEY SECTION 22, NOW PART OF RESURVEY TRACT 72, BECOMING A 50 FOOT WIDE EASEMENT, 25 FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE: BEGINNING ON THE EAST LINE OF SAID E1/2SW1/4SE1/4, SECTION 22, AT THE NORTH END OF THE PREVIOUSLY DESCRIBED 25 FOOT EASEMENT; THENCE N 15°29'19" W FOR A DISTANCE OF 236.14 FEET; THENCE N 03°24'43" W FOR A DISTANCE OF 148.13 FEET; THENCE N 19°37'29" E FOR A DISTANCE OF 89.80 FEET; THENCE N 01°54'23" W FOR A DISTANCE OF 130.07 FEET; THENCE N 77°38'08" W FOR A DISTANCE OF 187.22 FEET; THENCE S 85°49'31" W FOR A DISTANCE OF 167.22 FEET; THENCE S 74°02'49" W FOR A DISTANCE OF 369.09 FEET TO THE END OF SAID EASEMENT.

CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS THAT I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE OWNER AND PROPRIETOR OF THE LANDS NOTED HEREON IN THE DESCRIPTION OF LANDS; THAT I HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND PROPRIETOR; THAT I HEREBY DEDICATE THE EASEMENTS AND RIGHT-OF-WAY LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE SOLE PURPOSE OF THE SUBDIVISION IS TO SUBDIVIDE THE LANDS AS SHOWN HEREON; AND THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

KATHERINE KAMM

STATE OF WYOMING)
COUNTY OF PARK) SS

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY KATHERINE KAMM ON THIS ____ DAY OF _____, 2013, WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CITY PLANNING AND ZONING APPROVAL

STATE OF WYOMING)
COUNTY OF PARK) SS

RECOMMENDED FOR APPROVAL THIS ____ DAY _____, 2013, BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

BY CHAIRMAN: _____
RICK BRASHER

CITY COUNCIL APPROVAL

STATE OF WYOMING)
COUNTY OF PARK) SS

APPROVED THIS ____ DAY _____, 2013, BY THE CITY COUNCIL OF CODY, WYOMING.

BY MAYOR: _____
NANCY TIA BROWN

ATTESTED BY: _____
ADMINISTRATIVE SERVICES DIRECTOR

BOARD OF COUNTY COMMISSIONERS APPROVAL AND SUBDIVISION PERMIT

APPROVED BY THE PARK COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, 2013.

ATTEST:

COUNTY CLERK _____ CHAIRMAN _____

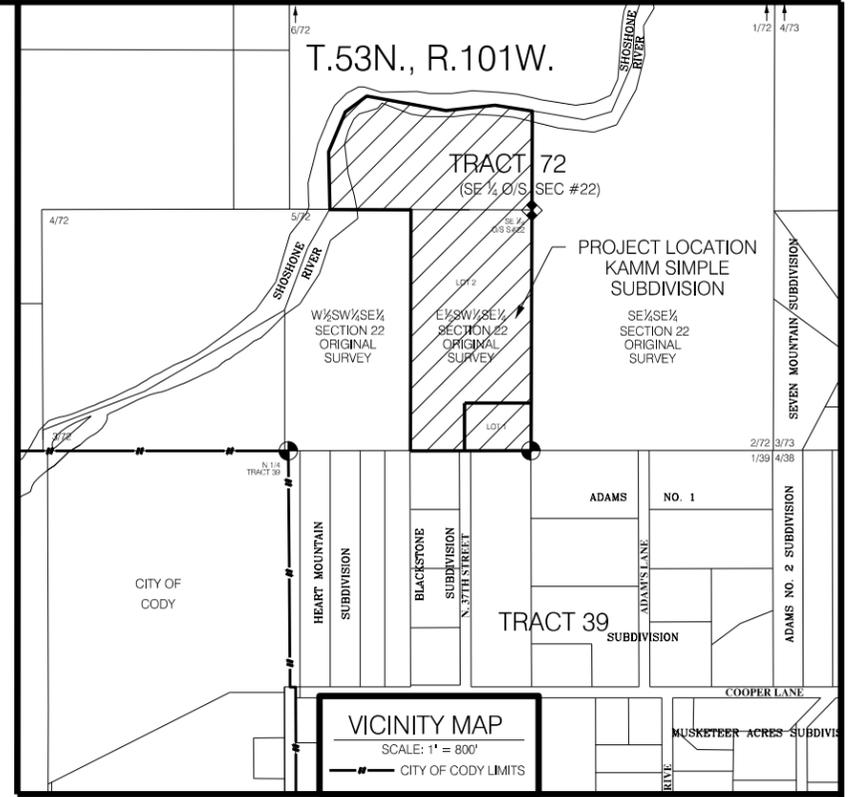
RECORDERS ACCEPTANCE

STATE OF WYOMING)
COUNTY OF PARK) SS

THIS INSTRUMENT WAS FILED FOR THE RECORD ON THE ____ DAY OF _____, 2013, AT ____ O'CLOCK, AND WAS DULY RECORDED UNDER PLAT CABINET ____ ON PAGE ____.

COUNTY CLERK: _____

ATTESTED BY: _____



VARIANCES GRANTED BY THE CITY OF CODY

- CITY ORDINANCE 11-2-3(B): FROM THE REQUIREMENT OF AGREEMENT FOR FUTURE ANNEXATION
- CITY ORDINANCE 11-4-2(K): FROM STANDARDS OF STREET WIDTHS AND GRADES
- CITY ORDINANCE 11-4-2(P): FROM THE REQUIREMENT FOR ALLEYS
- CITY ORDINANCE 11-4-2(R): FROM THE FRONTAGE REQUIREMENT OF 50 FEET

SUBDIVISION NOTES

- TOTAL SUBDIVISION AREA IS 2.17 ACRES MORE OR LESS.
- ALL SURVEY WORK WAS COMPLETED TO AN ACCURACY OF 1:15,000
- BEARINGS AND DISTANCES ON THIS PLAT ARE GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM NAD83, WYOMING WEST CENTRAL ZONE.
- THIS SURVEYOR DID NOT COMPLETE AN ABSTRACT TITLE SEARCH FOR PROPERTY SHOWN HEREON. PARCELS ARE SUBJECT TO ALL EASEMENTS OF RECORD OR THAT MAY BE APPARENT ON THE GROUND.
- NORTH 37TH STREET IS A PRIVATELY MAINTAINED AND OPERATED STREET. SEE H.O.A. BYLAWS FOR BLACKSTONE SUBDIVISION FILED IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER IN BOOK 169 ON PAGE 430.

CERTIFICATE OF SURVEYOR

I, PAUL R. CAMPBELL, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY CERTIFY AS FOLLOWS: BETWEEN APRIL 2013 AND JUNE 2013, THE KAMM SS #219; SHOWN HEREON WAS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION. THE LAND SURVEYED IS CORRECTLY DESCRIBED IN THE OWNERS CERTIFICATE OF DEDICATION AND THE SUBDIVISION THEREOF IS CORRECTLY SHOWN ON THIS PLAT, WHICH IS DRAWN TO THE SCALE INDICATED. I AM FAMILIAR WITH THE PARK COUNTY SUBDIVISION REGULATIONS AND BELIEVE THIS SUBDIVISION COMPLIES WITH THEM IN EVERY RESPECT.

PAUL R. CAMPBELL
WYOMING REGISTRATION NO. 2571 L.S.

FINAL PLAT

SHOWING

KAMM SIMPLE SUBDIVISION #219

BEING A PORTION OF THE E1/2SW1/4SE1/4 ORIGINAL SURVEY SECTION 22 NOW BEING PART OF TRACT 72

RESURVEY T.53N., R.101W., 6TH P.M. PARK COUNTY, WYOMING

OWNER:
KATHERINE KAMM
(FORMERLY KATHERINE BEAR)
212 NORTH 37TH STREET
CODY, WY 82414
307-587-5188

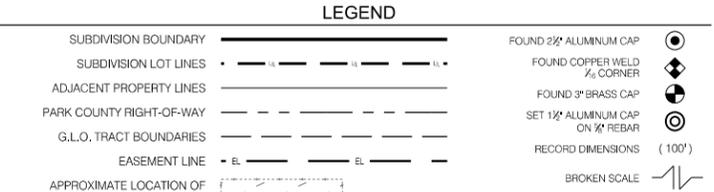


SAGE CIVIL ENGINEERING
2624 BIGHORN AVE.
CODY, WY 82414
307-527-0915

AUGUST, 2013
W.O. 2013-17
2013-17_MSUB_FFPlat.dgn

PLATTING CONDITIONS

- RIGHT-OF-WAY, THE RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON, AND THROUGH ANY AND ALL PRIVATE ROADS AND DRIVES NOW OR HERINAFTER ESTABLISHED.
- MINERAL ESTATE, THE SURFACE ESTATE OF THE LAND TO BE SUBDIVIDED IS SUBJECT TO THE FULL AND EFFECTIVE DEVELOPMENT OF THE MINERAL ESTATE.
- AGRICULTURAL NOTICE: THIS PROPERTY IS IN AN AREA OF HISTORIC AGRICULTURAL USE AND LIES WITHIN THE AGRICULTURAL OVERLAY DISTRICT. THIS USE IS PRESERVED BY THE WYOMING RIGHT TO FARM AND RANCH ACT OF 1991, (W.S. 1-11-44-101 THROUGH 103), HISTORIC AGRICULTURAL USE MAY CAUSE NOISE, ODORS, DUST, FLIES AND OTHER FACTORS THAT ARE CONSEQUENCES OF ACCEPTED AGRICULTURAL PRACTICES. THIS SUBDIVISION AND ITS LOTS AND NEIGHBORING LANDS ARE LOCATED IN AN AREA THAT HAS BEEN USED HISTORICALLY FOR FLOOD IRRIGATED CROP PRODUCTION. HISTORIC FARMING PRACTICES (INCLUDING FLOOD IRRIGATION OF CROPS AND THE USE OF DITCHES TO MOVE WATER) MAY CAUSE A SIGNIFICANT RISE IN THE WATER TABLE IN THE AREA, THE WATER TABLE IN THE AREA MAY RISE DRAMATICALLY DURING IRRIGATION SEASON. PURCHASERS OF SUBDIVISION LOTS SHOULD MAKE THIS FACTOR AN IMPORTANT CONSIDERATION WHEN BUILDINGS ARE CONSTRUCTED ON SUBDIVISION LOTS.
- THIS SUBDIVISION IS APPROVED BY THE BOARD OF COUNTY COMMISSIONERS BY RESOLUTION _____



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	CONCEPTUAL PLAN FOR A 17-LOT SUBDIVISION: J&K SUBDIVISION SUB 2013-09	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

Jerry Thiel and Sons Construction has submitted a conceptual plat application for a 17-lot subdivision on a 3.7 acre property located on the east side of 29th Street, just south of the intersection with Central Avenue. The property is in the Residential B zoning district, which requires a minimum lot size of 6,000 square feet for one-family dwellings. Proposed lot sizes range from 6,000 square feet to 9,464 square feet and are intended for one-family dwellings.

A conceptual plan process is an opportunity for an applicant to present a "rough draft" of the development proposal to the Board for feedback, prior to incurring the full engineering and surveying expenses. There are no variances, special exemptions, or formal approvals granted at this stage, although the likelihood of such may be part of the discussion.

PROJECT DISCUSSION:

The layout of the 17-lot subdivision and approximate lot sizes is depicted on the enclosed conceptual plat. A narrative is also included. Much of the proposal is straightforward, but there are some items for discussion.

Sewer

The new sewer main will be gravity flow, although if basements are used, grinder lift pumps will likely be needed for basements in the east end of the development. There are no concerns about the capacity of the main in 29th Street to accommodate the additional flow.

Water

A potable water main and fire hydrant are proposed. The City engineer suggests that the water and sewer main locations be switched, the sewer extended further east, and the hydrant line run to the common area, as it would lead to less complex service line installations to the lots around the cul-de-sac. It is something for the engineers to analyze.

Electrical Service and Telecommunications

There are overhead power lines along the east and west sides of the property. Electrical service for this layout will involve relocation of a pole in alignment with the proposed street. The power line will drop from the new pole and run along the north side of the street, around the cul-de-sac, through the common area to the south side of the plat and over to the power line on the east property line to provide a looped system.

The house depicted on Lot 14 does not meet the rear setback requirement of 15 feet. The utility easement for the power line will need to be ten feet wide along the south side of Lot 14.

One requested modification to the plat would be to place the common trench (electrical, telecommunications, cable) behind the sidewalk, rather than under the asphalt. This would necessitate a utility easement for the lines, transformers, and utility boxes. An 8-foot wide utility easement along the street is expected to be sufficient.

Street

According to the surveyor, the cul-de-sac complies with the 500-foot length limitation. The required radius is provided.

The proposed street cross-section is similar but not an exact match to the local street standard in the draft master plan. The proposed section is about two feet wider from back of curb to back of curb than shown in the draft master plan. The proposed cross-section is five feet narrower than the local street cross section in the 1997 Master Plan. Also, the right-of-way width is 56 feet in width to match the draft master plan (60' in the 1997 plan). Although the new master plan is not yet adopted, the narrower street width is adequate for the situation and can be considered through the subdivision variance process.

There has been some discussion as to whether the City should accept maintenance responsibility for dead-end streets. No formal policy requiring private maintenance exists at this time, so it is presumed that City maintenance of the street will be the case.

There is also the question of whether this plat has any responsibility to improve or participate in the improvement of 29th Street along the frontage of the plat, as it does not meet current construction requirements.

According to City of Cody Code 11-4-2(B), *"All streets shall conform to the city master street plan for size and approximate alignment."* Typically, it is the adjacent development that provides the street installation. If the developer does not wish to provide this street segment at the time of subdivision, and the Board is okay with that, then at a minimum an agreement for future participation in a road improvement district

should be placed on the plat. The option of collecting the cash value of the frontage improvements and holding it for use with a larger project is also mentioned for discussion.

Streetlights will need to be added to the plans. Their location needs to be coordinated with the electrical superintendent.

Future Street

A future 56' street easement is shown in the east common area. While the cul-de-sac length complies with the subdivision ordinance, connectivity between subdivisions is generally desirable for emergency service purposes. It is also presumed that this connection would allow more developable/usable area on the property to the south if it were subdivided (no need for cul-de-sac on property to south). If the connection is to be made, staff would prefer that the 56' wide street easement be dedicated as public road right-of-way with the subdivision. That way it is available for use regardless of ownership of the adjacent property.

There is some concern over the currently unassigned responsibility to improve the "future street", and the Board may wish to discuss such.

Garbage Collection

The applicant desires to use roll-out type service, rather than dumpsters. This is an option. However, experience has shown that the City garbage trucks can damage asphalt in tight-turning situations. Public Works suggests two options. One option would be to build the bulb at the end of the cul-de-sac out of concrete. The other option would be to provide a turn-around area in the common area at the end of the cul-de-sac. This turn-around could be compacted gravel. If the street were looped through the property(ies) to the south as anticipated, that would eliminate the tight-turning situation.

Alleys

No alleys are proposed. If that is a concern, please note such.

Drainage

No city storm water system exists near this location. Storm water management will likely include a storm water swale in the west side of the common area at the end of the cul-de-sac.

Common Area/Public Use Areas

The subdivision ordinance requires the following:

"There shall be conveyed to the city an area or areas of land or the cash equivalent thereof, on the basis of one acre per fifty (50) prospective dwelling units, to provide for parks, fire stations, recreational areas and other public uses. This requirement shall be in addition to lands dedicated for streets and alleys. ...The dedication of land or cash in

lieu of land shall be at the sole discretion of the city council, with recommendation from the planning and zoning board and the parks and recreation department. ...If the city council elects to require cash in lieu of land, the amount thereof shall be the fair market value of the land. If the city and the subdivider cannot agree on that value..."

For this subdivision, the seventeen dwelling units would require 0.34 acres (14,810 s.f.) of land or cash in lieu of \$11,909.

The ordinance language does not count streets and alleys toward this requirement. Easements are not noted, but as the land remains for private use and the power line is an existing facility, allowing the easement to qualify for dedication purposes does not meet the intent. Therefore the "future street" and the 10-foot utility easement do not appear to qualify as "Public Use Areas".

Due to the small sizes of the "common areas", the Parks and Recreation Department does not desire to accept them for park purposes and desires the cash in lieu of dedication. In thinking through options, there may be a potential opportunity to use the west "common area" as a future storm water retention facility for 29th Street, but no other potentially viable uses were identified as the areas are too narrow for the development of any buildings or formal play fields. If the common areas are not accepted by the City, a homeowner's maintenance association should be formed for management of the areas. The Board should discuss the situation and provide their opinion.

Mailboxes

The location and design of a central mailbox needs to be coordinated with the post office and reflected on the street plans, as it can affect sidewalk location and influence streetlight location.

Lot Width

The subdivision ordinance contains the following definition and restriction on flag lots. *"Flag Lot: Any lot which has less than fifty feet (50') of fee simple frontage on a public right of way, unless part of a planned unit development. Flag lots shall not be allowed in the development of subdivisions and minor subdivisions."*

Lots 10, 11, 12, 13, and 14 have less than 50-feet of frontage on a public right-of-way (Lot 14 could have 50 feet if the "future street" is dedicated as right-of-way.) Lots 10 and 11 have about 30 feet each and Lots 12 and 13 have about 20 feet of frontage each.

It is noted that this restriction does not rely on zoning or lot shape. With the Residential B zoning, it would seem that the requirement for 50-feet of frontage around a cul-de-sac is out of line with expected lot sizes and densities. A more common method for dealing with cul-de-sac lots is to require a minimum width at the front building line, but the existing code has no such provision.

One option would be to combine the Lots 9 and 10, 11 and 12, and 13 and 14, to provide duplex lots, which would meet the code requirement. Another option would be to pursue a subdivision variance. The third option would be to otherwise reconfigure the lots to meet the standard (would likely lose two lots, but need not lose density).

ATTACHMENTS:

Application packet.

August 27, 2013

Todd Stowell, AICP
City of Cody
1338 Rumsey Avenue
Cody, WY 82414

RE: Conceptual Submittal for the J. and K. Major Subdivision

Dear Todd,

GDA Engineers is pleased to submit to you, on the behalf of Mr. Jerry Thiel, the conceptual submittal for the J. and K. Major Subdivision. I am submitting twelve (12) copies of this package for review.

PROJECT DESCRIPTION

The proposed major subdivision is located near 29th Street and Central Avenue in Cody, Wyoming. The proposed subdivision will have 17 developable lots ranging in size from 6,000 square feet to 9,464 square feet encompassing approximately 3.73 acres with minimum lot frontage of 50-feet. A vicinity map shown on the next page illustrates the surrounding streets, highways, drainages, and other natural and manmade features. The scale on this vicinity map is 1-inch equals 500-feet.

PROJECT ZONING

The project is located in Residential Zone B. No change in zoning is anticipated for this project. Zoning information and delineation has been shown on the vicinity map following this page illustrating major use areas. The minimum lot size for this project is 6,000 square feet as outlined in the City of Cody Development Manual. A conceptual site plan has also been included showing each lot at scale of 1-inch equals 50-feet.

SPECIAL CONSIDERATIONS

The Owner would prefer the new subdivision street to be publically maintained and is willing to construct the roadway to a 56-foot right-of-way in accordance with City's Master Plan Update. Future roadway connectivity to the south has also been accommodated to allow a future roadway to be constructed to the south in the event that parcel is developed. That would create multiple access points to both developments.

The Owner would also like for the Parks Department to consider taking the common area out of the total open space requirement for the cash-in-lieu fee.

P.O. Box 338
1508 Stampede Avenue
Cody, WY 82414
PH: 307.587.3411
FAX: 307.527.5182



EASEMENTS

A utility easement will be acquired at the southwest corner of the development through the proposed common element to provide access to the existing overhead power line connecting the existing minor subdivision to the street. Another utility easement will be provided at the boundary of the east limit of the property for access to the overhead utilities that run north and south. Finally, another easement will be obtained to provide a corridor for future street connectivity at the east end of the subdivision.

CONTACT INFORMATION

Engineer (Main Contact):

David Bergh, PE
GDA Engineers
PO Box 338
1508 Stampede Ave.
Cody, WY 82414
307-587-3411
dbergh@gdaengineers.com

Owner:

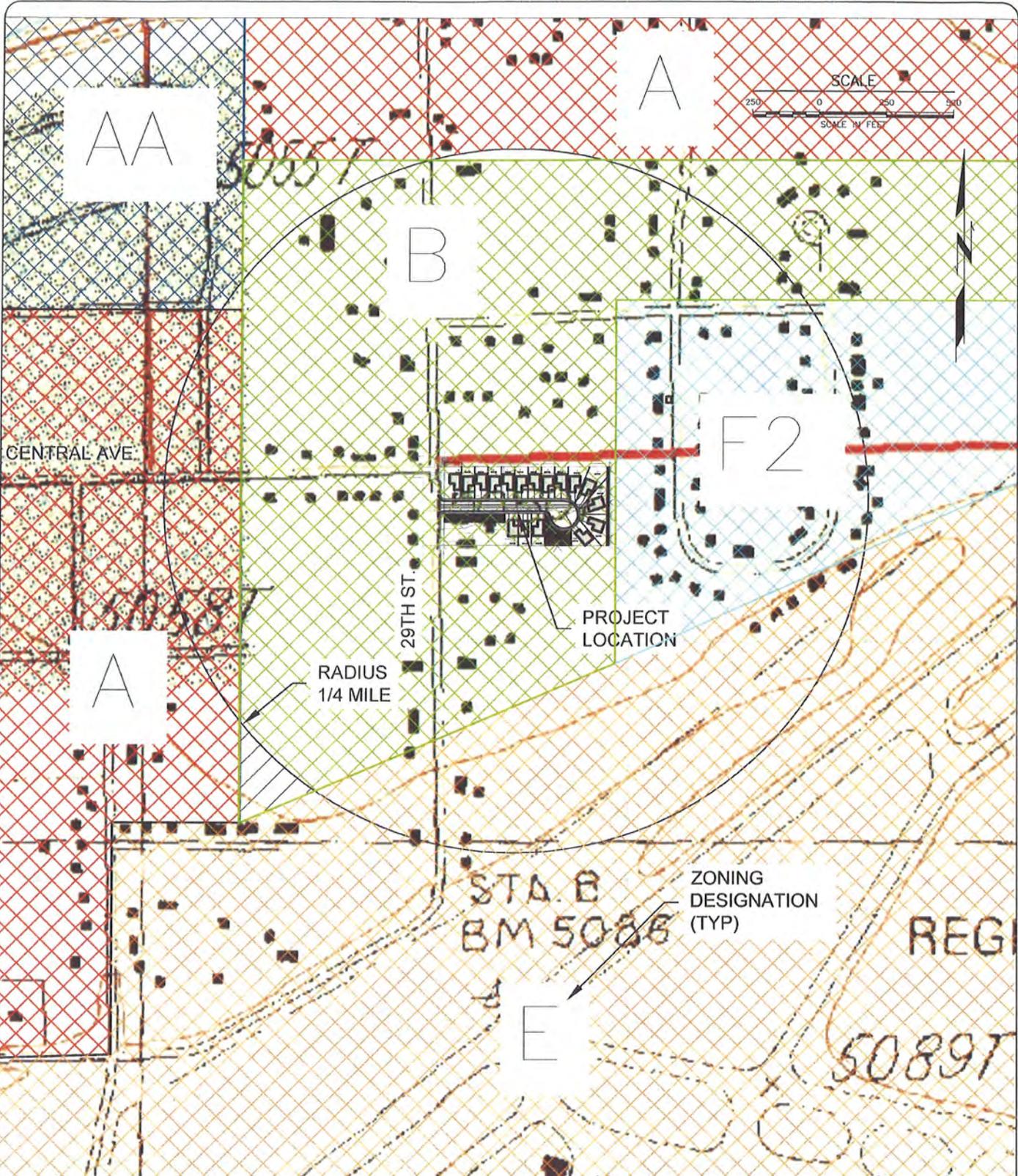
Jerry Thiel
Jerry Thiel and Sons Construction
PO Box 1566
3616 Big Horn Ave.
Cody, WY 82414
307-527-6401
jthiel@tctwest.net

If you should have any questions or require any additional information, please do not hesitate to contact myself.

Sincerely,
GDA Engineers



David A. Bergh, PE
Project Manager



J & K MAJOR SUBDIVISION

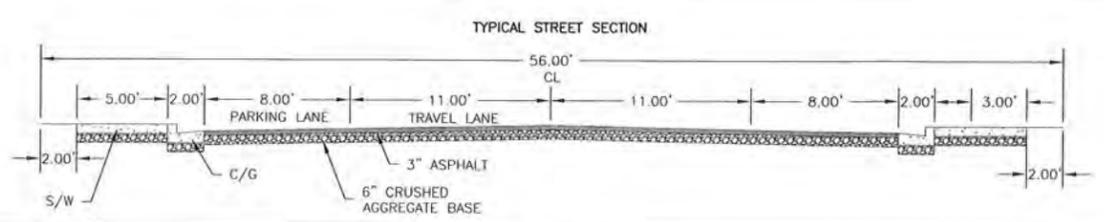
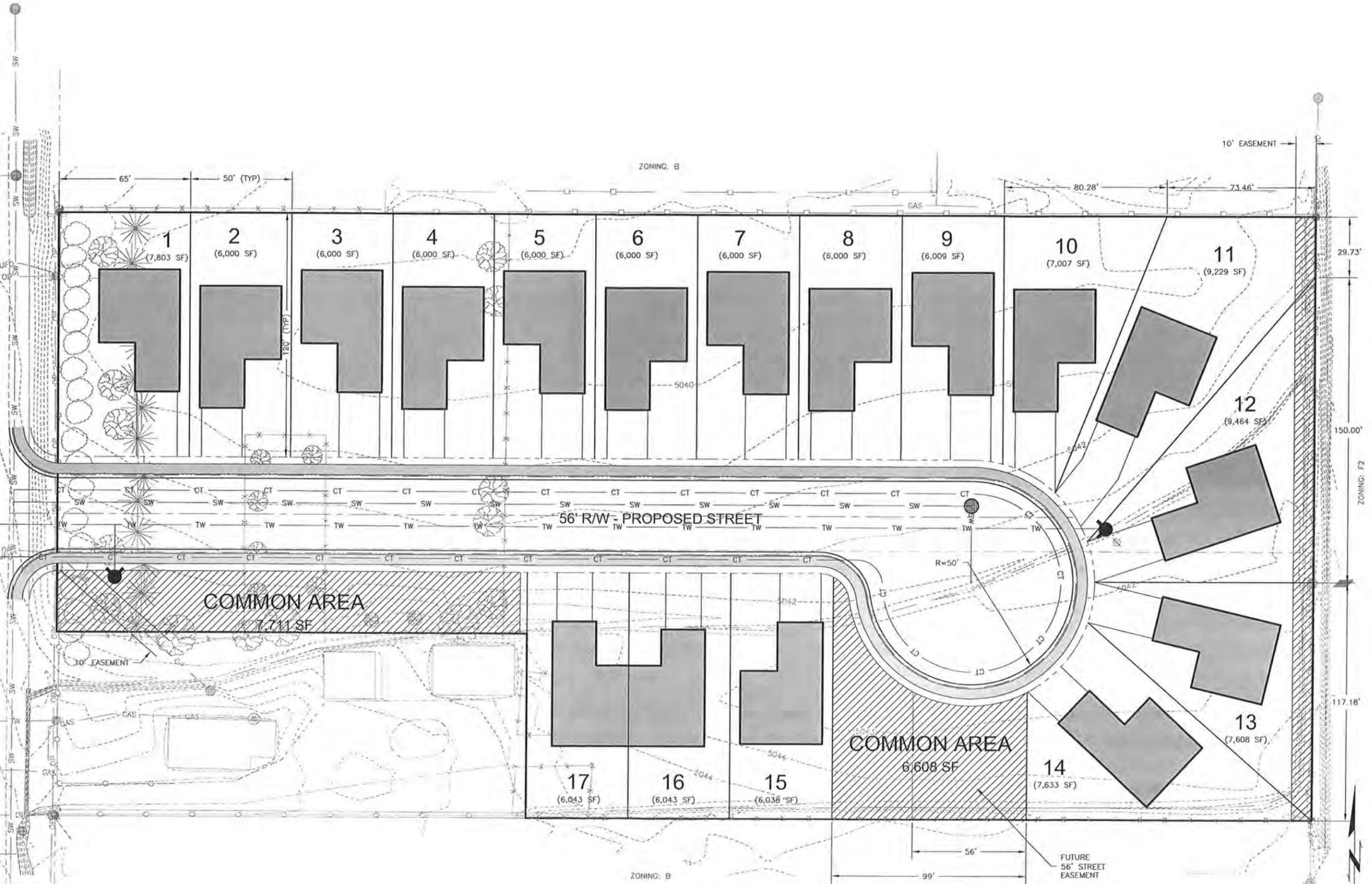
DATE: 8-20-13

GDA
ENGINEERS

ENGINEERING • SURVEYING • PLANNING

CENTRAL AVE
PUBLIC 80' R/W

29TH ST - PUBLIC 80' R/W

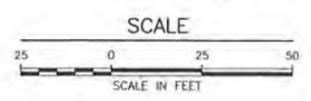


NOTES:
EXISTING USE--UNDEVELOPED ZONE B
PROPOSED USE--RESIDENTIAL ZONE B

ENGINEER:
DAVID BERGH, PE
GDA ENGINEERS

OWNER:
JERRY THIEL
JERRY THIEL AND SONS CONSTRUCTION

MINIMUM SETBACKS 15' FROM STREET, 5' FROM PROPERTY LINE



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 24, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: SIGNAL HILL OFFICE BUILDING SPR 2013-31	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Ted Williams, as owner of Signal Hill Company, and Brian Johnson, as architect, have submitted an application for development of a 5,237 square foot office building at 1525 18th Street. The property is between the 17th Street hill and 18th Street, in the General Business (D-2) zoning district.

The property is largely vacant, but contains an old 352 sq. ft. dwelling that will be removed. The new building will be provided with new utility services. The main level of the building would be 2,893 square feet (not including private garage), and the basement level would be 2,344 square feet.

Architectural, landscaping, and site plan drawings are included in the application, yet full civil drawings have not been provided. The intent is to review the current plans and if the parking and layout situations are acceptable, provide the full civil drawings later.

Existing Conditions:





REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Residence	D-2 General Business
East	Residences	Residential "B"
South	A-1 electrical contractor	D-2 General Business
West	Residential uses across highway.	D-2 General Business

Architecture:

The architectural drawings and elevations are attached. It is a high-quality modern building, sided with earth toned E.I.F.S and stained fir beams and banding. Fascia, trims and flashing are black metal to match the windows. The architect indicates that the plan has changed somewhat from the rendering in that a standard hipped roof would be used, which would eliminate the "lookout" extension above the roofline. Also, as noted on the plans, the deck has been eliminated. Due to fire/building code the

eaves will likely be trimmed back somewhat. Even with these changes the building's architectural quality exceeds other commercial buildings in the immediate area.

Landscaping:

The proposed general landscaping plan has been provided. It includes grass, limestone landscaped beds, and a landscaped courtyard area. The quality will be reflective of the high-quality architecture of the building. While all landscaping details are not provided, most of the basic factors are noted, including an automatic irrigation system, sleeves under the pavement to extend irrigation to all parts of the site, and type of groundcover. An existing raw water tap is shown on the plans at the northeast corner of the property.

Parking:

The parking ordinance requires office buildings to provide one space per 250 sq. ft. of gross floor area. The 5,237 square feet of office building (w/o garage) would require 21 parking spaces according to the standard ratio. The site plan shows 12 spaces. The parking ordinance allows the Planning and Zoning Board to consider other appropriate parking ratios "based on reliable data, such as parking data from a highly comparable facility or a parking demand study prepared by a qualified parking consultant or engineer". The application does not extensively address the reasoning and the applicant may wish to expand on the point at the hearing.

In this instance, the floor plan has been provided, which shows only six offices and one open work area. The offices are almost all large executive suites, rather than "cubicles", and therefore parking demand would reasonably be less. The twelve parking spaces equate to two spaces per individual office. There is some concern that a remodel of the facility in the future could result in a much higher capacity and parking demand, so the Board may wish to condition any relief from the standard parking ratio to only apply to the "executive suite" type layout.

One ADA parking space is required and is shown on the landscape plan. The dimensions need to be modified to meet van-accessible standards—an 11-foot wide stall and minimum 5-foot wide unloading area. There is not sufficient detail to determine if the ADA access routes meet applicable codes.

The dimensions of the standard parking spaces and driveway meet code. The parking lot and access drive will be paved.

The parking ordinance requires any parking facility that will be used at night to have illumination. No illumination is shown in the general parking area.

Exterior Lighting

Proposed exterior lighting is limited to under-eave light fixtures, which is an acceptable method to avoid lighting impacts to neighboring properties.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

The proposal is a permitted use in the D-2 zone. There are no specified zoning setbacks or height limits in this zone. No buffers are required for this proposal. There was some question about proper building code setbacks from the tier hillside along 17th Street, but that issue has been adequately addressed to meet code.

Storm Water Plan:

An engineered storm water plan is required, but has not been received as of the time of the staff report.

Snow Storage

The snow storage areas are shown in the landscaped areas and along the entrance.

Utility Services

The building will utilize domestic and irrigation water, power, gas, and sewer service. The 4" sewer service, 4" fire line, and 1 1/2" domestic water services will be new. Due to the size of the fire line, DEQ review will be required. The location of the sewer connection needs to be adjusted to be just downstream of the manhole, rather than into the manhole. Electrical service has been coordinated with the electrical superintendent, and connection is possible. Fees will be required for electrical service, sewer, and water, according to the adopted schedule. Gas, phone, and other private utilities will need to be coordinated with those providers.

Signage

The submittal does not include a sign application. A sign permit will be needed for any signage.

Hydrants

A fire hydrant exists on the west side of 18th Street, south of the property.

Frontage Status

18th Street is a city street with curb, gutter, and streetlights. Sidewalk does not currently exist along the frontage of this lot or the lot to the north. Immediately south there is an asphalt parking area, but no concrete sidewalk. No sidewalk exists on the east side of 18th Street in this area. South of the parking area is sidewalk along the mini-storage and hotel properties.

A portion of the curb along this property was removed at some point (appears to have been jackhammered or otherwise knocked off). Much of that area will be modified to serve as the entrance drive (details yet to be provided), but some is outside of the entrance drive. Staff suggests that the Board require the broken curb located outside of the entrance drive to be replaced and sidewalk installed behind it to city standards.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Table, approve, or deny the site plan with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board give direction as to the parking requirements and general site plan conditions, but require review and approval of the yet to be submitted civil drawings and storm water plan by either the Board or staff.

Applicable conditions would be as follows:

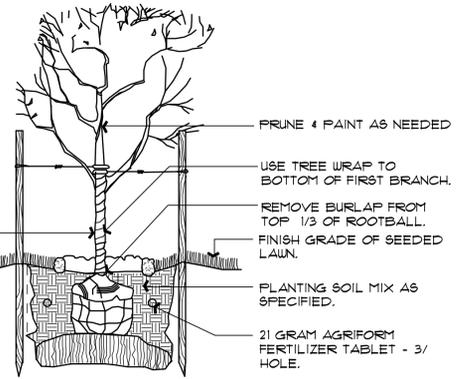
1. Review and approval of the storm water plan by the City engineer.
2. That parking lot lighting be added to the civil plans, and installed.
3. That the ADA parking space and accessible route to the building be included on the civil drawings according to applicable code.
4. That curb and sidewalk be installed along the frontage of the property to city standards.
5. That occupancy of the building is limited to the "executive suite" type layout proposed, unless additional parking analysis is provided and reviewed by the Planning and Zoning Board.
6. That final utility details be reviewed and approved by the public works director.
7. That the project otherwise comply with the site plan and applicable building, fire, and electrical codes.
8. That the storm water facilities be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to building occupancy.

PROVIDE 3 STAKES TYPICAL 2"x 2" 8'-0" STL. TREE STAKES PLACED PARALLEL W/ PREVAILING WIND, FASTENED TO STAKES W/ 12 GA. WIRE RUN THROUGH GROMMETED CANVAS TRUNK PROTECTORS, ATTACH GUYS ABOVE 1st BRANCH OR AT A POINT APPROX. 1/3 THE OVERALL HEIGHT.

TOP OF BALL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT ORIGINALLY BORE AT NURSERY

TREE CALIBER TO BE MEASURED 9" ABOVE GRADE.

SET BALL ON 9" TAMPED MOUND OF PLANTING SOIL MIX.



2 TYPICAL TREE PLANTING DETAIL

L1.1 N.T.S.

ZONING COMPLIANCE & PARKING VARIANCE REQUEST

1535 18th STREET
CODY, WY

LEGAL: LOT 9, 10, SOUTHERN PORTION OF LOT 8 (BELOW PARCEL 'A') OF THE EAST TERRACE OF THE AMENDED TERRACE SUB., CITY OF CODY, TRACT 79, T.53N., R.101W., 6th P.M., PARK COUNTY, WYOMING

ZONING: D-2

CONSTRUCTION TYPE: TYPE V-B

LOT COVERAGE: ALLOWED = NO DEFINITION IN TITLE 10 REGULATIONS
ACTUAL = 5751 sf/ 15,789 sf = 36%

ALLOWED = NO DEFINITION IN TITLE 10 REGULATIONS
ACTUAL = 24'-8"

SETBACKS: NONE DEFINED IN TITLE 10 REGULATIONS

STREET SIGNAGE: NONE

PARKING: REQUIRED: 4 STALLS per 1,000sf of OFFICE AREA
***15 SPACES**

PROVIDED: 10 SPACES +plus- 2 GARAGE SPACES
12 TOTAL SPACES

USE
THE BUILDING HAS BEEN DESIGNED FOR USE AS A PRIVATE PROFESSIONAL OFFICE FACILITY FOR SIGNAL HILL COMPANY, LLC. CLIENTS VISITING THIS COMPANY ARE MINIMAL THROUGHOUT THE YEAR, AND THE MAIN USERS OF THE STRUCTURE WILL BE EMPLOYEES OF SIGNAL HILL COMPANY, LLC. CURRENTLY, THE COMPANY HAS 1 EMPLOYEE (IN ADDITION TO THE OWNER) THAT LEASES A SMALL OFFICE IN THE BIG HORN FEDERAL BANK BUILDING 2 BLOCKS SOUTH OF THIS NEW SITE.

THE OWNER IS LOOKING TO DESIGN A NEW OFFICE SPACE SO THAT HE CAN CENTRALIZE HIS HOME OFFICE WITH HIS BUSINESS MANAGER'S OFFICE AND PROVIDE SOME ADDITIONAL SPACE FOR GROWTH OF UP TO FIVE (5) TOTAL STAFF MEMBERS.

DESIGN
THE SITES UNIQUE VIEWS AND SLOPE TO THE WEST MADE IT ADVANTAGEOUS FOR THE INCORPORATION OF A DAY-LIT LOWER LEVEL. THE BUILDINGS DESIGN TAKES ADVANTAGE OF THE WESTERLY VIEWS FROM THE MAIN LEVEL, AND THE BASEMENT ALLOWS THE FOUNDATION SYSTEM TO REST ON NATIVE SOIL WITHOUT THE ADDED EXPENSE OF OVER-EXCAVATION OR PIERS. ARCHITECTURALLY, THE ADDITION OF THE SQUARE FOOTAGE IN THE LOWER LEVEL WAS SOLELY INFLUENCED BY THE CHARACTERISTICS OF THE SITE. WHILE IT WILL BE USED PREDOMINANTLY FOR SIGNAL HILL STORAGE, THE STRUCTURE LENDS ITSELF FOR A MORE PRIVATE OFFICE AREA FOR THE SIGNAL HILL OWNER AT THE NORTHWEST CORNER OF THE LOWER LEVEL. THE REMAINING SQUARE FOOTAGE OF THE LOWER LEVEL HAS BEEN DESIGNED FOR BUILDING SUPPORT SPACES SUCH AS THE MECHANICAL ROOM, RECORDS STORAGE, AND AN INFORMATION TECHNOLOGY ROOM.

VARIANCE REQUEST
A SIGNIFICANT CITY EASEMENT OF APPROXIMATELY 35ft RUNS PARALLEL TO THE SITE'S EASTERN PROPERTY LINE. ADJACENT SITES HAVE BEEN "GRANDFATHERED IN" TO UTILIZE THIS CITY PROPERTY FOR THEIR PARKING AREAS THEREBY ALLOWING THEM TO TAKE FULL ADVANTAGE OF THEIR ENTIRE PROPERTY FOR BUILT STRUCTURE. WHILE WE BELIEVE OUR BUILDING IS SITED/SIZED APPROPRIATELY WITHIN OUR BOUNDARIES, WE WOULD RESPECTFULLY REQUEST A VARIANCE TO AVOID OVER-PARKING OUR SITE AND DESTROYING OUR LIMITED GREEN SPACE WITH PAVED AREA.

WE ARE REQUESTING A VARIANCE TO 12 PARKING SPACES (10 ON-SITE & 2 GARAGE). OUR REQUEST IS BASED NOT ONLY ON THE OWNER'S INTENDED USE OF THE BUILDING AS A PERSONAL OFFICE FOR HIMSELF AND SIGNAL HILL'S LIMITED EMPLOYEES, BUT ALSO THE PRESERVATION OF THE PROPERTY'S LIMITED GREEN SPACE ALONG THE EASTERN FRONTAGE WHICH WILL BE DESIGNED AS AN OUTDOOR COURTYARD AREA.

*CALCULATION: MAIN LEVEL SQUARE FOOTAGE (NO Garage)... 2,930sf
LOWER LEVEL (office area only) = 975sf
TOTAL OFFICE SF = 3,905sf

PARKING VARIANCE REQUEST:

LANDSCAPE NOTES

IRRIGATION
GEN'L CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM, FINAL GRADING, PLACEMENT OF TOPSOIL, AND PLACEMENT OF PLANT MATERIALS.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE IRRIGATION SYSTEM FOR ALL PLANTED AREAS, CONSISTING OF SPRINKLER HEADS, DRIP SYSTEMS, CONTROLLER(S), VALVES, VALVE BOXES, VACUUM BREAKER, SHUT-OFFS, BLOW-OUTS, UNDER PAVEMENT SLEEVES AND ALL OTHER MATERIALS AND EQUIPMENT NECESSARY TO SATISFACTORILY PROVIDE AN ADEQUATE IRRIGATION SYSTEM FOR THE LANDSCAPING AS DESIGNED. THE PROPOSAL SHALL BE A DESIGN-BUILD PACKAGE, TO INCLUDE ALL COSTS FOR DESIGN, MATERIALS, INSTALLATION, START-UP, TRAINING FOR THE OWNER, AND WARRANTIES FOR ONE YEAR. IN GENERAL, PROVIDE SPRINKLER HEADS (COVERED POP-UP HEADS IN LAWN AREAS) TO ADEQUATELY COVER AS LARGE AN AREA AS POSSIBLE BUT PROPERLY SPACED FOR ADEQUATE COVERAGE WHERE SHRUBS AND GROUND COVER MAY RESTRICT BROAD COVERAGE. PROVIDE PVC SLEEVES UNDER PAVING AND/OR SLABS FROM ONE LANDSCAPED AREA TO ANOTHER AS WELL AS FROM THE BUILDING AS REQUIRED TO PROVIDE A MAINTAINABLE PIPING AND WIRING SYSTEM WITHOUT DEMOLITION OF THE PAVING OR CONCRETE. PLACE SPRINKLER HEADS NO CLOSER THAN 3' FROM THE BUILDING AND DO NOT ALLOW SPRAY ON BUILDING. PROVIDE DRIP IRRIGATION TO ALL PLANTING/SHRUBS ADJACENT TO BUILDING AND TO TREES IN THE BLVD.

COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND PERFORM ALL ELECTRICAL WORK IN CONFORMANCE WITH THE CURRENT NATIONAL ELECTRICAL CODE.

COORDINATE ALL WORK WITH OTHER CONTRACTORS AND SUBCONTRACTORS ON THE JOB. BE PARTICULARLY AWARE OF OTHER UNDERGROUND SERVICES, UTILITIES, AND CONSTRUCTION. DAMAGES TO THE PROPERTY OR WORK OF OTHERS AS A RESULT OF INSTALLATION OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR AND SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER. SEE SITE CIVIL SHEETS FOR GENERAL LOCATIONS OF UTILITIES, NOTES, AND OVERALL SITE NOTES. RESTORE EXISTING ADJACENT LANDSCAPING AND IRRIGATION SYSTEMS.

ALL IRRIGATION SYSTEM MATERIALS TO BE COMMERCIAL GRADE. BEFORE ANY IRRIGATION SYSTEM MATERIALS ARE DELIVERED TO THE JOB SITE, SUBMIT TO THE ARCHITECT A COMPLETE LIST OF ALL IRRIGATION SYSTEM MATERIALS, IDENTIFYING MANUFACTURERS AND MODEL NUMBERS, PROPOSED TO BE FURNISHED AND INSTALLED, ALONG WITH A DESIGN-BUILD LAYOUT OF THE SYSTEM. ALL HEADS TO BE BY THE SAME MANUFACTURER.

THIS CONTRACTOR SHALL TEST THE SYSTEM TO BE LEAK-FREE WITH ALL VALVES AND HEADS IN PLACE, AS APPROPRIATE, PRIOR TO BACKFILL OF TRENCHES. MAINTAIN 90-100 PSI FOR A MINIMUM OF 2 HOURS.

PROVIDE RECORD DRAWINGS OF THE SYSTEM FOR THE OWNER ALONG WITH AN EQUIPMENT MANUAL FOR ALL ITEMS INCLUDED IN THE SYSTEM.

THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED TO GIVE SATISFACTORY SERVICE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER OR SUBSTANTIAL COMPLETION, WHICHEVER IS LATER. SHOULD ANY TROUBLE DEVELOP WITHIN THE ONE-YEAR WARRANTY, THE TROUBLE SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER. AT THE END OF THE IRRIGATION SEASON OF THE FIRST YEAR OF OPERATION, THIS CONTRACTOR IS TO WINTERIZE THE ENTIRE SYSTEM, INCLUDING DRAINING AND BLOWOUT AS REQUIRED, AND TO INSTRUCT THE OWNER/MANAGER IN THE PROCEDURES FOR SPRING START-UP.

GRADING AND TOPSOIL

GENERAL CONTRACTOR TO FINISH COMPACTION AND ROUGH GRADE THE SITE IN PREPARATION FOR THE PLACEMENT OF THE TOPSOIL AND OTHER PLANT MATERIALS.

VERIFY THE AMOUNT OF TOPSOIL WHICH EXISTS ON SITE & HAVE G.C. STOCKPILE. ADDITIONAL TOPSOIL IS TO BE PROVIDED BY THE LANDSCAPE CONTRACTOR AS REQUIRED. A MINIMUM OF 6" OF TOPSOIL IS TO BE PLACED IN NON-PAVED AREAS FREE OF COBBLES AND ROCKS, CONSTRUCTION DEBRIS, DIRT CLOUDS AND TRASH.

TOPSOIL TO BE LOOSE, FRIABLE, AND CONTAIN ORDINARY AMOUNTS OF HUMUS (1.5% MIN) AND CONTAIN NO LUMPS OR ROCKS LARGER THAN ONE INCH. IT SHALL HAVE A pH VALUE BETWEEN 8.0 AND 5.5. IT SHALL BE DELIVERED IN AN UNFROZEN, NON-MUDDY CONDITION.

GRADE ALL AREAS TO INSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND WALKS.

PLANTING MIX USED AS FILL AROUND PLANTS SHALL BE MIXED WITH PEAT MOSS AT THE RATE OF THREE PARTS SOIL TO ONE PART PEAT, WHICH IS MIXED WITH "SIERRA BLEND" 16-8-12 PLUS MINORS, OR EQUAL, SLOW-RELEASE FERTILIZER AT RATES RECOMMENDED BY MFG'R.

PLANT MATERIALS

LAWN TO BE HYDROSEED. MATCH THE GRASS TYPE AS CLOSELY AS POSSIBLE TO THE NORTH BOULEVARD GRASS.

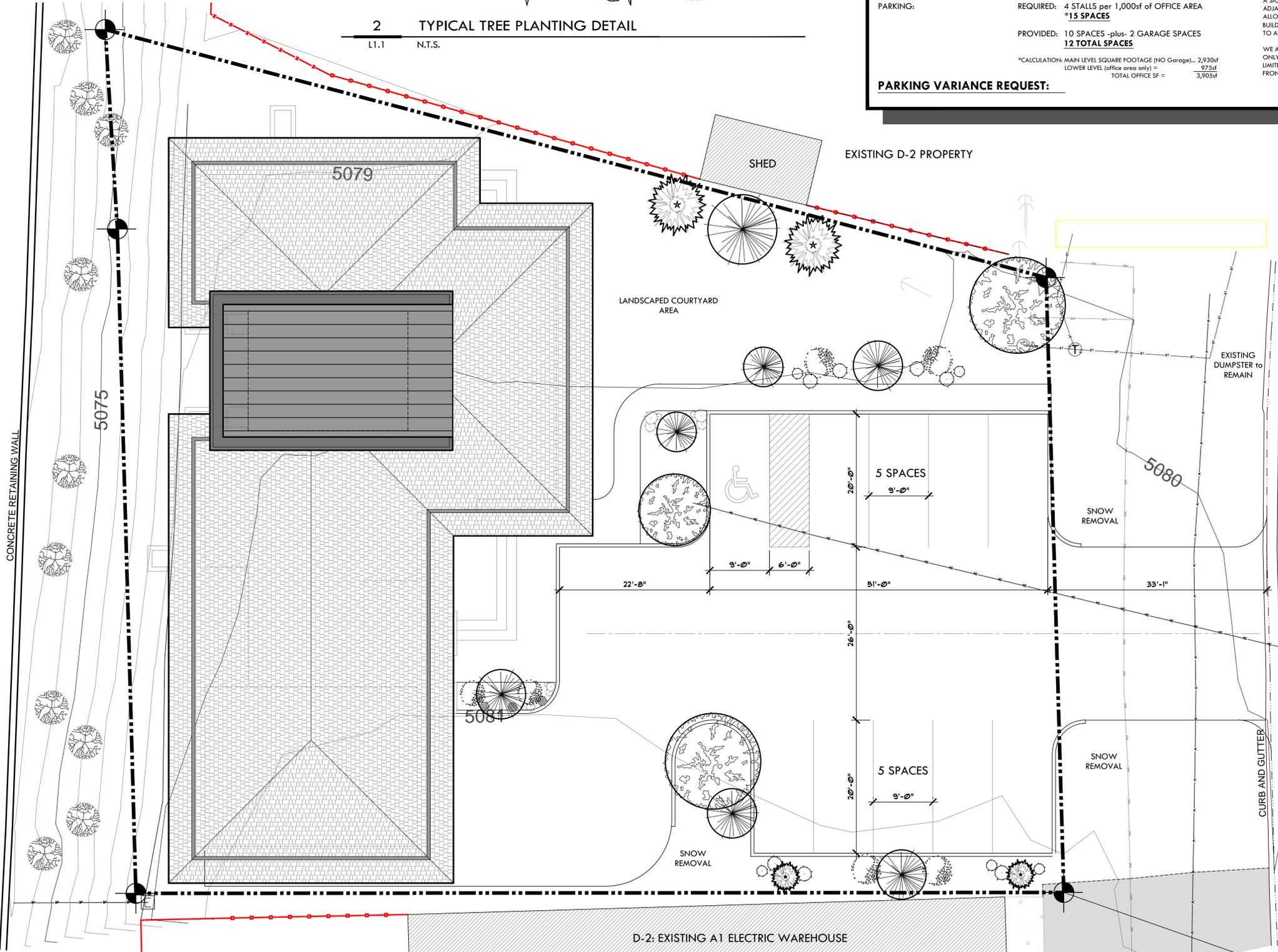
THE QUALITY AND SIZE OF PLANT MATERIALS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF THE CURRENT EDITION OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, FOR NUMBER ONE GRADE, AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, BE TAGGED WITH THEIR NAMES AND SIZES AND SHALL BE NURSERY GROWN.

ALL PLANT MATERIALS SHALL BE HANDLED AND INSTALLED ACCORDING TO RECOGNIZED STANDARDS OF THE INDUSTRY AND SHALL BE PROPERLY NURTURED, WATERED AND FERTILIZED UNTIL ACCEPTANCE BY THE OWNER OR THE DATE OF SUBSTANTIAL COMPLETION, WHICHEVER IS LATER.

ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR UNLESS IT CAN BE SHOWN THAT THEIR FAILURE TO SURVIVE WAS DUE TO NEGLIGENCE ON THE PART OF THE OWNER.

WEED BARRIER IS REQUIRED UNDER ALL SHRUB BEDS AREAS AND SHALL BE DUPONT TYPAR #3201 OR EQUAL.

GROUND COVER SHALL BE 3" MINIMUM CRUSHED LIMESTONE.



1 LANDSCAPING PLAN

L1.1 1/8" = 1'-0"



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COLLABORATIVE DESIGN ARCHITECTS

2280 GRANT ROAD - SUITE C BILLINGS, MT 59102
T. 406.248.3443 F. 406.248.3765

SIGNAL HILL OFFICES

1535 18th Street
CODY

WYOMING

PREPARED FOR:
Ted Williams
PROJECT MANAGER

BMJ
PROJECT NO:
1322

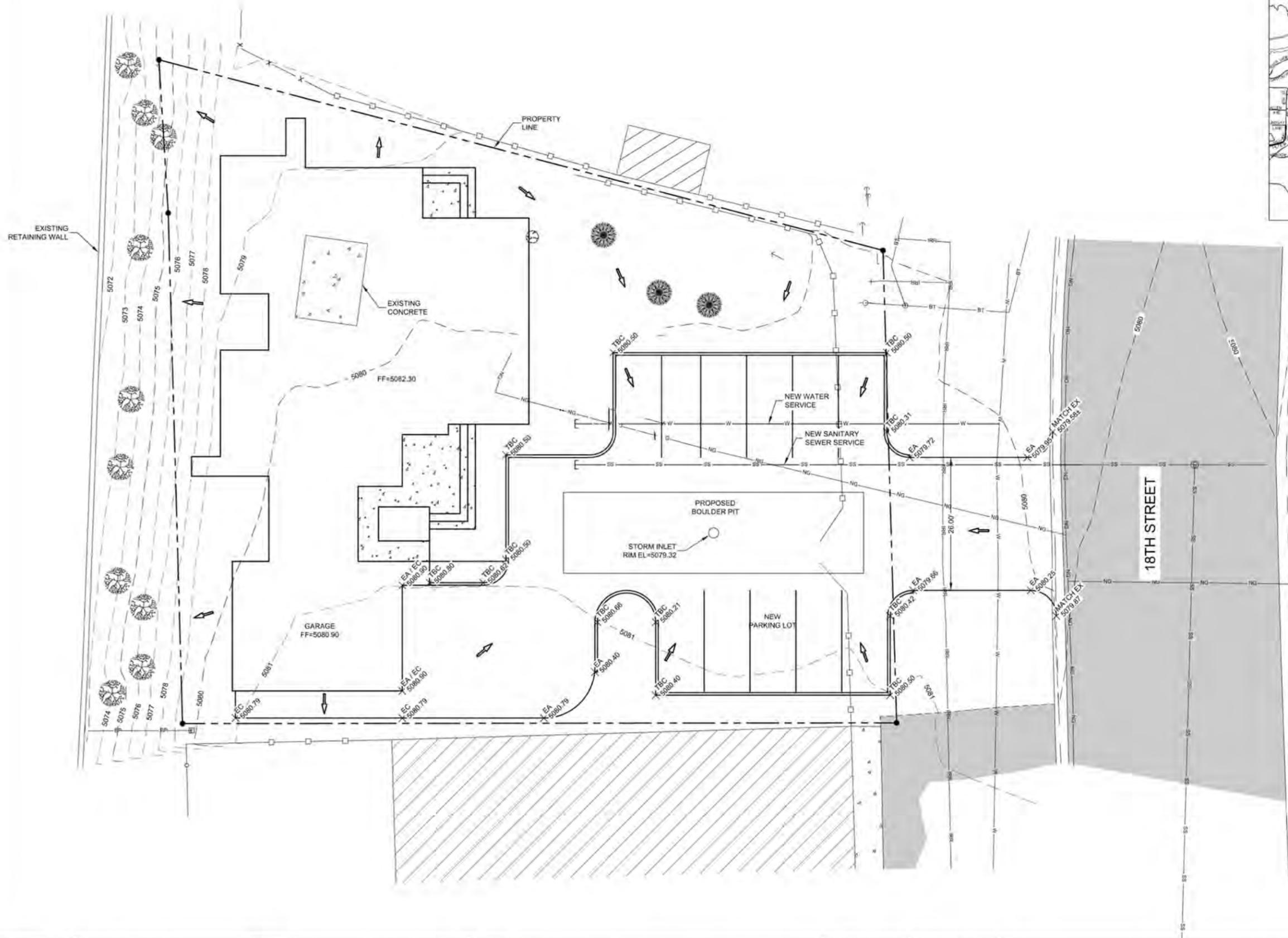
ISSUE DATES:
CITY C.S.D. REVIEW 9-9-13

C.S.D. REVIEW ARCHITECTURAL SITE & LANDSCAPING PLAN

L1.1

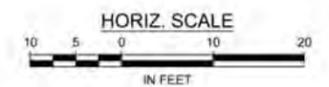
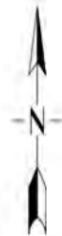


VICINITY MAP



LEGEND

- ⊞ EXISTING TELEPHONE PEDESTAL
- ⊞ EXISTING STORM DRAIN INLET
- ⊞ EXISTING STORM DRAIN MANHOLE
- ⊞ EXISTING SANITARY SEWER MANHOLE
- ⊞ EXISTING WATER VALVE
- ⊞ EXISTING FIRE HYDRANT
- 3250— EXISTING CONTOUR LINE
- BP— EXISTING BURIED POWER
- SS— EXISTING SANITARY SEWER
- BT— EXISTING BURIED TELEPHONE
- NG— EXISTING BURIED NATURAL GAS
- WM— EXISTING WATER MAIN
- SD— EXISTING STORM DRAIN
- SS— NEW SANITARY SEWER SERVICE
- W— NEW WATER SERVICE
- SD— NEW STORM DRAIN
- ⊞ EXISTING FENCE
- ➔ PROPOSED DRAINAGE DIRECTION



VERIFY SCALE!		REVISIONS			
NO.	DESCRIPTION	DATE	BY		

MORRISON MAIERLE, INC.
An Employee-Owned Company

Engineers 315 N. 25th Street, Suite 102
Surveyors Billings, MT 59101
Scientists Phone: (406) 656-6000
Planners Fax: (406) 237-1201

DRAWN BY: RLL
DSGN BY: BDS
APPR BY: BDS
DATE: 9/13
Q.C. REVIEW BY:
DATE:

CODY	SIGNAL HILL OFFICE SITE PLAN	PROJECT NUMBER 2581.008-040
	OVERALL SITE LAYOUT	SHEET NUMBER
WYOMING		DRAWING NUMBER C-1



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COLLABORATIVE DESIGN ARCHITECTS

2280 GRANT ROAD - SUITE C - BILLINGS, MT 59102 T. 406.248.3443 F. 406.248.3765

SIGNAL HILL OFFICES

1535 18th Street
CODY

WYOMING

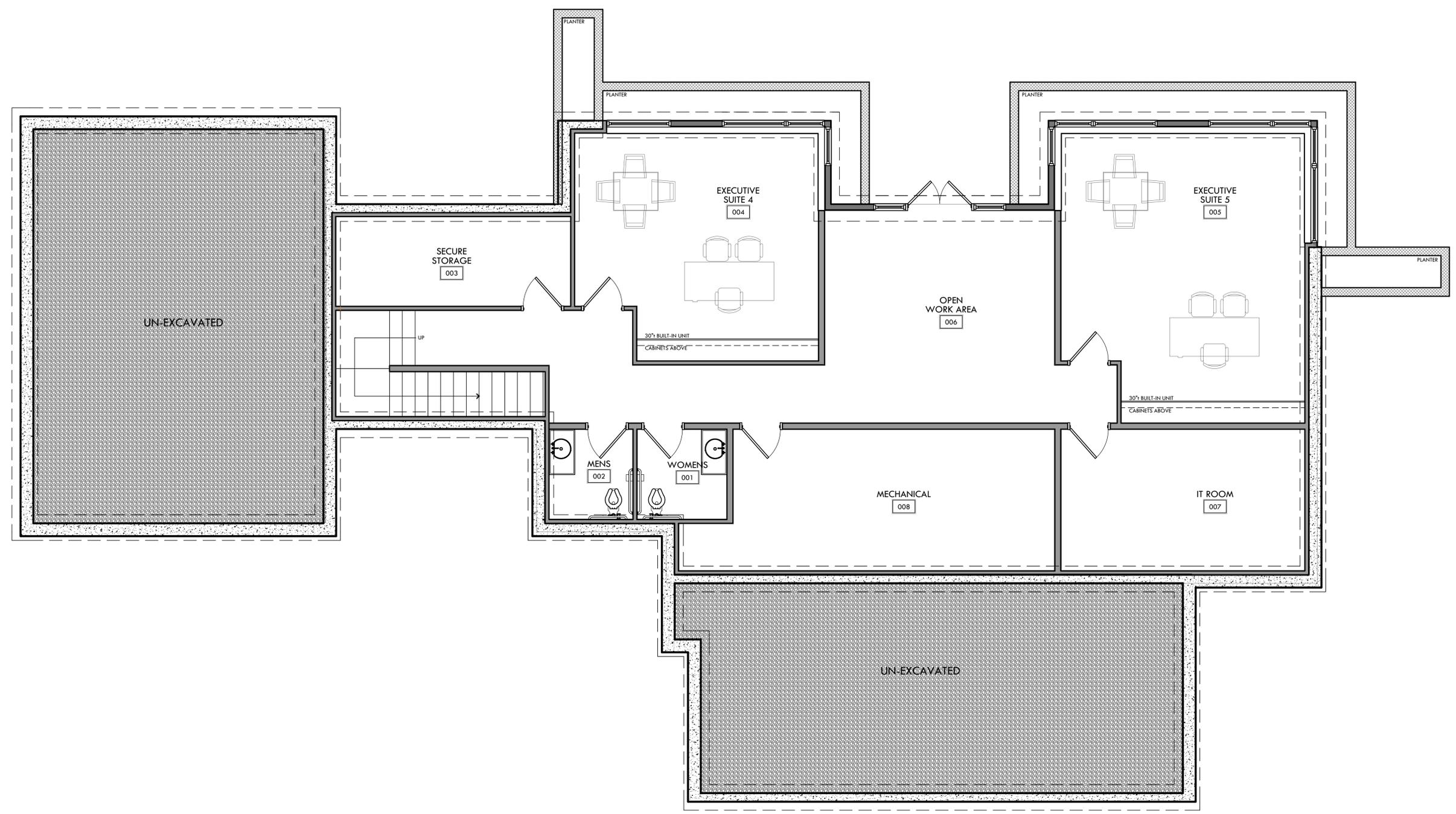
PREPARED FOR:
Ted Williams
PROJECT MANAGER:
BMJ
PROJECT NO.:
1322
ISSUE DATES:
CITY C.S.D. REVIEW 9-9-13

C.S.D. REVIEW

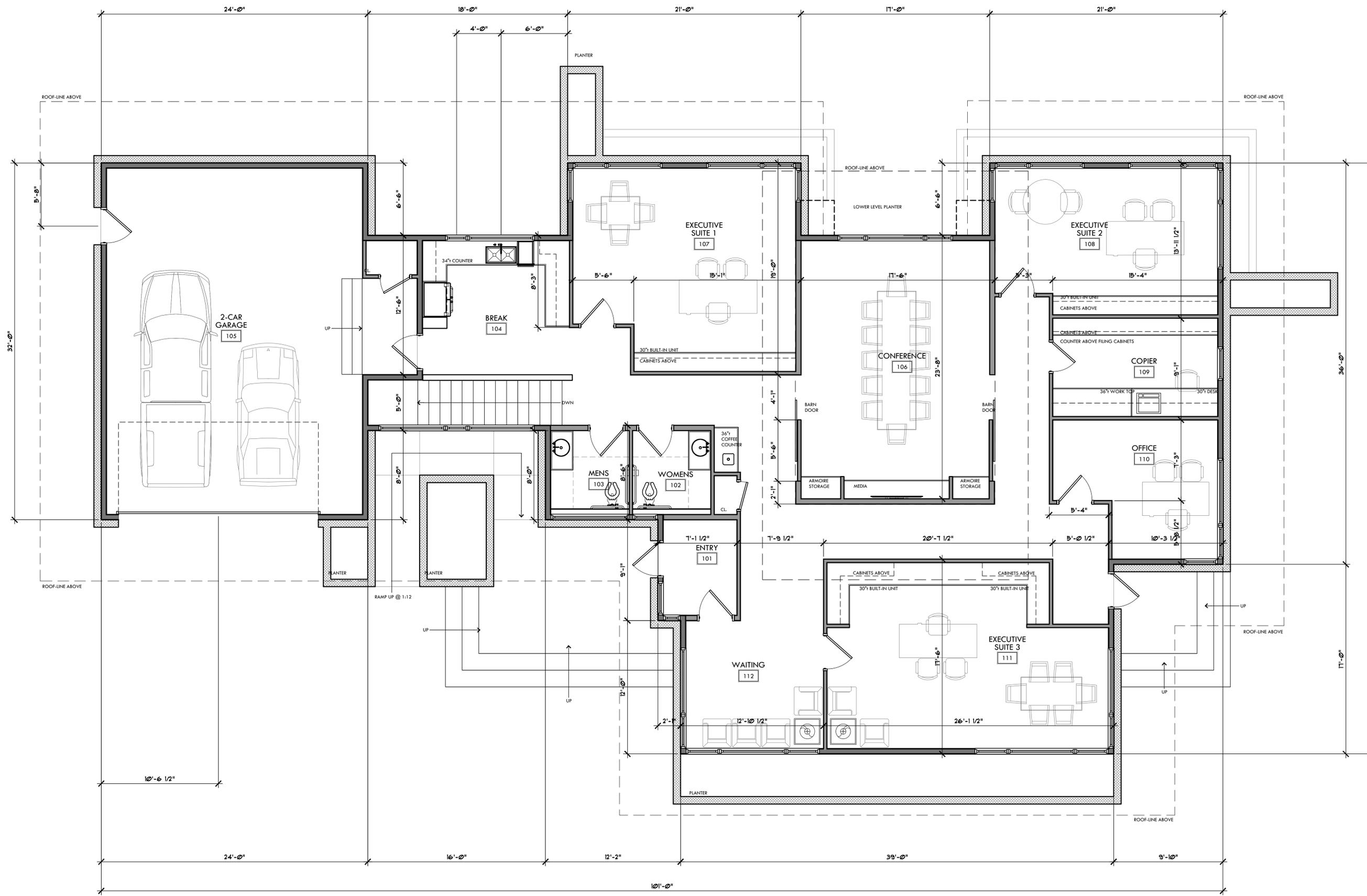


FLOOR PLAN:
LOWER LEVEL

A1.0



STORAGE/MECHANICAL/LT: 1,345 sf
OFFICE & WORK AREA: 925 sf
TOTAL SQUARE FOOTAGE: 2,320 sf



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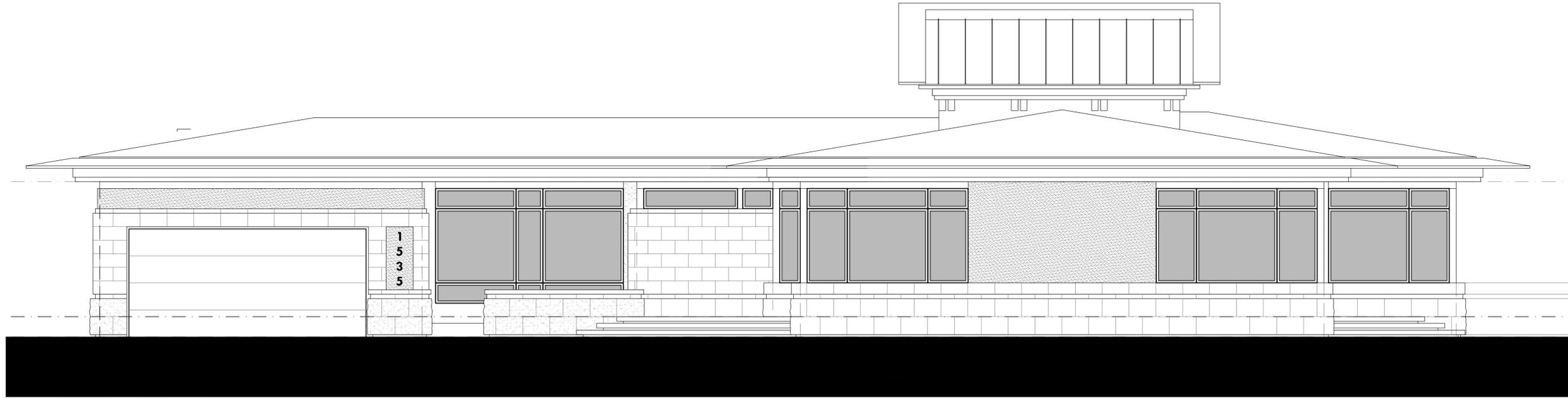
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Ted Williams
 PROJECT MANAGER:
BMJ
 PROJECT NO.:
1322

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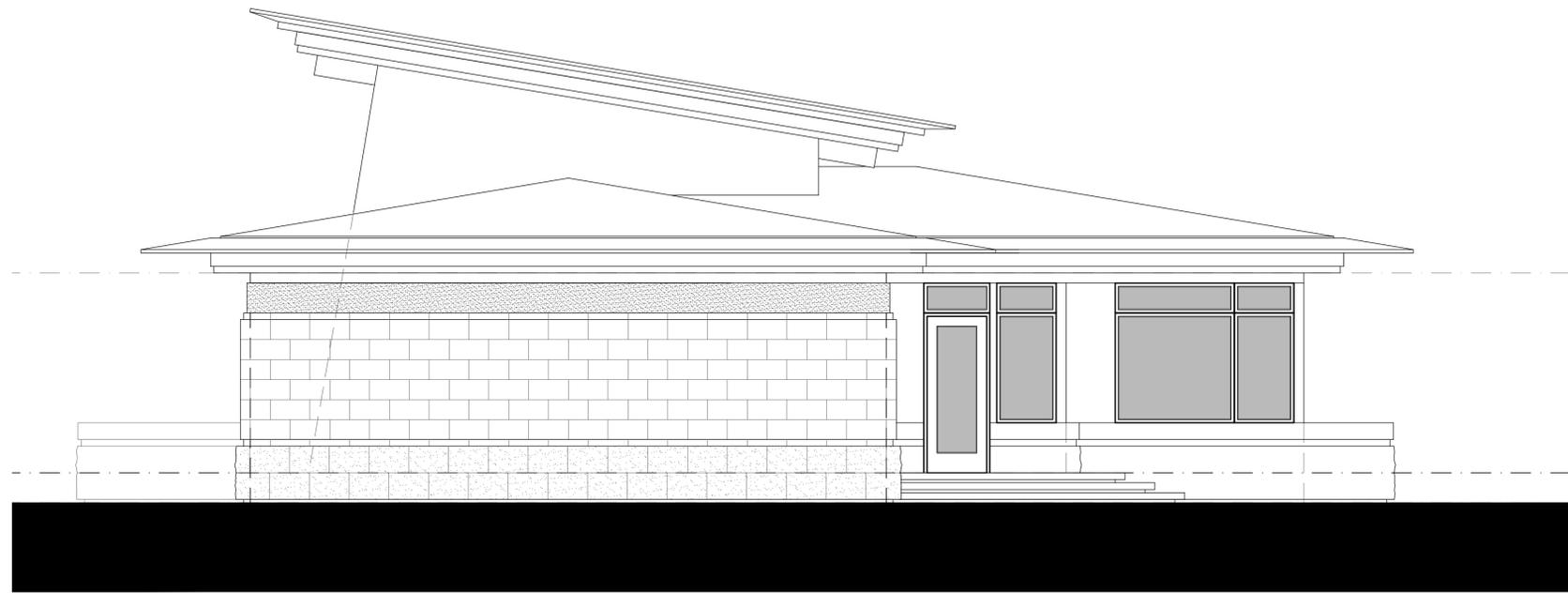
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 FLOOR PLAN:
 MAIN LEVEL

A1.1





1 EXTERIOR ELEVATION: EAST - ENTRY SIDE
A2.1 1/4" = 1'-0"



2 EXTERIOR ELEVATION: SOUTH - GARAGE SIDE
A2.1 1/4" = 1'-0"



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C.S.D. REVIEW

EXTERIOR ELEVATIONS

A2.1



1 EXTERIOR ELEVATION: WEST - 17TH ST SIDE
A2.2 1/4" = 1'-0"



2 EXTERIOR ELEVATION: NORTH SIDE
A2.2 1/4" = 1'-0"



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C.S.D. REVIEW EXTERIOR ELEVATIONS
 A2.2