

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, JUNE 11, 2013  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

**AGENDA**

1. Call to Order by Chairperson Rick Brasher
2. Roll Call, excused members
3. Pledge of Allegiance
  
4. Approval of Agenda
5. Approval of Minutes of the May 28, 2013 –Regular Meeting
  
6. NEW BUSINESS:
  - A. Downtown Architectural District Sign Review –Pat O’Hara Brewing Co. 1019 15<sup>th</sup> St. Modification of original attached wall sign proposal submitted by Leonard Moore
  - B. Downtown Architectural District Sign Review –Psychic Readings 1169 Sheridan Ave. Attached wall sign proposal submitted by Blancy Merineo
  - C. Minor Site Plan Review –Cody Cowboy Roundup at 415 Yellowstone Avenue Proposed temporary food shelter submitted by David Hollingshead
  - D. Minor Site Plan Review –Buffalo Bill Center of the West at 720 Sheridan Avenue Proposed temporary Trail Rides shed submitted by Paul Brock
  - E. Sign Review –Buffalo Bill Center of the West at 720 Sheridan Avenue Proposed modification of attached wall signage submitted by Paul Brock
  - F. Site Plan Review –GDA Engineers at 502 33<sup>rd</sup> Street Proposed professional office building submitted by Todd Kelley, PE
  - G. Site Plan Review –Gee Properties at 702 Platinum Avenue Proposed professional office building submitted by Austin Allen, Groathouse Construction
  
7. SIGN APPLICATIONS:
  - A. St. Vincent Physician Network OB/GYN—1728 8<sup>th</sup> Street Freestanding sign with electronic reader board and attached wall sign
  - B. Trees for Sale –2207 Sheridan Avenue Temporary banner
  - C. Stor-N-Lock—208 Blackburn Street Attached wall sign
  
8. P&Z Board Matters (announcements, comments, etc.)
  
9. Council Update: Steve Miller
  
10. Staff Items
  - A. Grandma’s Bazaar at 1314 Sheridan Avenue Sound producing grandma doll on bench
  
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, May 28, 2013**

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, May 28, 2013 at 12:00 PM

Present: Bud McDonald; Mark Musser; Justin Ness; Rick Brasher, Chairperson; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant;

Excused Absence: Justin Lundvall, Vice Chairperson; Kim Borer; Bob Senitte;

Chairperson Rick Brasher called the meeting to order at 12:02 PM, followed by the pledge of allegiance.

Bud McDonald made a motion seconded by Mark Musser to approve the agenda as presented. Vote on the motion was unanimous, motion carried.

Justin Ness made a motion seconded by Bud McDonald to approve the minutes of the May 14, 2013 regular meeting. Vote on the motion was unanimous, motion carried.

**PRESENTATION OF COMMUNICATIONS:**

Todd Stowell presented the staff report regarding the proposed exterior remodel at 1609 Sheridan Avenue for the Denny Menholt show room. They will be providing an ADA parking space that will be reviewed by the Building Official. An installation of a parking block may be required.

Bud McDonald made a motion seconded by Justin Ness to approve the proposed exterior remodel for Denny Menholt at 1609 Sheridan Avenue providing that the applicant work with the building official in regard to the ADA requirements. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the application submitted by Cody Laboratories, Inc. at 601 Yellowstone Avenue for the addition of an exterior sound wall. The board questioned staff regarding the landscaping issues and stressed their concern.

Bud McDonald made a motion seconded by Justin Ness to approve the application for the construction of a sound barrier wall submitted by Cody Laboratories, Inc. at 601 Yellowstone Avenue. Vote on the motion was unanimous, motion carried.

Bud McDonald made a motion seconded by Mark Musser to authorize Todd Stowell, the City Planner, to contact Cody Laboratories, Inc. at 601 Yellowstone Avenue to pass on the board's concerns regarding the landscaping.

Todd Stowell presented the staff report regarding the County Simple Subdivision application submitted by Katherine Kamm for property located at 212 North 37<sup>th</sup> Street.

Brett Farmer, Sage Civil Engineering, and Katherine Kamm answered questions from the board. Katherine Kamm explained the history of the County's vacation of the previous

turn-around. The existing fencing in relation to the possible dedicated right-of-way was discussed. Rick Brasher reviewed the staff conditions with the applicant.

Justin Ness made a motion seconded by Bud McDonald to recommend to Council approval of the preliminary plat (or sketch plan) of the Kamm Simple Subdivision submitted by Katherine Kamm with the following variances:

1. From all street improvement requirements.
2. From the alley requirement.
3. From the agreement of future annexation.
4. From the 50-foot frontage requirement.

And with the following conditions:

1. Submit the following:
  - a. Copies of all easement documents, such that it can be verified that all easements of record are shown. (Add any missing easements.)
  - b. Verification that the existing well to which the house is connected meets the County's requirements or that connection to the Northwest Rural Water tap has occurred.
  - c. A document that establishes an easement for the gas line to the lot.
  - d. Provide utility easements as required by the utility providers.
  - e. Submit a revised final plat, meeting all requirements for recording, and which reflects the conditions noted.
2. Note the variances granted on the final plat.

Vote on the motion was unanimous, motion carried.

Jolene Osborne provided the board with an update regarding recent sign approvals.

Justin Ness requested that a landscaping ordinance be developed as the board would like guidance. Additionally, he would like to see the enforcement of the landscaping be included in the ordinance. They would also like to have a time-table for the ordinance review. Todd Stowell suggested a sub-committee be formed to provide staff with some initial direction.

The sign on the Moss property in front of Cody Laboratories was discussed.

Todd Stowell has completed edits and notes regarding the Master Plan and sent the document to the consultants including all of the comments received. The consultants are planning to return the document at the end of this week. Public review release will be forthcoming with a public hearing.

Mark Musser made a motion seconded by Bud McDonald to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Rick Brasher adjourned the meeting at 1:04 PM.

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Jolene Y. Osborne  
Engineering Administrative Assistant

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	PAT O'HARA BREWING CO. SIGN, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW. SGN 2013-21	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	JOLENE OSBORNE, ENGINEERING ADMINISTRATIVE ASSISTANT	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Pat O'Hara Brewing Co., LLC at 1019 15<sup>th</sup> Street would like to modify their original sign proposal that was approved at the August 14, 2012 meeting of the P&Z Board. They propose to install one attached wall sign in the center of the front wall.

**REVIEW CRITERIA:**

The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

**STAFF COMMENTS:**

The type, location and size of the proposed sign meet the requirements for the downtown architectural zone in which the property is located. The sign size is 42 square feet and the property is allowed 75 square feet of wall signage.



*Previously Approved*



*Proposed*

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The sign does not appear to significantly affect the architectural or historic character of the building.

**ATTACHMENTS:**

Application.

**ALTERNATIVES:**

Approve the sign, with or without making recommendations and suggestions.

H:\PUBLIC WORKS\REVIEW\SIGNS\2013\SGN 2013-21 PAT O'HARA BREWING CO\STAFF RPT TO PC PAT O'HARA BREWING CO.DOCX

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	PSYCHIC READING SIGN, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW. SGN 2013-23	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	JOLENE OSBORNE, ENGINEERING ADMINISTRATIVE ASSISTANT	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Psychic Readings by Shirley at 1169 Sheridan Avenue propose to install one attached wall sign above the door using existing brackets.

**REVIEW CRITERIA:**

The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *“The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

**STAFF COMMENTS:**

The type, location and size of the proposed sign meet the requirements for the downtown architectural zone in which the property is located. The sign size is 5 square feet and the property is allowed 22.5 square feet of wall signage.



*Previous*



*Proposed*

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The sign does not appear to significantly affect the architectural or historic character of the building.

**ATTACHMENTS:**

Application.

**ALTERNATIVES:**

Approve the sign, with or without making recommendations and suggestions.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	TEMPORARY CANOPY AT CODY COWBOY ROUNDUP, ARCHITECTURAL/SITE PLAN REVIEW SPR 2013-15	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

David Hollingshead of Cody Cowboy Roundup, located at 415 Yellowstone Avenue (immediately east of Walmart), has submitted an application to install an 18' by 20' metal shelter for outdoor dining. The applicant has an itinerant merchant permit for a food cart at the site. The metal shelter will replace the fabric shelter currently at the back of the food cart. The food cart has been covered with materials to resemble a covered wagon.

Existing conditions:



**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

The overall setup of the concession food service was reviewed through the itinerant merchant application process. It did not require Planning and Zoning Review as originally there were no structures (only a vehicle/food cart), no building permits were required, and the permission was for this season only. The applicant was told that if it were to be an annual event, or if structures were included, that a full site plan review would be needed. The current application is not a full site plan review, but only for seasonal permission for the metal shelter.

Architecture:

The 18' by 20' metal shelter is a typical prefabricated carport style structure, to be utilized for a dining area. The structure would apparently be white. The height of the shelter is not indicated and should be verified, as the clearance under the shelter will need to meet building code.

Landscaping:

No landscaping exists on the property. The shelter will be set up in an existing gravel area. No landscaping is proposed.

**Development Standards:**

Setbacks

The shelter will meet applicable building and zoning setbacks.

Storm Water

As the structure is temporary and of minimal size, no storm water plan was required.

Parking

The general parking layout is shown on the site plan. While several spaces are shown, only 5 parking spaces are required for the seating area. The parking areas are asphalt and gravel. ADA parking is not required for temporary food carts.

Lighting

No exterior lighting is indicated. If lighting is added it should be of a down-lit style.

Utility Conflicts

No utility conflicts with City utility mains appear to exist with the proposed location. Utility locates still need to be called for prior to digging/anchoring to verify that no conflicts exist.

Signage

Signage for the site was previously permitted.

**ATTACHMENTS:**

Application.

**ALTERNATIVES:**

Approve or deny the project.

**RECOMMENDATION:**

Authorize the installation of the shelter, as proposed, for this tourist season, subject to:

1. Removing the shelter at the end of the tourist season.
2. Obtaining a building permit. Clearance under the shelter will need to meet applicable code.

To whom it may concern,

Cody Cowboy Roundup is a concession syle food service business focusing on a family oriented western experience. We will be serving delicious barbecue and funnel cakes for the summer season. Our original plan was to set up a tent to serve out of, however after we have seen the wind that blows on the West side of town we are concerned about the durability. We are proposing to build a temporary metal structure that is wind certified and anchored securely to the ground. The size of the structure will be 18x20. I have included a flyer from the manufacturer as well as a detail of the anchors.

Thank You,

David Hollingshead

Cody Cowboy Roundup

**RECEIVED**

**MAY 28 2013**

**CITY OF CODY**



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We manufacture a 2" x 3" tubular steel frame from 14 guage and 12 guage (stronger) steel making a durable structure manufactured to withstand snow, wind, debris and time. We also integrate an excellent steel frame protection formula called Flo-Coat that adds substantial protection and longevity to your structure.

One of the most well liked features of our carports is that they can be installed on almost any foundation surface, from dirt or grass to concrete or asphalt. You don't have to invest in an expensive concrete slab for these structures, all you need is a relatively flat surface and space and we will anchor it to the ground using pin style or auger style anchors.

No matter what you need to protect from rain, wind, snow, pollen, debris, birds, hail, sun, or sand (if you live in the desert or at the beach, you know what this means), a carport will add comfort and ease to your daily routine.



415 Yellowstone Ave

# Cody Cowboy Roundup

David Hollingshead  
(816) 872-0869

RV Parking

1 2 3 4 5

65'

Gravel Parking Spaces 10x20

10 11 12 13 14 15 16 17

Asphalt Pavement Parking Spaces 10x20

1 2 3 4 5 6 7 8

18x20 Freestanding Canopy

8x20 Food Prep trailer

Frost Proof hydrant

Menu

Proposed New sign

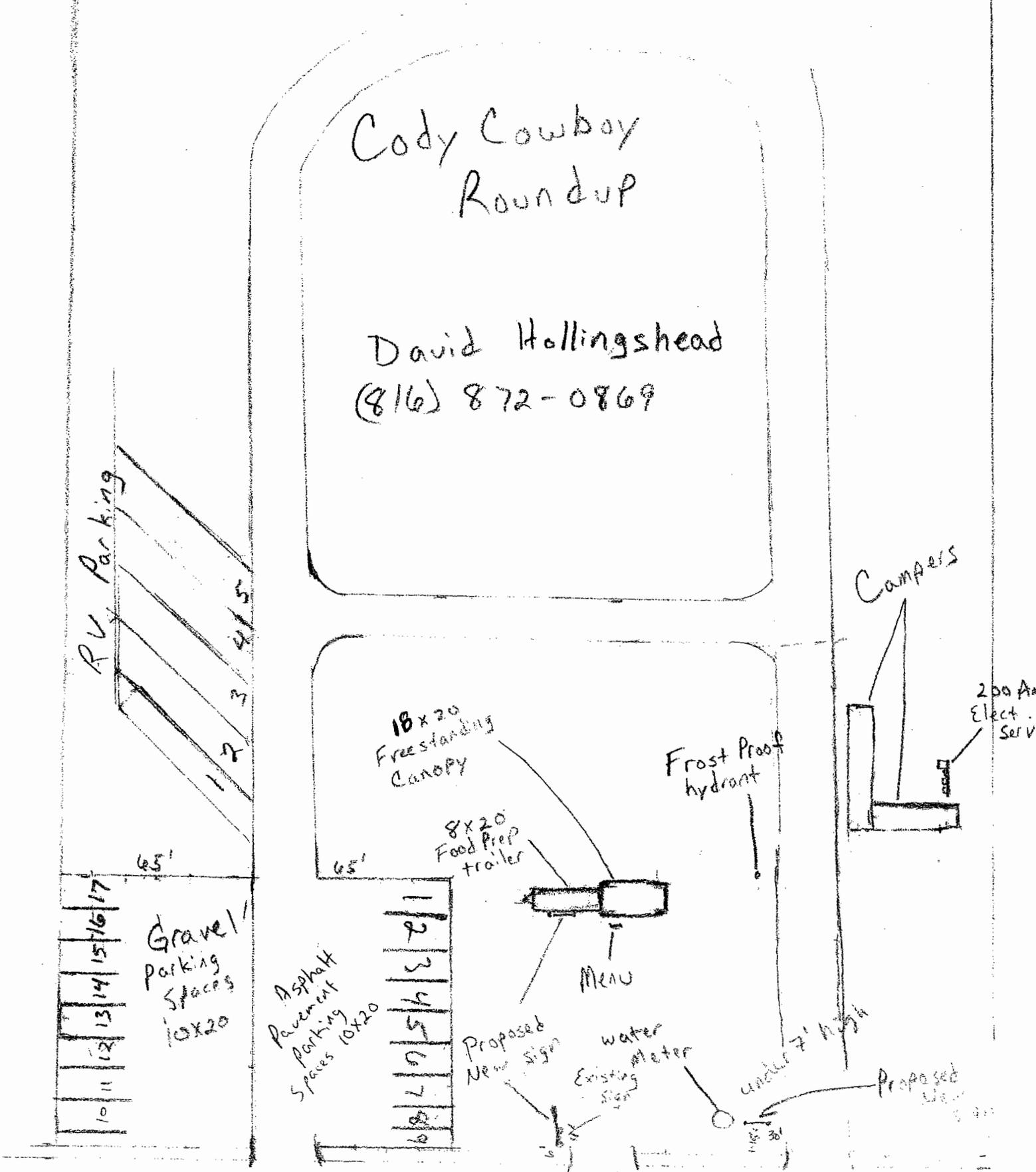
water meter Existing sign

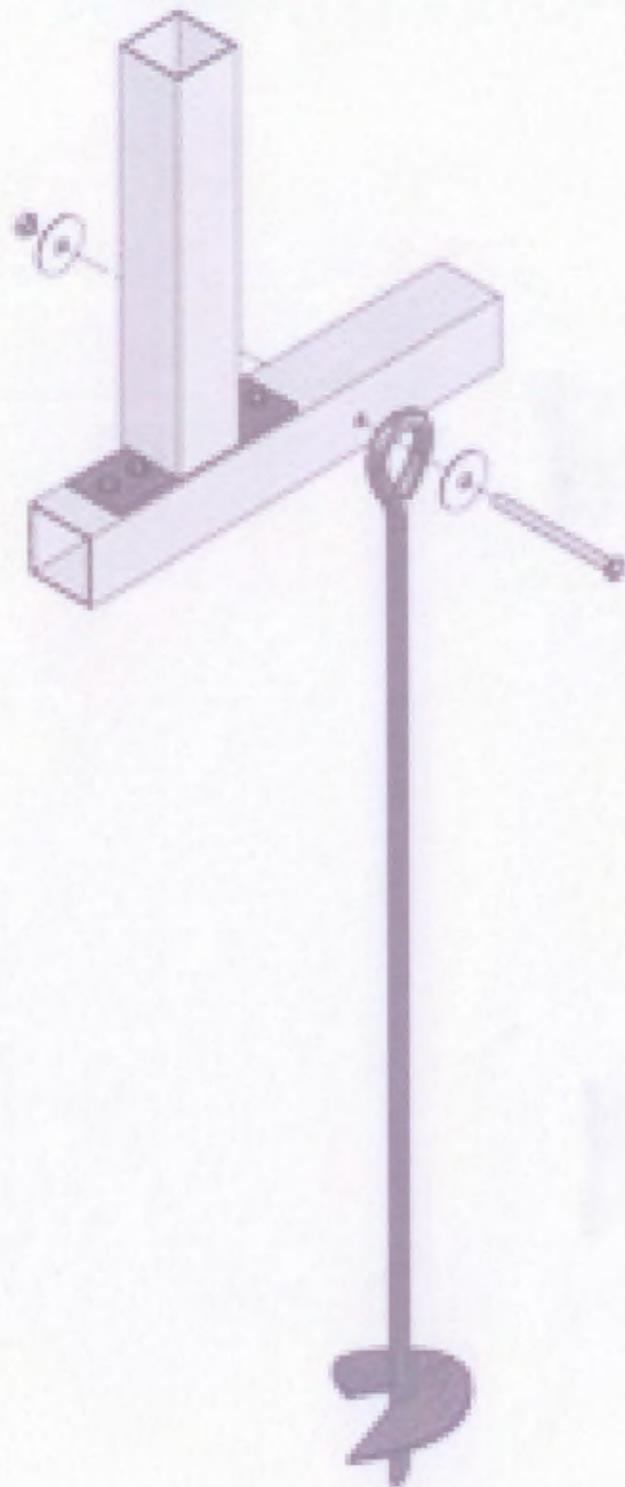
under 7' high

Proposed New sign

Campers

200 Amp Elect. Serv





**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	HORSE RIDE OFFICE AT MUSEUM SPR 2013-20	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

The Buffalo Bill Center of the West has submitted an application for a free-standing shed (booth), to be used as an office for their horse rides. A temporary banner advertising the trail rides is also proposed (approx. 2½' by 10').



**REVIEW CRITERIA:**

Section 10-10B-4 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

The applicant noted the size of the office as 12' by 8'. That dimension is for the enclosed portion. The porch is another 4 feet for a total size of 8' by 16', or 128 sq. ft. For purposes of a building permit, the Building Official is including the porch in the size calculations and indicates that a permit is required (exceeds 120 sq. ft.). The applicant was under the impression that the shed was exempt.

If a building permit is required, Section 9-2-3 applies as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

The museum is outside of the downtown architectural district.

The application notes "summer months only". Clarification is needed as to whether they are asking to have the office shed there this summer only, or ongoing, and whether the building will be removed or just closed during the off season.

Architecture:

The office is a prefabricated wood-sided shed with an asphalt shingle roof. It has been architecturally enhanced to have a western architectural style. Architecturally it reflects the western experience provided by the adjacent horse activities.

Landscaping:

No landscaping will be affected by the booth location. It is placed on a gravel maintenance path.

**Development Standards:**

The site plan review is limited, as no additional improvements are needed or justified by the small scale of the proposal. Necessary infrastructure is already in place. Site plan elements that have been reviewed are listed below.

Setbacks

The structure will meet applicable building and zoning setbacks.

Storm Water

As the structure is apparently temporary and of a minimal size, no storm water plan was required.

Parking

The booth is part of the museum experience. Sufficient parking appears to exist at the museum for this activity.

Lighting

No exterior lighting is proposed. Power is connected to the shed, so if exterior lighting is added it should be of a down-lit style.

### Signage

Signage for the proposal includes a temporary banner, mounted on a fence near the southeast corner of the parking lot along 8<sup>th</sup> Street. The banner must comply with the 120-day time limitation, but otherwise meets the sign ordinance (less than 32 sq. ft. and professional design). The "Horse Rides" sign on the shed is also within the size typically allowed in the D-2 zone, yet all exterior signage at the museum must be approved by the Planning and Zoning Board and they can authorize any amount of signage deemed appropriate.

### **ATTACHMENTS:**

Application.

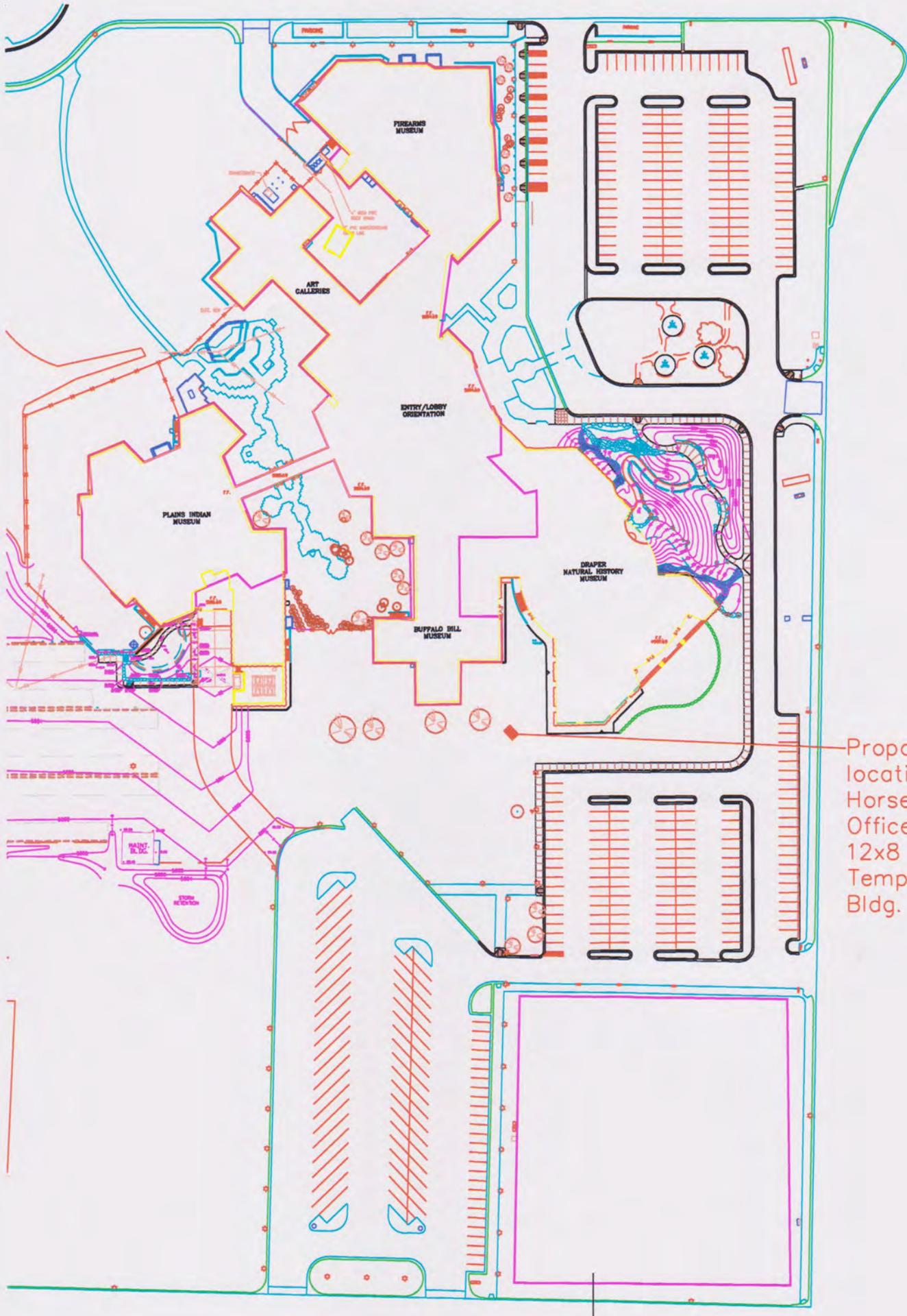
### **ALTERNATIVES:**

Approve or deny the trail ride office and signs.

### **RECOMMENDATION:**

Authorize the horse ride office as proposed subject to:

1. Removing the shelter at the end of the tourist season. (Clarify intent with applicant.)
2. Obtaining a building permit as required by the Building Official.
3. Limiting use of the temporary banner as required by the sign code (120 days).



Proposed location, Horse Ride Office, 12x8 Temporary Bldg.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: GDA OFFICE BUILDING, SPR 2013-17	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

GDA Engineers has submitted an application for development of a 9,726 square foot office building, to serve as their new Cody offices. The project is located on Lot 2 of the GC Cody subdivision, a 1.77 acre lot on the east side of 33<sup>rd</sup> Street, just south of Groathouse Construction and two lots north of Eleutian Technology.

The building has a 7,217 sq. ft. main level; 1,213 sq. ft. 2<sup>nd</sup> level; and a 1,296 sq. ft. basement. A detailed set of civil, landscaping, and architectural plans are included in the application, which outline the details of the project.

The existing shed and storage that occupy the property will be removed (currently Chuck's Lawn Care). Utilities, streets, curb and gutter, and sidewalk are provided to the property due to the past subdivision that created the lot. The demolition/existing conditions plan is shown on Sheet C1.1.

**Existing Conditions:**



**REVIEW CRITERIA:**

The property is located within the Open Business/Light Industrial ("D-3") zoning district.

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Groathouse Construction building.	D-3 Open Business/Light Industrial
East	Boydston subdivision, residence.	D-3 Open Business/Light Industrial
South	Residences and equipment building.	D-3 Open Business/Light Industrial
West	Vacant.	D-3 Open Business/Light Industrial

Staff concludes that the proposal complies with applicable zoning, storm water, and site plan requirements, without the need of modification. A summary of how the proposal conforms to applicable standards follows.

**Architecture:**

The architectural drawings and elevations are attached. It is a high-quality modern building, similar in architecture to the Eleutian building. The building has a two-story appearance, yet much of the 2<sup>nd</sup> story is clerestory for the 1<sup>st</sup> floor. Roofing and siding materials are varied and include composition roof shingles, metal roofing, fiber cement lap siding, vertical metal siding, simulated stone, and aluminum clad windows. The architectural character is consistent with the other new quality construction in the subdivision.

**Landscaping:**

Landscaping includes grass lawn, shrubs, trees, large concrete patios near the building, and dry-land grass to the rear of the property. Cody Canal water is apparently available and will be installed to the landscaped areas. One thing that is not clearly shown is the

need for conduit under the concrete and asphalt areas for irrigation and parking lot lighting. It may be wise to add that to the plans so it is not forgotten. The irrigation system will be designed later by the building contractor (Note 1, Sheet L1.1). The amount and quality of proposed landscaping meets the intent of the ordinance.

#### Parking:

The parking ordinance requires office buildings to provide one space per 250 sq. ft. of gross floor area. The 9,726 sq. ft. building requires 39 spaces and 50 are shown. Two ADA spaces are included, as required. ADA access routes meet applicable codes.

Parking space and aisle dimensions meet or exceed the minimum standards of the parking ordinance. Surfacing of the parking lot and access drives will be paved (3' asphalt over 6" base).

Parking lot lighting is provided by LED luminaires on 20-foot tall metal poles. Building lighting will also provide some illumination of parking areas.

#### Lighting

Exterior lighting is provided by LED wall sconces, all of a down-lit style. Refer to Sheet C1.2 for locations. The light locations, heights, and throws are such that illumination beyond the property lines does not appear to be greater than about .1 to .3 foot-candles. The closest residence is of sufficient distance that it will not be significantly impacted by site lighting.

#### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

The proposal is a permitted use in the D-3 zone. There are no specified zoning setbacks or height limits in this zone. No buffers are required for this proposal.

#### Storm Water Plan:

An engineered storm water plan has been prepared to address runoff according to the City's storm water policy manual. The Public Works Director has confirmed the plan meets City standards. The details of the plan are found on Sheet C1.5 and C1.7, and in the accompanying drainage report. Storm water will be collected through a number of retention basins, and some storm water will be piped to the City storm water system (Plans show a 10" storm pipe stubbed to the property).

#### Snow Storage

The snow storage area is shown in the landscaped area on the north side of the parking lot (see Sheet C1.2), where the snow can melt and be captured by the storm water facilities.

#### Utility Services

The building will utilize water, power, gas, and sewer service. All city utilities will be constructed according to city standards. Applicable fees will be collected with the

building permit fees. Gas, phone, and other private utilities will need to be coordinated with those providers.

Signage

The submittal did not include a sign application. A sign permit will be needed for any signage.

Hydrants

Fire hydrants exist along 33<sup>rd</sup> Street to serve the property.

**ATTACHMENTS:**

Application—Civil, Landscaping, and Architectural plans.

**ALTERNATIVES:**

Approve or deny the site plan with or without changes.

**RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the application, subject to the following.

1. That the storm water facilities be inspected and certified by the engineer that they were completed according to approved plans, prior to building occupancy.
2. That the necessary conduits for irrigation and parking lot lighting be added to the civil plans, and installed.
3. That the appropriate label be added to Sheet C1.4 for the southernmost ADA ramp along 33<sup>rd</sup> Street (missing reference to Note 3).
4. That the project otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

# GDA ENGINEERS NEW OFFICE BUILDING 502 33<sup>RD</sup> STREET CODY, WYOMING 82414

## INDEX OF DRAWINGS:

- C1.0 - COVER AND GENERAL NOTES SHEET
- C1.1 - EXISTING CONDITIONS PLAN
- C1.2 - SITE PLAN
- C1.3 - UTILITY PLAN
- C1.4 - GRADING PLAN
- C1.5 - DRAINAGE PLAN
- C1.6 - TYPICAL SECTIONS AND DETAILS 1
- C1.7 - TYPICAL SECTIONS AND DETAILS 2
- L1.1 - LANDSCAPE PLAN
- L1.2 - PLANTING DETAILS
- A1.1 - MAIN LEVEL PLAN
- A1.2 - BASEMENT / UPPER LEVEL PLAN
- A3.1 - ELEVATION VIEWS

## UTILITY INFORMATION

NATURAL GAS - ENERGY WEST WYOMING, STEPHANIE FRY, 307-587-4281  
POWER- CITY OF CODY, BERT POND, PE, 307-527-7511  
SEWER AND WATER - CITY OF CODY, KEITH VILES, 307-587-2958

## ZONING INFORMATION

1. ZONING FOR THIS SITE IS D-3 COMMERCIAL
2. ZONING FOR THE SURROUNDING PROPERTIES WITHIN THE GC CODY SUBDIVISION FOR WHICH THIS PROJECT IS A PART IS D-3 COMMERCIAL
3. ZONING FOR THE NEIGHBORING SUBDIVISION TO THE EAST, SANDY'S SUBDIVISION, IS D-3 COMMERCIAL

## ABBREVIATIONS

WWF	WELDED WIRE FABRIC
NTS	NOT TO SCALE
MJ	MECHANICAL JOINT
DIA	DIAMETER
SY	SQUARE YARDS
ROW	RIGHT-OF-WAY
RECONN	RECONNECT
WAT	WATER
MAX	MAXIMUM
EX	EXISTING
UG	UNDERGROUND
OH	OVERHEAD
GV	GATE VALVE
TB	THRUST BLOCK
D	DELTA
A	ANGLE
T	TANGENT
R	RADIUS
L	LENGTH
LF	LINEAL FEET
LOC	LOCATION
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
FT	FEET
I	INCLUDED ANGLE
R OR RT	RIGHT
L OR LT	LEFT
MIN	MINIMUM
VPI	VERTICAL POINT OF INTERSECTION
N	NORTHING/NORTH
E	EASTING/EAST
PI	POINT OF INTERSECTION
MH	MANHOLE
PVC	POLYVINYLCHLORIDE
W	WEST
S	SOUTH
CY	CUBIC YARDS
CF	CUBIC FEET
FH	FIRE HYDRANT
DI	DUCTILE IRON
CI	CAST IRON
PSI	POUNDS PER SQUARE INCH
MJ	MECHANICAL JOINT
FL	FLANGE
TBC	TOP-BACK OF CURB
BOW	BACK OF WALK
CT	COMMON TRENCH
TW	TREATED WATER
EP	EDGE OF PAVEMENT
ST	STORM SEWER
TG	TOP OF GRATE
CB	CATCHBASIN

## LEGEND

EXISTING CONTOUR	
EXISTING WIRE FENCE	
EXISTING STORM SEWER	
EXISTING SANITARY SEWER	
PROPOSED SANITARY SEWER	
EXISTING TREATED WATER	
PROPOSED TREATED WATER	
EXISTING IRRIGATION LINE	
PROPOSED IRRIGATION LINE	
EXISTING UNDERGROUND FIBER OPTIC	
EXISTING OVERHEAD POWER	
EXISTING UNDERGROUND POWER	
EXISTING UNDERGROUND GAS	
PROPOSED UNDERGROUND GAS	
EXISTING COMMON TRENCH	
EXISTING VALVE	
PROPOSED VALVE	
EXISTING FIRE HYDRANT	
EXISTING SIGN	
EXISTING LIGHT POLE	
EXISTING MANHOLE	
PROPOSED MANHOLE	
EXISTING ELECTRICAL VAULT	
PROPOSED CATCH BASIN	

## LEGAL DESCRIPTION

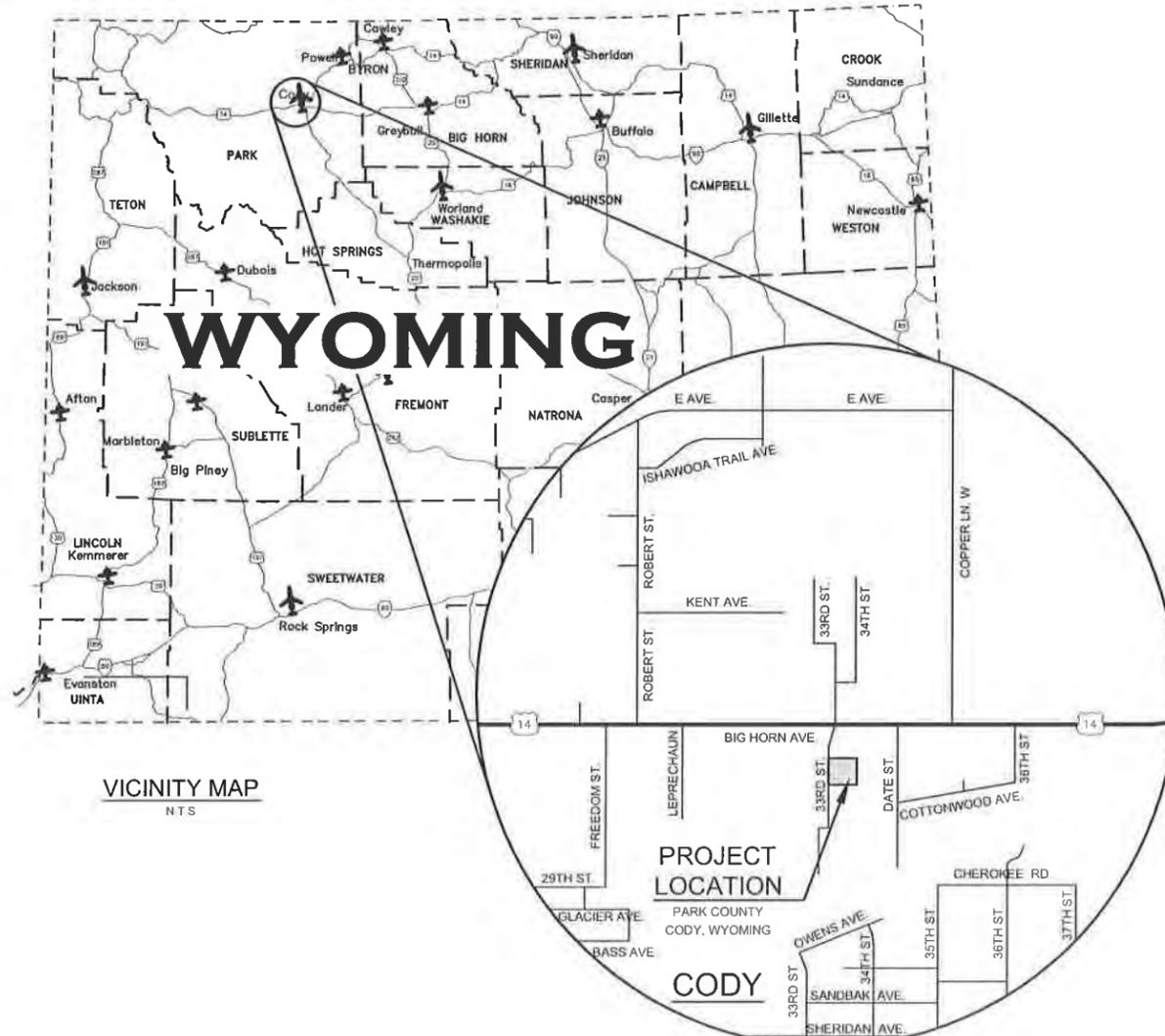
LOT #2 OF GC CODY SUBDIVISION  
AS FILED IN THE RECORDS OFFICE OF  
PARK COUNTY, NOVEMBER 16, 2010, BLOCK K,  
PAGE NO 84, DOCUMENT NO 2010-7468  
  
RESUBDIVISION OF LOTS 5 & 6, BLOCK 3,  
OF SANDY'S SUBDIVISION  
T 55 N., R 101 W., (RESURVEY) 6TH P M  
WITHIN CITY OF CODY,  
PARK COUNTY, WYOMING

## GEOTECHNICAL ENGINEERING REPORT

INBERG-MILLER ENGINEERS  
428 ALAN ROAD  
POWELL, WY. 82435  
307-856-8136  
REPORT NO 14908-PX, DATED 9/23/2010

## GENERAL NOTES

1. ALL EXISTING UTILITIES SHOWN HERE IN ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED NOR SHALL IT BE CONSIDERED COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL ONE CALL OF WYOMING 1-800-849-2476 AT LEAST 48 HOURS PRIOR TO DIGGING.
2. CONTRACTOR IS RESPONSIBLE FOR TYING INTO SERVICES AS CALLED FOR ON THE PLANS REGARDLESS OF ACTUAL LOCATION.
3. CEMENT TREATED FILL SHALL BE PLACED FOR A MINIMUM DISTANCE ALONG THE WATERLINE OF 10 FT EITHER SIDE OF ALL SEWER MAIN AND SEWER SERVICE CROSSINGS WHEN THE WATERLINE IS LESS THAN 18 INCHES ABOVE THE SEWER LINE. IF THE WATER LINE IS LOCATED BELOW THE SEWER MAIN OR SERVICE, CEMENT TREATED FILL WILL BE PLACED TO AN ELEVATION A MINIMUM OF ONE FOOT ABOVE THE SEWER LINE. THE ENGINEER WILL ALSO DIRECT THE CONTRACTOR TO PLACE CEMENT TREATED FILL AS CONDITIONS DICTATE DURING CONSTRUCTION.
4. ANY PERMITS REQUIRED BY LOCAL, STATE, OR FEDERAL AGENCIES FOR CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
5. THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE FOR MATERIALS TESTING AND 72 HOURS NOTICE FOR CONSTRUCTION STAKING.
6. CONTRACTOR SHALL COORDINATE STREET CLOSURE / UTILITY SHUTDOWNS AS REQUIRED BY LOCAL, STATE, OR FEDERAL AGENCIES.
7. ALL AREAS TO BE DISTURBED SHALL BE CLEARED TO 1" OF SURFACE BEFORE GRADING OPERATIONS BEGIN.
8. ANY TOPSOIL ENCOUNTERED IN CUT AREAS SHALL BE STRIPPED AND TEMPORARILY STOCKPILED AT LOCATIONS DIRECTED BY THE ENGINEER.
9. ANY FILL AREAS ON WHICH CURB AND GUTTER, SIDEWALK OR PAVEMENT IS TO BE PLACED SHALL BE STRIPPED OF TOPSOIL.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND NOTICE OF INTENT (NOI) APPLICATION TO WDEQ. ADJACENT PROPERTIES SHALL BE PROTECTED USING WHATEVER MEANS NECESSARY. FUGITIVE DUST FROM CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED BY FREQUENT WATERING AND/OR CHEMICAL STABILIZATION AS NECESSARY. UNDER NO CIRCUMSTANCES SHALL ERODED MATERIAL BE ALLOWED TO LEAVE THE SITE. SILT FENCE, SEDIMENT TRAPS, INLET PROTECTION OR OTHER EROSION CONTROL DEVICES SHALL BE USED TO SATISFY THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN OR AS APPROVED BY WDEQ.
11. ANY CONSTRUCTION DEBRIS SHALL BE CLEANED OFF PUBLIC STREETS, SIDEWALK, ETC. AT THE END OF EACH WORK DAY.
12. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS (WPW) STANDARD SPECIFICATIONS LATEST REVISION UNLESS OTHERWISE NOTED IN THE ABSENCE OF GUIDANCE FROM WPW, THE CITY OF CODY STANDARD SPECIFICATION SHALL APPLY.



VICINITY MAP  
NTS

PROJECT LOCATION  
PARK COUNTY  
CODY, WYOMING

CODY

1  
C1.0

COVER SHEET

**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*plan one / architects*

**PLAN**

**GDA ENGINEERS**  
CODY, WYOMING  
307-587-2958

Professional Engineer (Civil)  
TODD H. KELLEY  
12850  
5-11-13  
WYOMING

project: 1057  
date: 5/28/13  
revisions:  
  
C1.0

W:\Municipal Projects\131104-GDA Building\CAD Work & Civil Design Files\Drawings\C1.1 EXISTING CONDITIONS PLAN.dwg, 5/28/2013 3:22:48 PM

LOT 7, GC CODY SUBDIVISION  
OWNER: GC CODY LLC  
ZONING: D3  
CURRENT USE: UNDEVELOPED

LOT 6, GC CODY SUBDIVISION  
OWNER: GC CODY LLC  
ZONING: D3  
CURRENT USE: UNDEVELOPED

LOT 5, GC CODY SUBDIVISION  
OWNER: GC CODY LLC  
ZONING: D3  
CURRENT USE: UNDEVELOPED

LOT 1, GC CODY SUBDIVISION  
OWNER: GC CODY LLC  
ZONING: D3  
CURRENT USE: COMMERCIAL

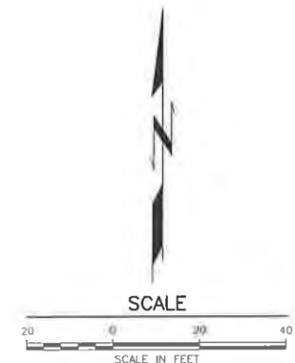
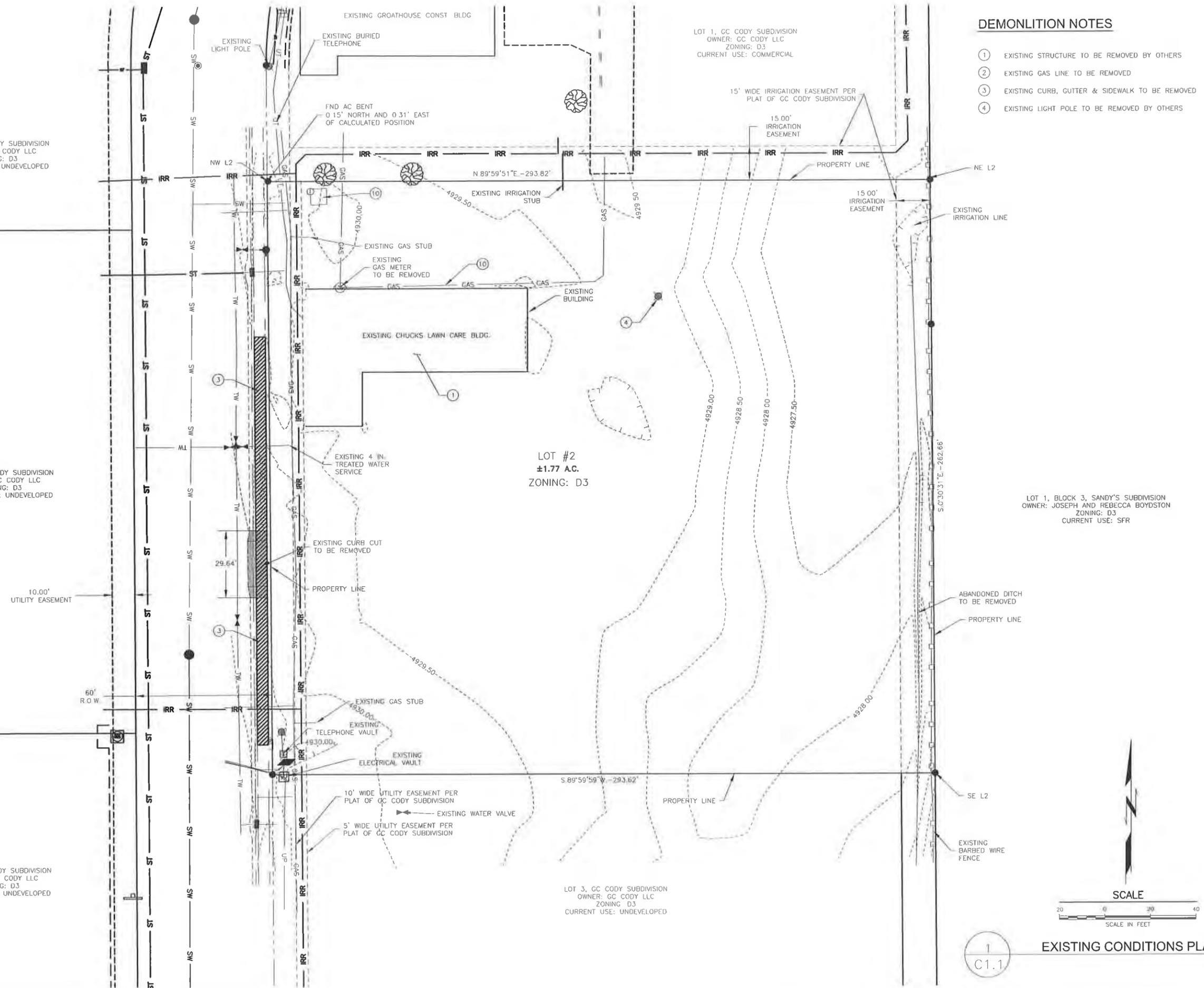
### DEMOMLITION NOTES

- ① EXISTING STRUCTURE TO BE REMOVED BY OTHERS
- ② EXISTING GAS LINE TO BE REMOVED
- ③ EXISTING CURB, GUTTER & SIDEWALK TO BE REMOVED
- ④ EXISTING LIGHT POLE TO BE REMOVED BY OTHERS

LOT 1, BLOCK 3, SANDY'S SUBDIVISION  
OWNER: JOSEPH AND REBECCA BOYDSTON  
ZONING: D3  
CURRENT USE: SFR

LOT #2  
±1.77 A.C.  
ZONING: D3

LOT 3, GC CODY SUBDIVISION  
OWNER: GC CODY LLC  
ZONING: D3  
CURRENT USE: UNDEVELOPED



1  
C1.1  
EXISTING CONDITIONS PLAN

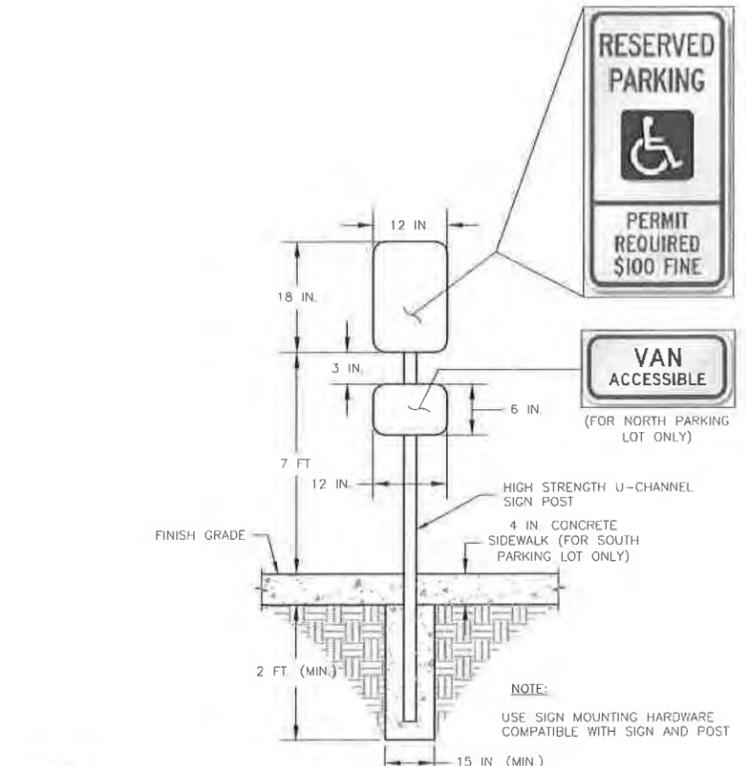
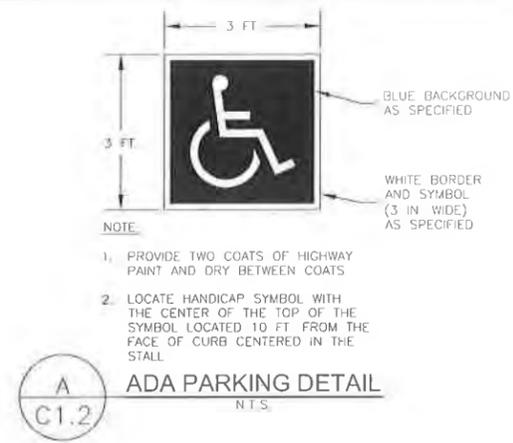
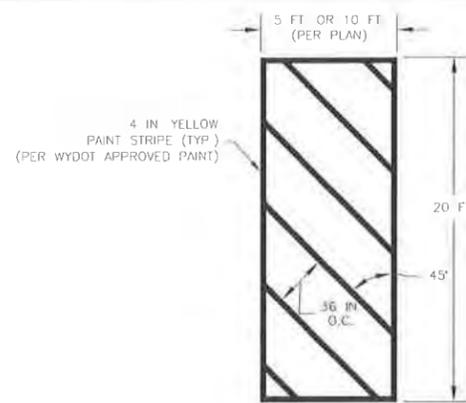
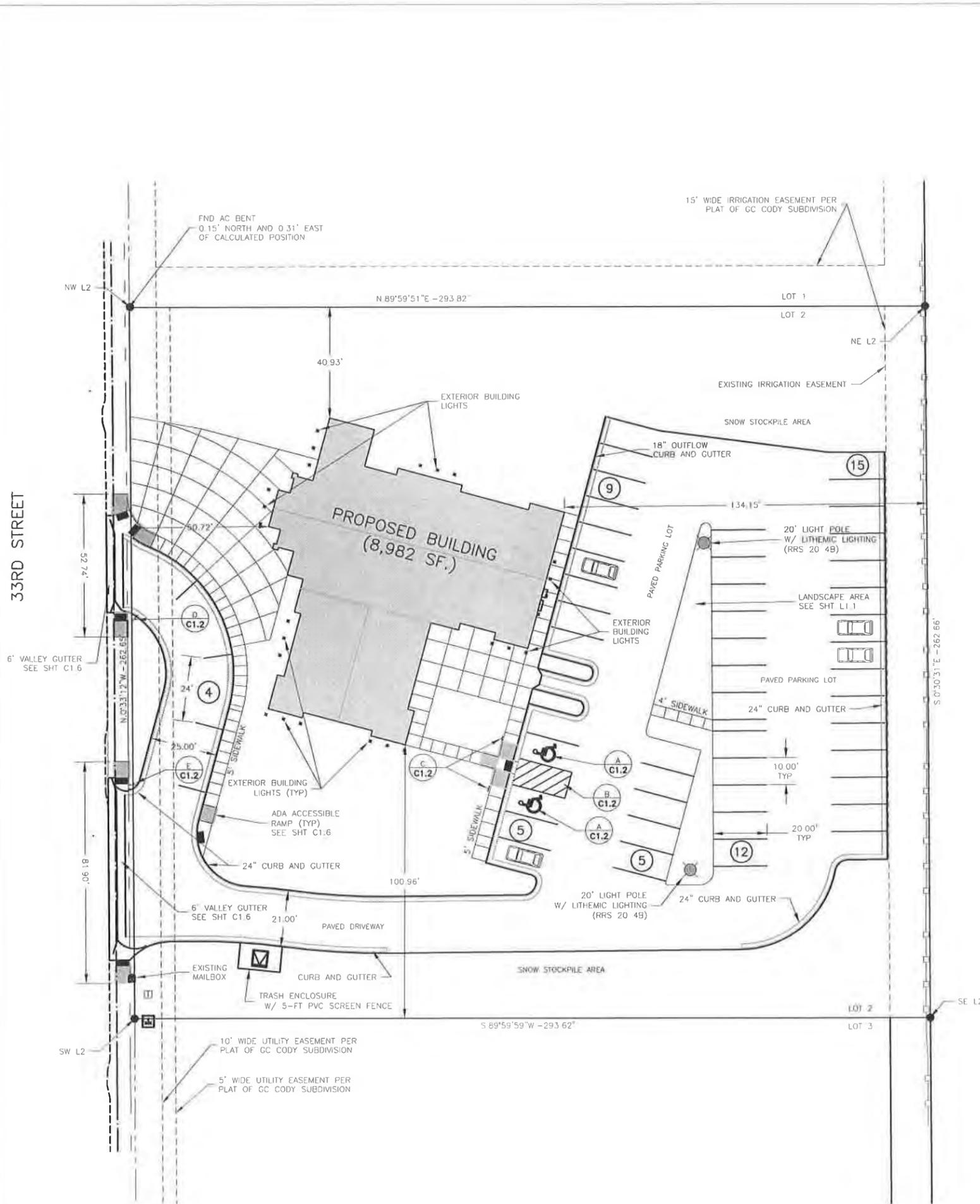
**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*plan one / architects*

~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



project:	1057
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revisions:	

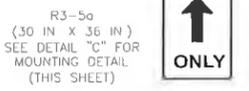
C1.1



**C C1.2** HANDICAP ACCESSIBLE PARKING SIGN DETAIL  
N.T.S.



**D C1.2** SIGN DETAIL  
N.T.S.



**E C1.2** SIGN DETAIL  
N.T.S.

**NOTES**  
 1 ALL DIMENSIONS ON THIS SHEET ARE TAKEN FROM THE PROPERTY LINE OR TOP-BACK-OF-CURB  
 2 TOTAL NUMBER OF PARKING SPACES: REQUIRED = 36, PROVIDED = 50\*\*  
 \*\*INCLUDES 4 GUEST AND 2 ADA ACCESSIBLE SPACES (1 VAN ACCESSIBLE)



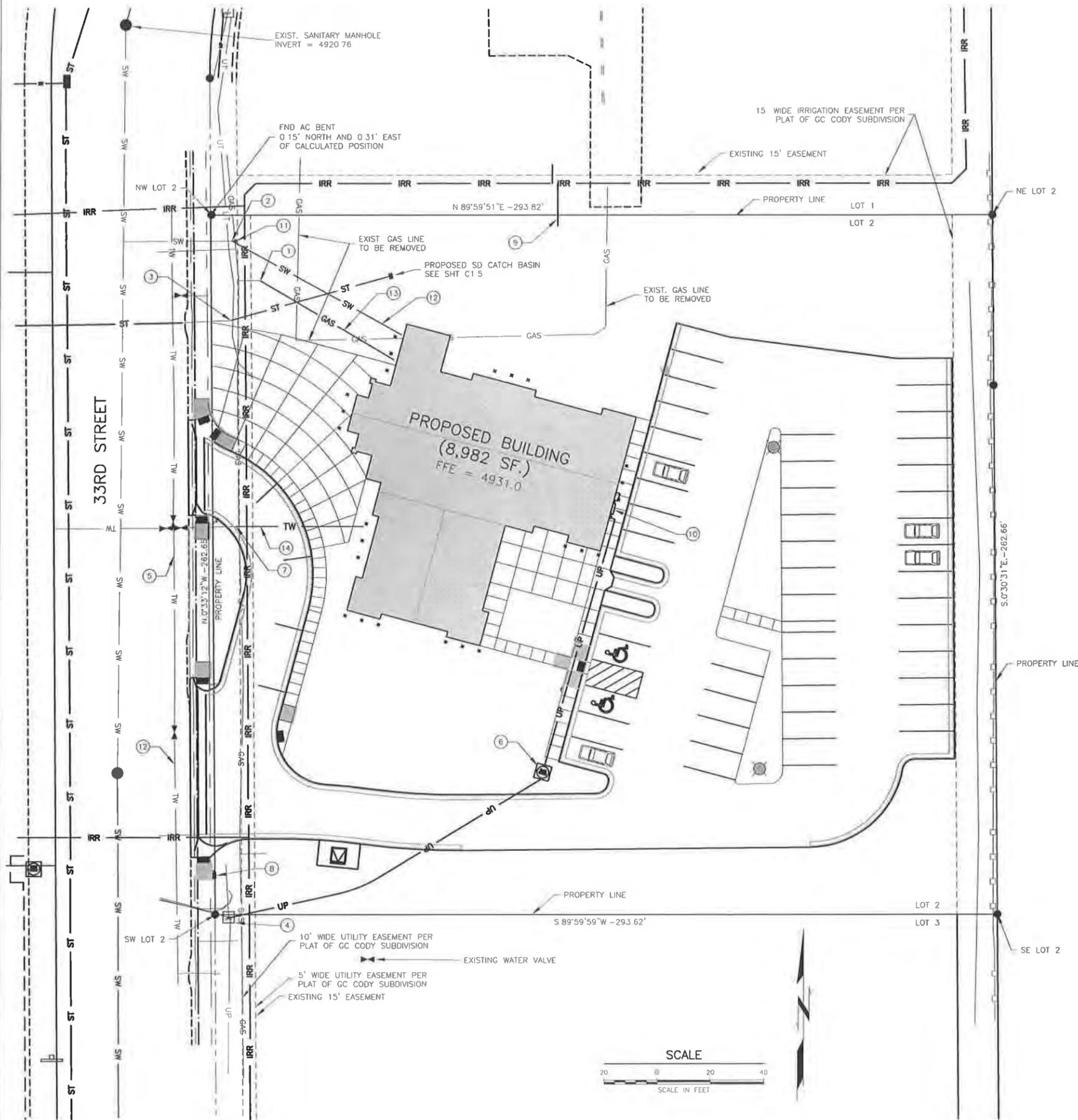
**1 C1.2** SITE PLAN

**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*Pianone architects*



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C1.2	

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**UTILITY CONSTRUCTION NOTES**

- ① CONNECT TO EXISTING GAS SERVICE
- ② CONNECT TO SANITARY SEWER STUB, INV = 4922.9±  
CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION  
ANY BUILDING DRAIN IN THE BASEMENT WILL BE PUMPED INTO  
THE SANITARY SEWER LINE
- ③ CONNECT TO EXISTING STORM SEWER STUB  
SEE DRAINAGE PLAN SHT C1.5
- ④ EXISTING ELECTRICAL TRANSFORMER/DISTRIBUTION  
CABINET TO REMAIN
- ⑤ EXISTING TREATED WATER MAIN
- ⑥ PROPOSED ELECTRICAL TRANSFORMER
- ⑦ CONNECT TO TREATED WATER SERVICE STUB
- ⑧ EXISTING MAILBOX TO REMAIN
- ⑨ EXISTING RAW WATER SERVICE LINE
- ⑩ LOCATION OF 800A FUSED SERVICE DISCONNECT, CT CAN AND METER SOCKET
- ⑪ INSTALL SANITARY SEWER CLEANOUT PER DETAIL K SHT C1.6
- ⑫ INSTALL 4 IN. SDR 35 PVC BELL & SPIGOT PIPE WITH RUBBER  
O-RING GASKETS, IN COMPLIANCE WITH ASTM D3034 JOINTS  
SHALL BE WATER TIGHT STANDARD "Y" TYPE BRANCHES WILL BE  
REQUIRED FOR ALL SERVICES ON NEW MAIN
- ⑬ INSTALL 3/4 IN. PVC GAS SERVICE PER REQUIREMENT OF  
ENERGY WEST.
- ⑭ INSTALL 1 IN. SDR 9 DRISCO 5100 SERIES ULTRALINE WATER  
SERVICE, IN COMPLIANCE WITH ASTM D2737 (PRESSURE CLASS  
250 PSI)



1  
C1.3

UTILITY PLAN

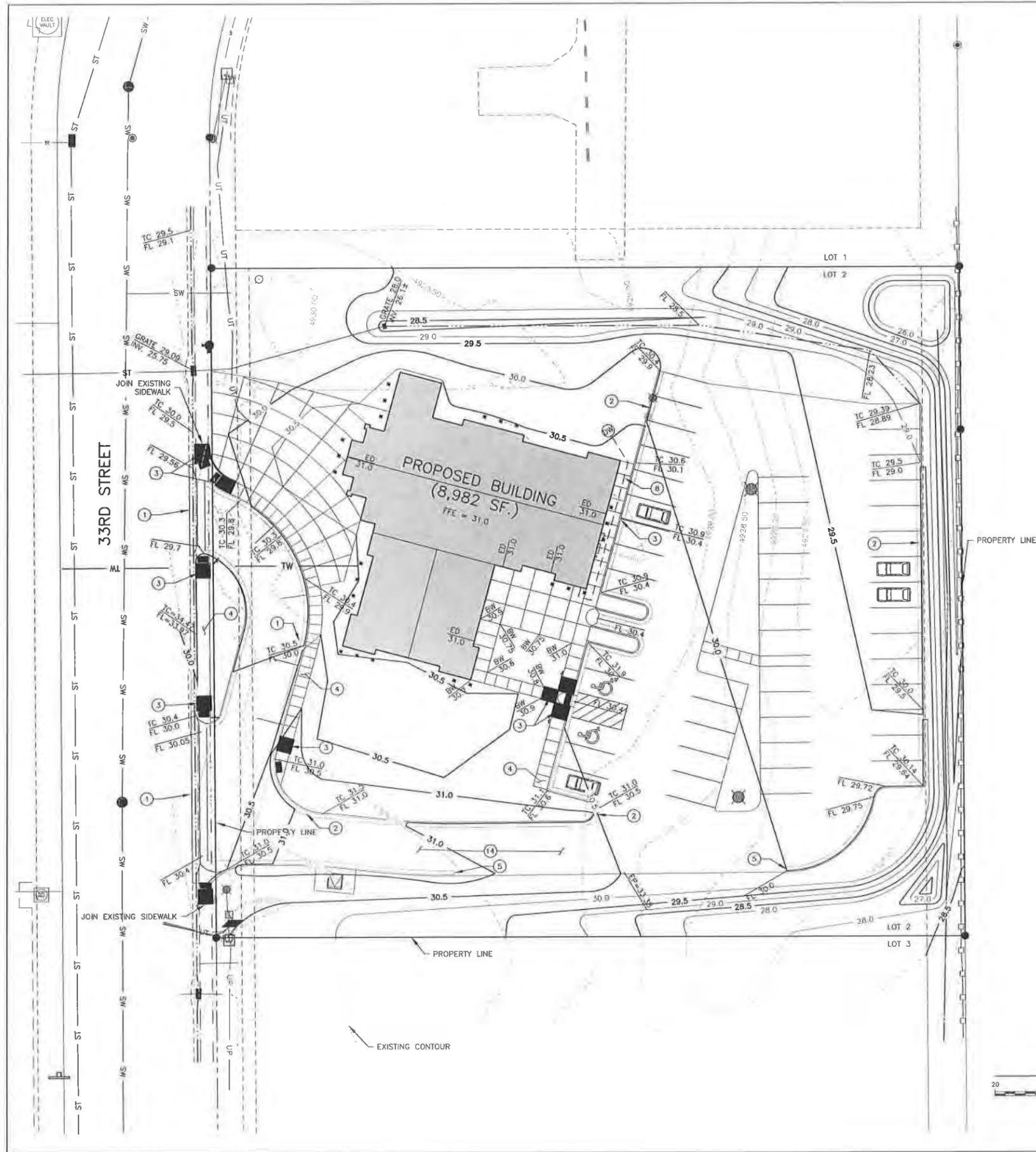
**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*plan one / architects*



project: 1057  
 date: 5/28/13  
 revisions:

C1.3

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**GRADING CONSTRUCTION NOTES**

- ① INSTALL 8 FT. VALLEY GUTTER PER DETAIL "G" ON SHEET C1.6
- ② INSTALL TYPICAL CURB AND GUTTER PER DETAIL "A" ON SHEET C1.6.
- ③ INSTALL ADA COMPLIANT SIDEWALK RAMP PER DETAIL "E" ON SHEET C1.6. JOINT SPACING TO BE 5 FT. O.C. SEE ARCHITECTURAL PLANS FOR ENTRANCE/PLAZA AREAS FOR COLOR, FINISH AND JOINT CONFIGURATION
- ④ INSTALL SIDEWALK PER DETAIL "B" ON SHEET C1.6. SEE ARCHITECTURAL PLANS FOR COLOR, FINISH AND JOINTING CONFIGURATION. JOINT SPACING TO BE 5 FT. O.C. SEE ARCHITECTURAL PLANS FOR ENTRANCE/PLAZA AREAS FOR COLOR, FINISH AND JOINT CONFIGURATION.
- ⑤ CONSTRUCT CURB TERMINATION PER DETAIL "D" ON SHEET C1.6.
- ⑥ INSTALL 3 IN. ASPHALT CONCRETE OVER 6 IN. OF AGGREGATE BASE COURSE. PRIOR TO PLACEMENT OF AGGREGATE BASE, THE NATIVE SUBGRADE SHOULD BE SCARIFIED TO A MINIMUM DEPTH OF 8 IN. AND COMPACTED TO AT LEAST 95% OF THE ASTM D698 MAXIMUM DRY DENSITY.
- ⑦ PLACE 4 IN. THICK CRUSHED AGGREGATE BASE OVER 90% RELATIVE COMPACTED NATIVE SUB-BASE.
- ⑧ UNDERGROUND PIPING TO DRYWELL TO DRAIN PORTION OF ROOF AT COURTYARD. ALL OTHER ROOF DRAINS DISCHARGE TO ADJACENT LANDSCAPE AREAS.

**LEGEND**

- BW = BACK OF WALK (EXISTING)
- DW = DRIVEWAY
- EP = EDGE OF PAVEMENT
- FF = FINISH FLOOR
- FS = FINISH SURFACE
- FG = FINISH GRADE
- SW = SIDEWALK
- TC = TOP OF CURB
- = FLOW ARROW

**NOTES:**

1. FINISH GRADE IS DEFINED AS THE FINAL GRADE WITH ALL IMPROVEMENTS MADE INCLUDING ANY TOP SOIL REQUIREMENTS WITHIN THE LANDSCAPE AREAS

1  
C1.4

GRADING PLAN

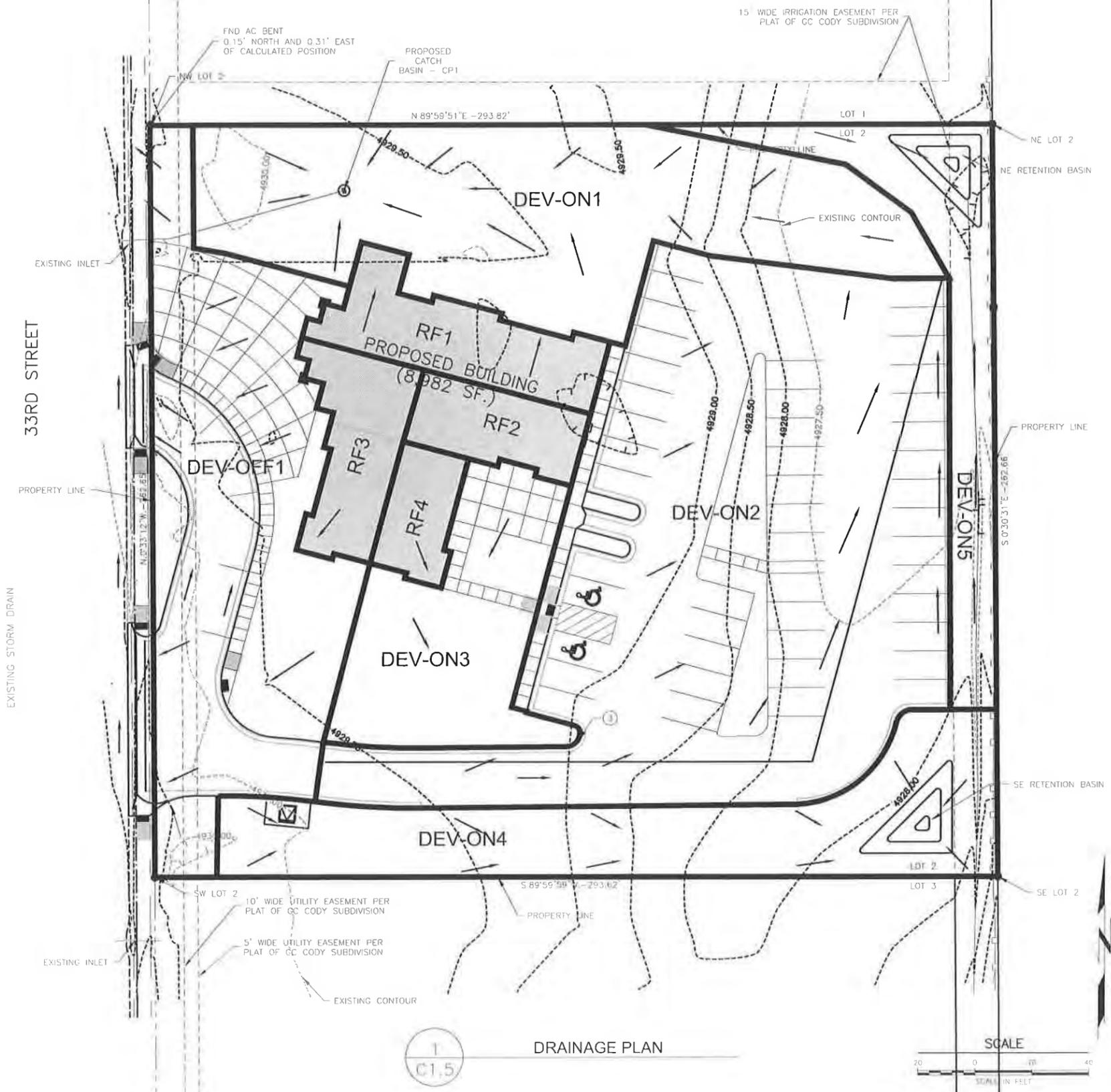
**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*plan one / architects*

~ cody, wyoming, 1001 12th st., 82114 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



project: 1057  
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revisions:

C1.4



1  
C1.5

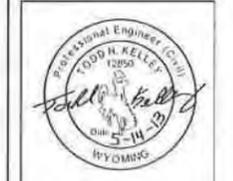
DRAINAGE PLAN



NOTES

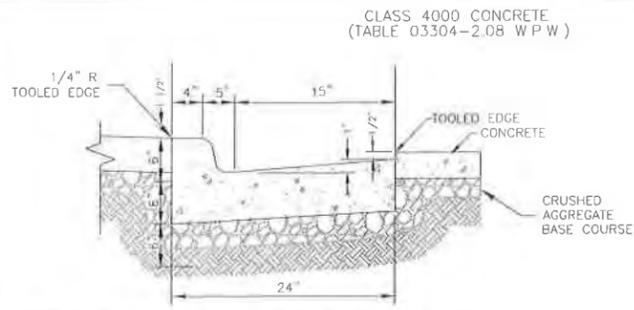
- DEV-ON4 DRAINS TO AN ON-SITE RETENTION BASIN
- DEV-ON5 DRAINS TO AN ON-SITE RETENTION BASIN
- DEV-OFF1 AND RF3 DRAINS OFFSITE TO THE STREET
- DEV-ON1, DEV-ON2, AND RF1 DRAIN TO A STORM DRAIN INLET THAT ENTERS CITY STORM DRAIN AT THE NW CORNER OF THE PROPERTY
- RF4, AND DEV-ON3 DRAIN TO A LOW POINT IN DEV-ON3
- RF2 WILL DRAIN TO A DRY WELL

GDA ENGINEERS - CODY, WYOMING  
 NEW GDA ENGINEERS OFFICE BUILDING  
 pian one / architects



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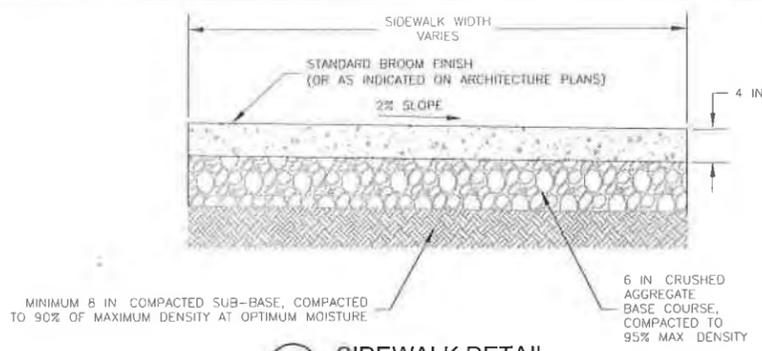
C1.5



**A** TYPICAL 24" CURB AND GUTTER SECTION  
N.T.S.

**NOTES:**

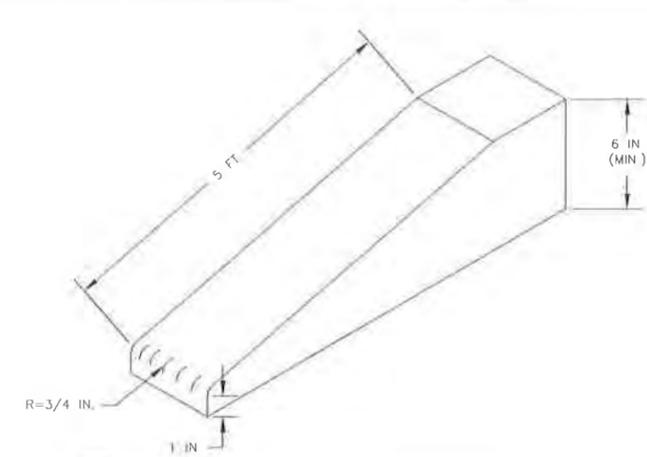
1. SUBGRADE COMPACTION SHALL CONFORM TO THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION
2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT POINT OF CURVATURE, POINT OF TANGENCY, AND CURB TURNS. CONTRACTION JOINTS SHALL BE 5 FT O.C. TO COMPLY WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM OF INSPECTION FROM THE ENGINEER.
4. CLASS 4000 (TABLE 03304-2.08 W.P.W.) CONCRETE SHALL BE USED.



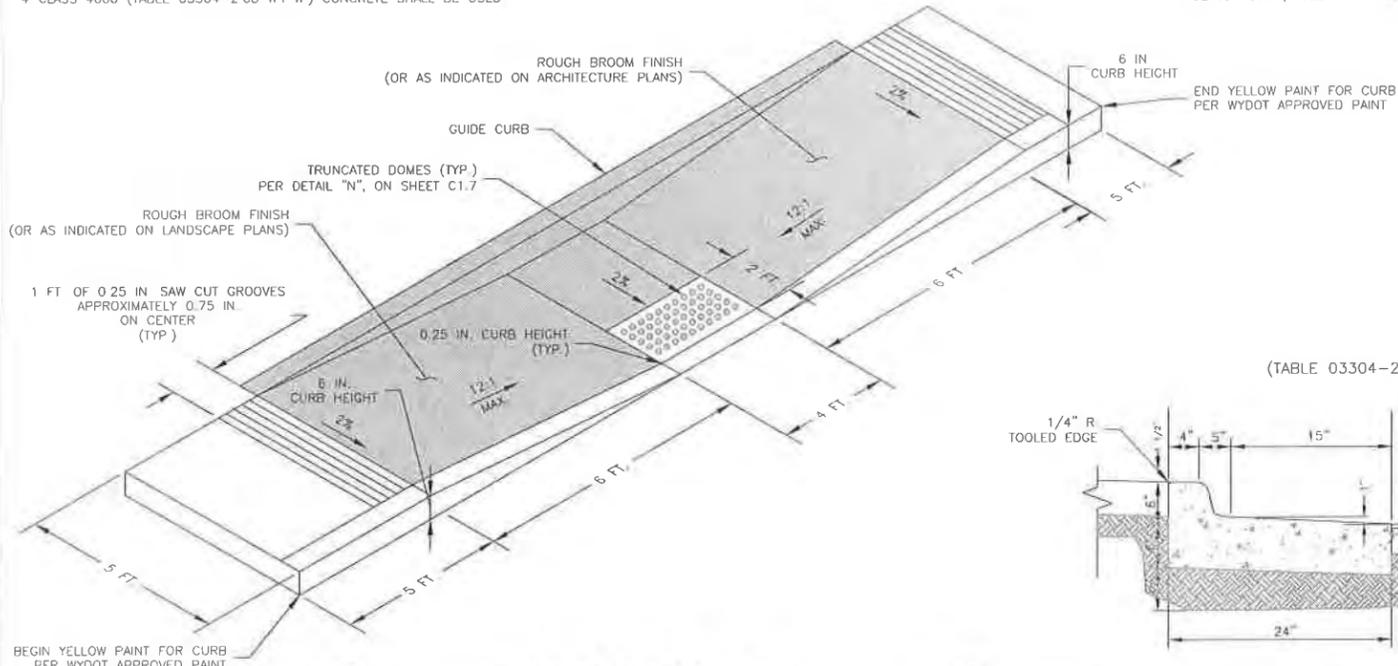
**B** SIDEWALK DETAIL  
N.T.S.

**NOTES:**

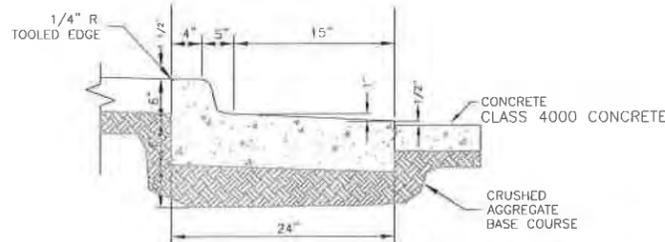
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3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM OF INSPECTION FROM THE ENGINEER.
4. CLASS 4000 (TABLE 03304-2.08 W.P.W.) CONCRETE SHALL BE USED.



**C** TYPICAL CURB TERMINATION  
N.T.S.



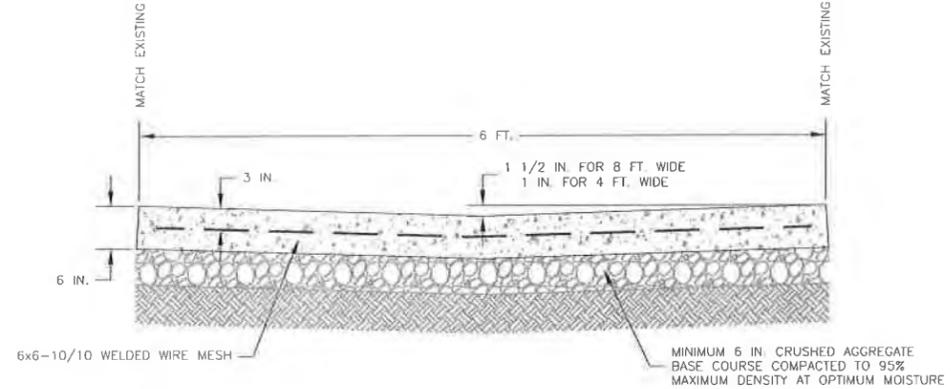
**D** SIDEWALK RAMP TYPE "M" DETAIL  
N.T.S.



**E** TYPICAL 24" OUTFLOW CURB AND GUTTER SECTION  
N.T.S.

**NOTES:**

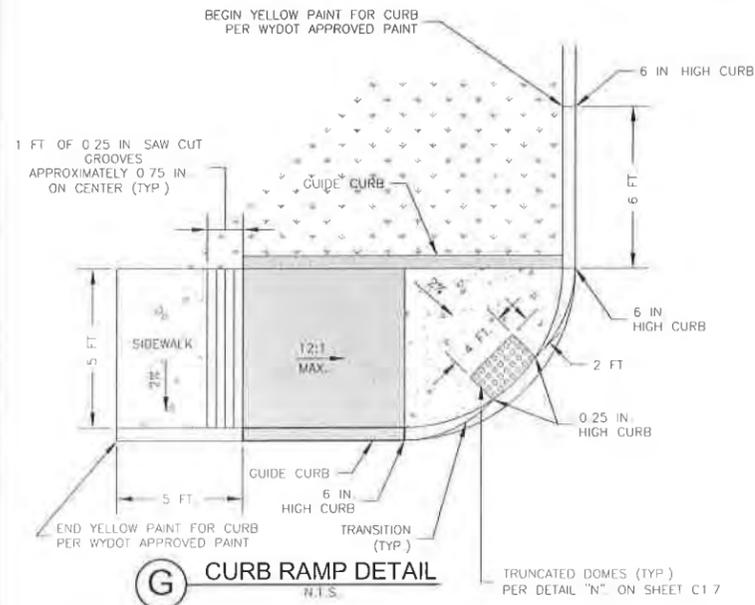
1. SUBGRADE COMPACTION SHALL CONFORM TO THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION
2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT POINT OF CURVATURE, POINT OF TANGENCY, AND CURB TURNS. CONTRACTION JOINTS SHALL BE 5 FT O.C. TO COMPLY WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM OF INSPECTION FROM THE ENGINEER.
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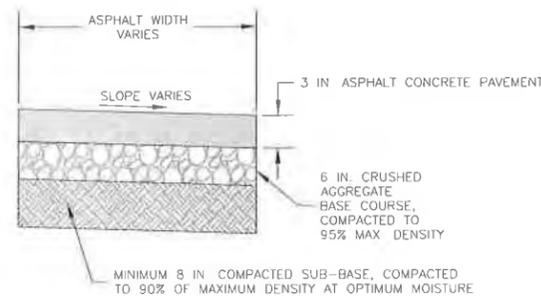
**F** TYPICAL 6 FT. WIDE CONCRETE VALLEY GUTTER SECTION  
N.T.S.

**NOTE:**

1. FIBER REINFORCED CONCRETE OR #3 BARS @ 12 IN. O.C. EACH WAY MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF THE ENGINEER.



**G** CURB RAMP DETAIL  
N.T.S.



**H** TYPICAL ASPHALT PAVEMENT SECTION  
N.T.S.

GDA ENGINEERS - CODY, WYOMING  
NEW GDA ENGINEERS OFFICE BUILDING  
Pianone architects



project:	1057
date:	5/28/13
revisions:	

C1.6

CITY OF CODY MATERIAL SPECIFICATIONS  
(THESE SPECIFICATIONS SHALL CONTROL REGARDING  
CONFLICTS WITH PROJECT SPECIFICATIONS)

- ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO 180
- CRUSHED BASE COURSE
  - THE MATERIAL PRODUCED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGH LIMIT ON ONE SIEVE TO THE LOW LIMIT ON AN ADJACENT SIEVE OR VICE VERSA
  - THE PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE
  - THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0 (ZERO), THE LIQUID LIMIT SHALL NOT EXCEED 30
  - ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27 & T-11
 

SIEVE	% PASSING
1"	100
3/4"	90-100
1/2"	60-85
No. 4	45-65
No. 8	33-53
No. 200	3-12
- AGGREGATE FOR HOT PLANT PAVEMENT MIX - IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS-LATEST EDITION
  - FOR COMPACTED THICKNESSES 3" OR LESS, USE WYDOT 1/2-INCH MAXIMUM AGGREGATE.
  - FOR COMPACTED THICKNESSES GREATER THAN 3", USE WYDOT 3/4-INCH MAXIMUM AGGREGATE FOR FIRST LIFT. SECOND LIFT SHALL BE A MINIMUM COMPACTED THICKNESS OF 1-1/2 INCHES, 1/2-INCH MAXIMUM AGGREGATE.
  - MINERAL FILLER: FINELY GROUND PARTICLES OF LIMESTONE, HYDRATED LIME OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER
- PRIMER: A CUT-BACK LIQUID ASPHALT OF THE MEDIUM CURING TYPE, GRADE C-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027 BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY COMMENCE (PUBLIC WORKS PROJECTS)
- TACK COAT: A CATIONIC SLOW SET EMULSIFIED ASPHALT MIXED WITH A N EQUAL AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D244 OTHER GRADES OF EMULSIFIED ASPHALT WILL BE CONSIDERED TESTING OR EXPERIENCE THAT ANOTHER GRADE IS MORE SUITABLE
- MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF A MS-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK
 

ASPHALT INSTITUTE MANUAL MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:	
STABILITY (LB, MINIMUM)	1200
FLOW, (0.01 IN.)	8 TO 16
PERCENT AIR VOIDS (%)	3 TO 5
VOIDS IN MINERAL AGGREGATE (% MINIMUM)	15
- CONCRETE SPECIFICATIONS
  - CEMENT SHALL BE PORTLAND CEMENT, TYPE II CONFORMING TO THE REQUIREMENTS OF ASTM C-150 (IF SPECIAL CONDITIONS WARRANT IT, THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE CITY ENGINEER)
  - AGGREGATE GENERAL - GRAVEL, CRUSHED SLAG, CRUSHED STONE, OR OTHER INERT MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF INJURIOUS COATINGS
  - FINE AGGREGATE
    - THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:
 

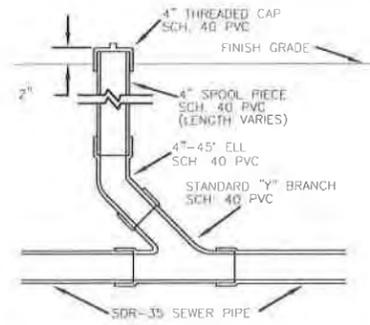
SOFT FRAGMENTS:	0.3%
COAL AND LIGNITE	0.3%
CLAY LUMPS	0.5%
OTHER DELETERIOUS SUBSTANCES	2.0%
    - WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES RATTLER METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%
    - THE FINE AGGREGATE SHALL BE FREE FROM INJURIOUS AMOUNTS OF ORGANIC IMPURITIES
  - COARSE AGGREGATE
    - THE MAXIMUM PERCENTAGES OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:
 

SOFT FRAGMENTS:	1.0%
COAL AND LIGNITE	0.3%
CLAY LUMPS	0.3%
OTHER DELETERIOUS SUBSTANCES	2.0%
    - THE COARSE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:
 

SIEVE	% PASSING
3/8"	100
No. 4	95-100
No. 16	45-80
No. 50	10-30
No. 100	2-10
No. 200	0-4
    - THE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:
 

SIEVE	% PASSING
1 1/2"	100
1"	95-100
1/2"	25-60
No. 4	0-10
No. 8	0-5
No. 200	0-2
- AD MIXTURES AND AIR-ENTRAINING AGENTS SHALL BE APPROVED BY THE ENGINEER AS RECOMMENDED WITHIN THE REQUIRED MIX DESIGN AS PREPARED BY A QUALIFIED TESTING LABORATORY
- ALL CONCRETE PLACED SHALL HAVE A SLUMP OF BETWEEN 1" AND 4" WHEN TESTED IN ACCORDANCE WITH AASHTO T-119
- ALL CONCRETE PLACED SHALL MEET THE FOLLOWING MINIMUM STRENGTH REQUIREMENTS WHEN TESTED IN ACCORDANCE WITH ALL APPLICABLE ASTM STANDARDS:
 

LABORATORY MIXED SAMPLE	7 DAYS	2860 P.S.I.
	28 DAYS	4000 P.S.I.
- GENERAL - ALL WORK ASSOCIATED WITH THE DETAILS SHOWN ON THIS PAGE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, OR CITY OF CODY STANDARD DETAILS



**K** CLEANOUT DETAILS  
N.T.S.

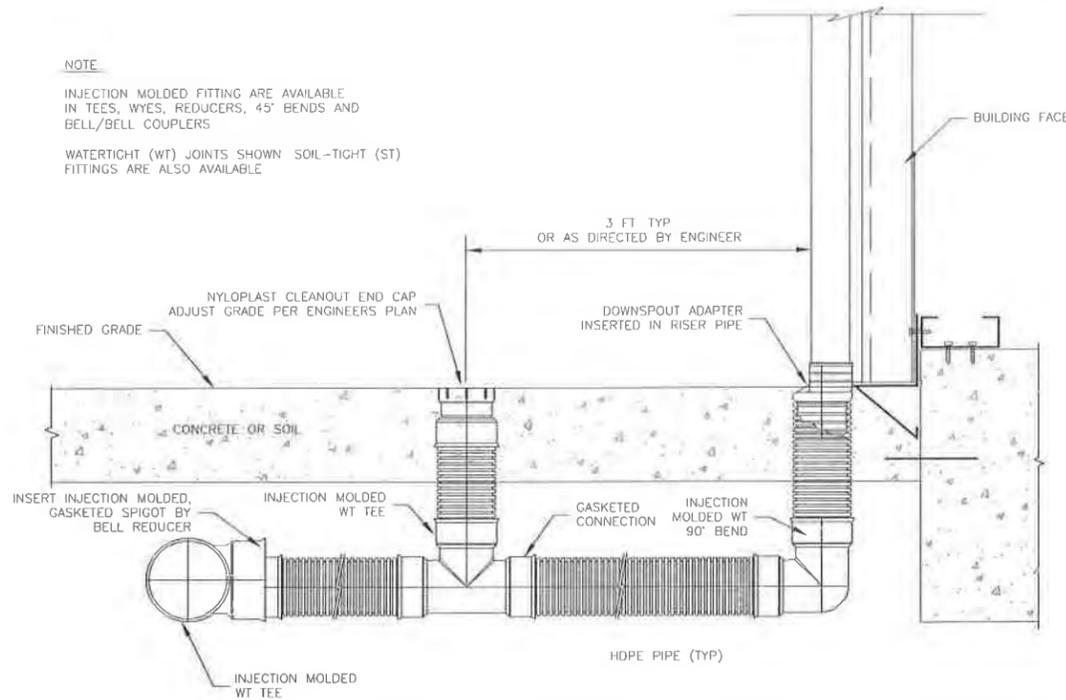
NOTES:

- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE BELL AND SPIGOT PIPE CONFORMING TO THE FOLLOWING:
  - PVC PIPE SHALL CONFORM TO CELL CLASSIFICATION 12454-B AS GIVEN IN ASTM D 1784
  - DIMENSIONS OF THE PIPE AND FITTINGS SHALL CONFORM TO ASTM D 3034 OR ASTM F 679 FOR SIZES OVER 15"
  - JOINTS IN ALL PVC SEWER PIPE SHALL BE WATER TIGHT WITH BELL AND SPIGOT ENDS WITH RUBBER O-RING GASKETS
  - STANDARD PVC "Y" TYPE BRANCHES WILL BE REQUIRED FOR ALL SERVICES ON A NEW MAIN
- PIPING FOR TREATED AND RAW WATER MAINS SHALL BE CLASS 52 DUCTILE IRON PIPE, CEMENT LINED CONFORMING TO ANSI A21.51 WITH TYTON JOINT ENDS CONFORMING TO ANSI A21.11
- FITTING FOR TREATED AND RAW WATER MAINS SHALL BE CAST IRON CLASS 250 CONFORMING TO ANSI A21.10 WITH MECHANICAL JOINT ENDS CONFORMING TO ANSI A21.11

NOTE:

INJECTION MOLDED FITTING ARE AVAILABLE IN TEES, WYES, REDUCERS, 45° BENDS AND BELL/BELL COUPLERS

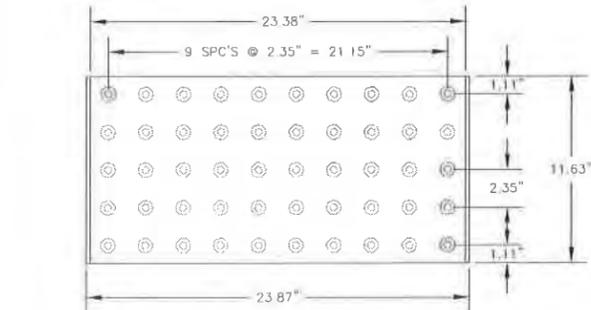
WATERTIGHT (WT) JOINTS SHOWN SOIL-TIGHT (ST) FITTINGS ARE ALSO AVAILABLE



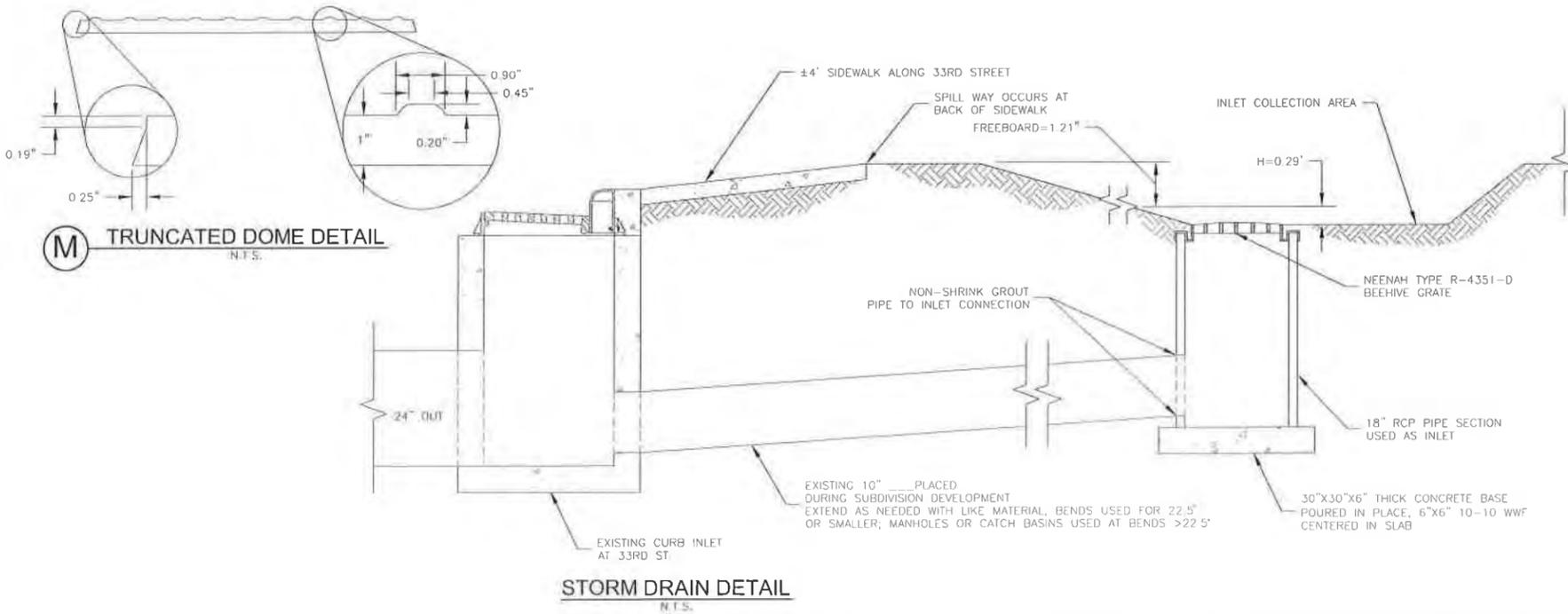
**L** ROOF DRAIN DOWNSPOUT TIE AND CLEANOUT DETAIL  
N.T.S.

NOTES:

- PLACE TRUNCATED DOME DETECTABLE WARNING PANELS AT THE BASE OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP A MINIMUM 24 IN. IN DEPTH AND SET BACK 8 IN. FROM BOTTOM OF CURB
- SIDEWALK CURB RAMP SLOPES SHOWN ARE RELATIVE TO THE TRUE LEVEL HORIZON (ZERO BUBBLE)
- IN ALTERATIONS CURB RAMP SLOPE(S) MAY BE 10% FOR A MAXIMUM RISE OF 6 IN. OR 12.5% FOR MAXIMUM RISE OF 3 IN. CURB RAMP, IN ALTERATIONS, NEED NOT EXCEED 6 FT. IN LENGTH.
- SIDE FLARES THAT ARE NOT PART OF THE PATH OF TRAVEL MAY BE ANY SLOPE.
- FOR THE PURPOSE OF THIS DRAWING, A CURB RAMP IS CONSIDERED "PERPENDICULAR" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 75 DEGREES OR GREATER.
- TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
- SIDEWALK FLARE IN NOT NECESSARY WHERE THE RAMP IS PROTECTED FROM THE PEDESTRIAN CROSS-TRAVEL
- THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL
- IN FREEZE THAW ZONES, LEAVE 1/8 IN. GAP IN BETWEEN PANELS AND SEAL WITH SIKAFLEX 1A SEALANT



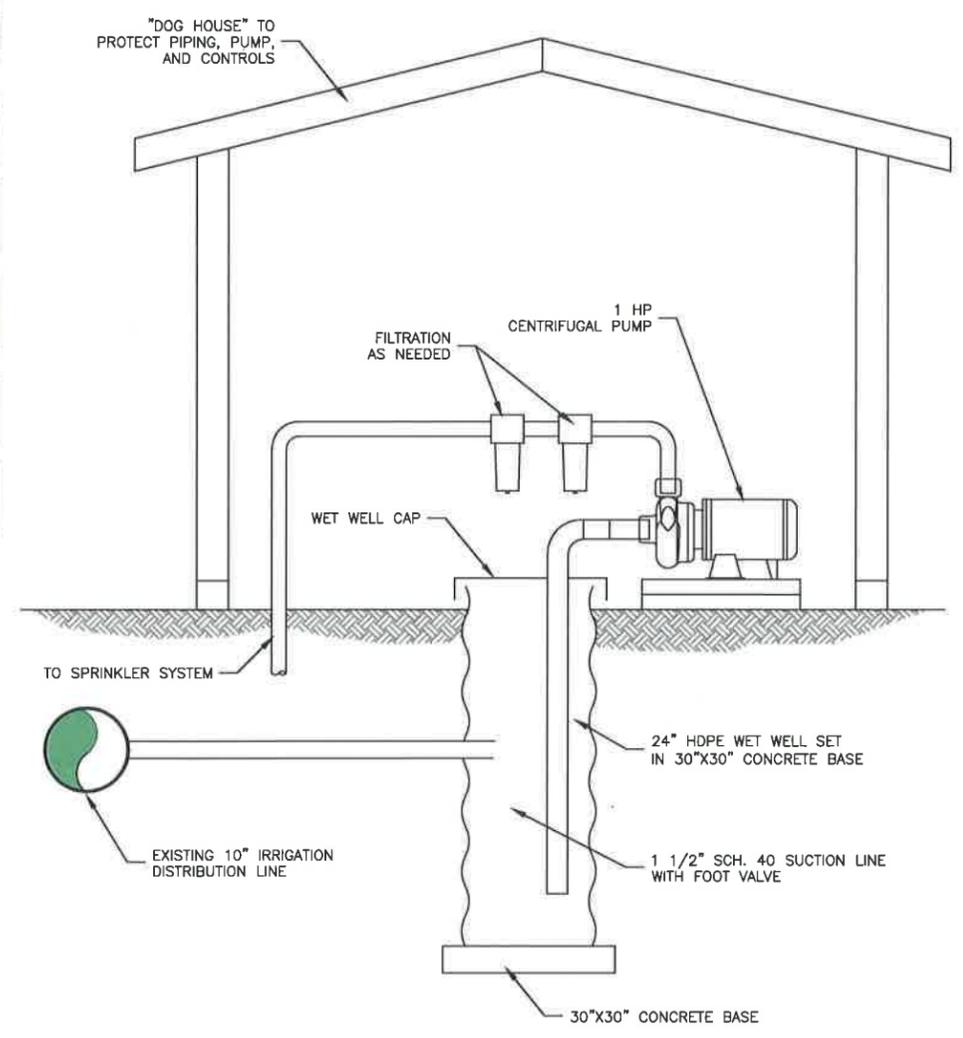
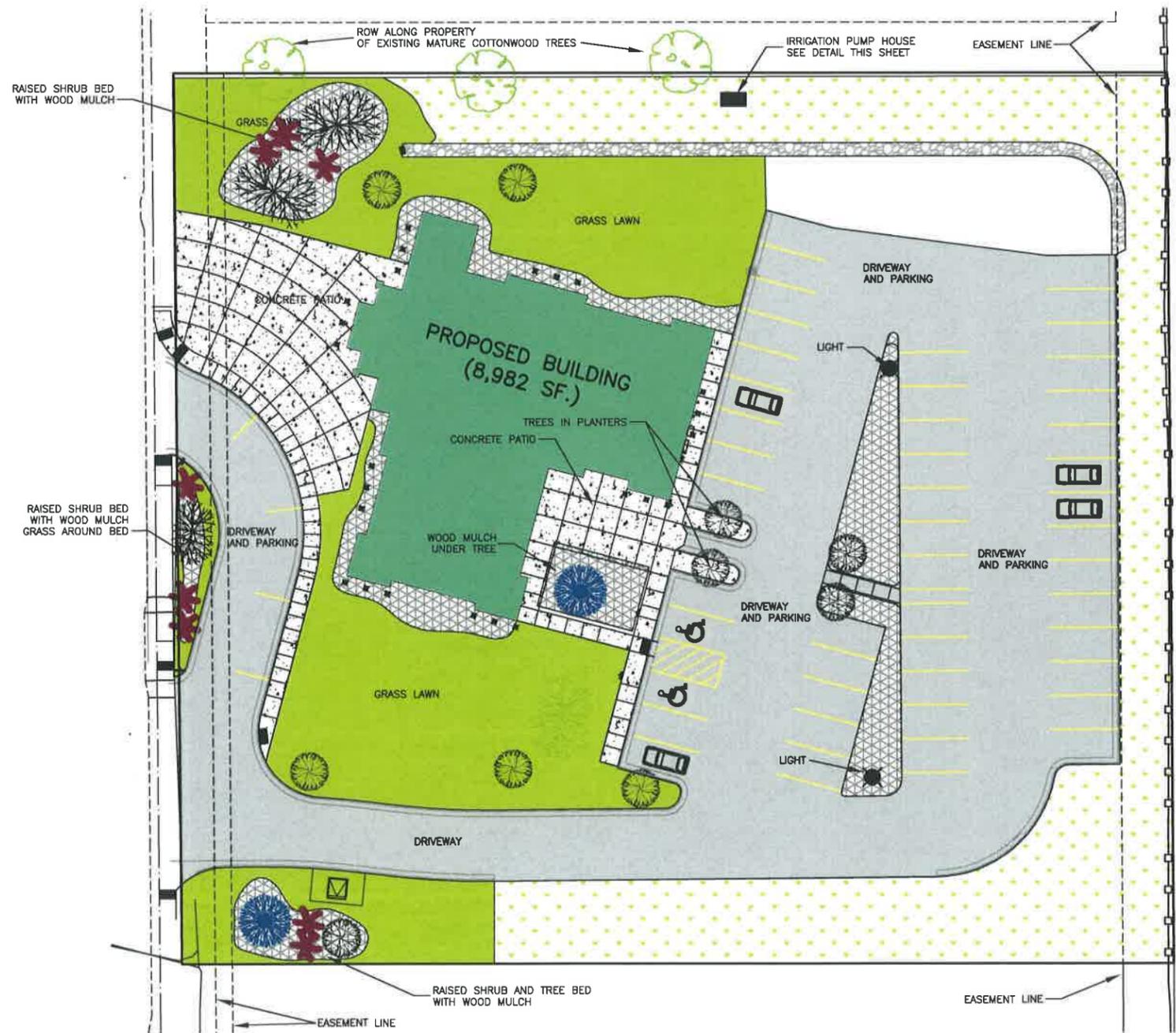
**M** TRUNCATED DOME DETAIL  
N.T.S.



**N** STORM DRAIN DETAIL  
N.T.S.

LANDSCAPING KEY

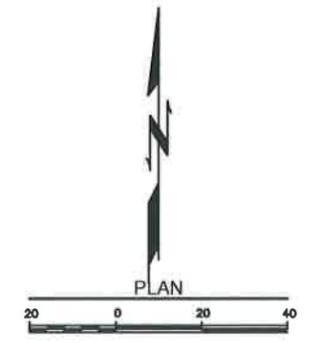
EXISTING LARGE - MATURE COTTONWOOD		CLEAN RIVER ROCK, 2"-4" DIAMETER, 12" DEEP	
DECIDUOUS - SUCH AS SPRING SNOW ORNAMENTAL CRABAPPLE (MALUS X HYBRIDS) MATURE GROWTH HEIGHT 18 FT, 6 FT SPREAD		WOOD MULCH	
EVERGREEN - SUCH AS BLUE SPRUCE MATURE GROWTH 50 TO 70 FT, 10 TO 20 FT SPREAD		DRY-LAND GRASS	
SEA GREEN JUNIPER - CHINESE SPREADING JUNIPER (JUNIPERUS CHINENSIS) MATURE GROWTH HEIGHT OF 3 FT		TURF GRASS	
GOLDFLAME - DWARF SUMMER-BLOOMING SPIREA (SPIRAEA JAPONICA OR X BUMALDA) MATURE GROWTH HEIGHT OF 2'-3'		CONCRETE	
		ASPHALT	



IRRIGATION PUMP HOUSE DETAIL

NOTES

1. CONTRACTOR SHALL USE EXISTING RAW WATER SERVICE TO SUPPLY IRRIGATION WATER TO LANDSCAPED AREAS. IRRIGATION SYSTEM SHALL BE DESIGNED BY THE BUILDING CONTRACTOR WITH APPROVAL OF ENGINEER.
2. WEED BARRIER FABRIC SHALL BE INSTALLED UNDER ALL LANDSCAPED AREAS.



1  
L1.1

LANDSCAPING PLAN

**GDA ENGINEERS - CODY, WYOMING**  
**NEW GDA ENGINEERS OFFICE BUILDING**  
*plan one / architects*

~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954 ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036

**PLAN**

**GDA ENGINEERS**  
CODY, WYOMING  
13071-587-8411

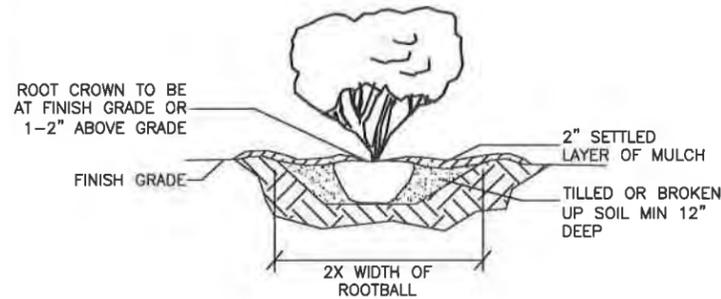
Professional Engineer (Civil)  
TODD N. KELLEY  
12850  
5-14-13  
WYOMING

The professional services of the architect are undertaken for and are performed in the interest of GDA ENGINEERS. No contractual obligation is assumed by the architect for the benefit of any other person involved in the contract.

project: 1057  
date: 5/28/13  
revisions:

L1.1

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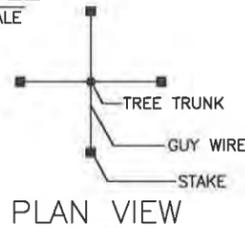


TYP. SHRUB PLANTING:  
INDIVIDUAL PLANTING HOLE

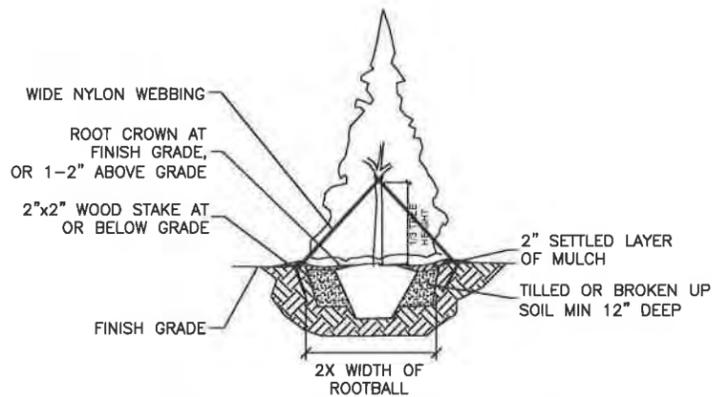
NOT TO SCALE

NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE

1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
5. IF B&B PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.



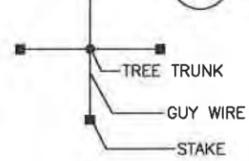
PLAN VIEW



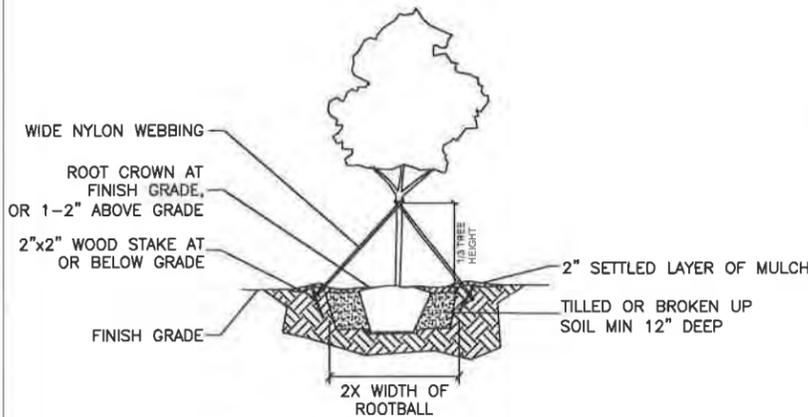
NOTES: EVERGREEN TREE PLANTING

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
2. DIG THE PLANTING HOLE A MINIMUM OF 2x WIDTH OF ROOTBALL FOR AT LEAST THE FIRST 12 INCHES OF DEPTH. BELOW 12 INCHES, DIG HOLE WIDE ENOUGH TO PERMIT ADJUSTING. DO NOT DIG THE HOLE DEEPER THAN ROOT BALL DEPTH.
3. SCARIFY THE SUBGRADE AND SIDES OF THE PLANTING HOLE WHEN PLANTING IN CLAY SOILS (MORE THAN 15% CLAY).
4. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK AND DO NOT USE TREE TRUNK AS A LEVER.
5. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE OR SLIGHTLY HIGHER IF THE SOIL IS PRONE TO SETTLING.
6. AFTER THE TREE IS SET IN PLACE, REMOVE BURLAP, WIRE AND STRAPS FROM AT LEAST THE UPPER 1/3 OF THE ROOTBALL.
7. BACKFILL WITH EXISTING SOIL THAT HAS BEEN WELL-TILLED OR BROKEN UP. DO NOT ADD AMENDMENTS TO THE BACKFILL SOIL. AMEND THE SURFACE WITH MULCH.
8. USE THREE 2" X 2" WOOD STAKES DRIVEN INTO UNDISTURBED SOIL A MINIMUM OF 16 INCHES. SPACE STAKES EQUALLY AROUND THE TREE.
9. ATTACH 3/4" NYLON WEBBING TO CONNECT THE TREE TO STAKES. ATTACH WEBBING AT 1/3 THE TREE HEIGHT.
10. APPLY A 2-3" (SETTLED) DEPTH OF PINE STRAW OR BARK MULCH TO THE PLANTING SURFACE. LEAVE A 2" SPACE AROUND THE TRUNK FOR AIR CIRCULATION.
11. PRUNING SHALL BE LIMITED TO DEAD, DISEASED, OR BROKEN LIMBS ONLY AND SHALL BE IN ACCORDANCE WITH ANSI A300 SPECIFICATIONS.
12. REMOVE ANY TRUNK WRAP REMAINING AT TIME OF PLANTING. NO WRAPS SHALL BE PLACED ON TRUNK.

EVERGREEN TREE PLANTING  
NOT TO SCALE



PLAN VIEW



NOTES: TREE PLANTING

1. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PLANT ACCORDING TO ANSI A300 PART 6.
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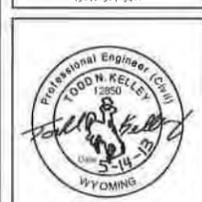
TREE PLANTING  
NOT TO SCALE

1  
L1.2

PLANTING DETAILS

GDA ENGINEERS - CODY, WYOMING  
NEW GDA ENGINEERS OFFICE BUILDING  
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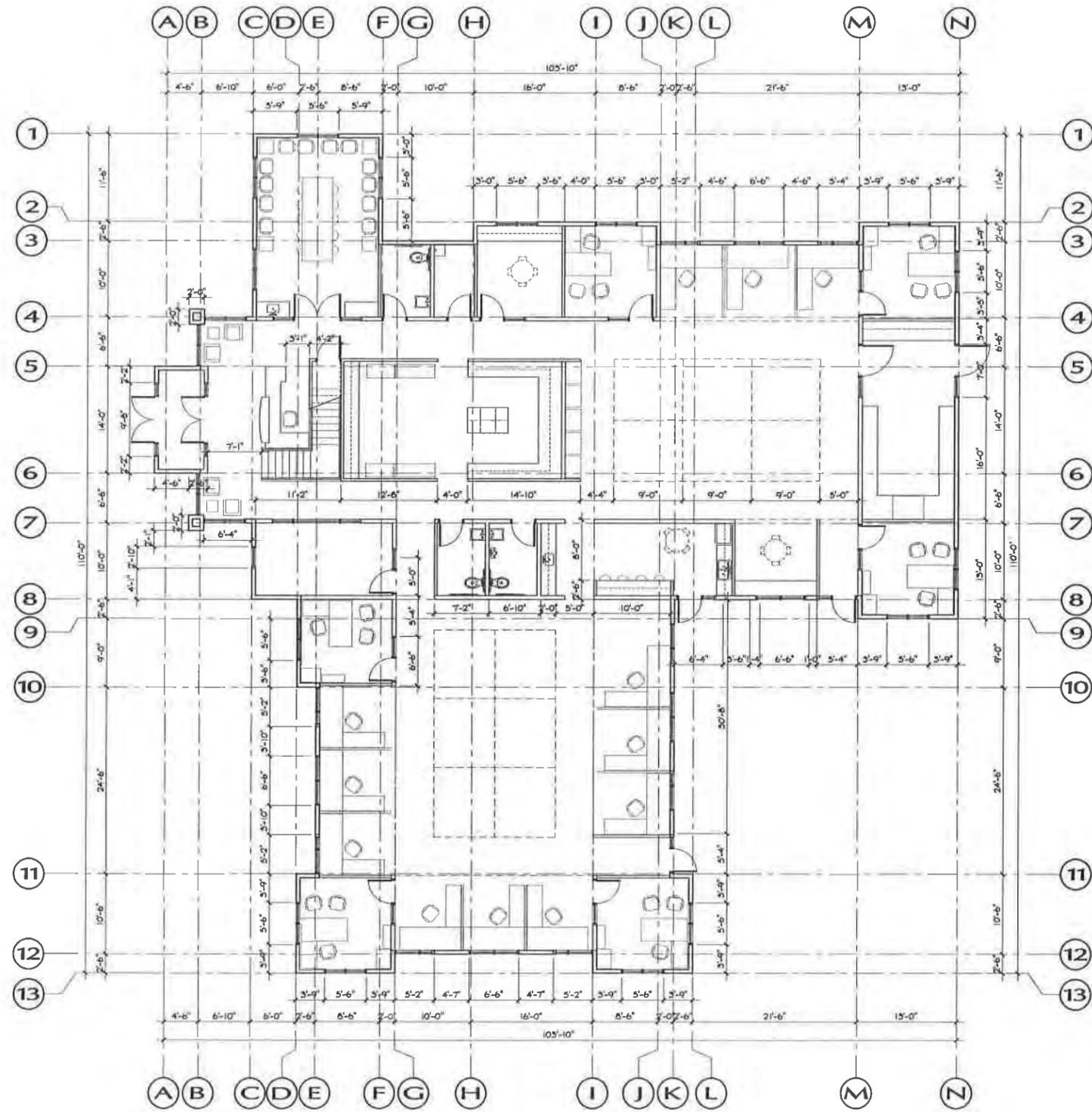
~ cody, wyoming. 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming. 4020 dewar dr., suite a, 82901 (307) 352-2954. ~ dallas, idaho. 189 north main, suite 112, 83422 (208) 354-8036



The professional services of the architect are undertaken for and are performed in the interest of GDA ENGINEERS. No contractual obligation is assumed by the architect for the benefit of any other person named in the contract.

project:	1057
date:	5/28/13
revisions:	

L1.2



1 MAIN LEVEL PLAN  
 A1.1 1/8" = 1'-0"

GENERAL NOTES

KEYED NOTES NOTED THIS (X)

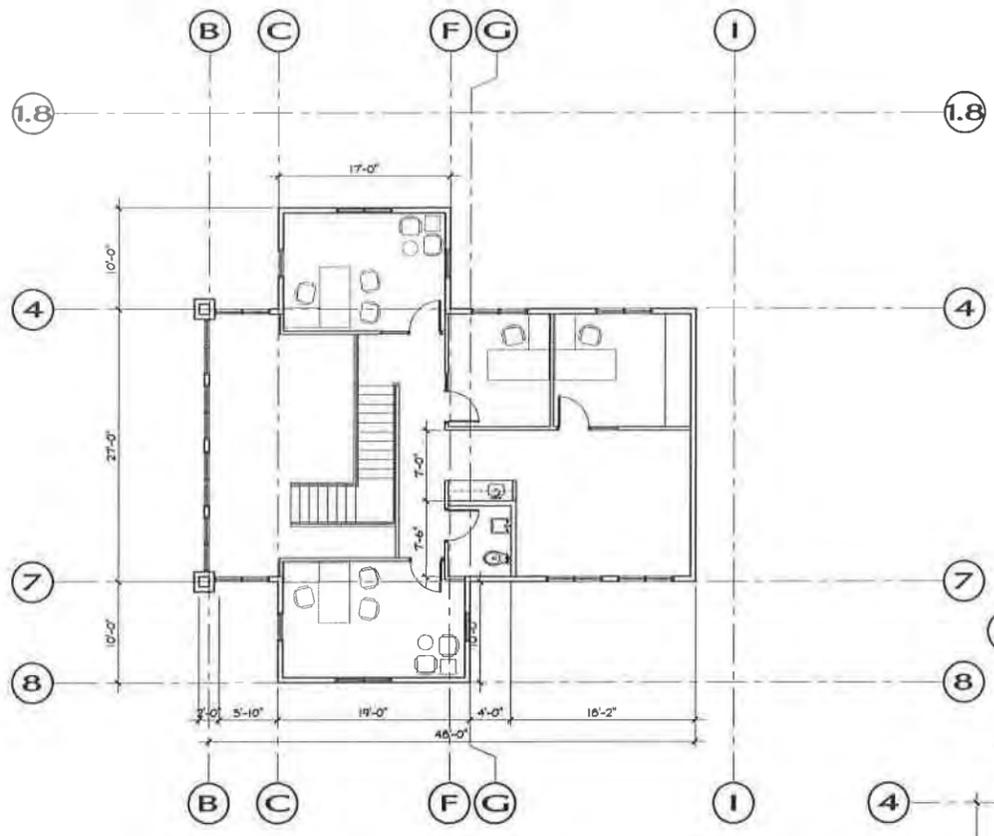
GDA ENGINEERS - CODY, WYOMING  
 NEW GDA ENGINEERS OFFICE BUILDING  
 pian one / architects  
 - cody, wyoming, 1001 12th st., 82414 (307) 587-8646 - rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, - driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036



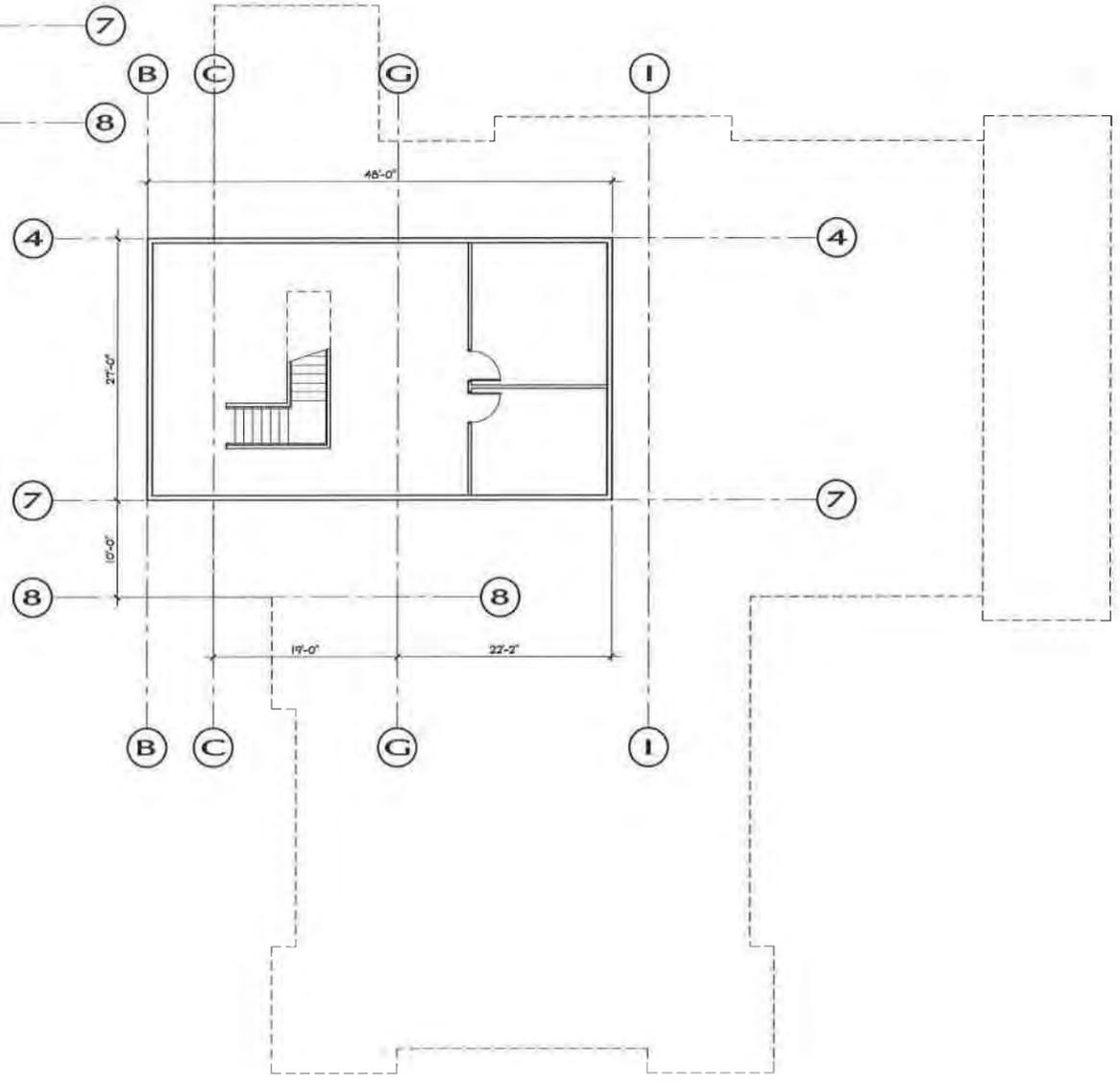
ARCHITECTS

project:	1312
date:	5/14/2013
revisions:	

A1.1



2 UPPER LEVEL PLAN  
A1.2 1/8" = 1'-0"  
NORTH



1 BASEMENT LEVEL PLAN  
A1.2 1/8" = 1'-0"  
NORTH

GENERAL NOTES

KEYED NOTES NOTED THIS (X)

GDA ENGINEERS - CODY, WYOMING  
 NEW GDA ENGINEERS OFFICE BUILDING  
 plan one / architects  
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ARCHITECTS

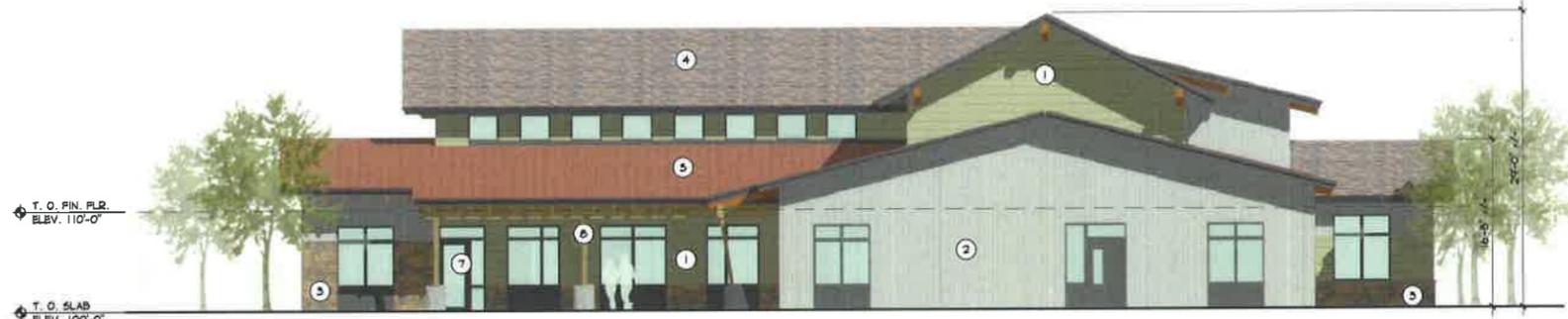
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project:	1312
date:	5/14/2013
revisions:	

A1.2



1 WEST ELEVATION  
AS.1 1/8" = 1'-0"



2 EAST ELEVATION  
AS.1 1/8" = 1'-0"



3 NORTH ELEVATION  
AS.1 1/8" = 1'-0"



4 SOUTH ELEVATION  
AS.1 1/8" = 1'-0"

GENERAL NOTES

KEYED NOTES NOTED THIS (X)

- 1 HORIZONTAL LAP SIDING - FIBER CEMENT
- 2 VERTICAL SIDING - METAL
- 3 SIMULATED STONE VENEER
- 4 ASPHALT COMPOSITION ROOFING
- 5 STANDING SEAM METAL ROOFING
- 6 ALUMINUM CLAD WOOD WINDOWS
- 7 ALUMINUM STOREFRONT ENTRANCE SYSTEM
- 8 COVERED PATIO

GDA ENGINEERS - CODY, WYOMING  
 NEW GDA ENGINEERS OFFICE BUILDING  
 Plan one / architects



ARCHITECTS

project: 1312  
 date: 5/14/2013  
 revisions:

A3.1

~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~

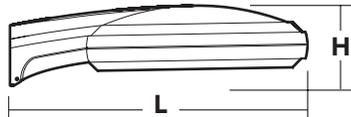


# MR2 LED LED Area Luminaire



## Specifications

<b>EPA:</b>	0.9 ft <sup>2</sup> (0.08 m <sup>2</sup> )
<b>Length:</b>	32-7/8" (83.5 cm)
<b>Width:</b>	25" (63.5 cm)
<b>Height:</b>	8-1/4" (21.0 cm)
<b>Weight (max):</b>	42 lbs (19.1 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The Omero™ family of luminaires blends a traditional round dayform with contemporary, low-profile styling to accent architectural elements in a variety of applications.

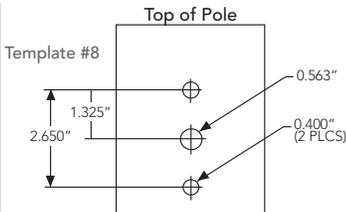
The MR2 LED combines the latest in LED technology with the designer aesthetic of the Omero™ family for stylish, high-performance illumination that lasts. The MR2 LED is ideal for replacing 250-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: MR2 LED 1 30B700/40K SR5 MVOLT SPA DDBXD**

MR2 LED	Series	Light Engines	Performance Package <sup>2</sup>	Distribution	Voltage	Mounting	Options	Finish (required)
MR2 LED	1	One engine (30 LEDs) <sup>1</sup>	<b>530 mA options:</b> 30B530/30K 3000K 30B530/40K 4000K 30B530/50K 5000K	SR2 Type II SR3 Type III SR4 Type IV SR5 Type V FT Forward throw	MVOLT <sup>3</sup> 120 <sup>3</sup> 208 <sup>3</sup> 240 <sup>3</sup> 277 <sup>3</sup> 347 480	<b>Shipped included</b> SPA Square pole mounting RPA Round pole mounting WBA Wall bracket	<b>Shipped installed</b> PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) <sup>5</sup> DMG 0-10V dimming driver (no controls) <sup>5,6</sup> HS House-side shield <sup>7</sup> SF Single fuse (120, 277, 347V) <sup>8</sup> DF Double fuse (208, 240, 480V) <sup>8</sup> WTB Utility terminal block UT Utility terminal block and closing screws DS Dual switching <sup>9,10</sup> <b>Shipped separately</b> VG Vandal guard <sup>7</sup>	<b>DDBXD</b> Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
	2	Two engines (60 LEDs)	<b>700 mA options:</b> 30B700/30K 3000K 30B700/40K 4000K 30B700/50K 5000K					

## Drilling



## Accessories

DSS124N 1.5 TIJE U	Photocell - SSL twist-lock (120-277V) <sup>11</sup>
DLL347 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>11</sup>
DLL480 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>11</sup>
SCU	Shorting cap <sup>11</sup>
MR2HS U	House-side shield (one per light engine)
MR2VG U	Vandal guard accessory
SPA19/MR2 DDBXD U	Square pole DM19 to DM19AS adapter
RPA19/MR2 DDBXD U	Round pole DM19 to DM19AS adapter

For more control options, visit [DTL](#) and [ROAM](#) online.

Omero™ shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM19AS</b>	Single unit	<b>DM29AS</b>	2 at 90°
<b>DM28AS</b>	2 at 180°	<b>DM39AS</b>	3 at 90°
<b>DM49AS</b>	4 at 90°	<b>DM32AS</b>	3 at 120°*

**Example:** SSA 20 4C DM19AS DDBXD

Visit Lithonia Lighting's [POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

## Tenon Mounting Slipfitter \*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

\* For round pole mounting (RPA) only.

## NOTES

- Single-engine product in 347 or 480V requires 700mA (1 30B700).
- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745 or email: sales@roamservices.net.
- Not available with single-engine 530 mA product (1 30B530).
- Not available with 347 or 480V.
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50% dimming capability via two independent drivers, each operating half the luminaire. Available with MVOLT and two light engines only. N/A with PER, DCR, DMG or WTB.
- Requires an additional switched line.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/-8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Light Engines	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 67 CRI)				
					Lumens	B	U	G	LPW
1 (30 LEDs)	530	30B530/--K	57W	SR2	4,522	1	0	1	79
				SR3	4,475	1	0	1	79
				SR4	4,583	1	0	2	80
				SR5	4,898	3	0	1	86
				FT	4,613	1	0	1	81
	700	30B700/--K	74W	SR2	5,514	1	0	2	75
				SR3	5,403	1	0	2	73
				SR4	5,565	1	0	2	75
				SR5	6,105	3	0	1	83
				FT	5,601	1	0	2	76
2 (60 LEDs)	530	30B530/--K	111W	SR2	9,002	2	0	2	81
				SR3	8,863	2	0	2	80
				SR4	9,003	2	0	2	81
				SR5	9,857	3	0	2	87
				FT	9,186	2	0	2	83
	700	30B700/--K	146W	SR2	10,999	2	0	2	75
				SR3	10,759	2	0	2	74
				SR3 HS	8,326	0	0	2	57
				SR4	10,967	2	0	2	75
				SR5	12,014	4	0	2	82
FT	11,305	2	0	2	77				

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
<b>25°C</b>	<b>77°F</b>	<b>1.00</b>
30°C	86°F	1.00
40°C	104°F	0.99

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **MR2 LED 2 30B700** platform in a **40°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

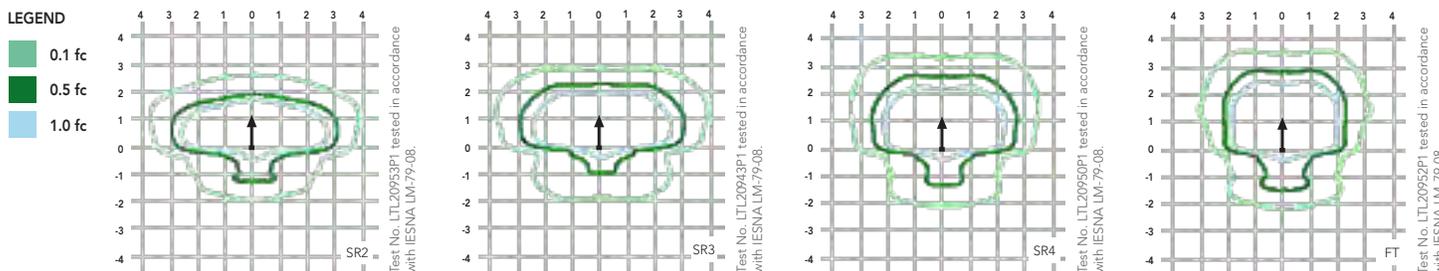
### Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	530	57W	0.53	0.30	0.26	0.23	0.18	0.13
	700	74W	0.69	0.40	0.34	0.30	0.24	0.17
2	530	111W	1.03	0.59	0.51	0.45	0.36	0.26
	700	146W	1.35	0.78	0.68	0.59	0.47	0.34

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [MR2 LED homepage](#).

Isofootcandle plots for the MR2 LED 2 30B700/40K. Distances are in units of mounting height (20').



## FEATURES & SPECIFICATIONS

### INTENDED USE

Highly efficient and long-lasting, the MR2 LED is ideal for parking areas, street lighting, walkways and car lots.

### CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A perforated housing prevents debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants. Low EPA (0.9 ft) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

### OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (67 CRI) or optional 3000K (80 CRI) or 5000K (67 CRI) configurations. The MR2 has zero uplight and qualifies as

a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The MR2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated. **U.S. Patent No. D556,357.**

### WARRANTY

Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Specifications subject to change without notice.





# MRW LED

## Architectural Wall Sconce



### Specifications

#### Luminaire

**Height:** 7-1/4"  
(18.4 cm)

**Width:** 18"  
(45.7 cm)

**Depth:** 9"  
(22.8 cm)

**Weight:** 18 lbs  
(8.2 kg)

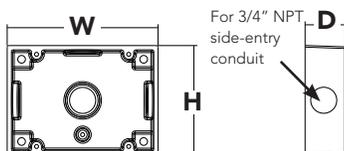


### Optional Back Box (BBW)

**Height:** 4"  
(10.2 cm)

**Width:** 5-1/2"  
(14.0 cm)

**Depth:** 1-1/2"  
(3.8 cm)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

The MRW LED is ideal for replacing existing 50 – 175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

### Ordering Information

**EXAMPLE:** MRW LED 2 10A700/40K SR3 MVOLT DBBTXD

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options <sup>3</sup>	Finish (required)
MRW LED	1 One engine (10 LEDs)	700 mA options: 10A700/40K 4000K	SR2 Type II	MVOLT <sup>1</sup>	<b>Shipped included</b>	<b>Shipped installed</b>	DBBXD Dark bronze
	2 Two engines (20 LEDs)		SR3 Type III	120 <sup>1</sup>	(blank) Surface mount	PE Photoelectric cell, button type <sup>4,5</sup>	DBLXD Black
			SR4 Type IV	208 <sup>1</sup>	<b>Shipped separately<sup>2</sup></b>	SF Single fuse (120, 277, 347V) <sup>4</sup>	DNAXD Natural aluminum
				240 <sup>1</sup>	BBW Surface-mounted back box	DF Double fuse (208, 240, 480V) <sup>4</sup>	DWHXD White
				277 <sup>1</sup>	UT5 Uptilt 5 degrees	DMG 0-10V dimming driver (no controls)	DSSXD Sandstone
				347		ELCW Emergency battery backup <sup>6</sup>	<b>DBBTXD Textured dark bronze</b>
				480		WLU Wet location door for up orientation	DBLBXD Textured black
						PIR Motion/ambient light sensor <sup>7</sup>	DNATXD Textured natural aluminum
						<b>Shipped separately</b>	DWHGXD Textured white
						VG Vandal guard	DSSTXD Textured sandstone
						WG Wire guard	

### Emergency Battery Operation

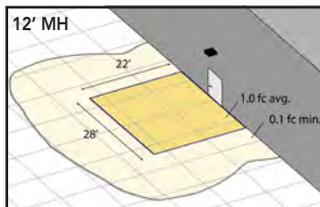
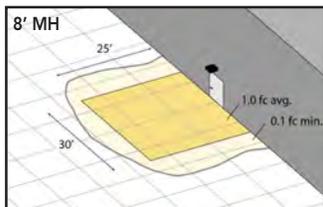
The emergency battery backup (ELCW option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCW configurations include an independent secondary driver with an integral relay to immediately detect A/C power loss. Dual light engines are wired in parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70/NEC 2008 - 700.16

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples at right show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.

WST LED 1 10A700/40K SR4 MVOLT ELCW  
10' x 10' Gridlines  
8' and 12' Mounting Height



### NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with photocell (PE option) or fusing (SF, DF options).
- May also be ordered separately as an accessory. Ex: WSBWW DBBXD U. Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PE) can be ordered with a dedicated voltage option. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with 480V option. Not available with motion/ambient light sensor (PIR).
- Integral battery pack is rated for -20° to 60°C operating temperature. ELCW warranty is 3 year period. Not available with 347V or 480V.
- Specifies the [SensorSwitch SFD-7-ODP](#) control (photocell included); see [Motion Sensor Guide](#) for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with WLU, VG or WG.



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MVOLT <sup>1</sup> )	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	B	U	G	LPW
1 (10 LEDs)	700	10A700/--K	24W	SR2	2005	1	0	1	84
				SR3	2029	1	0	1	84
				SR4	1959	1	0	1	82
2 (20 LEDs)	700	10A700/--K	47W	SR2	3944	1	0	1	84
				SR3	4028	1	0	1	86
				SR4	3851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.10
10°C	50°F	1.06
20°C	68°F	1.02
25°C	77°F	1.00
30°C	86°F	0.98
40°C	104°F	0.92

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the MRW LED 2 10A700 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

### Electrical Load

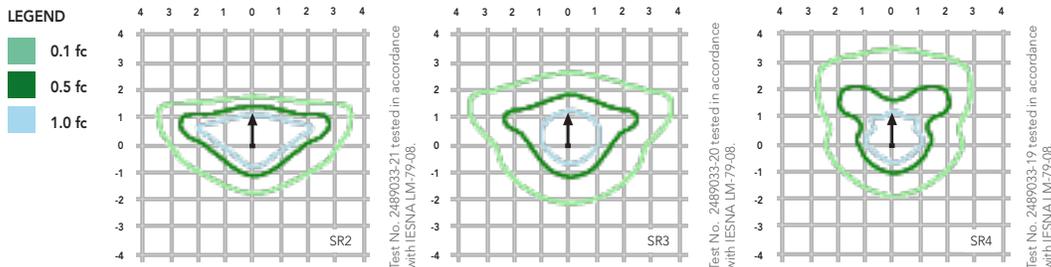
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W <sup>1</sup>	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W <sup>1</sup>	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

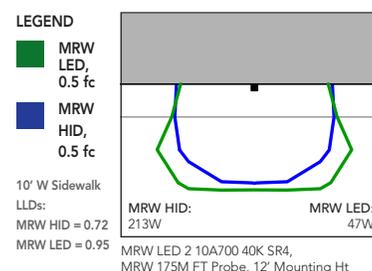
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's MRW LED homepage.

Isfootcandle plots for the MRW LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



## FEATURES & SPECIFICATIONS

### INTENDED USE

The classic architectural shape of the MRW LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The MRW LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The integral bubble level on the mounting plate provides assistance for level placement on every installation.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

### WARRANTY

Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Specifications subject to change without notice.



Catalog Number	
Notes	Type

## FEATURES & SPECIFICATIONS

**CONSTRUCTION** — Weldable-grade, hot rolled, commercial-quality carbon steel tubing with a minimum yield of 42,000 psi. Uniform wall thickness of .120". Shaft is one piece with a full length, longitudinal, high-frequency electric resistance weld. Uniformly round in cross-section down length of shaft with no taper.

Anchor base is fabricated from hot rolled carbon steel plate (ASTM A-36), 3/4" thickness. Base plate and shaft are circumferentially welded at both the top and the bottom to provide maximum strength at the area of critical stress.

Reinforced handhole rim is located 18" above the base. Cover and attachment hardware provided.

Top cap provided with all drill-mount poles.

Fasteners are high-strength galvanized, zinc-plated or stainless steel.

Base cover is finished to match pole.

**FINISH** — Must specify finish.

**GROUNDING** — Provision located inside handhole rim. Grounding hardware is not included (provided by others).

**ANCHOR BOLTS** — Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod having a minimum yield strength of 55,000 psi.



Anchor Base Poles

# RSS

ROUND STRAIGHT STEEL

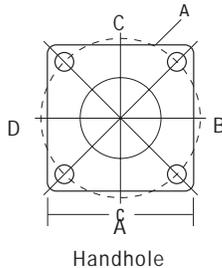
## ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: RSS 20 4-5B DM19 DDB

Series	Nominal fixture mounting height	Nominal shaft base size/wall thickness	Mounting <sup>1</sup>	Options	Finish <sup>8</sup>
RSS	8 – 30 feet (See back page.)	(See back page.)	<u>Tenon mounting</u>	<u>Shipped installed</u>	<u>Standard colors</u>
			PT Open top	L/AB Less anchor bolts	DDB Dark bronze
			T20 2-3/8" O.D. (2" NPS)	FBC Full base cover	DWH White
			T25 2-7/8" O.D. (2-1/2" NPS)	VD Vibration damper	DBL Black
			T30 <sup>2</sup> 3-1/2" O.D. (3" NPS)	TP Tamper proof	DMB Medium bronze
			T35 <sup>2</sup> 4" O.D. (3-1/2" NPS)	H1-18Sxx Horizontal arm bracket (1 fixture) <sup>4,5</sup>	DNA Natural aluminum
			<u>Drill mounting<sup>3</sup></u>	FDLxx Festoon outlet less electrical <sup>4</sup>	GALV Galvanized finish
			DM19 1 at 90°	CPL12xx 1/2" coupling <sup>4</sup>	<u>Classic colors</u>
			DM28 2 at 180°	CPL34xx 3/4" coupling <sup>4</sup>	DSS Sandstone
			DM28PL 2 at 180° with one side plugged	CPL1xx 1" coupling <sup>4</sup>	DGC Charcoal gray
			DM29 2 at 90°	NPL12xx 1/2" threaded nipple <sup>4</sup>	DTG Tennis green
			DM29 2 at 90°	NPL34xx 3/4" threaded nipple <sup>4</sup>	DBR Bright red
			DM32 3 at 120°	NPL1xx 1" threaded nipple <sup>4</sup>	DSB Steel blue
			DM49 4 at 90°	EHHxx Extra handhole <sup>4,6</sup>	<u>Architectural colors</u> (powder finish) <sup>8</sup>
			<u>AERIS™/OMERO™ Drill mounting<sup>3</sup></u>		
			DM19AS 1 at 90°		
			DM28AS 2 at 180°		
			DM29AS 2 at 90°		
			DM32AS 2 at 120°		
			DM39AS 3 at 90°		
			DM49AS 4 at 90°		
			<u>AERIS™ Suspend drill mounting<sup>3,7</sup></u>		
			DMxxAST_		
			<u>OMERO™ Suspend drill mounting<sup>3,7</sup></u>		
			DMxxMRT_		

## HANDHOLE ORIENTATION



### NOTES:

- When ordering tenon mounting and drill mounting for the same pole, follow this example: DM28/T20. The combination includes a required extra handhole.
- T30 and T35 tenons available on 5" shafts only.
- The drilling template to be used for a particular luminaire depends on the luminaire that is used. Refer to the Technical Data Section of the Outdoor Binder for Drilling Templates.
- Specify location and orientation when ordering option.  
For 1st "x": Specify the height in feet above base of pole.  
*Example: 5ft = 5 and 20ft = 20*  
For 2nd "x": Specify orientation from handhole (A,B,C,D)  
*Refer to the Handhole Orientation diagram above.*
- Horizontal arm is 18" x 2-3/8" O.D. tenon standard.
- Combination of tenon-top and drill mount includes extra handhole.
- Insert "1" or "2" to designate fixture size; e.g. DM19AST2.
- Finish must be specified. Additional colors available; see [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) or Architectural Colors brochure (Form No. 794.3). Powder finish standard.

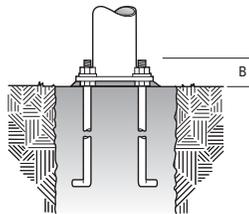
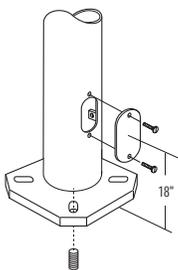
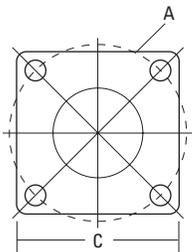
### IMPORTANT INSTALLATION NOTES:

- Do not erect poles without having fixtures installed.
- Factory-supplied templates must be used when setting anchor bolts. Lithonia will not accept claim for incorrect anchorage placement due to failure to use factory template.
- If poles are stored outside, all protective wrapping must be removed immediately upon delivery to prevent finish damage.
- Lithonia is not responsible for the foundation design.

# RSS Round Straight Steel Poles

## TECHNICAL INFORMATION

Catalog Number	Nominal shaft length (feet)	Pole Shaft Size (in x ft)	Wall Thickness (inches)	EPA (ft <sup>2</sup> ) with 1.3 gust						Bolt Circle (inches)	Bolt Size (in. x in. x in.)	Approximate ship weight (pounds)
				80 mph	Max. weight	90 mph	Max. weight	100 mph	Max. weight			
RSS 8 4-5B	8	4.5 x 8.0	0.120	24.7	630	19.7	495	16.0	430	8	3/4 x 18 x 3	55
RSS 10 3B	10	3.0 x 10.0	0.120	10	250	7.7	190	6.0	175	8	3/4 x 18 x 3	55
RSS 10 4B	10	4.0 x 10.0	0.120	19.1	480	15.0	375	12.2	305	8	3/4 x 18 x 3	70
RSS 10 4-5B	10	4.5 x 10.0	0.120	24.5	615	19.5	490	15.8	395	8	3/4 x 18 x 3	75
RSS 12 3B	12	3.0 x 12.0	0.120	7.7	195	5.8	145	4.4	130	8	3/4 x 18 x 3	60
RSS 12 4B	12	4.0 x 12.0	0.120	15.0	390	11.8	300	9.5	240	8	3/4 x 18 x 3	80
RSS 12 4-5B	12	4.5 x 12.0	0.120	19.8	495	15.7	395	12.7	320	8	3/4 x 18 x 3	85
RSS 14 3B	14	3.0 x 14.0	0.120	6.0	175	4.4	130	3.3	90	8	3/4 x 18 x 3	70
RSS 14 4B	14	4.0 x 14.0	0.120	12.2	305	9.4	250	7.6	195	8	3/4 x 18 x 3	90
RSS 14 4-5B	14	4.5 x 14.0	0.120	16.2	405	12.8	320	10.3	260	8	3/4 x 18 x 3	95
RSS 15 4-5B	15	4.5 x 15.0	0.120	12.0	300	9.5	250	7.5	200	8	3/4 x 18 x 3	96
RSS 16 3B	16	3.0 x 16.0	0.120	4.6	125	3.2	100	2.3	60	8	3/4 x 18 x 3	80
RSS 16 4B	16	4.0 x 16.0	0.120	9.6	250	7.4	185	5.9	150	8	3/4 x 18 x 3	100
RSS 16 4-5B	16	4.5 x 16.0	0.120	13.1	330	10.2	265	8.2	205	8	3/4 x 18 x 3	105
RSS 18 3B	18	3.0 x 18.0	0.120	3.4	90	2.3	60	1.4	70	8	3/4 x 18 x 3	90
RSS 18 4B	18	4.0 x 18.0	0.120	7.6	190	5.7	180	4.5	130	8	3/4 x 18 x 3	110
RSS 18 4-5B	18	4.5 x 18.0	0.120	10.5	265	8.2	210	6.5	165	8	3/4 x 18 x 3	115
RSS 20 3B	20	3.0 x 20.0	0.120	2.4	100	1.4	75	--	--	8	3/4 x 18 x 3	100
RSS 20 4B	20	4.0 x 20.0	0.120	6.0	150	4.45	150	3.45	125	8	3/4 x 18 x 3	120
RSS 20 4-5B	20	4.5 x 20.0	0.120	8.5	215	6.6	165	5.2	130	8	3/4 x 18 x 3	130
RSS 20 5B	20	5.0 x 20.0	0.120	11.75	300	9.1	230	7.25	180	8	3/4 x 18 x 3	145
RSS 22 4-5B	22	4.5 x 22.0	0.120	6.0	150	4.5	125	3.75	100	8	3/4 x 18 x 3	134
RSS 25 4B	25	4.0 x 25.0	0.120	2.85	100	1.95	75	1.35	75	8	3/4 x 18 x 3	145
RSS 25 4-5B	25	4.5 x 25.0	0.120	4.8	130	3.6	90	2.7	90	8	3/4 x 18 x 3	145
RSS 25 5B	25	5.0 x 25.0	0.120	7.25	180	5.5	150	4.25	150	8	3/4 x 18 x 3	180
RSS 30 4-5B	30	4.5 x 30.0	0.120	2.3	80	1.5	75	1.0	60	8	3/4 x 18 x 3	185
RSS 30 5B	30	5.0 x 30.0	0.120	4.2	150	3	125	2.25	100	8	3/4 x 18 x 3	210



Pole Data						
Shaft base size	Bolt circle A	Bolt projection B	Base square	Template description	Anchor bolt description	
3"	8"	3.25" - 3.50"	8"	ABTEMPLATE PJ50041	AB18-0	
4"	8"	3.25" - 3.50"	8"	ABTEMPLATE PJ50041	AB18-0	
4.5"	8"	3.25" - 3.50"	8"	ABTEMPLATE PJ50041	AB18-0	
5"	8"	3.25" - 3.50"	8"	ABTEMPLATE PJ50041	AB18-0	

**IMPORTANT:**

• These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 11, 2013	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: GEE PROFESSIONAL OFFICE BUILDING (702 PLATINUM AVENUE), REVISED PROPOSAL FILE NO. SPR 2013-18	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**BACKGROUND:**

Gee Properties, LLC, has submitted an updated site plan application for development of a medical office building at 702 Platinum Avenue. The Planning and Zoning Board approved a site plan on October 23, 2012 for the property. The project has been scaled back in size, such that the total building size is now 8,161 square feet, where it had been over 11,000 square feet. It is still three levels, plus a basement, but the north-south building dimension is reduced from 90 feet to 64 feet. The east-west dimension remains the same at about 46 feet. Area per floor is 2,395 sq. ft. main floor; 2189 sq. ft. 2<sup>nd</sup> floor; 1,295 sq. ft. 3<sup>rd</sup> floor; and 2,282 sq. ft. basement.

As was the case previously, the site plan is dependent on use of a portion of the 7th Street right-of-way. The City Council passed an ordinance on November 6, 2012 to vacate the east twenty feet of the 7th Street right-of-way, subject to a number of conditions, listed as follows:

*CONDITION A: Gee Properties, LLC shall provide payment in the amount of \$5,999.00.*

*CONDITION B: Gee Properties, LLC shall improve the remaining 30-feet of right-of-way from Platinum Avenue to the Cody Medical Arts Property, at the sole expense of Gee Properties, LLC, with asphalt, curb and gutter, and sidewalk on the west side. The improvements shall meet City standards for road base, asphalt, and other standard specifications of the City Engineer. The construction must be reviewed and approved by the City Engineer.*

*CONDITION C: Gee Properties, LLC shall pay all publication and recording fees related to this action.*

Those conditions remain to be completed, so approval of the site plan application would be contingent on completing the street vacation.

The property is located within the D-2 zoning district and is subject to a development agreement that restricts use of the property to professional office use, and also limits the height and standard for percentage of lot area covered by buildings to the

Residential B Zone requirements (35 feet and 50%). A copy of the development agreement is attached.

**REVIEW CRITERIA:**

Section 10-10B-4 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

The zoning ordinance does not set forth a process for modifying a previously approved application. Since the last review the City has adopted a new off-street parking ordinance, with much greater detail relating to parking ratios and dimensional requirements. The City Attorney was consulted and his opinion is that the revised proposal is subject to the new parking ordinance. No other zoning ordinance standards have changed since the last review.

**STAFF COMMENTS:**

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Single-family residence.	Residential B
East	Single-family residence.	Residential B
South	Hotel and Cody Medical Arts facility.	D-2
West	Vacant (Danzik yard area).	Residential B

**Setbacks, Buffers, and Height Requirements**

No setbacks are required under the zoning code, although to avoid fire wall requirements, setbacks need to be maintained (typically 5'). Also, the proposal will place the building on the property line between the two existing parcels, which violates building/fire codes. Therefore, the property line will need to be removed. This can be accomplished through a lot line adjustment/parcel combination survey sometime before the Certificate of Occupancy is issued.

A 15-foot wide buffer is required between this development and adjacent residential

property to the east, which is shown on the site plan and landscaping plan. The buffer is shown as required. The buffer requirements of the zoning ordinance specify a "*15-foot wide strip of land, to be landscaped and maintained*". There is also a requirement for a visual screen, which is defined as "*a fence at least six feet high of sufficient density or construction that prevents visual contact from opposite sides*". The proposed 15-foot wide landscaped area and 6-foot high cedar privacy fence will meet the buffer requirements.

The building height is below the 35-foot threshold applicable to this property. As building height is measured to the midpoint of a sloped roof, the proposed building height is approximately 31' 6". Admittedly a two-story structure would be more agreeable to many people, yet the height limit is met, and the architecture of the structure is such that the third level is stepped back from the east and west sides of the second level to help reduce the overall mass of the building.

#### Architecture:

The building elevations, with exterior materials noted, are included in the application. Photos of material examples are also included. The building is proposed to be sided with stone, horizontal wood siding, and a panel batten. Glass will also be abundantly used for the lobby areas. The roof is to be metal. The former application indicated that the building exterior will be earth-tone in color, mainly in a green and brown color scheme. The current application does not specify, so the Board should confirm the intent.

The architectural design is professionally done and reflects the applicant's intent to design a facility that includes residential features and displays a natural component. The high quality of architecture meets the intent of the ordinance.

The P&Z Board will need to determine if the proposed materials and colors are suitable.

#### Landscaping:

A landscaping plan is included. It includes a number of large trees, ornamental trees, shrubs, flowers, and groundcover. So long as the tree at the northwest corner of the property is at least 10 feet from the fire hydrant, the tree locations meet applicable utility separation requirements. In staff's opinion the landscaping is of an extent that the intent of the ordinance is met.

#### Storm Water Plan:

The current application references the former stormwater/civil site plan as the intent of how stormwater will be handled. The plan has not yet been updated to reflect the new building, due to uncertainty relating to potential changes to the parking that will be discussed in the parking section. The stormwater plan includes a 4' wide by 25' long infiltration trench in the 15-foot wide landscape buffer and a 4' wide by 10' long infiltration trench to the north of the building. The City engineer previously reviewed

the storm water plan and determined that it meets the City sizing standards, although a detail for the grate on the sidewalk is still needed. It was also suggested that the roof drainage at the northeast corner of the building be piped to the infiltration trench rather than having it flow across the parking lot due to winter freezing/ice conditions.

#### Parking:

The new parking ordinance has specific dimensional standards, where the prior ordinance did not. As a result, some modifications to the site plan are needed. Wider sidewalks, or parking blocks, are needed to provide the 4-foot wide sidewalk clearance in front of the parking stalls. Widening the west sidewalk from four feet to six feet and widening the east sidewalk from five feet to 5.7 feet would accomplish it, but other options are available.

Additionally, while using the new tables for angled parking it was realized that the angled parking stalls on the east side of the building were drawn incorrectly on the original civil site plan, such that they are a few feet short of the required length. Fortunately, the backup area made up for some, but not all of that. Total width for the 60-degree stalls and backup area needs to be 38.1 feet, where only 37 feet is currently shown. The added sidewalk widths and parking area likely means a total of 3.8 feet less of landscaping along the sides of the building. Indirectly, it may also mean that the drainage ditch shown along the west side of the building may now need to be a pipe, but that can be left to the engineer to see what can fit or not.

The number of parking spaces required for the current proposal needs to be determined by the Board. The parking ordinance uses a default of one space per 250 square feet of gross floor area, yet allows the Board to authorize otherwise *“based on reliable data, such as parking data from a highly comparable facility or a parking demand study prepared by a qualified parking consultant or engineer, which justifies use of a different parking ratio”*.

The application includes a letter as to why the applicant believes that the 23 spaces shown will be adequate for the building (see attached). Staff agrees that the upper level, which is a private office space/retreat for Dr. Gee, does not generate any parking needs, as the doctor is already working in the facility and is essentially accounted for as part of the rest of the building. Staff also agrees that the 300 square feet of sleep lab represents usage during an off-peak time slot, and does not need to be included in the parking calculations. Staff notes that the Cody Medical Arts complex is a similar facility, and that a ratio near theirs could be justified, although it is difficult to tell if the parking ratio for that facility is appropriate, as the lower level of that facility is not built out to capacity. That being said, the parking ratio used on the original Dr. Gee application was one space per 300 square feet of gross floor area.

The claim that the square footage of the public spaces will be 5,870 square feet (#1 in applicant's letter) is not in full compliance with the ordinance as it excludes some non-

habitable areas (mechanical rooms, stairwell), which is not how the parking ordinance default ratios are set up.

Applying the deductions for the upper level, 300 square feet of sleep area, and the benefit of rounding the final calculation, applying the ratio of one space per 250 square feet would allow all but 693 square feet of the basement to be occupied as medical office space. Those 693 square feet would require three additional parking spaces.

If the Board wishes to make a determination that *“based on reliable data, such as parking data from a highly comparable facility or a parking demand study prepared by a qualified parking consultant or engineer, which justifies use of a different parking ratio”*, they may specify such. However, they cannot authorize less than justified by that provision, as the existing development agreement on the property prohibits a variance or special exemption to the parking standards for this facility.

If a different ratio is not justified, but the Board otherwise agrees with the analysis, the Board could simply prohibit use of 693 square feet of the basement until such time as the additional parking is provided, or once the facility is otherwise fully operational and it is demonstrated to the Board that the additional parking is not necessary.

#### Lighting

Exterior lighting details are provided and include five LED down-lit wall packs mounted on the building.

#### Street/Frontage Improvements

The access streets and alleys serving this property include Platinum Avenue, the 7<sup>th</sup> Street right-of-way, and a 10-foot wide alley along the south side of the property. Platinum Avenue is a fully developed City street, with curb, gutter and sidewalk.

The site plan shows the needed frontage improvements, with the exception of the sidewalk along the west side of 7<sup>th</sup> Street (required by vacation ordinance). Additional engineering details (cross sections, pavement depth, etc.) are needed for City Engineer review and approval before the work is conducted for the 7<sup>th</sup> Street area, although the concept depicted in the site plan clearly shows the intent.

#### Utility Services

A plan for extending electrical service for the proposal is in place, involving a joint project between Dr. Gee and the Danzik property to the west. Payment of the electrical estimate will need to occur prior to issuance of a building permit.

No additional information on sewer or water service has been provided. Provided there has been no change, sewer service will be from one of the existing 4” sewer laterals into the property. The other sewer lateral will need to be capped at the north property line.

Water service exists in the form of two ¾" water services. The latest site plan shows a proposed 2" water service. Based on the size of the basement and the existence of a third level, the full building will need to be provided with a fire sprinkler system (assuming wood frame construction). If fire protection is needed a 4" service is typically the minimum size. A 4" line also requires a plan to be submitted to DEQ. Often the domestic service (¾" or 1") comes off the 4" fire line. Any unused water services will need to be capped at the corporation stop, which is under the street asphalt. Any new taps will need to be "hot taps". The applicant may wish to consider utilizing both existing services if it provides enough water for their needs (no fire sprinklers).

Private utilities such as TCT, CenturyLink, and Optimum will need to be coordinated directly with those providers.

Necessary sewer service, water service, and electrical service can be provided to the facility, subject to applicable connection and service fees and permits.

#### Signage

Sign details have not been supplied. A future sign permit will be needed for any signage.

#### Miscellaneous

A snow storage area is shown in the 15-foot buffer on the east side of the property.

Waste disposal will be through curb-side roll-out service (no dumpster). The roll-out locations are not shown on the site plan.

The city does not have current fire flow data for the fire hydrants closest to this facility. Fire flow will need to be tested and verified with the Fire Marshal.

#### **ATTACHMENTS:**

Application, Development Agreement.

#### **RECOMMENDATION:**

If the Planning and Zoning Board is agreeable to approving the application, it is recommended that it be subject to following.

1. The site plan approval is contingent on the vacation of 20-feet of the 7<sup>th</sup> Avenue right-of-way. Conditions A and C of the vacation process must be completed prior to issuance of a building permit. Condition B must be completed prior to occupancy of the medical building. The conditions of the vacation include:  
*CONDITION A: Gee Properties, LLC shall provide payment in the amount of \$5,999.00.*  
*CONDITION B: Gee Properties, LLC shall improve the remaining 30-feet of right-of-way from Platinum Avenue to the Cody Medical Arts Property, at the sole expense of Gee Properties, LLC, with asphalt, curb and gutter, and sidewalk on the west side.*

*The improvements shall meet City standards for road base, asphalt, and other standard specifications of the City Engineer. The construction must be reviewed and approved by the City Engineer.*

*CONDITION C: Gee Properties, LLC shall pay all publication and recording fees related to this action.*

2. The engineering plans for the improvements to the 7<sup>th</sup> Street right-of-way shall be reviewed and approved by the City Engineer prior to their construction.
3. The conditions of the Amended Development Agreement are applicable. They are:

*Any use of the property that would be regulated by the City of Cody zoning ordinance shall be limited to professional office use, as defined herein, and accessory activities and uses customarily incidental thereto.*

*"Professional office" means an establishment for professional, executive and administrative offices, including those of accountants, lawyers, physicians, dentists, architects, engineers, insurance agents, real estate agents, and other occupations which are of similar character to those enumerated, but not including barbers, beauty parlors, cosmetologists, or other service establishments and building trade contractors.*

*For purposes of consistency with the terms used in the Cody zoning ordinance, the term professional office specifically includes counseling services, physician and surgeon offices, dentist offices, chiropractor offices, optician offices, osteopath offices, insurance offices, architect offices, engineering and surveying offices, accounting offices, government offices, attorney offices, corporate offices, real estate offices, financial offices, and similar professional offices.*

*The interpretation of any "similar professional office" shall be by the City of Cody Planning, Zoning and Adjustment Board.*

*Height restrictions and percentage of lot area covered by buildings shall be the same as set forth the in Residential B Zone, as determined by the City of Cody Planning, Zoning, and Adjustment Board.*

(Note: The following paragraph of the agreement would be considered satisfied for the current proposal if the Board is convinced that adequate parking is now provided.)

*No additional clinic, client, patient, office or other space or other use (hereinafter Additional Space) which requires additional off-street parking shall be developed, created, constructed or used in the basement of the property prior to the submission of an updated site plan, and approval of that plan by the City of Cody Planning and Zoning and Adjustment Board, and without a building permit. Gee Properties, LLC shall not submit an updated site plan for review without first having obtained a review and approval from the City Planner that Gee Properties, LLC has provided adequate off-street parking for such Additional Space as*

*required by and in compliance with the then-existing City of Cody municipal code. Gee Properties, LLC understands that a variance to the parking requirements shall not substitute for or be adequate to satisfy the parking requirements, and therefore no variance shall be granted. Gee Properties, LLC understands that if such additional off-street parking is going to be provided through the purchase of additional land to be used as a parking lot or facility, such use will require a zone change. Accordingly, Gee Properties, LLC shall first obtain the consent and / or support of the property owner from whom Gee Properties, LLC acquires such property to use said property for parking, or shall assist that property owner in applying for the zone change prior to acquiring the property.*

4. The property line shall be eliminated between the two parcels, such that the building and all associated improvements (e.g. parking and buffer) are on the same lot. A boundary line adjustment survey is sufficient to accomplish this. The action must be completed prior to occupancy of the building.
5. The third level shall be for private use only, by persons that work or otherwise are associated with the facility, such that no additional parking demand is generated during peak parking hours. This restriction shall remain in place unless removed by the Planning and Zoning Board at a public meeting based on compliance with all applicable ordinances, including the city parking ordinance.
6. (Any limitation on usage of basement—693 sq. ft.)
7. All exterior lighting must be of a downward/cutoff style and illumination levels modest in intensity, as proposed.
8. If the landscaping and fencing is not completed prior to the request for a certificate of occupancy, provide a bond or other financial surety to guarantee installation of all remaining landscaping and fencing. The length of the bond should be no longer than necessary to accommodate planting season.
9. Final approval of the planned utility connections (water, sewer, raw water, electrical) is subject to City engineer approval. Capping of the unused sewer lateral and any unused water service(s) shall occur per City requirements.
10. The civil site plan shall be updated to reflect the dimensional requirements of the current parking ordinance, the final requirements relating to the utility connections and abandoned services, the sidewalk grate size (flow capacity), and any parking or other modifications required by the Board. The updated civil site plan may be reviewed and approved by the City Engineer and City Planner, provided it otherwise reflects the proposal as presented to the Board, and meets applicable codes. The approval must occur prior to issuance of a building permit.

11. All storm water facilities are to be inspected and certified by the applicant's engineer prior to occupancy.
12. (Any additional items specified by the Board.)
13. The project must otherwise comply with the approved site plan and applicable building, fire, and electrical codes. A building permit application is required.



1050 N 3rd Street, Ste. A  
Laramie WY 82072  
307.745.4119 office  
307.742.7124 fax

3440 Bypass Blvd.  
Casper WY 82604  
307.237.7171 office  
307.237.7181 fax

3304 Big Horn Ave.  
Cody WY 82414  
307.587.6610 office  
307.587.6613 fax

[www.groathouse.com](http://www.groathouse.com)

June 3, 2013

Mr. Todd Stowell  
*City Planner*  
City of Cody  
Cody, WY 82414

RE: Dr. Gee Office

Mr. Stowell:

Dr. Gee is resubmitting for approval from the Planning and Zoning Board. The building size has decreased by approximately 4,000 square feet from the previous submission.

Currently, the building square footage sits at 8,161 square feet with a total of 23 parking spaces. We feel the parking spaces are appropriately numbered for the following reasons:

- 1) Basement, first floor and second floor areas will be the only areas accessed by the public and the basement will not be immediately built out. The approximate square footage of those public spaces will be 5,870 square feet. 5,870/250 meets the requirement for parking. The third floor area only consists of a private office space for Dr. Gee.
- 2) The Cody Medical Arts complex does not have 1 parking stall per 250 square foot per the City Ordinance. That building is of similar function, and was approved with 1 parking stall per 336 square feet. Given our total square footage of 8,161 square feet we would have 1 stall per 355 square feet which is similar to the adjoining facility.
- 3) Approximately 300 square feet of space in the existing building will function as sleep lab space which will have different occupied hours as compared to the rest of the building.

We feel the parking spaces are appropriately numbered for this facility. In an effort to design an appropriate building and site that blends well we have opted for having more landscaping in lieu of parking spaces that will never truly be occupied given the buildings current square footage and use. Should the Planning and Zoning Board request more parking, we would opt for adding the additional stalls to the north of the building in area that is planned for landscaping.

Should you have any questions or concerns with this estimate please do not hesitate to contact me.

Sincerely yours,  
**GROATHOUSE CONSTRUCTION, INC.**

A handwritten signature in blue ink that reads "Fred A. Bronnenberg".

Fred Bronnenberg  
*President*

# WPLED20

20 Watt LED Wallpack with 5 conduit entry points. Equivalent to 150W MH. Includes both junction box and surface mount for recessed box. IESNA Full Cutoff, Fully Shielded optics. Mount at 11-20'. 5 year warranty. UL Listed for up and down lighting.

Color: Bronze

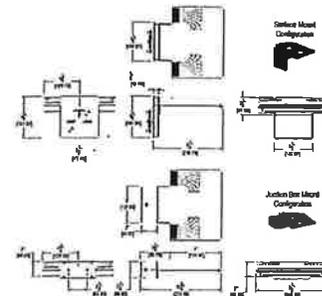
Weight: 6.1 lbs

## LED Info

Watts: 20W  
 Color Temp: 5000K (Cool)  
 Color Accuracy: 70  
 L70 Lifespan: 100000  
 LM79 Lumens: 1,401  
 Efficacy: 64 LPW

## Driver Info

Type: Constant Current  
 120V: 0.19 A  
 208V: 0.12 A  
 240V: 0.10 A  
 277V: 0.08 A  
 Input Watts: 22W  
 Efficiency: 91%



## Technical Specifications

### UL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

### Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

### Cold Weather Starting:

The minimum starting temperature is -40&deg;F/-40&deg;C

### Total Harmonic Distortion:

THD = 8.4%

### Driver:

Two Multi-chip 10W high output long life LED Driver Constant Current, Class 2

### Ambient Temperature:

Suitable for use in 50&deg;C (122&deg;F) ambient temperatures

### Fixture Efficacy:

65 Lumens per Watt

### Color Accuracy:

70 CRI

### Color Temperature (Nominal CCT):

5000K (Daylight)

### Thermal Management:

Integral cast aluminum mounting pad and external fins for optimal heat sinking to ensure cool operation with maximum LED life and light output.

### Housing:

Precision die cast aluminum housing, lens frame and mounting plate.

## Two Mounting Options:

Junction Box with 5 Conduit Entry Points and Threaded Plugs for surface mounting plus Cover Plate for mounting over 4" recessed junction box included with WPLED20

## Finish:

Chip and fade resistant polyester powder coat finish.

## Color Stability:

RAB LEDs exceed industry standards for chromatic stability.

## Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2008.

## Green Technology:

RAB LEDs are Mercury, Arsenic and UV free.

## Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

## For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

## Patents:

The LPACK design is protected under patents pending in the U.S., Canada, China, Taiwan and Mexico.

**RAB**  
LIGHTING

Tech Help Line: 888 RAB-1000

Email: sales@rabweb.com

On the web at: www.rabweb.com

WPLED20 - continued

**IESNA LM-79 & IESNA LM-80 Testing:**

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

**Gaskets:**

High Temperature Silicone

**Warranty:**

RAB LED fixtures give you peace of mind because both the fixture and driver components are backed by RAB's 5 Year Warranty. For more information,

**Equivalency:**

The WPLED20 is Equivalent in delivered lumens to a 150W Metal Halide Wallpack.

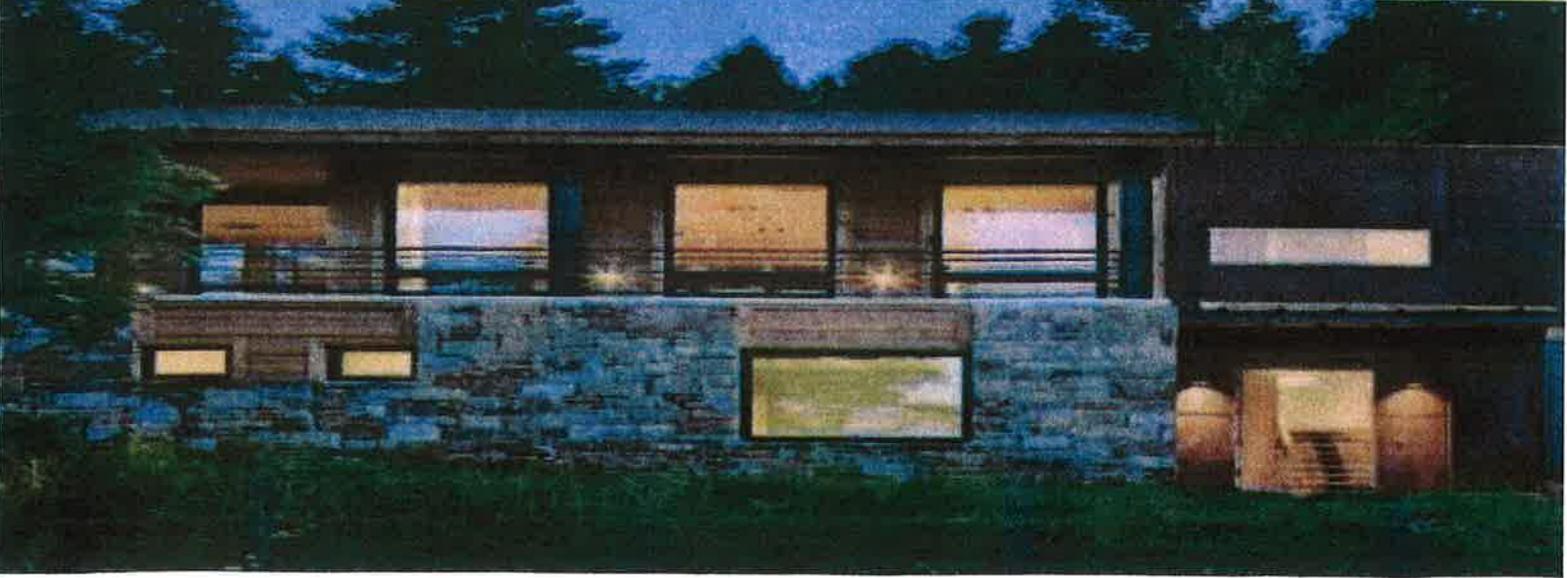
**HID Replacement Range:**

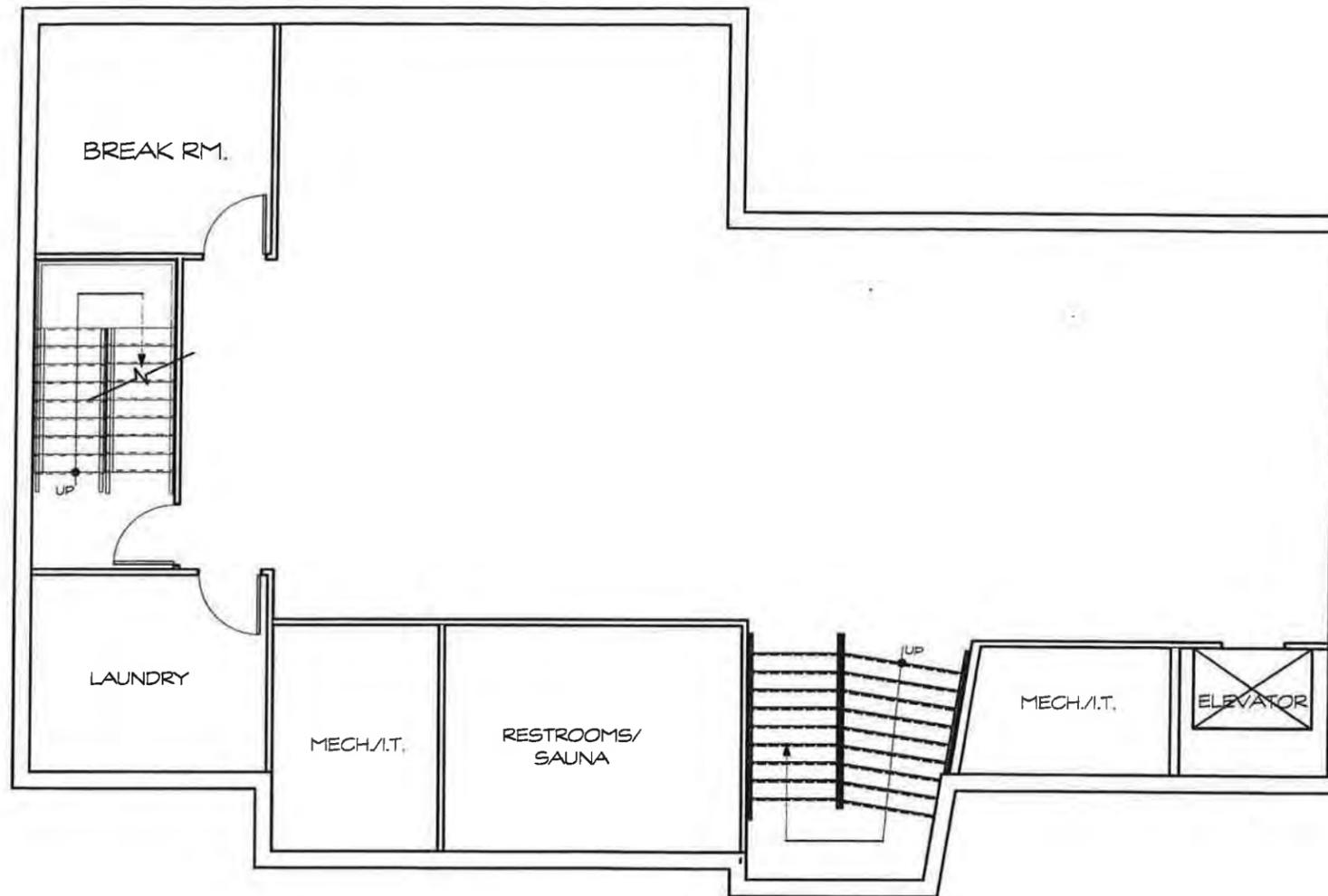
The WPLED20 can be used to replace 100-175W Metal Halide Wallpacks based on delivered lumens.

**DLC Listed:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

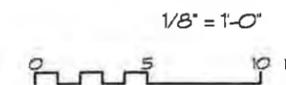
MATERIAL  
EXAMPLES





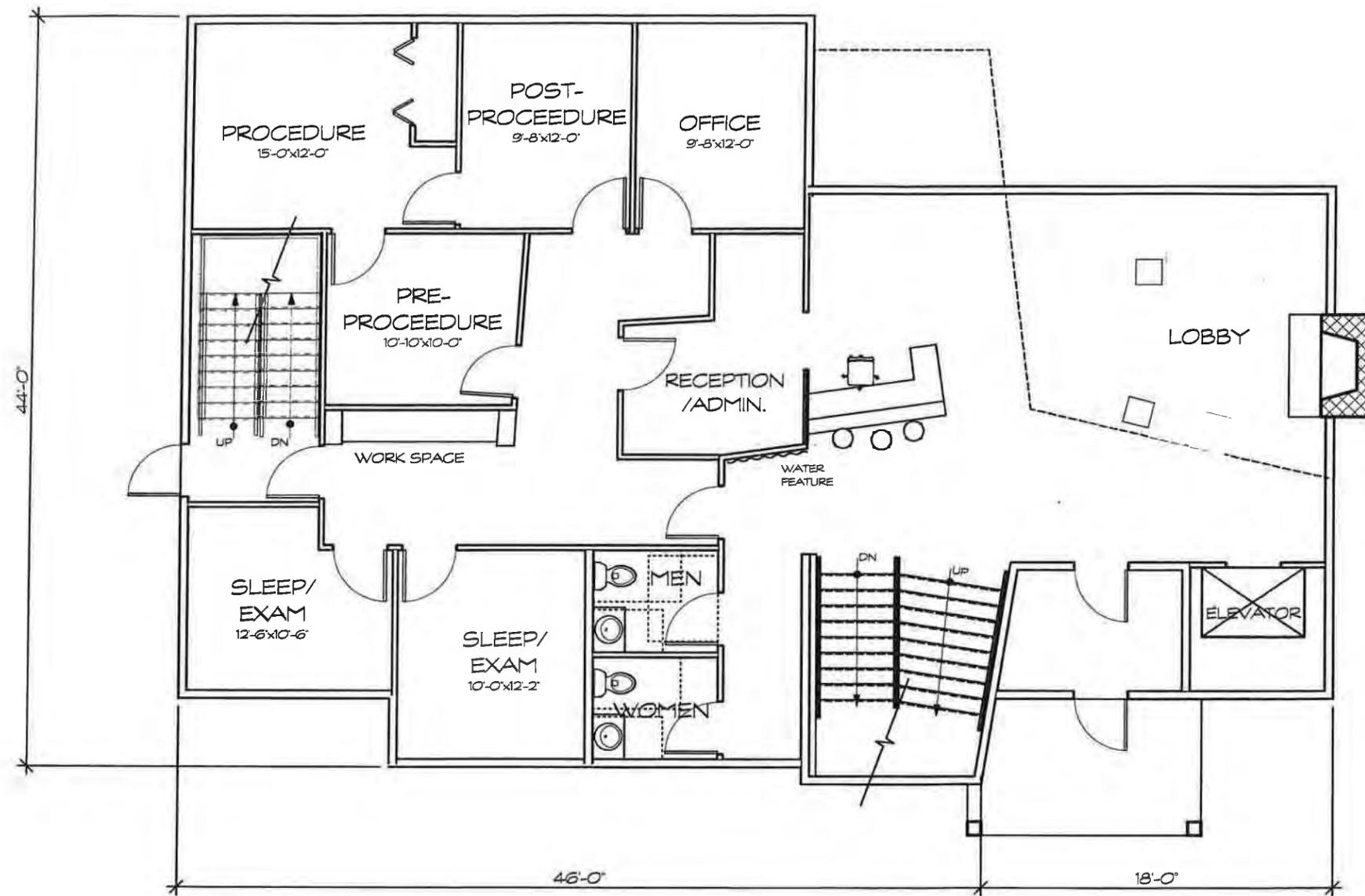
PRELIMINARY - FOR REVIEW

 **BASEMENT PLAN**

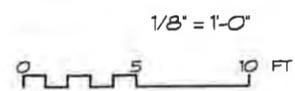


**GEE PROPERTIES LLC.**  
 PLATINUM DRIVE  
 PRELIMINARY LAYOUT

**KEITH PRYOR**  
 ARCHITECT  
 1413 W YOMING AVE. CODY, WY 82414  
 307-587-3509



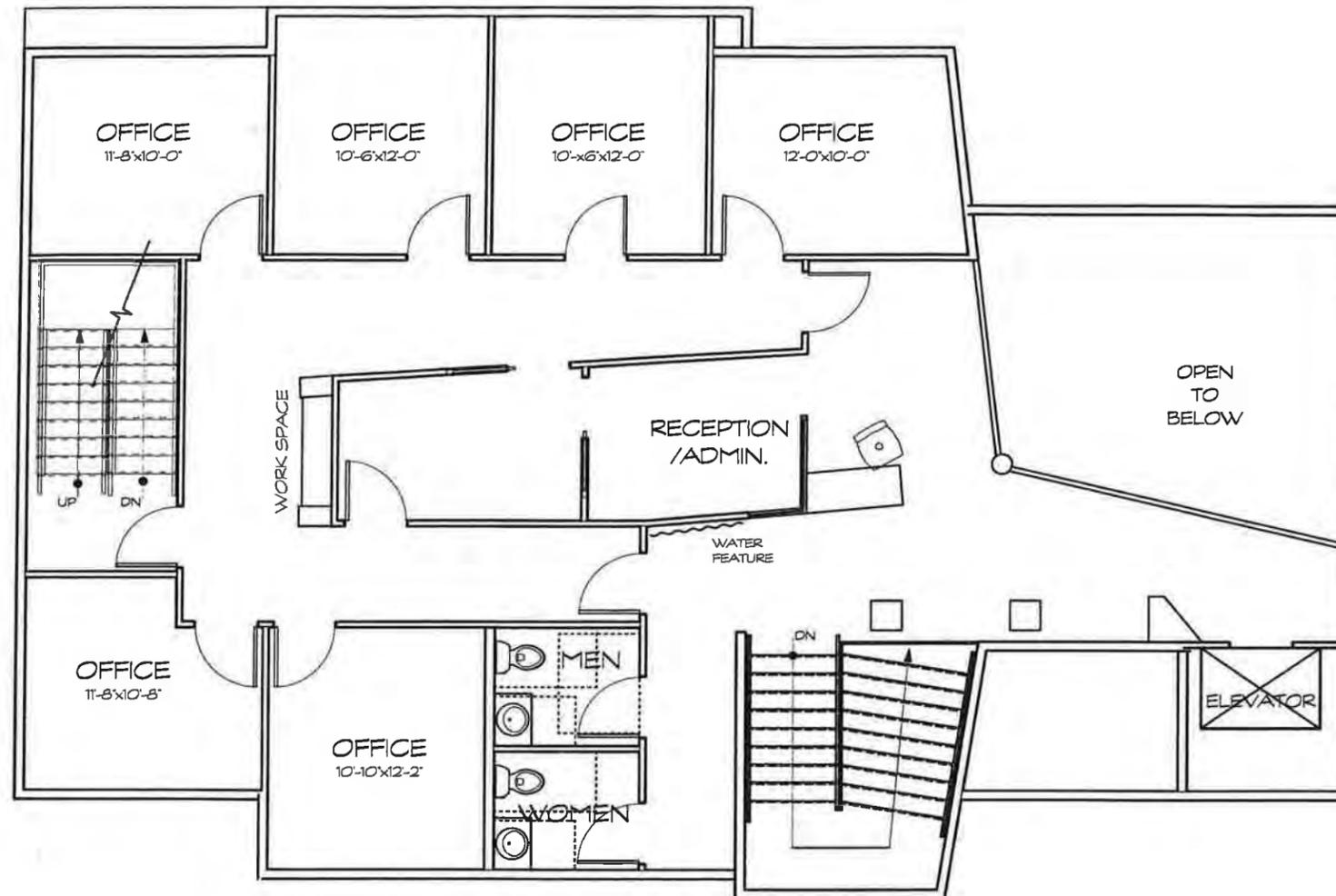
**FIRST FLOOR PLAN**



**PRELIMINARY  
FOR REVIEW ONLY**

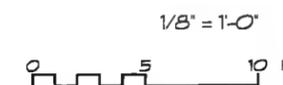
**GEE PROPERTIES LLC.**  
PLATINUM DRIVE  
PRELIMINARY LAYOUT

**KEITH PRYOR  
ARCHITECT**  
1413 W YOMING AVE. CODY, WY 82414  
307-587-3509



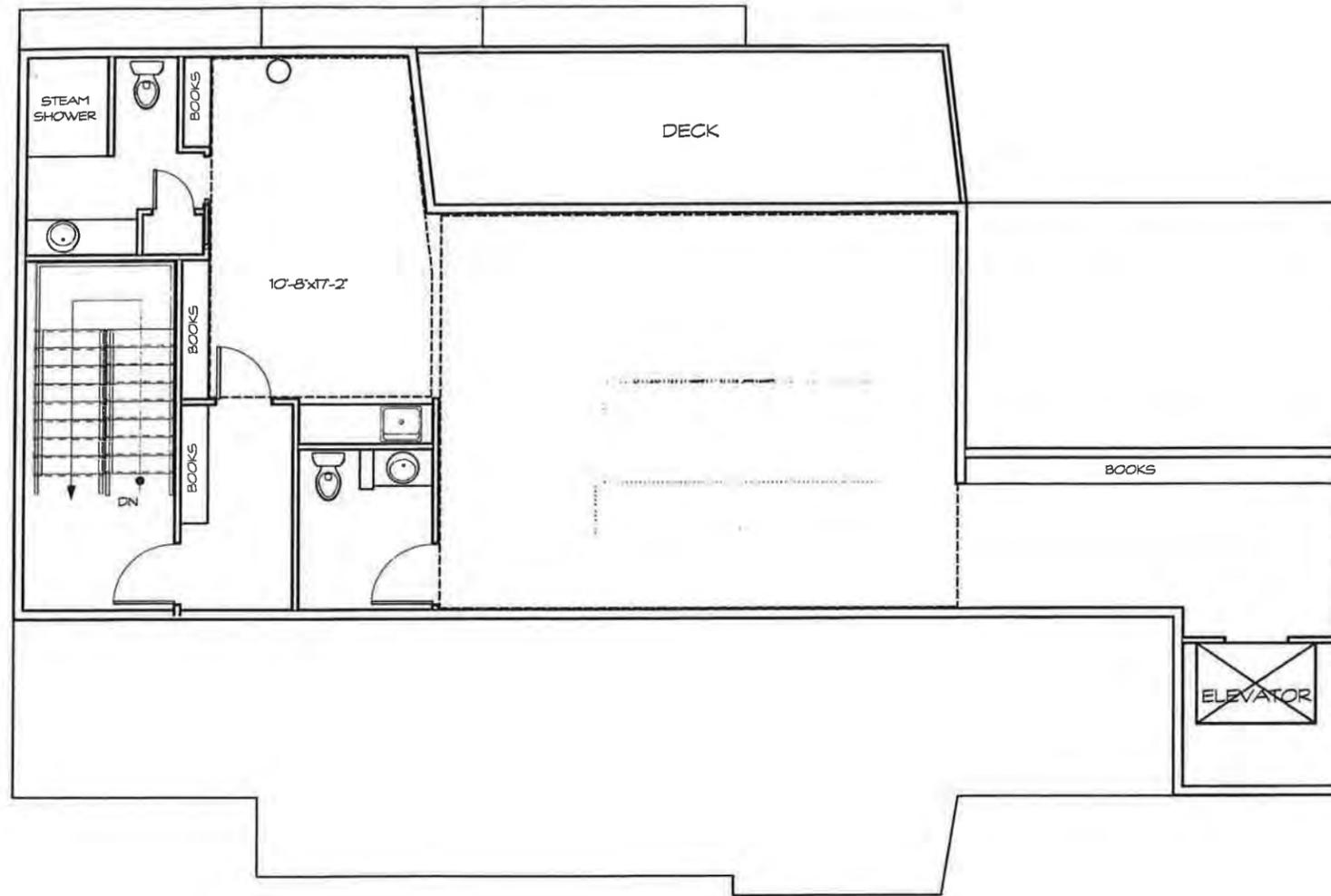
**SECOND FLOOR PLAN**

**PRELIMINARY  
FOR REVIEW ONLY**

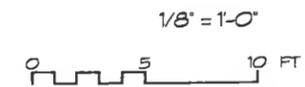


**GEE PROPERTIES LLC.**  
PLATINUM DRIVE  
PRELIMINARY LAYOUT

**KEITH PRYOR  
ARCHITECT**  
1413 W YOMING AVE. CODY, WY 82414  
307-587-3509



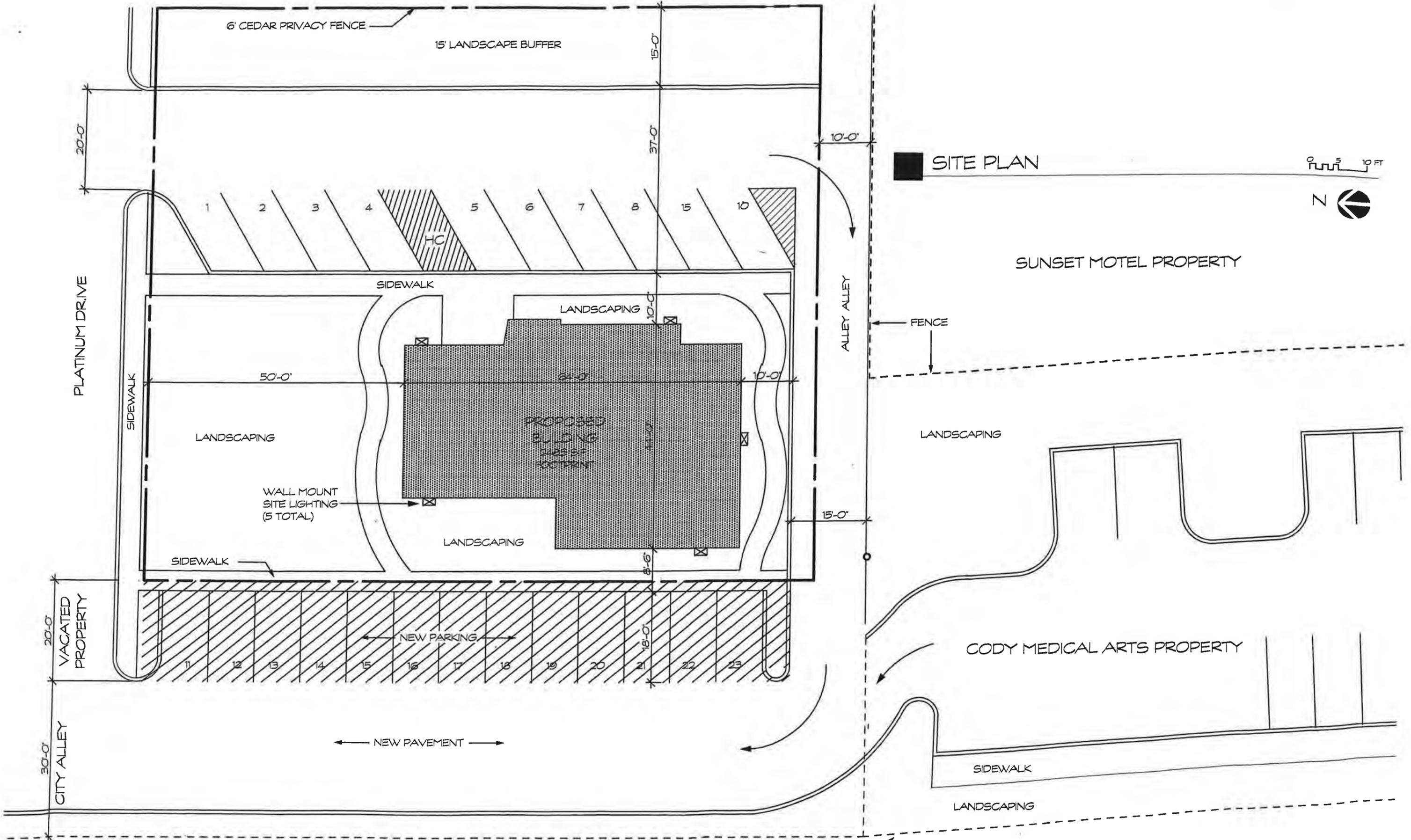
THIRD FLOOR PLAN SCHEME E



**PRELIMINARY  
FOR REVIEW ONLY**

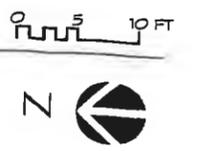
**GEE PROPERTIES LLC.**  
PLATINUM DRIVE  
PRELIMINARY LAYOUT

**KEITH PRYOR  
ARCHITECT**  
1413 W YOMING AVE. CODY, WY 82414  
307-587-3509



6' CEDAR PRIVACY FENCE  
15' LANDSCAPE BUFFER

■ SITE PLAN



SUNSET MOTEL PROPERTY

PLATINUM DRIVE

ALLEY ALLEY

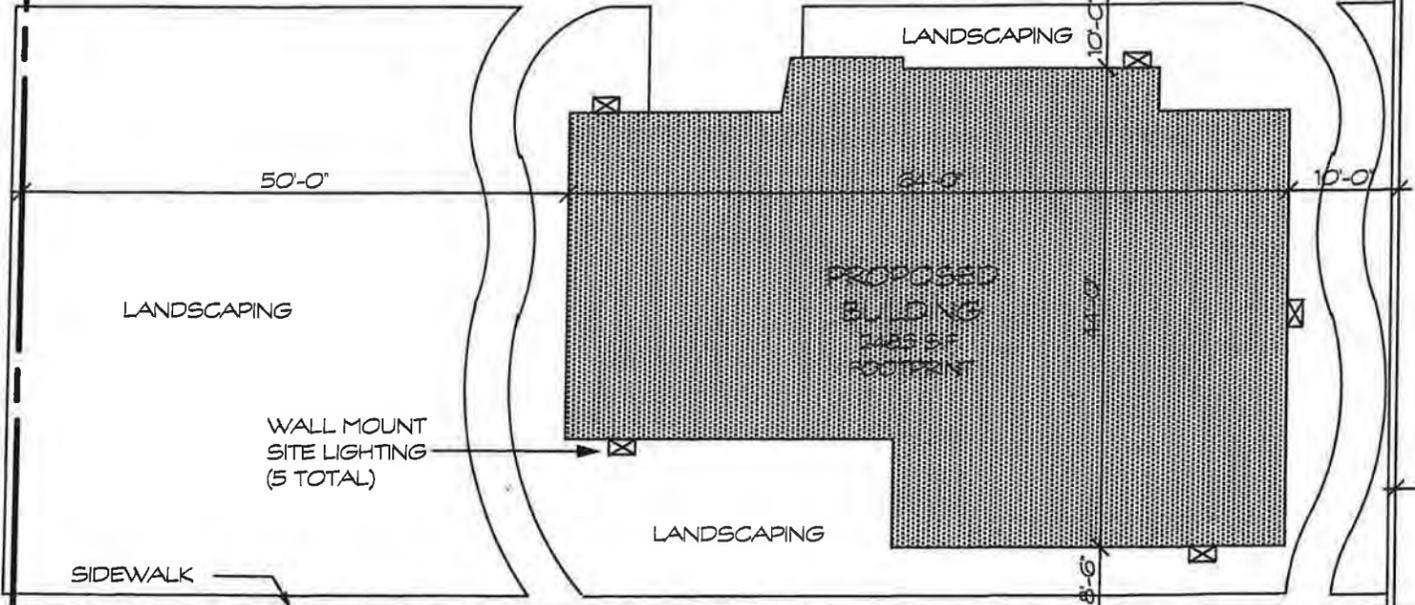
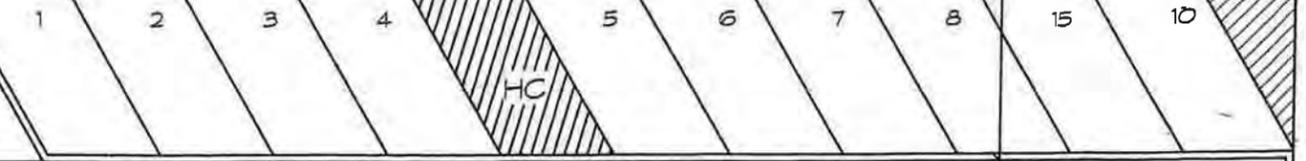
FENCE

LANDSCAPING

CODY MEDICAL ARTS PROPERTY

SIDEWALK

LANDSCAPING

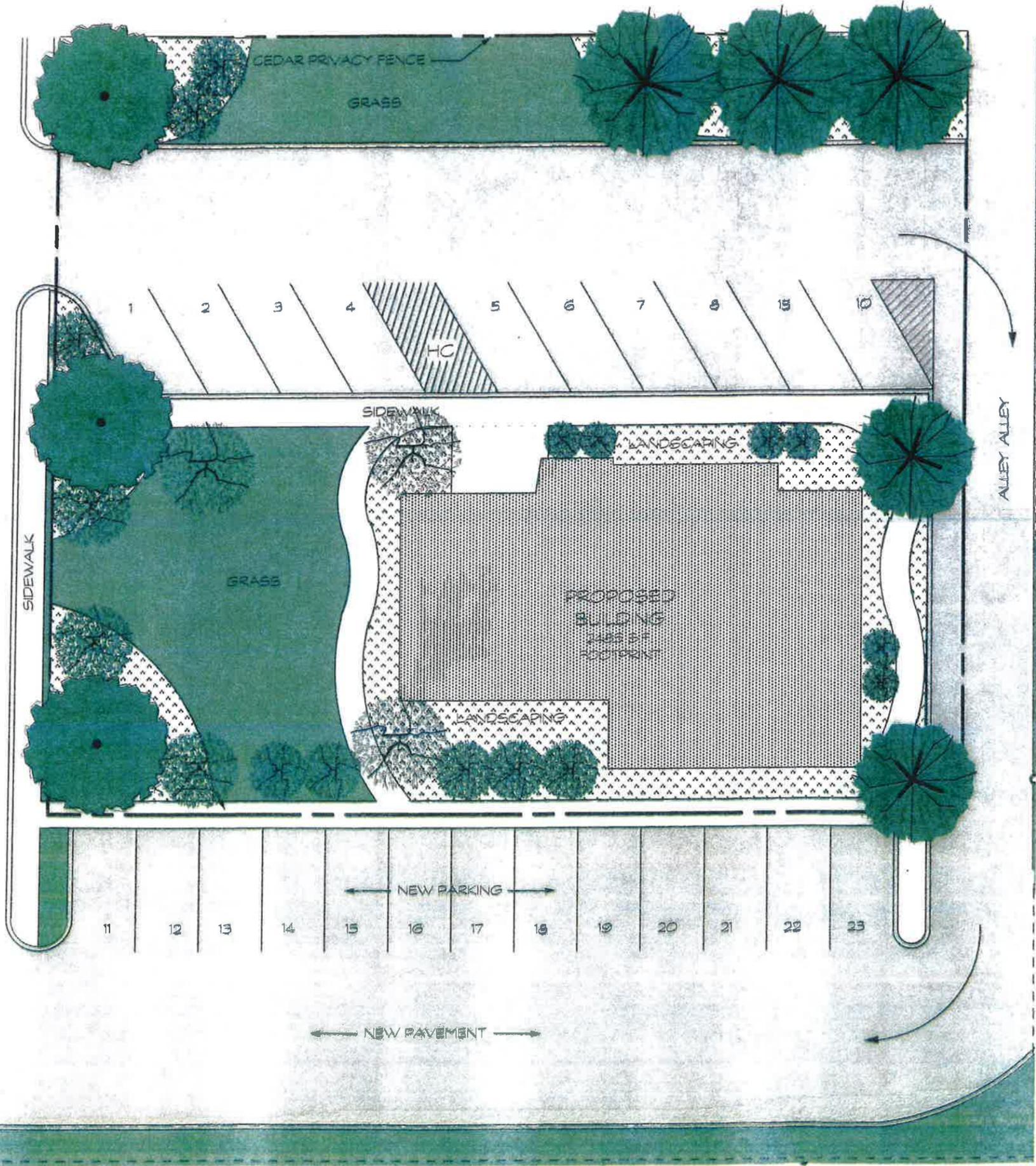


← NEW PAVEMENT →

VACATED PROPERTY

CITY ALLEY

PLATINUM DRIVE



LEGEND



GROUND COVER AND ORNAMENTAL SHRUBS/FLOWERS



ASH OR SENSATION MAPLE



LONG LEAF PINE

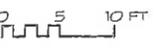


ORNAMENTAL TREE



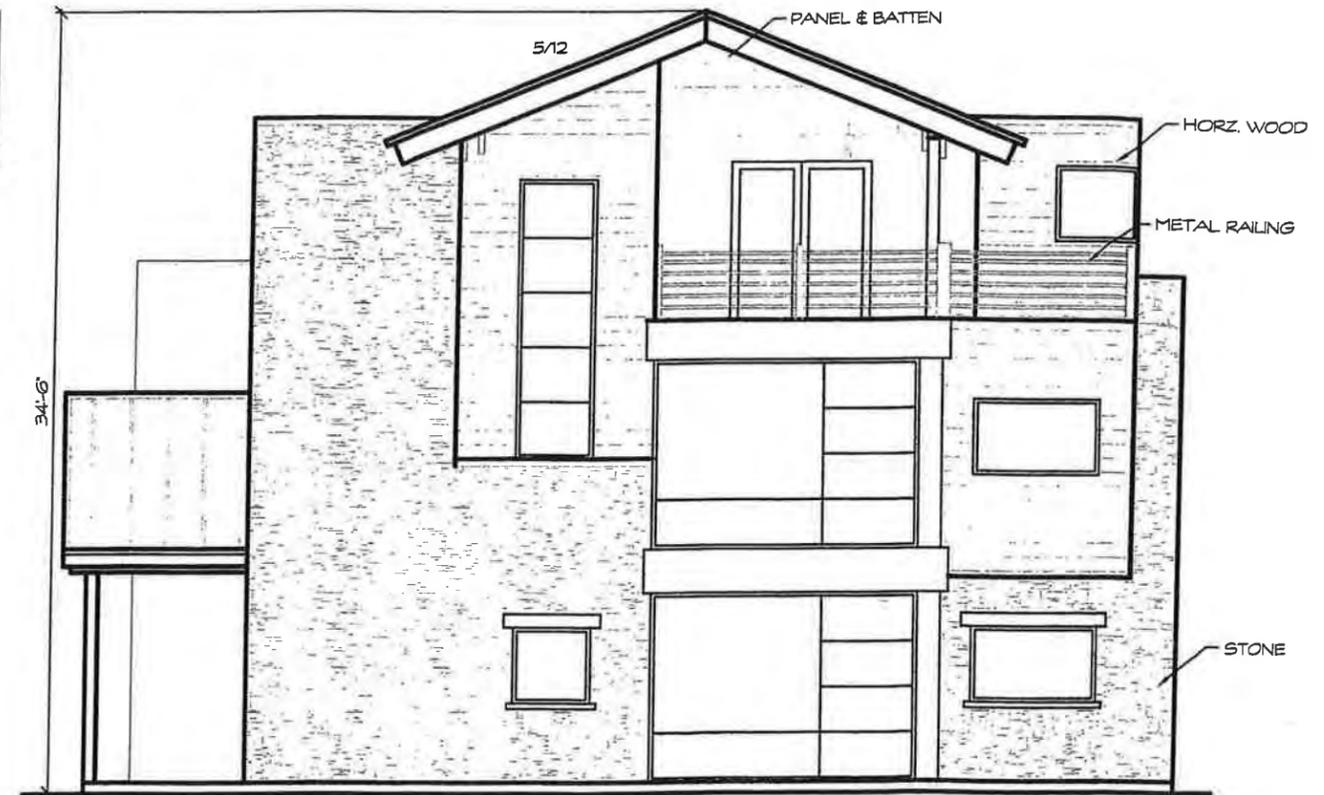
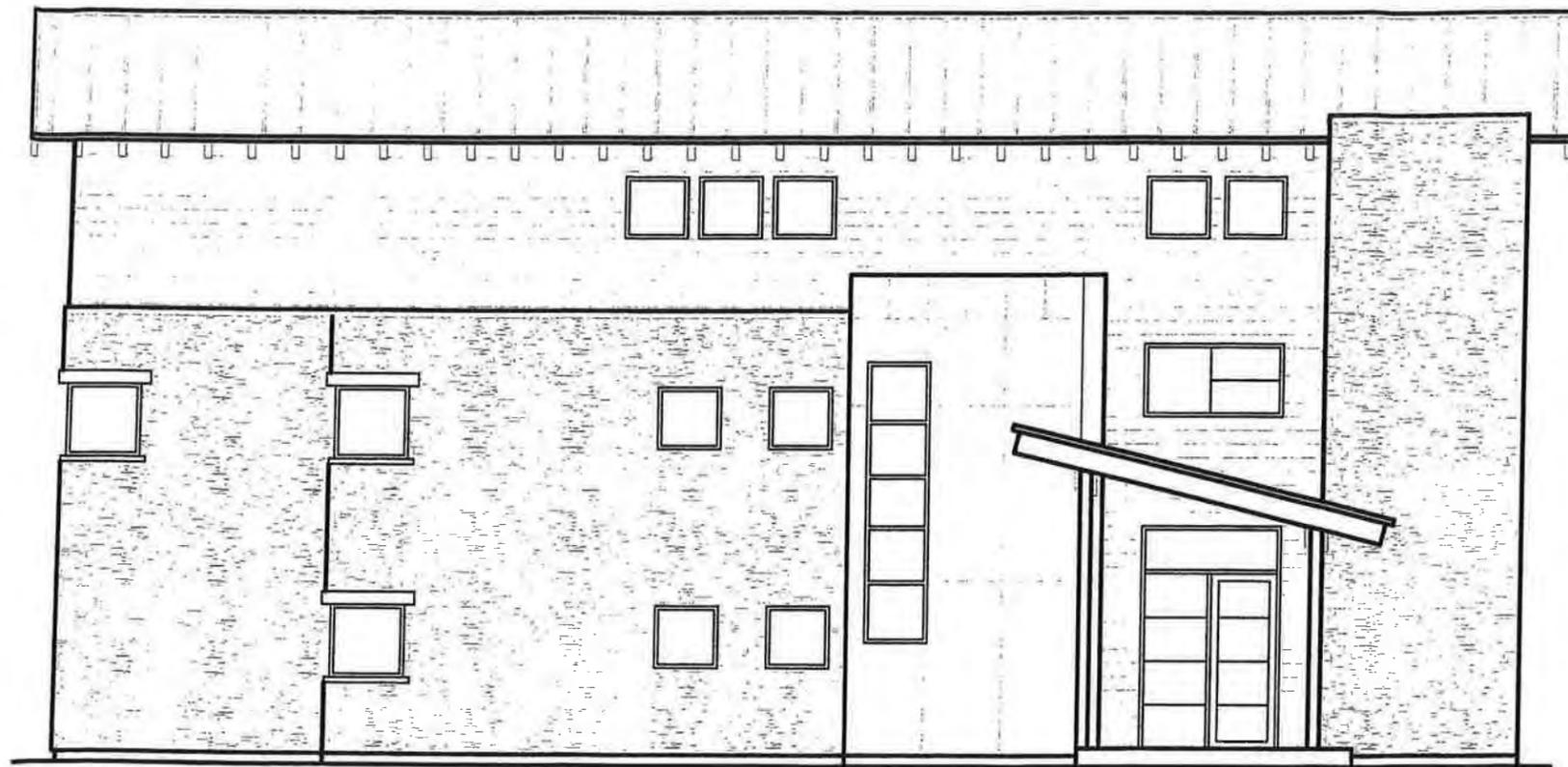
ORNAMENTAL SHRUB

SPRINGKER/IRRIGATION SYSTEM TO BE DESIGN BUILD.



GEE PROPERTIES LLC.  
PLATINUM DRIVE

KEITH PRYOR  
ARCHITECT

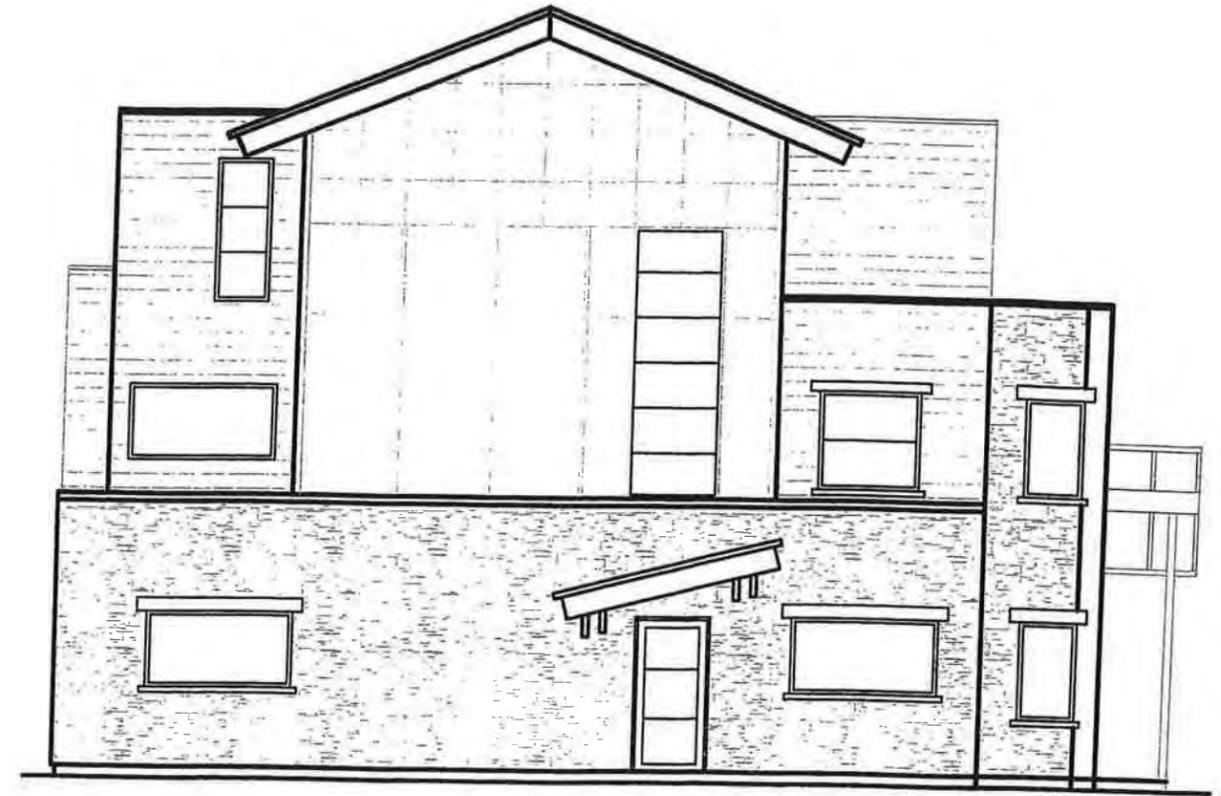


**5** EAST & NORTH ELEVATIONS  
1393 SQ. FT.

GEE PROPERTIES LLC.

PLATINUM DRIVE

KEITH PRYOR  
ARCHITECT  
1413 W YOMING AVE, CODY, WY 82414  
307-587-3509



**6** WEST & SOUTH ELEVATIONS

GEE PROPERTIES LLC.

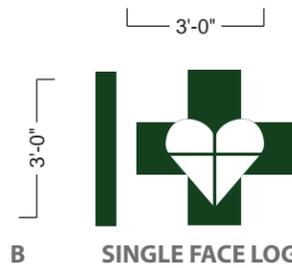
PLATINUM DRIVE

5-13-13

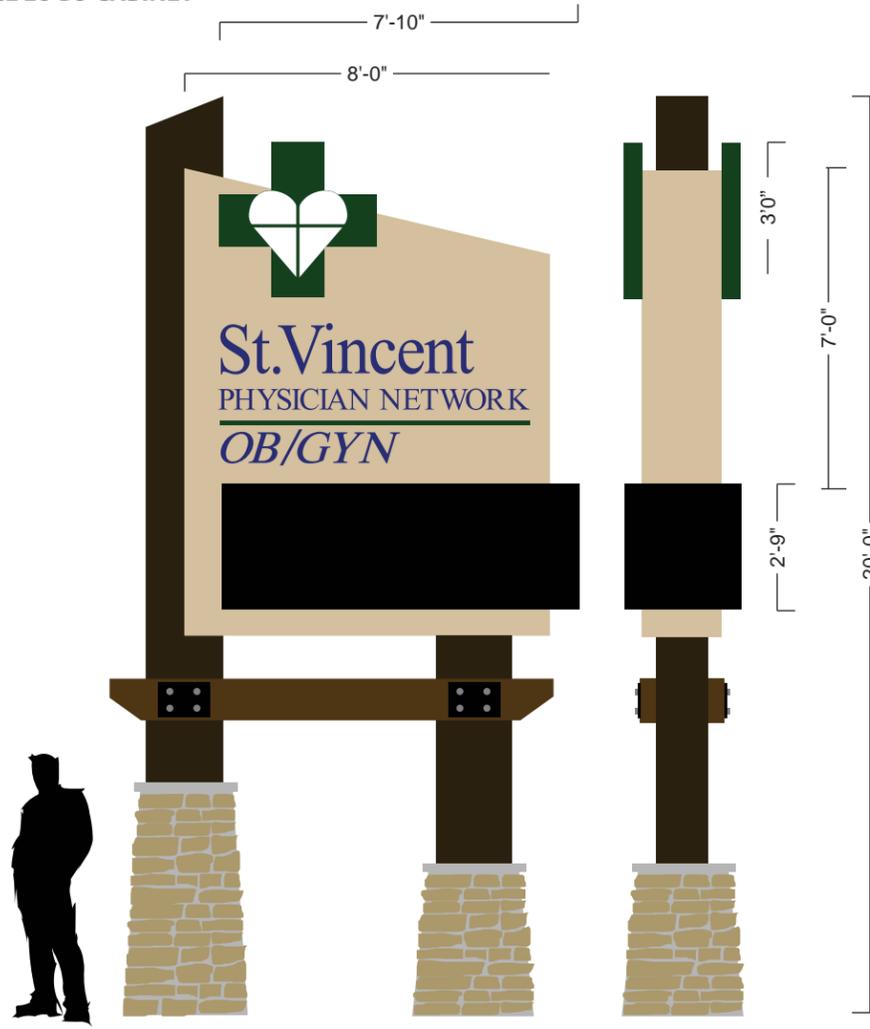
KEITH PRYOR  
ARCHITECT  
1413 W YOMING AVE. CODY, WY 82414  
307-587-3509







**B SINGLE FACE LOGO CABINET**



**A DOUBLE FACE PYLON**

**A** NEW FABRICATE GALVANEAL CABINET AND RETAINERS. FILM COPY ON SMOOTH TUFFAK FACES. 3M 3600 SERIES TRANSLUCENT FILM. ILLUMINATION HO T-12 LAMPS AND SOCKETS. FABRICATED ALUMINUM LOGO, 5" RETURNS PRIME AND PAINT SMOOTH. FILM PLEX FACES 1" GREEN TRIM CAP ILLUMINATION GRID WHITE LEDS. 32X112 RGB MESSAGE CENTER SOFTWARE PROVIDED FOR CUSTOMERS P.C. FABRICATED GALVANEAL FILLERS PRIME AND PAINT SMOOTH. FABRICATED GALVANEAL POLE COVERS, SKIN WITH ROUGH CUT 44 CEDAR OVERLAY. 4"X12" ROUGH CUT PLATES AND BOLTHEADS, PRIME AND PAINT SMOOTH. STEEL BY EPCON, STONE BASES AND CAPS BY OTHERS NOT INCLUDED IN EPCON CONTRACT.

**B** FABRICATED ALUMINUM LOGO, 5" RETURNS PRIME AND PAINT SMOOTH. FILM PLEX FACES 1" GREEN TRIM CAP. ILLUMINATION GRID WHITE LEDS.

FINISH COLORS	SPECIFICATIONS
1 WHITE	BASE
2 GREEN	3M 26
3 BLUE	3M 137
4 BEIGE	3M 149
5 DK BROWN	STAIN/MTCH BUILDING

**FINAL** SALES \_\_\_\_\_  
DATE \_\_\_\_\_

DOUBLE FACE PYLON DISPLAY

DESIGNER: DK  
SALESPERSON: TONY  
REVISED:

CLIENT: ST. VINCENT PN/OBGYN  
LOCATION: CODY, WY

DESIGN NO: 211-12-BG  
SCALE: 1/4"=1'-0"  
DATE: 5.23.12

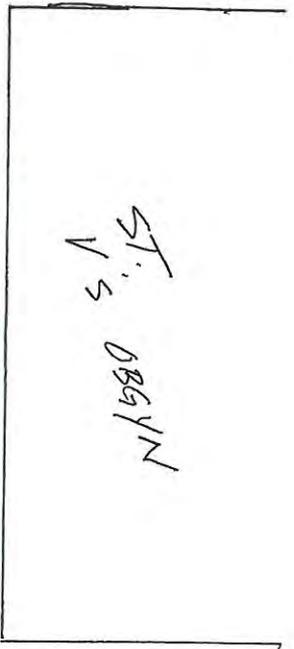
1111 HUNTERS RIDGE  
POLYMER 21250  
BILLY'S AT 10104  
400-240-7401  
400-532-7168  
400-240-1815  
EPCON@epconsign.com



THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPCON SIGN COMPANY AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR CONSENT. EPCON SIGN COMPANY WILL ENDORSE TO CLOSELY MATCH COLORS, INCLUDING PMS COLOR WHERE SPECIFIED. WE CANNOT GUARANTEE EXACT MATCHES DUE TO VARYING COMPATIBILITY OF SURFACE MATERIALS AND PARTS USED.



DRIVE APPROACH



NEW CURB or BALLARDS

15'

22'

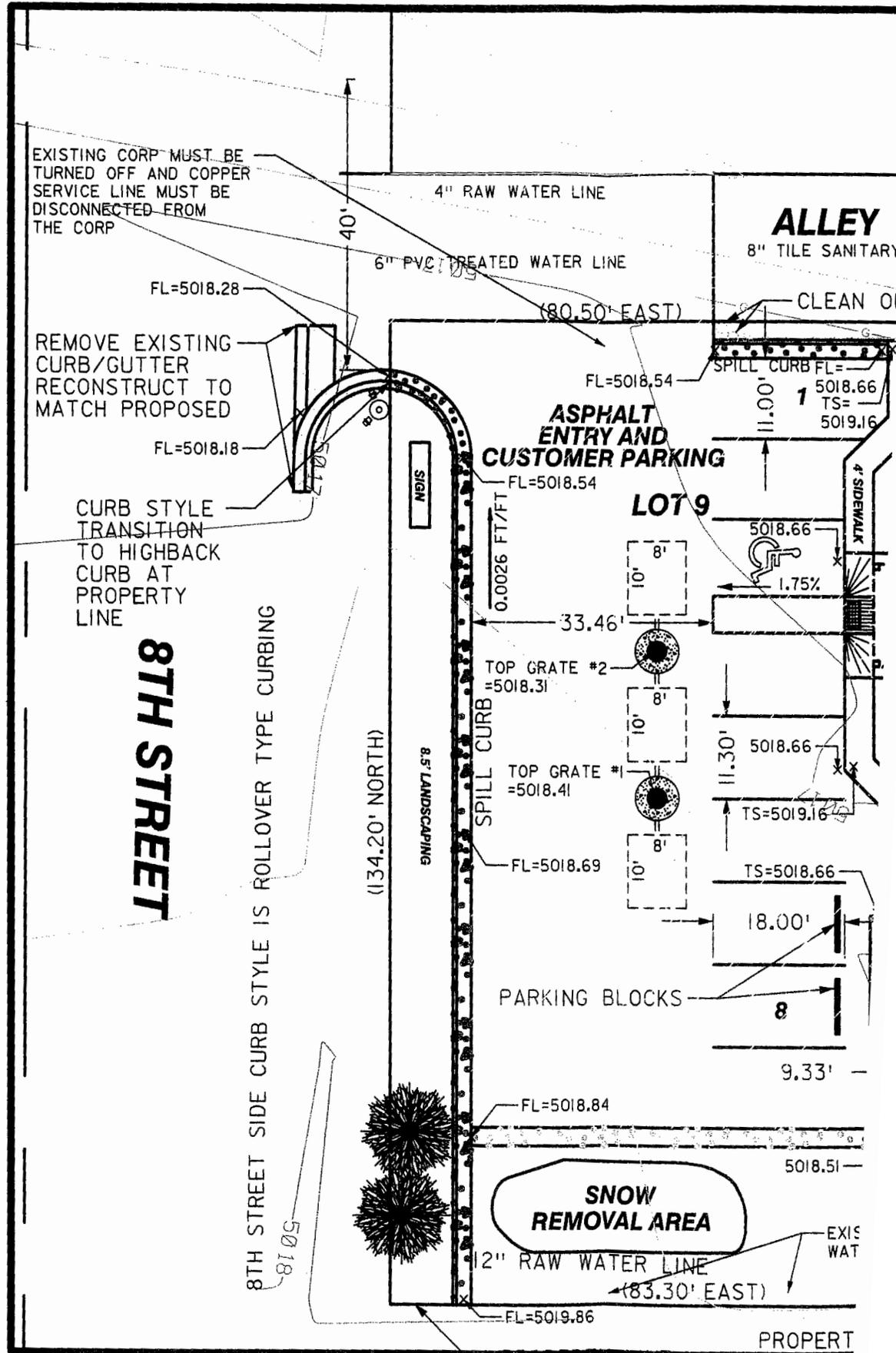
8'

PROPOSED LOCATION SIDEWALK

BLVD.

YELLOWSTONE HIGHWAY

NTS



# PROPOSED PLA

SCALE = 1" = 20'

**WHAT DISPLAY SIZE WILL FIT YOUR PHYSICAL SPACE?**

Galaxy 3500 20 mm RGB				Length of display (columns)														
				feet and inches	3'8"	4'9"	5'9"	6'9"	7'10"	8'10"	9'11"	10'11"	12'0"	13'0"	14'1"	15'1"	16'2"	17'2"
				decimal feet	3.7	4.8	5.8	6.8	7.8	8.8	9.9	10.9	12.0	13.0	14.1	15.1	16.2	17.2
				matrix	48	64	80	96	112	128	144	160	176	192	208	224	240	256
Height of display (lines)	feet and inches	decimal feet	matrix															
	1'9"	1.8	16															
	2'9"	2.8	32															
	3'10"	3.8	48															
	4'10"	4.8	64															
5'11"	5.9	80																

After calculating the physical space you want to fill, use this chart to determine the corresponding display size. Additional sizes are available as a special order. Refer to page 4 in the black and white product specifications book for more detailed model information. To calculate square footage, multiply height x width in decimal feet.

Galaxy 3500 20 mm RGB				Length of display (columns)				
				feet and inches	6'0"	7'0"	8'0"	10'0"
				decimal feet	6.0	7.0	8.0	10.0
				matrix	80	96	112	144
Height of display (lines)	feet and inches	decimal feet	matrix					
	2'9"	2.8	32	not available				
3'10"	3.8	48	sizes not available					

After calculating the physical space you want to fill, use this chart to determine the corresponding display size. Refer to page 4 in the black and white product specifications book for more detailed model information. To calculate square footage, multiply height x width in decimal feet.

 Single-section, front-ventilated

**DISPLAY CONFIGURATIONS**

Can order in single-face (SF) or two-view (2V), or double face (DF) configurations



**Smoothie King**  
Broussard, Louisiana  
48 lines x 176 columns 20 mm



**TECHNICAL SPECIFICATIONS**

- Character Height:** 5.5" (7 pixel font)
- Line Spacing:** 20 mm (0.78")
- Pixel Configuration:** 1 red, 1 green, 1 blue
- Maximum Brightness:** Full color RGB: 9,500 nits
- Color Capability:** 68 billion colors
- Optimal Viewing Angle:** 90 degrees horizontal by 40 degrees vertical
- Readability Angle:** 120 degrees horizontal by 50 degrees vertical
- Minimum Viewing Distance:** 45'

**MODEL NUMBER GUIDE**



**STOR-N-LOCK**  
**307-587-6866**  
**208 N. BLACKBURN STREET**

