

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, JANUARY 8, 2013
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairperson Kim Borer
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Introduction of New P&Z Board Member Justin Ness
6. Election of Officers: President and Vice-President of Planning, Zoning and Adjustment Board for 2013.
7. Approval of Minutes of the December 11, 2012 –Regular Meeting
8. NEW BUSINESS:
 - A. Site Plan Review — Wyoming Authentic Products at 2517 Frank Court.
Proposed meat processing facility submitted by David Fales and Forward Cody.
 - B. Review Draft Parking Regulations, New Chapter 10-20 Off-Street Parking.
9. Sign Applications
 - A. Cody Stamped Board—New electronic sign and arched entranceway gate.
- 10.P&Z Board Matters (announcements, comments, etc.)
- 11.Council Update: Steve Miller
- 12.Staff Items
- 13.Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings.
If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, December 11, 2012

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, December 11, 2012 at 12:00 PM

Present: Rick Brasher, Vice Chairperson; Jacob Ivanoff; Justin Lundvall; Kim Borer, Chairperson; Bud McDonald; Mark Musser; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant;

Excused Absence: Bob Senitte;

Tardy: Jacob Ivanoff;

Chairperson Kim Borer called the meeting to order at 12:05 PM, followed by the pledge of allegiance.

Bud McDonald made a motion seconded by Mark Musser to approve the agenda. Vote on the motion was unanimous, motion carried.

Mark Musser made a motion seconded by Bud McDonald to approve the minutes of the November 13, 2012 regular meeting. Vote on the motion was unanimous, motion carried.

Rick Brasher made a motion seconded by Bud McDonald to approve the minutes of the November 27, 2012 special meeting with the correction that Justin Lundvall was absent. Vote on the motion was unanimous, motion carried.

PRESENTATION OF COMMUNICATIONS:

Todd Stowell presented the staff report regarding the proposed sanitation building for the City of Cody at 525 15th Street. The planned water line and power lines will be moved to avoid the exterior wash bay.

Bud McDonald made a motion seconded by Justin Lundvall to approve the site plan application submitted by the City of Cody at 525 15th Street subject to the following:

1. That the storm water facilities be inspected and certified by the applicant's engineer prior to building occupancy.
2. That either the landscaping be installed prior to occupancy of the building, or assurance provided that installation will occur as soon as suitable weather permits.
3. That any exterior lighting be of a down-lit style.
4. That the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

Vote on the motion was unanimous, motion carried.

Todd Stowell spoke regarding the proposal by Michael Berghofer to construct a residence at 1501 Depot Drive. As an existing residence was demolished a few years ago, most utilities already serve the lot. The height of the building was stressed as the location is on top of a bluff and along an entrance corridor to the city. Because of this, staff emphasized the need for landscaping. The applicant also requested permission to install a 7' high fence.

Greg Gaspers, Mountain States Consulting, reiterated the application, explaining the fence location. The applicant requests the additional fence height to help with the landscaping issue and privacy. Though the building is proposed to be metal, there are three colors proposed with earth tone colors.

Rick Brasher made a motion seconded by Jacob Ivanoff to approve the site plan application and 7' high fence with privacy slats submitted by Michael Berghofer for property located at 1501 Depot Drive with the understanding that a building permit is required for the residence and that the building has been reviewed for residential purposes only.

Vote on the motion was unanimous, motion carried.

Todd Stowell spoke regarding the minor subdivision preliminary plat application submitted by Plan One/Architects on behalf of Summit Housing Group and Terri Egger & Gloria Borner. The developer is applying to the Wyoming Community Development Authority for Low-Income Housing Tax Credits to develop the south lot with twenty four apartments.

Sam Long, representative of Summit Housing Group, spoke to the reasons for developing the back lot first with a future development plan. The applicant would like to keep the development restricted to two-stories. The developer is agreeable to the recommended conditions.

Rick Brasher made a motion seconded by Justin Lundvall to recommend to council the preliminary plat and variances for the Willow Creek Minor Subdivision submitted by Summit Housing Group and Terri Egger & Gloria Borner as presented, subject to the following conditions:

1. The water main shall be looped between the lines in Cougar Avenue and West Avenue, and the main extended along the frontage of West Avenue. The design must be reviewed and approved by the City engineer and the Department of Environmental Quality (DEQ).
2. Provide a city easement for the water line loop between Cougar Avenue and West Avenue.
3. Provide utility easements as required by the utility providers. At a minimum, provide 10-foot utility easement along West Avenue, and a 10-foot wide power easement for the loop system described by the City Electrical Engineer.
4. As a storm water system is not available in the immediate area, include a note on the final plat that storm water must be retained on-site in accordance with the City storm water policy.
5. In addition to the standard submittal requirements for the final plat, it is specifically required that the final plat application include:
 - a. Engineered designs for the 26-foot wide, paved interior roadway.
 - b. Evidence that the water main plans have been reviewed and approved by DEQ.
 - c. A maintenance agreement for the shared private roadway.
6. Note the variances granted on the final plat.
7. Sewer, water, and power are available and are to be provided to each lot as specified by the City as part of the subdivision. Payment of ¾" or larger water connections and applicable electrical service fees must occur prior to final plat approval by Council. Installation of the sewer stubs to each lot must be completed prior to any building permit or development on any lot.

8. No vehicular access to West Avenue is permitted unless West Avenue is paved and improved to city standards for a local access street. A note to this effect must be included on the final plat.
9. Vehicle access to Cougar Avenue is limited to the common access easement, unless permitted otherwise by the City Engineer.
10. With the final plat application, provide evidence of compliance with City Code 11-3-3(B)(1), relating to transfer of the Cody Canal water rights.
11. Sidewalk shall be installed to City standards along the full Cougar Avenue frontage at the time multi-family development occurs on either of these lots. Include a note to this effect on the final plat.
12. Include the following in the dedication certificate on the final plat:
"And do hereby agree to promote and participate in an improvement district for curb, gutter, and sidewalk on West Avenue when deemed necessary by the City of Cody. And further, that this language shall be contained in each and all conveyances of record."

Jacob Ivanoff abstained from the vote. Rick Brasher, Justin Lundvall, Kim Borer, Bud McDonald and Mark Musser approved the motion. Motion carried.

The variances include:

- a. Dedication of additional right-of-way and improvement of West Avenue to City standards, based on not utilizing West Avenue for access.
- b. The alley requirement.
- c. Providing fifty feet of frontage to Cougar Avenue for Lot 7-A2.

Ed Higbie presented his request to place a mobile home at 239 C Street without a permanent foundation. He highlighted the limited options within the City for an available lot. The trailer to be installed is from 1977 and he expecting a limited life-time of less than 10 years. He answered the questions from the board regarding his anchoring plan. Todd Stowell clarified that this request was being considered under the nonconforming building section of the code.

Bud McDonald made a motion seconded by Mark Musser to approve the request submitted by Ed Higbie for property located at 239 C Street. Justin Lundvall opposed the motion. Rick Brasher, Jacob Ivanoff, Kim Borer, Bud McDonald, and Mark Musser approved the motion. Motion carried.

Jolene Osborne presented the approved temporary A-Frame sign application submitted by the Cody Music Club to the board.

Kim Borer thanked Jacob Ivanoff for his three years of service on the Planning and Zoning Board.

Jacob Ivanoff made a motion second by Mark Musser to cancel the next meeting in December. Vote on the motion was unanimous, motion carried.

Councilman Steve Miller thanked Jacob Ivanoff for his three years of service.

Todd Stowell stated that in Chapter 10-11-1 of the municipal code there is a minimum requirement of 864 square feet for any dwelling. Staff requested direction as to whether that included garage or other non-living area and whether the code needs to be revisited as multi-family developments possibly may not need to be that large. Discussion led to

the conclusion that staff could prepare a proposal and individual board members could be a resource on the matter.

Bud McDonald made a motion seconded by Justin Lundvall to adjourn the meeting. Vote on the motion was unanimous, motion carried. Chairperson Kim Borer adjourned the meeting at 1:10 PM.

Jolene Y. Osborne
Engineering Administrative Assistant

DRAFT

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JANUARY 8, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	AMENDED SITE PLAN REVIEW: WYOMING AUTHENTIC PRODUCTS (MEAT PROCESSING) SPR 2013-04	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

AMENDED APPLICATION:

The Planning and Zoning Board reviewed the original Wyoming Authentic Products application at their October 9 and 23, 2012 meetings. Forward Cody and Wyoming Authentic Products did not receive construction bids in line with their estimates and have since modified the building and proposal. The amended application presents a smaller, 56' by 76' one-level building, with a 36' by 22' office area attached to the front of the building. The architecture of the office area is an improvement from the last proposal. Also, the coolers/freezers are now located exterior to the building in pad-mounted units. Refer to the attached architectural rendering and site plans.

PROJECT DESCRIPTION:

This project is the compilation of work by the applicant, David Fales, with support from Forward Cody, the Wyoming Business Council (grant funding), and the City of Cody (grant sponsorship). In summary, the business will process pre-butchered meat into burgers, franks, jerky and other specialty meat products. The facility intends to be the first USDA inspected meat processing facility in Wyoming. Initially, most products will be packaged raw. Smoker equipment is included, and processes such as the cooking of taco meat, shredded beef, chili and other value-added products are planned to occur in the future. At start up, approximately six employees would be hired to work at the facility, with potential growth to seventeen by the third year. If demand is sufficient, a second shift of up to 17 employees could be added. The building would be owned by Forward Cody and consist of a steel building, loading bay, pad-mounted freezers/coolers, refrigeration trucks, and associated parking.

Expansion of the building may occur in the future, although the expansion is not proposed or being reviewed at this time. The proposed building, without the future expansions, is 5,048 square feet (4,256 sq. ft. in the production area and 792 sq. ft. for the office).

Existing Conditions:

Subject property:



Access:



REVIEW CRITERIA:

The property is located within the Industrial “E” zoning district, which permits “meat processing plants”.

Section 10-10E-3 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans...

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Former Child’s Towing facility.	Industrial “E”
East	Forward Cody metal building	Industrial “E”
South	Veteran’s Memorial Park	Industrial “E”
West	Beartooth Inn.	General Business “D-2”

Architecture:

The architectural renderings are included in the application. The main building is proposed to be sided and roofed in sheet metal, and the office area will have horizontal

siding and a masonry wainscoting. The specific colors are not indicated in the application, but are shown as green siding and brown rock and trim on the architectural rendering. The wall height of the building is fourteen feet, (was 22'), with the peak approximately 20'4" (was 29').

The buildings to the east and north are metal sided. The Beartooth Inn to the west is a stained wood building. Photos of the neighboring buildings are shown here:



The P&Z Board will need to determine if the proposed materials and colors of the Wyoming Authentic Products building are suitable.

Landscaping:

This site is readily visible from the highway, is immediately next to the Veterans Memorial Park and Beartooth Inn, and is part of the gateway to the City where impressions of the City are first being formed. For landscaping, the applicant proposes four, 8 to 10-foot tall juniper trees along the south boundary of the property, located in a 10-foot wide strip of 2-3 inch river rock. A fence to match the Veteran's Park fence across the access lane is also included.

As noted in the last review, architecture and landscaping are reviewed in conjunction, as a deficient in one aspect can be ameliorated by a more substantial emphasis on the other. The current proposal has more architectural variety than the last version.

Irrigation of the trees is not indicated. An automatic drip irrigation system should be considered.



Storm Water Plan:

An engineered storm water plan has been prepared to address runoff according to the City's storm water policy manual. Small ditches (6" deep) along the east and west sides of the property, roof drains from the building, and two drywells are designed to accommodate the 25-year storm event. The City engineer reviewed the storm water plan originally submitted and found that it met the City standards. The current proposal has less impervious surface and is within the parameters of the former report.

Parking:

The parking ordinance requires one space per employee plus one space per average number of "business invitees" expected at any one time. The current application indicates an immediate need for 12 spaces, and 17 parking spaces are shown.

With the exception of the ADA parking space and loading area, which are to be paved, the parking and vehicle maneuvering areas will be graded and compacted with the native material (sandy gravel).

All of the gravel parking spaces and their backup areas meet the necessary dimensional requirements.

The details for the ADA parking and access are mostly provided, but lack grade information. Additional detail will be needed with the building permit.

Lighting

Exterior lighting is provided by wall packs on all sides of the building, primarily near the entryways and loading dock. If the fixtures have not changed from the last version, they include a single, 40 watt LED bulb and are of a full cut-off style.

Setbacks, Buffers, and Height Requirements

There are no applicable setbacks or buffers required by the zoning ordinance for this proposal. Height is not limited in the Industrial "E" zone, except as necessary to meet airport height restrictions. The application indicates that the peak of this building is approximately 35 feet below the airport's restricted airspace. The airport manager and engineer verified that the last proposal, which was taller, was below the restricted airspace, so this proposal would be as well.

Access

Primary access is intended from the 22 to 24-foot wide paved lane that also serves the Beartooth Inn (see photo on 2nd page). Frank Court, a gravel road, connects to the property at the northeast corner. Since the Board last reviewed the proposal, a boundary line adjustment has been recorded and a new access easement has been established for the paved lane and driveway to the facility. A copy of the recorded survey is attached.

Street/Frontage Improvements

The access road/street serving this property is not an official City street, and is not officially maintained by the City. In practice and customary use it is a private road serving the properties that abut it. The City is not aware of any agreement for maintenance of the road. Ideally, each property owner served by the road would participate in its maintenance, as specified by a legally binding agreement.

The existing construction of the access road was determined adequate to serve this proposal in the prior review.

Utility Services

The addition of new transformers will be needed to serve the facility, the cost of which will be the responsibility of the owner/developer. The existing 15' easement along the west side of the property is adequate for the City's power facilities.

Necessary sewer service, water service, and electrical service will be provided to the facility and are noted on the site plan. Sewer utility billing for industrial facilities is based on discharge estimates. A sewer monitoring and testing agreement has been entered into by the city and applicant for this purpose.

Signage

A sign, as depicted on the architectural rendering, can be authorized at this time, although the applicant should clarify how the sign is lit. Any additional signage will need future review and approval.

Miscellaneous

The snow removal area has been identified at the north end of the parking area.

Waste disposal methods were explained in the last proposal and found suitable. If vectors (flies, mice, etc.) become an issue with the dumpster, vector control methods should be utilized.

The city does not have current fire flow data for the fire hydrants closest to this facility. Fire flow will need to be tested and verified with the Fire Marshal.

It is noted that the designers did a good job in locating most noise producing equipment as far away from the Beartooth Inn as feasible (e.g. air handlers, compressors, rooftop equipment). The refrigeration trailers parked to the rear of the facility may produce some noise, but only intermittently. (Applicant may be able to give more details on timing.)

ATTACHMENTS:

Site plans, elevations, rendering.
Record of Survey.

ALTERNATIVES:

The Board has authority to approve or deny the site plan, with or without changes.

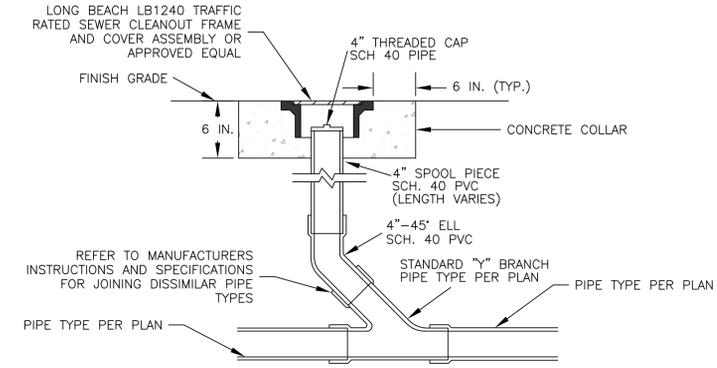
RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the application, it is recommended that it be subject to following.

1. Provide additional ADA details as needed for the building permit.
2. All storm water facilities are to be inspected and certified by the applicant's engineer prior to a certificate of occupancy.
3. If landscaping will not be installed prior to occupancy of the building, provide a financial surety prior to occupancy for its installation.
4. All exterior lighting must be of a downward/cutoff style and illumination levels modest in intensity.
5. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.
6. (Any additional landscaping/irrigation specified by the Board.)
7. (Any architectural requirements specified by the Board.)

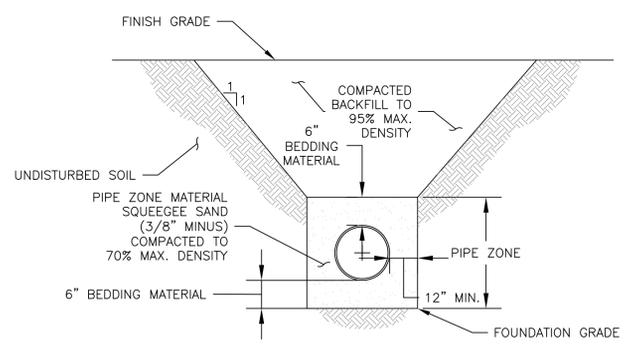


Wyoming
Authentic Products



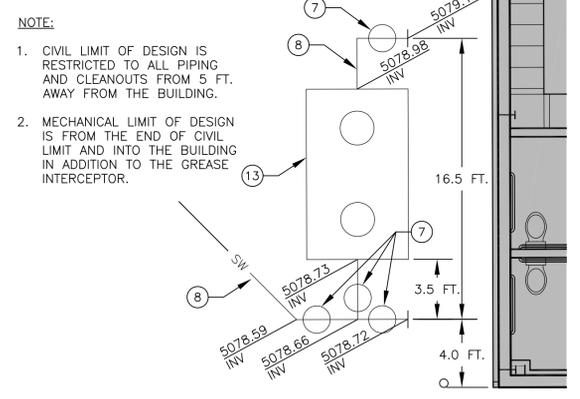
- NOTES:**
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE BELL AND SPIGOT PIPE CONFORMING TO THE FOLLOWING:
 - PVC PIPE SHALL CONFORM TO CELL CLASSIFICATION 12454-B AS GIVEN IN ASTM D 1784.
 - DIMENSIONS OF THE PIPE AND FITTINGS SHALL CONFORM TO ASTM D 3034 OR ASTM F 679 FOR SIZES OVER 15".
 - JOINTS IN ALL PVC SEWER PIPE SHALL BE WATER TIGHT WITH BELL AND SPIGOT ENDS WITH RUBBER O-RING GASKETS.
 - STANDARD PVC "Y" TYPE BRANCHES WILL BE REQUIRED FOR ALL SERVICES ON A NEW MAIN.

CLEANOUT DETAIL
N.T.S.



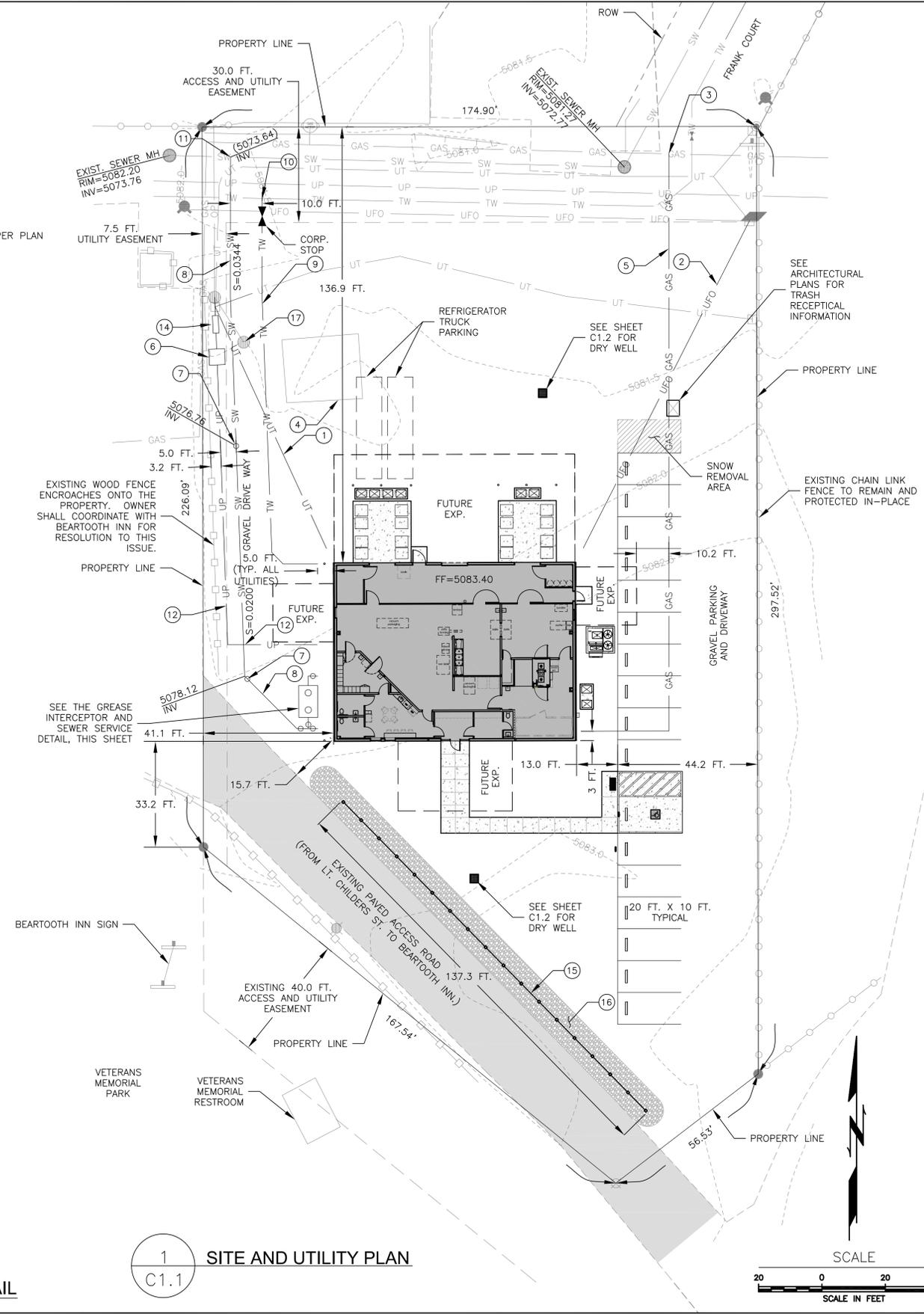
- NOTE:**
- TRENCH WALLS SHALL BE SUPPORTED AS REQUIRED BY OSHA.

PIPE TRENCH BEDDING DETAIL
N.T.S.

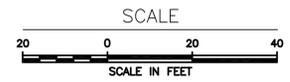


- NOTE:**
- CIVIL LIMIT OF DESIGN IS RESTRICTED TO ALL PIPING AND CLEANOUTS FROM 5 FT. AWAY FROM THE BUILDING.
 - MECHANICAL LIMIT OF DESIGN IS FROM THE END OF CIVIL LIMIT AND INTO THE BUILDING IN ADDITION TO THE GREASE INTERCEPTOR.

GREASE INTERCEPTOR AND SEWER SERVICE DETAIL
N.T.S.



1
C1.1 **SITE AND UTILITY PLAN**



CONSTRUCTION NOTES:

- INSTALL 2 IN. ELECTRICAL CONDUIT FOR TELEPHONE SERVICE FROM EXISTING TELEPHONE SERVICE RISER TO BUILDING. COORDINATE WITH TERRY FERRUZZA OF CENTURY LINK PRIOR TO CONSTRUCTION. INSTALL CONDUIT PER THE PIPE TRENCH BEDDING DETAIL THIS SHEET OR AS DIRECTED BY CENTURY LINK.
- INSTALL CONDUIT FOR FIBER OPTIC LINE TO BUILDING PER THE PIPE TRENCH BEDDING DETAIL ON THIS SHEET OR AS DIRECTED BY TCT WEST. COORDINATE WITH TCT WEST PRIOR TO CONSTRUCTION FOR THE SIZE OF CONDUIT REQUIRED, AND ANY OTHER DETAILS FOR INSTALLATION.
- CONNECT TO EXISTING GAS LINE, COORDINATE WITH STEPHANIE FRY AT ENERGY WEST.
- EXISTING BUILDING TO BE REMOVED BY OWNER.
- INSTALL 3/4 IN. GAS SERVICE TO BUILDING. SEE MECHANICAL PLANS FOR LOCATION OF GAS METER. COORDINATE WITH STEPHANIE FRY OF ENERGY WEST PRIOR TO CONSTRUCTION. INSTALL PIPE PER THE PIPE TRENCH BEDDING DETAIL OR AS DIRECTED BY ENERGY WEST.
- INSTALL ELECTRICAL TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.
- INSTALL SANITARY SEWER CLEANOUT. SEE DETAIL THIS SHEET.
- INSTALL 6 IN. PVC SDR 35 SANITARY SEWER PIPE PER THE PIPE TRENCH BEDDING DETAIL THIS SHEET.
- INSTALL 2 IN. SDR 9 5100 SERIES DRISCO PIPE ULTRALINE PE WATER SERVICE TUBING, IN COMPLIANCE WITH ASTM D2737 (PRESSURE CLASS 250 PSI) AND PER CITY OF CODY STANDARD DETAILS.
- HOT TAP EXISTING TREATED WATER MAIN AND PROVIDE CORPORATION STOP.
- JOIN EXISTING SEWER MAIN PER THE CITY OF CODY SANITARY SEWER SERVICE DETAIL. IN ADDITION, SEE GENERAL NOTE #3 THIS SHEET.
- INSTALL ELECTRICAL CONDUIT AS REQUIRED FOR ELECTRICAL SERVICE TO BUILDING. SEE ELECTRICAL PLANS.
- INSTALL 1,500 GAL. GREASE INTERCEPTOR (10 FT. X 6 FT.) WITH TRAFFIC RATED TOP. SEE MECHANICAL PLANS FOR DETAILS.
- CITY OF CODY TO PROVIDE POWER TO PULL BOX. COORDINATION WILL BE REQUIRED BETWEEN CENTURY LINK AND CITY OF CODY PRIOR TO CONSTRUCTION DUE TO PROXIMITY OF TELEPHONE RISER AND ELECTRICAL SERVICE.
- SEE ARCHITECTURAL PLANS FOR FENCE CONSTRUCTION INFORMATION AND DETAILS.
- SEE ARCHITECTURAL PLANS FOR DECORATIVE ROCK INSTALLATION AND CONFIGURATION.
- EXISTING POWER POLE TO REMAIN FOR TEMPORARY POWER UNTIL PERMANENT POWER IS ESTABLISHED, THEN IT IS TO BE REMOVED.

GENERAL NOTES:

- FAR PART 77 TRANSITIONAL SURFACE CLEARANCE TO RIDGE OF BUILDING = 35.0 FT.
- SEE DRAINAGE REPORT PREPARED BY GDA ENGINEERS FOR THIS PROJECT.
- SANITARY SEWER AND TREATED WATER LINES SHALL BE BEDDED WITH SAND (6 IN. BELOW PIPES TO 6 IN. ABOVE PIPE).
- CONTRACTOR TO VERIFY SEWER JOIN ELEVATION PRIOR TO CONSTRUCTION.
- SEE SHEET C1.2 FOR GRADING AND DRAINAGE INFORMATION.
- SEE ARCHITECTURAL PLANS FOR SIDEWALK AND ENTRANCE CONSTRUCTION INFORMATION AND DETAILS.
- SEE STRUCTURAL PLANS FOR EQUIPMENT SLAB CONSTRUCTION INFORMATION AND DETAILS.

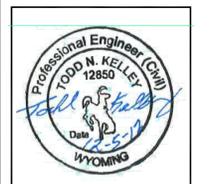
GEOTECHNICAL REPORT:

SEE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT PREPARED BY INBERG-MILLER ENGINEERS, REPORT NO. 16420-PX, DATED 9-24-2012.

LEGEND:

SEE SHEET C1.2 FOR LEGEND INFORMATION.

FORWARD CODY - CODY WYOMING
WYOMING AUTHENTIC PRODUCTS PLANT
plan one / architects

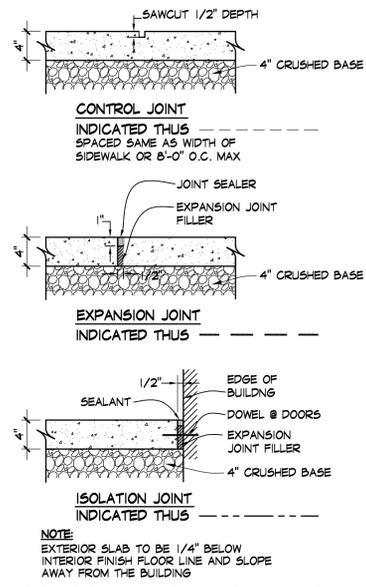


The professional services of the architect are undertaken for and are performed in the interest of FORWARD CODY. No contractual obligation is assumed by the architect for the benefit of any other person involved in the contract.

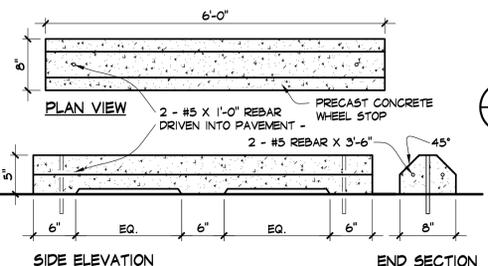
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revisions:	

C1.1

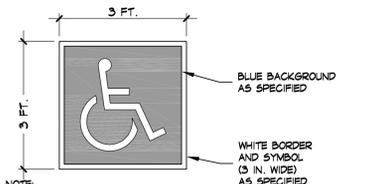
~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



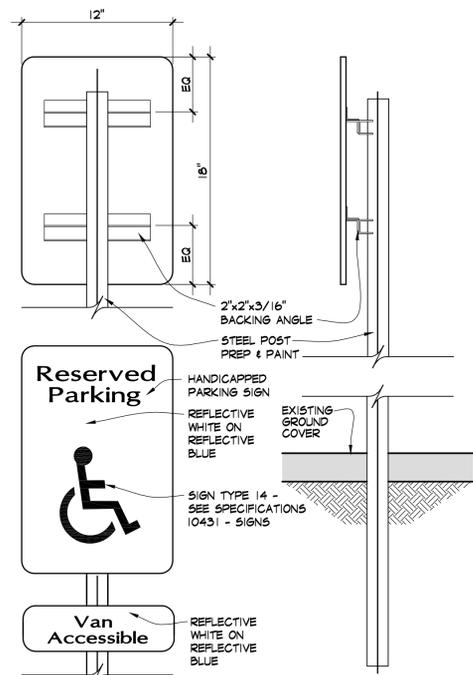
5 CONCRETE JOINT DETAILS
AS1.1 SCALE: 1" = 1'-0"



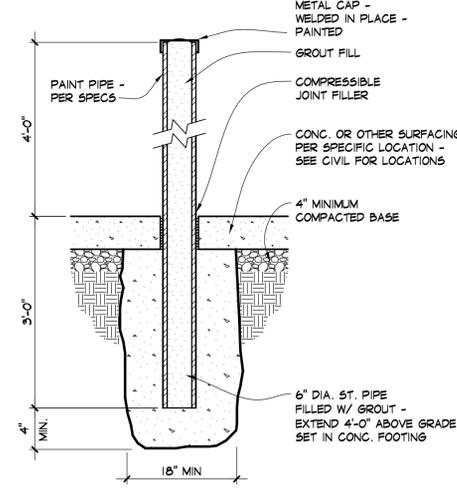
3 TYP. CONCRETE WHEEL STOP
AS1.1 SCALE: 1" = 1'-0"



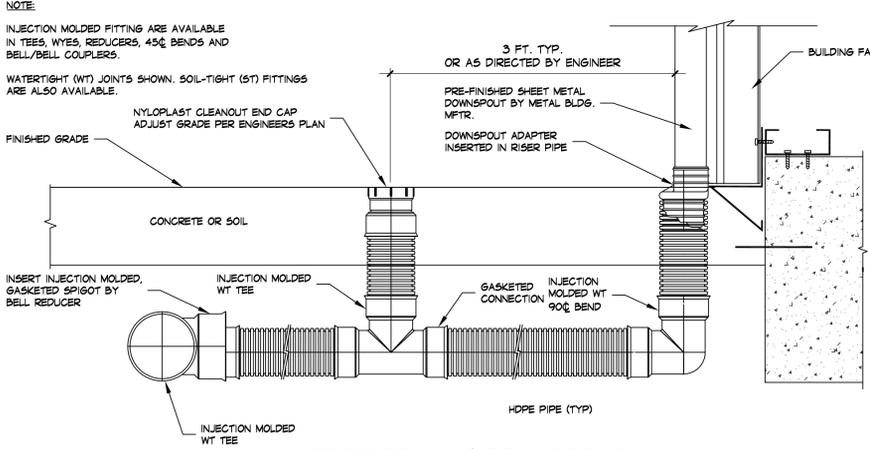
6 ADA PARKING SYMBOL DETAIL
AS1.1 SCALE: N.T.S.



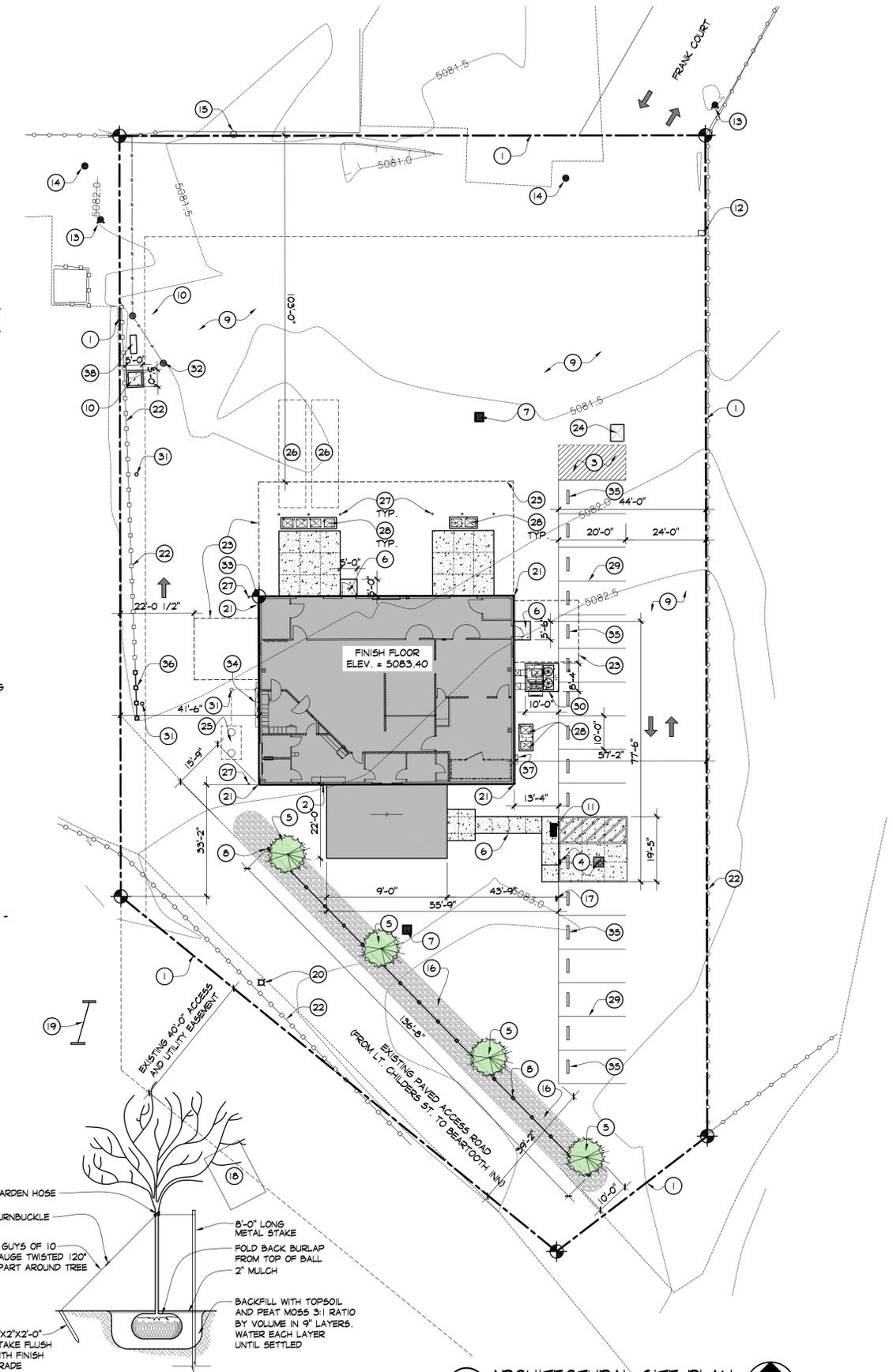
2 SITE SIGNAGE - HANDICAP SIGNAGE
AS1.1 SCALE: 1" = 1'-0"



7 FIXED PIPE BOLLARD
AS1.1 SCALE: 3/4" = 1'-0"



4 ROOF DRAIN / DOWNSPOUT
TIE & CLEANOUT DETAIL
AS1.1 SCALE: N.T.S.



8 TREE PLANTING DETAIL
AS1.1 SCALE: 1/2" = 1'-0" (UNLESS REDUCED)

- ### GENERAL NOTES
- REFER TO CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS FOR THE EXTENT OF UTILITY INSTALLATIONS.
 - SLOPE ALL WALKS, FILLS, AND PAVED AREAS AWAY FROM BUILDING. DO NOT EXCEED CROSS SLOPE OF 2% ON WALKS. SPACE WEAKENED PLANE JOINTS IN WALKS @ 6'-0" MAX UNLESS OTHERWISE NOTED.
 - ALL CURBS AND SIDEWALKS SHALL CONFORM TO LOCAL CODES AND ORDINANCES. VERIFY WITH THE CITY OF CODY FOR STANDARDS.
 - ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF WORK. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF NEW IMPROVEMENTS.
 - UNLESS OTHERWISE INDICATED, MEET EXISTING GRADES @ THE PROPERTY LINE.
 - ALL SIGNS WILL HAVE TO BE APPROVED THE CITY OF CODY SIGN PLAN REVIEW PROCESS & OBTAIN A SIGN PERMIT BEFORE ANY SIGN CAN BE INSTALLED.
 - SEE THE "SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT" PREPARED FOR THIS PROJECT CONTAINED IN SPECIFICATION SECTION 02500-EARTHWORK.

- ### KEYED NOTES
- NOTED THIS (X)
- PROPERTY LINE
 - BUILDING FOOTPRINT
 - SNOW REMOVAL AREA
 - HANDICAP PARKING & POLE MOUNTED SIGN - SEE DETAILS 2/AS1.1 & 6/AS1.1
 - JUNIPER TREE - 8'-10" HIGH - SEE DETAIL 8/AS1.1 & SPECIFICATIONS
 - 4" CONCRETE SIDEWALK OR LANDING - SEE DETAIL 5/AS1.1
 - DRYWELL W/ TRAFFIC-RATED LID - SEE CIVIL DRAWINGS
 - SPLIT RAIL FENCE - MAIN POSTS @ 10'-0" O.C. 3'-3" ABOVE FINISH GRADE WITH 12" EMBEDMENT; PROVIDE TWO HORIZONTAL MEMBERS SPACED TO MATCH VETERANS' MEMORIAL PARK FENCE - STAIN TO MATCH EXISTING NATIVE SOIL SURFACE - SEE CIVIL DRAWINGS
 - INSTALL NEW PAD-MOUNTED TRANSFORMER - SEE CIVIL & ELECTRICAL DRAWINGS
 - INSTALL 2' x 4' CAST-IN-PLACE TACTILE WARNING PANEL - SEE SPECIFICATIONS
 - EXISTING TELEPHONE VAULT TO REMAIN - PROTECT DURING CONSTRUCTION
 - EXISTING FIRE HYDRANT TO REMAIN - PROTECT DURING CONSTRUCTION
 - EXISTING SANITARY MAN-HOLE TO REMAIN - PROTECT DURING CONSTRUCTION - VERIFY TRAFFIC-RATED LID
 - EXISTING GAS METER TO REMAIN - PROTECT DURING CONSTRUCTION
 - PROVIDE 2'-3" MINUS RIVER ROCK 4" DEEP OVER WEED MAT - SEE SPECIFICATIONS
 - RESERVED PARKING SPACE FOR USDA PERSONNEL WITH SIGN - SEE DETAIL 2/AS1.1 (SIMILAR)
 - VETERANS' MEMORIAL RESTROOM FACILITY
 - BEARTOOTH INN SIGN
 - EXISTING LIGHT POLE TO REMAIN - PROTECT DURING CONSTRUCTION
 - GUTTER & DOWNSPOUT - TIE DOWNSPOUT INTO STORM SEWER SYSTEM - SEE DETAIL 4/AS1.1 AND CIVIL DRAWINGS
 - EXISTING FENCING TO REMAIN - REPLACE & STAIN DAMAGED SECTIONS INDICATED WITH A HEAVIER LINETYPE
 - FUTURE EXPANSION AREA
 - TRASH DUMPSTER LOCATION - COORDINATE WITH THE CITY OF CODY
 - GREASE INTERCEPTOR LOCATION - SEE CIVIL & MECHANICAL DRAWINGS
 - REFRIGERATED TRUCK PARKING
 - 6" STEEL PIPE BOLLARD - SEE DETAIL 7/AS1.1
 - PAD-MOUNTED CONDENSING UNITS - SEE DETAIL 4/53.1 STRUCTURAL DRAWINGS
 - PARKING STALLS SHOWN FOR INFORMATION ONLY - NO STRIPING
 - PAD-MOUNTED AIR HANDLING UNIT - SEE DETAIL 4/53.1 - SEE STRUCTURAL & MECHANICAL DRAWINGS
 - SANITARY SEWER CLEAN-OUT - SEE CIVIL DRAWINGS
 - (E) POWER POLE TO BE REMOVED - SEE CIVIL DRAWINGS - COORDINATE WITH THE CITY OF CODY
 - BUILDING LOCATION COORDINATE POINT - CORNER OF FOUNDATION
 - PAD-MOUNTED MAIN DISTRIBUTION PANEL - SEE ELECTRICAL DRAWINGS
 - PRE-CAST CONCRETE WHEEL STOP - SEE DETAIL 3/AS1.1
 - REPLACE & STAIN DAMAGED SECTIONS OF EXISTING FENCE INDICATED WITH A HEAVIER LINETYPE
 - NEW GAS METER - SEE MECHANICAL DRAWINGS
 - PULL BOX - SEE CIVIL & ELECTRICAL DRAWINGS

PARKING CALCULATION

EMPLOYEES	= 6
ADMINISTRATORS	= 2
USDA INSPECTOR	= 1
HANDICAP VISITOR	= 1
VISITOR	= 2
TOTAL REQUIRED	= 12
PROVIDED	= 17

FORWARD CODY - CODY, WYOMING
WYOMING AUTHENTIC PRODUCTS PLANT
Pianone / architects

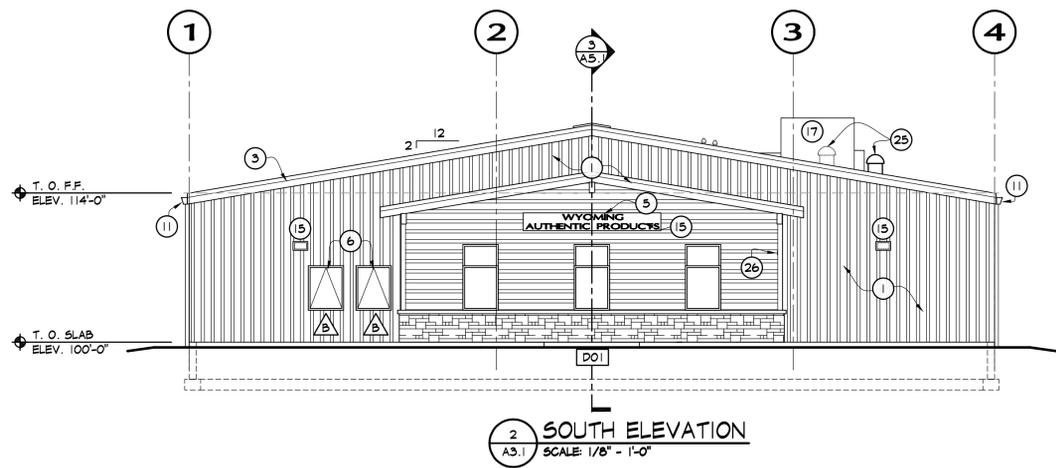
ARCHITECTS

REGISTERED ARCHITECT
DANIEL J. ODASZ
CT674
STATE OF WYOMING

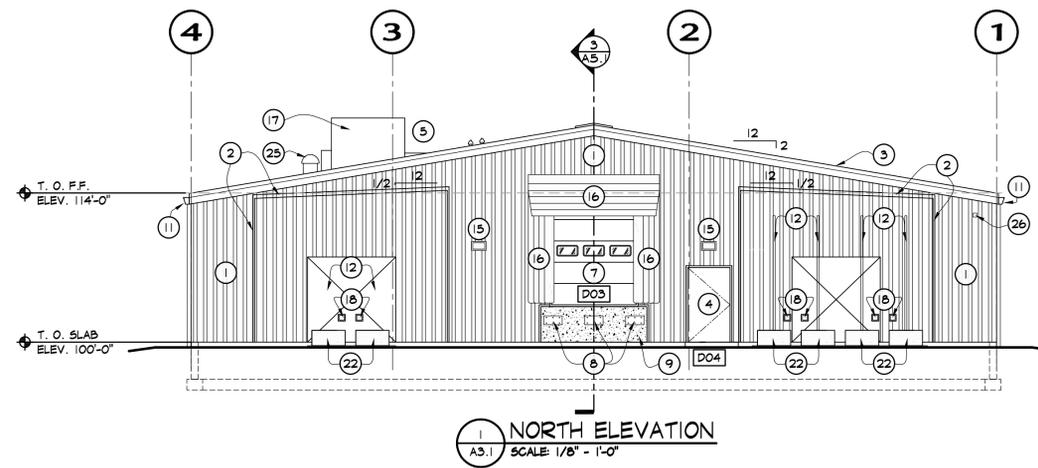
The professional services of the architect are undertaken for and are performed in the interest of FORWARD CODY. No contractual obligation is assumed by the architect for the benefit of any other person involved in the contract.

project: 1249
date: 12/5/12
revisions:

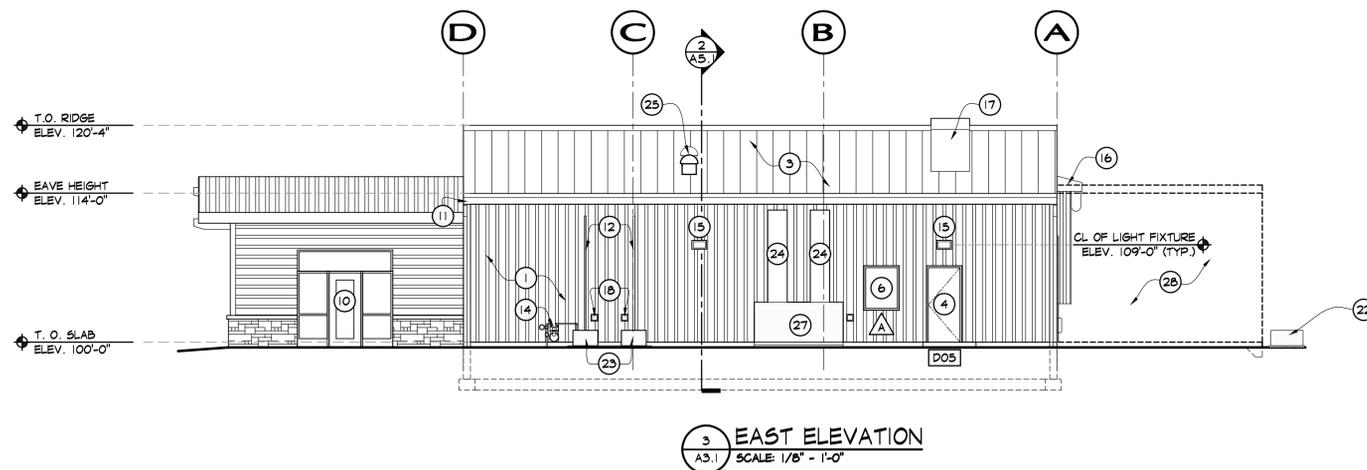
AS1.1



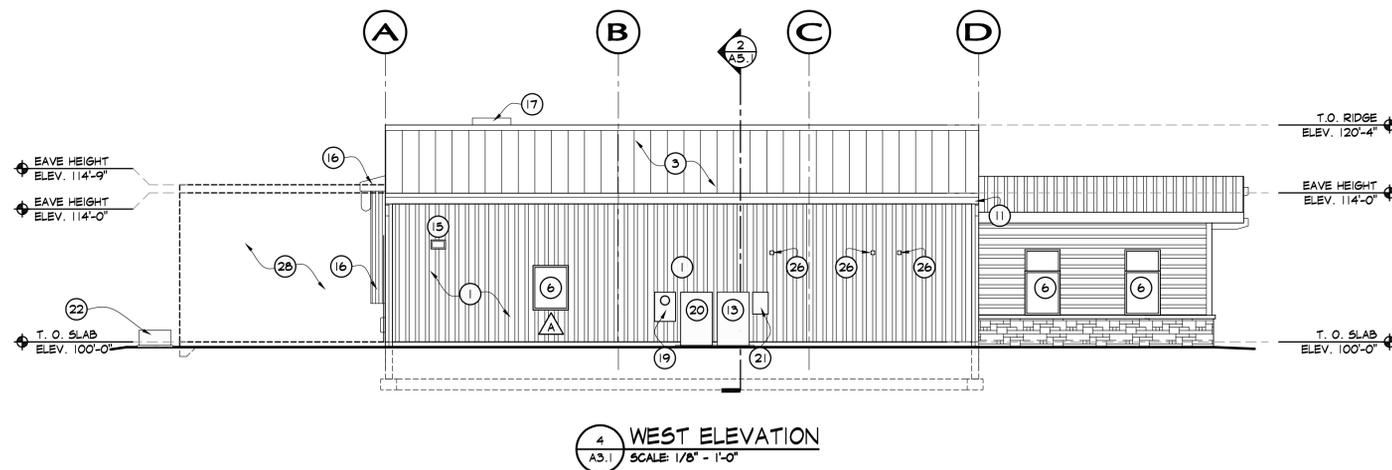
2 SOUTH ELEVATION
A3.1 SCALE 1/8" = 1'-0"



1 NORTH ELEVATION
A3.1 SCALE 1/8" = 1'-0"



3 EAST ELEVATION
A3.1 SCALE 1/8" = 1'-0"



4 WEST ELEVATION
A3.1 SCALE 1/8" = 1'-0"

GENERAL NOTES

1. SEE DRAWING SHEET A10.1 FOR DOOR & WINDOW INFORMATION.
2. PROVIDE PRE-FINISHED SHEET METAL FOUNDATION FLASHING FULL PERIMETER OF BUILDING.
3. SEE REFLECTED CEILING PLAN ON DRAWING SHEET A11.1 FOR MORE INFORMATION.
4. SEE FLOOR PLAN ON DRAWING SHEET A1.1 FOR TYPICAL WALL CONSTRUCTION.
5. PROVIDE FOUNDATION DAMPROOFING AND INSULATION ON EXTERIOR FOUNDATION WALL.

KEYED NOTES

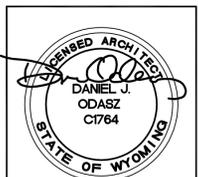
NOTED THIS (X)

- 1) PRE-FINISHED VERTICAL METAL SIDING - SEE SPECIFICATIONS
- 2) PRE-FINISHED SHEET METAL FLASHING - SEE SPECIFICATIONS
- 3) METAL ROOFING - SEE ROOF PLAN SHEET A4.1
- 4) HOLLOW METAL DOOR & FRAME - SEE SHEET A10.1
- 5) BUILDING SIGNAGE - PROVIDE BACKING FOR MOUNTING LETTERS ON BOARD - SEE SPECIFICATIONS
- 6) ALUMINUM WINDOW - SEE SHEET A10.1
- 7) OVERHEAD SECTIONAL DOOR - SEE SHEET A10.1
- 8) MOLDED RUBBER DOCK BUMPERS - SEE SPECIFICATIONS
- 9) EXPOSED CONCRETE WALL WITH RUB FINISH
- 10) ALUMINUM STOREFRONT DOOR - SEE SHEET A10.1
- 11) GUTTER AND DOWNSPOUT - TIE INTO STORM SEWER - SEE CIVIL DRAWINGS
- 12) CONDENSING LINE - N.I.C.
- 13) PAD-MOUNTED MAIN DISTRIBUTION PANEL - SEE ELECTRICAL DRAWINGS
- 14) GAS CONNECTION & METER LOCATION - SEE MECHANICAL AND CIVIL DRAWINGS
- 15) EXTERIOR LIGHTING - SEE ELECTRICAL DRAWINGS
- 16) INFLATABLE DOCK SEAL - INSTALL PER MANUFACTURER - SEE SPECS AND ELECTRICAL FOR CONNECTION
- 17) ROOFTOP UNIT IS 846 LBS. METAL BUILDING MANUFACTURER TO DESIGN ADDITIONAL SUPPORT AS NECESSARY. FLASH WITH STAINLESS STEEL FLASHING AS NECESSARY. MECHANICAL CURBS PROVIDED BY MANUFACTURER.
- 18) EMERGENCY DISCONNECT - SEE ELECTRICAL DRAWINGS
- 19) ELECTRIC METER - SEE ELECTRICAL DRAWINGS
- 20) PAD-MOUNTED CT ENCLOSURE - SEE ELECTRICAL DRAWINGS
- 21) MANUAL TRANSFER SWITCH - SEE ELECTRICAL DRAWINGS
- 22) FREEZER/COOLER CONDENSING UNIT - N.I.C. - PROVIDE CONCRETE PADS
- 23) PAD-MOUNTED CONDENSING UNIT - SEE MECHANICAL DRAWINGS
- 24) VERTICAL WEATHERPROOF DUCT - SEE DETAIL 5/M4.0
- 25) 12" VERTICAL SMOKER VENT - SEE SHEET M2.1
- 26) SIDEWALL JACK - SEE DETAIL 3/M4.0
- 27) EXTERIOR PAD-MOUNTED RTU#1 - SEE MECHANICAL DRAWINGS
- 28) EXTERIOR PAD-MOUNTED COOLER / FREEZER UNITS - SEE SPECIFICATIONS

FORWARD CODY - CODY, WYOMING
WYOMING AUTHENTIC PRODUCTS PLANT
*P*lan *o*ne / *a*rchitects
 ~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~



ARCHITECTS



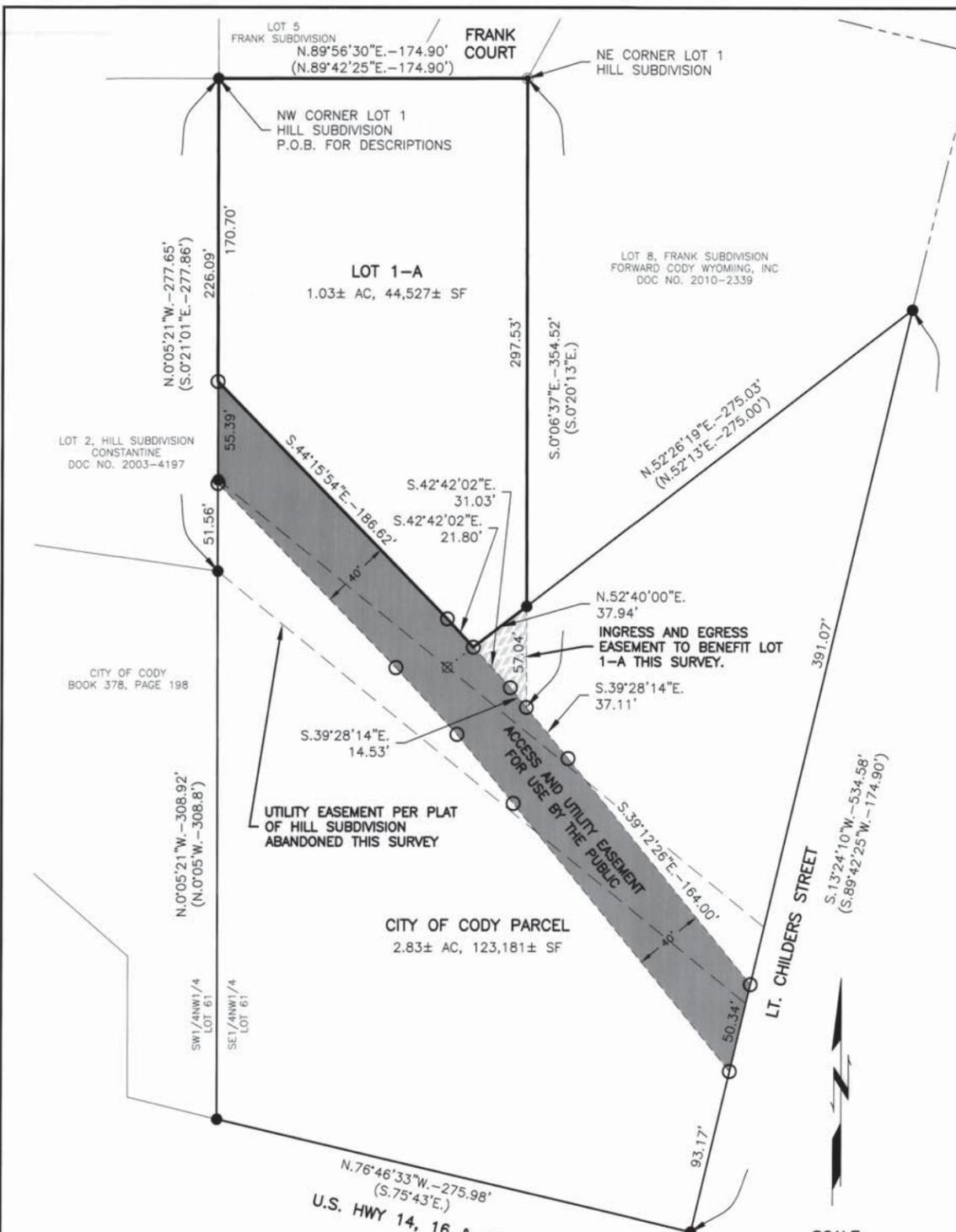
The professional services of the architect are undertaken for and are performed in the interest of FORWARD CODY. No contractual obligation is assumed by the architect for the benefit of any other person involved in the contract.

project: 1249

date: 12/5/2012

revisions:

A3.1



LEGAL DESCRIPTIONS

LOT 1-A
 BEING A PORTION OF LOT 1 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING, WITHIN THE SE1/4NW1/4, LOT 61, RESURVEY, T.52N., R.101W., PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A FOUND ALUMINUM CAP BEING THE NORTHWEST CORNER OF SAID LOT 1 OF HILL SUBDIVISION, ALSO BEING THE SOUTHWEST CORNER OF LOT 5 OF FRANK SUBDIVISION WITHIN THE CITY OF CODY, WYOMING; THENCE N.89°56'30"E., ALONG THE NORTHERLY LINE OF SAID LOT 1, 174.90 FEET, TO A FOUND BRASS CAP BEING THE NORTHEAST CORNER OF SAID LOT 1, SAID POINT ALSO BEING THE WESTERLY POINT OF LOT 8 OF SAID FRANK SUBDIVISION; THENCE S.0°06'37"E., ALONG THE EASTERLY LINE OF SAID LOT 1, 297.53 FEET, TO A FOUND ALUMINUM CAP BEING THE SOUTHEAST CORNER OF SAID LOT 1; THENCE S.52°40'00"W., ALONG THE SOUTHEASTERLY LINE OF SAID LOT 1, 37.94 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE N.42°42'02"W., 21.80 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE N.44°15'54"W., 186.62 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY, SAID POINT BEING LOCATED ON THE WESTERLY LINE OF SAID LOT 1; THENCE N.0°05'21"W., ALONG THE WESTERLY LINE OF SAID LOT 1, 170.70 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.
 CONTAINING 1.03 ACRES, MORE OR LESS.

CITY OF CODY PARCEL
 BEING A PARCEL OF LAND WITHIN A PORTION OF LOT 1 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING AND WITHIN THE SE1/4NW1/4, LOT 61, RESURVEY, T.52N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING, THENCE S.0°05'21"E., ALONG THE WESTERLY LINE OF SAID LOT 1, 170.70 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY AND TO THE POINT OF BEGINNING. SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 1-A CREATED THIS SURVEY; THENCE S.44°15'54"E., ALONG THE SOUTHERLY LINE OF SAID LOT 1-A, 186.62 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE S.42°42'02"E., ALONG SAID SOUTHERLY LINE, 21.80 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY, SAID POINT BEING LOCATED ON THE SOUTHEASTERLY LINE OF LOT 1 OF HILL SUBDIVISION; THENCE N.52°40'00"E., ALONG SAID SOUTHEASTERLY LINE, 37.94 FEET, TO A FOUND ALUMINUM CAP BEING THE SOUTHEAST CORNER OF LOT 1 OF SAID HILL SUBDIVISION, ALSO BEING THE SOUTHWEST CORNER OF LOT 8 OF FRANK SUBDIVISION, WITHIN THE CITY OF CODY, WYOMING; THENCE N.52°26'19"E., ALONG THE SOUTHEASTERLY LINE OF SAID LOT 8, 275.03 FEET, TO A FOUND ALUMINUM CAP BEING THE SOUTHEASTERLY CORNER OF SAID LOT 8; THENCE S.13°24'10"W., ALONG THE WESTERLY RIGHT-OF-WAY LINE OF LT. CHILDERS STREET, 534.58 FEET, TO A FOUND ALUMINUM CAP, AND A POINT LYING ON THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 14, 16, & 20; THENCE N.76°46'33"W., ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID HIGHWAY, 275.98 FEET, TO A FOUND ALUMINUM CAP BEING LOCATED ON THE WESTERLY LINE OF SAID SE1/4NW1/4, LOT 61; THENCE N.0°05'21"W., ALONG SAID WESTERLY LINE, 308.92 FEET, TO A FOUND ALUMINUM CAP BEING THE SOUTHEAST CORNER OF LOT 2 OF SAID HILL SUBDIVISION; THENCE N.0°05'21"W., ALONG THE EASTERLY LINE OF SAID LOT 2, 51.56 FEET, TO A FOUND ALUMINUM CAP BEING THE SOUTHWEST CORNER OF SAID LOT 1 OF HILL SUBDIVISION; THENCE N.0°05'21"W., ALONG THE LINE COMMON TO SAID LOTS 1 AND 2 OF HILL SUBDIVISION, 55.39 FEET, MORE OR LESS TO THE POINT OF BEGINNING.
 CONTAINING 2.83 ACRES, MORE OR LESS.

ACCESS AND UTILITY EASEMENT TO BENEFIT LOT 1-A THIS SURVEY AND LOT 2 OF THE HILL SUBDIVISION ALSO TO BENEFIT THE PUBLIC
 BEING A 40 FOOT WIDE EASEMENT WITHIN THE SE1/4NW1/4, LOT 61, RESURVEY, T.52N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, THE NORTHERLY LINE OF SAID EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTHWEST CORNER OF LOT 1 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING, THENCE S.0°05'21"E., ALONG THE WESTERLY LINE OF SAID LOT 1, 170.70 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY AND TO THE POINT OF BEGINNING. SAID POINT ALSO BEING THE SOUTHWEST CORNER OF LOT 1-A CREATED THIS SURVEY; THENCE S.44°15'54"E., ALONG THE SOUTHERLY LINE OF SAID LOT 1-A, 186.62 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE S.42°42'02"E., ALONG SAID SOUTHERLY LINE, 21.80 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF SAID LOT 1-A; THENCE S.42°42'02"E., 31.03 FEET; THENCE S.39°28'14"E., 14.53 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE S.39°28'14"E., 37.11 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE S.39°28'14"E., 164.00 FEET, TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY, SAID POINT ALSO LYING ON THE WESTERLY RIGHT-OF-WAY LINE OF LT. CHILDERS STREET, BEING THE ENDPOINT OF THIS DESCRIPTION. THE EASEMENT IS TO BE PARALLEL WITH AND OFFSET SOUTHERLY OF THE ABOVE DESCRIBED LINE 40.00 FEET. THE SIDELINES OF SAID EASEMENT SHALL EXTEND EASTERLY TO THE WESTERLY RIGHT-OF-WAY LINE OF LT. CHILDERS STREET, AND WESTERLY TO THE EASTERLY LINE OF LOT 2 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING.
 CONTAINING 0.41 ACRES, MORE OR LESS.

INGRESS AND EGRESS EASEMENT TO BENEFIT LOT 1-A THIS SURVEY
 BEING AN EASEMENT FOR INGRESS AND EGRESS PURPOSES OVER A PARCEL OF LAND WITHIN THE SE1/4NW1/4, LOT 61, RESURVEY, T.52N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, THE NORTHERLY LINE OF SAID EASEMENT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 8 OF FRANK SUBDIVISION WITHIN THE CITY OF CODY, WYOMING, SAID POINT ALSO BEING THE SOUTHEASTERLY CORNER OF LOT 1 OF HILL SUBDIVISION WITHIN THE CITY OF CODY, WYOMING AND THE SOUTHEASTERLY CORNER OF LOT 1-A AS SHOWN HEREON AND CREATED THIS SURVEY AND BEING MARKED BY A FOUND ALUMINUM CAP, THENCE S.52°40'00"W., ALONG THE EASTERLY LINE OF SAID LOT 1 OF HILL SUBDIVISION PROJECTED SOUTHERLY, 57.04 FEET, TO A POINT ON THE NORTHERLY LINE OF THE ACCESS AND UTILITY EASEMENT AS SHOWN ON THIS SURVEY, SAID POINT BEING MARKED BY A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE N.39°28'14"W., ALONG SAID NORTHERLY EASEMENT LINE, 14.53 FEET TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY; THENCE N.42°42'02"W., ALONG SAID NORTHERLY EASEMENT LINE, 31.03 FEET TO A 2 1/2" ALUMINUM CAP SET THIS SURVEY, SAID POINT ALSO BEING THE SOUTHERLY CORNER OF LOT 1-A AS SHOWN HEREON AND CREATED THIS SURVEY, ALSO LYING ON THE SOUTHEASTERLY LINE OF LOT 1 OF SAID HILL SUBDIVISION; THENCE N.52°40'00"E., ALONG THE SOUTHEASTERLY LINES OF SAID LOT 1 AND LOT 1-A, 37.94 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.
 CONTAINING 845 SF, MORE OR LESS.

CERTIFICATE OF DEDICATION
 KNOW ALL PERSONS BY THESE PRESENTS: THAT HILL ENTERPRISES LIMITED PARTNERSHIP, BEING THE OWNER(S) OF THE LAND DESCRIBED AS LOT 1 OF HILL SUBDIVISION, CITY OF CODY, WYOMING, ACCORDING TO WARRANTY DEED DOCUMENT NO. 2008-8123 IN THE OFFICE OF THE PARK COUNTY CLERK, PARK COUNTY, WYOMING, ARE THE OWNERS AND PROPRIETORS OF SAID LANDS; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE BOUNDARY LINE ADJUSTMENT OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE EASEMENTS LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE PURPOSE OF THE BOUNDARY LINE ADJUSTMENT SURVEY IS FOR ADJUSTING BOUNDARY LINES BETWEEN THE LOTS AS SHOWN; THAT THE LAND BEING CONVEYED IS FOR THE SOLE PURPOSE OF ADJUSTING THE BOUNDARY LINES BETWEEN PARCELS AND IS NOT TO BE SOLD OR TRANSFERRED AS A SEPARATE PARCEL BY THE GRANTEE, HEIRS AND ASSIGNS; AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED
 IN WITNESS WHEREOF, THE SAID OWNER(S) RONALD D. HILL, HAS CAUSED HIS NAME HEREON TO BE SUBSCRIBED THIS 5th DAY OF Nov., 2012.
 Ronald D. Hill
 RONALD D. HILL
 ACKNOWLEDGMENT:
 STATE OF WYOMING,
 COUNTY OF PARK
 THE FOREGOING OWNER(S) CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF Nov., 2012 BY RONALD D. HILL.
 WITNESS MY HAND AND OFFICIAL SEAL:
 Tabatha J. Parker
 NOTARY PUBLIC PRINTED NAME AND SIGNATURE
 MY COMMISSION EXPIRES: March 30, 2014
 TABATHA J. PARKER NOTARY PUBLIC
 COUNTY OF PARK STATE OF WYOMING
 MY COMMISSION EXPIRES MARCH 30, 2014

CERTIFICATE OF DEDICATION
 KNOW ALL PERSONS BY THESE PRESENTS: THAT THE CITY OF CODY, WYOMING, BEING THE OWNER(S) OF THE LAND DESCRIBED AS A PORTION OF THE SE1/4NW1/4 OF LOT 61, RESURVEY, T.52N., R.101W., 6TH P.M., PARK COUNTY, WYOMING, ARE THE OWNERS AND PROPRIETORS OF SAID LANDS; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE BOUNDARY LINE ADJUSTMENT OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE EASEMENTS LABELED HEREON TO THE USES SO NOTED; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE PURPOSE OF THE BOUNDARY LINE ADJUSTMENT SURVEY IS FOR ADJUSTING BOUNDARY LINES BETWEEN THE LOTS AS SHOWN; THAT THE LAND BEING CONVEYED IS FOR THE SOLE PURPOSE OF ADJUSTING THE BOUNDARY LINES BETWEEN PARCELS AND IS NOT TO BE SOLD OR TRANSFERRED AS A SEPARATE PARCEL BY THE GRANTEE, HEIRS AND ASSIGNS; AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED
 IN WITNESS WHEREOF, THE SAID OWNER(S) CITY OF CODY, WYOMING, HAVE CAUSED THEIR NAMES HEREON TO BE SUBSCRIBED THIS 7 DAY OF November 2012.
 Nancy Tia Brown
 NANCY TIA BROWN,
 CITY OF CODY MAYOR
 ACKNOWLEDGMENT:
 STATE OF WYOMING,
 COUNTY OF PARK
 THE FOREGOING OWNER(S) CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS 7 DAY OF November 2012 BY NANCY TIA BROWN AND _____
 WITNESS MY HAND AND OFFICIAL SEAL:
 Cynthia Baker
 NOTARY PUBLIC PRINTED NAME AND SIGNATURE
 MY COMMISSION EXPIRES: 6/17/13
 CYNTHIA BAKER NOTARY PUBLIC
 COUNTY OF PARK STATE OF WYOMING
 MY COMMISSION EXPIRES JUNE 17, 2013

CERTIFICATE OF SURVEYOR
 I, RICHARD T. MUSCIO, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY CERTIFY THAT THIS RECORD OF SURVEY AND BOUNDARY LINE ADJUSTMENT SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND THAT BOTH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH ALL STATE AND COUNTY STATUTORY PROVISIONS AND REGULATIONS.



DATED THIS 2 DAY OF Nov., 2012.
 WYOMING REGISTRATION NO. PLS 6827

CITY ENGINEER APPROVAL

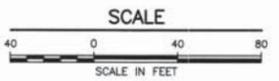
THIS BOUNDARY LINE ADJUSTMENT SURVEY WAS APPROVED BY THE CITY ENGINEER OF CODY, WYOMING ON THE 9th DAY OF November, 2012.
 BY: [Signature]
 CITY ENGINEER
 [Signature]
 CITY CLERK

RECORDERS ACCEPTANCE

THIS RECORD OF SURVEY OF A BOUNDARY LINE ADJUSTMENT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER ON THIS 9 DAY OF November, 2012, AND FILED FOR RECORD AT 9:50 A.M. UNDER DOCUMENT NUMBER 2012-6659 IN PLAT CABINET K AT PAGE 166.
 Terri B. Torczon
 PARK COUNTY CLERK AND RECORDER
 BY: [Signature]
 DEPUTY

LEGEND

EXISTING PROPERTY LINE	_____
LOT 1-A	_____
PROPERTY LINE TO BE REMOVED	_____
EASEMENT LINE	_____
EXISTING RIGHT-OF-WAY	_____
FOUND ALUMINUM CAP	●
FOUND IRON PIPE	○
FOUND REBAR	○
SET 5/8"x24" REBAR WITH 2 1/2" ALUMINUM CAP	○
MEASURED DATA	S.89°38'00"E.-121.00'
RECORD DATA	(N.1°45'55"E.-179.31')



RECORD OF SURVEY
 SHOWING
BOUNDARY LINE ADJUSTMENT
 WITHIN
 LOT 1, HILL SUBDIVISION WITHIN THE CITY OF CODY
 AND
 SE1/4NW1/4 LOT 61, RESURVEY, T.52N., R.101W., 6TH P.M.,
 PARK COUNTY, WYOMING
 RON HILL AND THE CITY OF CODY, WY
 PROJECT NO. 121245
GDA ENGINEERS
 ENGINEERING • SURVEYING • PLANNING
 1508 STAMPEDE AVE., CODY, WYOMING 82414

Proposed Parking Regulations: (Initial P&Z Review Draft, dated 1.4.2012)
The following would replace Chapter 9-4 of the City of Cody Code.

Chapter 10-20 Off-Street Parking

10-20-010 Intent

This chapter is intended to regulate the design, construction, use, and maintenance of public and private off-street parking facilities, so as to provide for the parking needs in the community in an efficient, coordinated, and safe manner.

10-20-020 Applicability

The requirements of this chapter apply to all off-street parking within the City, whether required or voluntarily provided, except as follows.

Within the Downtown Parking District, the use of buildings and land with no more than twenty five (25) persons employed at the site and no more than sixteen (16) dwelling units shall be exempt from providing the number of off-street parking spaces otherwise required by this chapter. All other requirements, including dimensional standards, surfacing, and drainage control remain applicable to all off-street parking constructed in the Downtown Parking District after adoption of this ordinance.

Uses in the Downtown Parking District that exceed the 25-person or 16-dwelling unit thresholds noted above shall provide off-street parking in the amount required over and above those thresholds.

The Downtown Parking District includes all land within the Downtown Architectural District described in Section 9-2-2 of City of Cody Code. (Generally 1 ½ blocks to the north and south of Sheridan Avenue, from 8th Street to 16th Street.)

10-20-030 Parking Facilities Required

Off-street parking facilities shall be provided in accordance with this chapter for any building or use hereafter established, enlarged, increased in capacity, replaced, or reconstructed as follows:

- A) For new buildings and uses, off-street parking facilities shall be provided as required by this chapter based on the proposed use and capacity of the building.
- B) Any building or use that is hereafter enlarged, or increased in capacity through physical expansion or conversion of an area to a use with an increased parking demand (e.g. conversion of storage to commercial floor space, addition of dwelling units, utilization of vacant land for business purposes), shall provide parking as required for the increase in area or capacity.
- C) Any building or use that is replaced or reconstructed in an amount greater than 75% of the area or assessed value of the building, within any 5-year time period, shall provide parking for the entire building in accordance with this requirements of this chapter for new buildings and uses.

10-20-040 Plan Review

A) Plan Submittal:

Before the granting of a development or building permit for any building or use requiring parking pursuant to this chapter, the applicant shall present satisfactory plans to the Community Development Department showing how all parking and loading facilities will be provided as required by this chapter. A determination that the parking plan meets the requirements of this title and other City ordinances shall be obtained before issuance of a building permit for the project. If site plan review by the Planning and Zoning Board is required, this determination is to be made by the Planning and Zoning Board in conjunction with the site plan review. For projects not requiring Planning and Zoning Board site plan review, administrative approval of the parking plan by the City Engineer and City Planner, or their designee, is sufficient; provided no variance or special exemption to the parking standards is requested.

Parking facilities that are to be reconstructed or reconfigured independent of any building permit or other development approval shall be subject to the dimensional and construction standards of this chapter unless the Planning and Zoning Board determines that physical conditions prevent otherwise. New parking facilities independent of any other development approval shall likewise require plan review. Plans for reconstructed, reconfigured or new parking facilities shall be submitted for review as described in the previous paragraph.

B) Plan contents: The parking plan shall be drawn to a standard dimensional scale and show all parking facilities, adjacent streets, driveway locations and widths, surfacing material(s), and as applicable, internal traffic circulation, ADA parking and loading details, proposed drainage, parking lot lighting locations and fixture details, entrance gates, fencing or screening methods, wheel stops/curbing, loading docks/bays, and other features proposed or necessary to address site-specific health and safety issues.

C) Plan compliance: Parking improvements are to be installed and completed as shown on the approved plans prior to occupancy of the building, structure or use served by the parking facilities; provided, a performance bond may be accepted to postpone installation of pavement or concrete work for up to one hundred twenty (120) days when cold weather precludes such work.

10-20-050 Maintenance of Parking Facilities

Off-street parking facilities required by this chapter shall be maintained so long as the building, structure or use for which they are provided exists, unless an equivalent number of substitute parking spaces is approved by the City, provided, and thereafter maintained as specified by this chapter.

10-20-060 Location and Zoning Requirements.

Except as specified in 10-20-070, required off-street parking facilities shall be on the same property as the building or use they serve, and the zoning of the parking facilities shall either be in the same zoning district, a zoning district that also permits the use served, or a zone that permits public parking facilities. (e.g. parking for a commercial use is not permitted in areas zoned residential, parking for multi-family

development is not permitted in areas zoned single-family residential, parking for an industrial use is not permitted in an area zoned residential or neighborhood commercial, etc...)

10-20-070 Joint Parking Facilities, Multiple or Mixed Uses.

In the case of joint parking facilities that will serve multiple or mixed uses, the number of off-street parking spaces required shall be the sum of the requirements for the individual uses computed separately, unless the Planning and Zoning Board authorizes otherwise based on reliable data, such as a parking demand study prepared by a qualified parking consultant or engineer that justifies a reduced number. Site-specific characteristics, such as offset peak parking times/days, are to be considered when determining whether a reduction in the number of spaces is justified for joint parking facilities.

10-20-080 Off-Site parking

The Planning and Zoning Board may authorize parking facilities located on neighboring private property to count towards required off-street parking under the following conditions:

- A) The parking spaces are not required for another building, structure or use, unless joint parking is allowed pursuant to 10-20-070;
- B) The nearest point of the parking lot is within the following distances, as measured along the pedestrian's path of travel, from the building served:
 - a. One hundred (100) feet for accessory apartments, single-family dwellings, and two-family dwellings;
 - b. Two hundred (200) feet for multiple-family dwellings, hotels, motels, and lodging facilities;
 - c. Three hundred (300) feet for hospitals, medical offices, homes for the aged, and clubs/fraternal orders; and,
 - d. Four hundred (400) feet for uses not otherwise specified above.
- C) A long-term agreement for the off-site parking, in a form and with conditions acceptable to the City Attorney and Planning and Zoning Board, is entered into between the affected property owner(s) and recorded in the office of the County Recorder. An agreement shall be required regardless of whether the neighboring property is owned by a different or same property owner as the use requiring the parking. The agreement may be included in a deed, lease, CC&Rs, or contract.
- D) If the off-site parking is no longer available, section 10-20-120 is applicable.

10-20-090 Parking Lot Design and Construction Standards

Off-street parking facilities shall be designed and constructed to the following standards:

- A) The parking facilities must have adequate ingress, egress, and internal circulation and shall provide the number of off-street spaces required under Section 10-20-100.
- B) All off-street parking spaces must be entirely outside of the street right-of-way.
- C) As required by the International Building Code, handicap (ADA) parking space(s), loading areas, and travel ways from the ADA space to the building, shall be provided in accordance with adopted ADA standards. Required ADA parking spaces count towards the number of spaces required by Section 10-20-100.

- D) Entrances/Exits: The City Engineer has the authority to specify the locations, widths, and designs of all approaches to and from all City streets. The parking lot designer and City Engineer shall consider and apply appropriate access management techniques consistent with professional engineering practices, such as those found in the *Access Management Manual*, (2003, Transportation Research Board), to preserve street capacity, minimize safety issues, and minimize future costs to the City. The access management requirements of the City Engineer shall be incorporated in the parking lot/access design; provided, any appeal to such requirements from the applicant may be presented to the Planning, Zoning, and Adjustment Board for a ruling. For access to state highways, access management techniques shall be determined through consultation and permitting with WYDOT. (see also *WYDOT Access Manual*, 2005 or current edition)
- E) Parking areas for civic, commercial, and industrial uses that will be utilized outside of daylight hours shall be provided with illumination. Lighting fixtures shall be designed and installed such that illumination will be directed away from any neighboring residential properties.
- F) Parking spaces and aisles shall have a vertical clearance of at least seven (7) feet.
- G) Tandem Configuration: Single-family residential (attached or detached), two-family residential (duplex), and family daycare home uses may utilize a tandem (one vehicle directly behind the other) parking configuration and have both spaces count toward the required number, so long as both tandem spaces are designated to serve the same dwelling unit. Tandem parking spaces provided for any other use shall count as only one parking space for each two tandem spots.
- H) Parking lots containing five (5) or more required spaces shall be designed and constructed to the following minimum standards:
1. Surfacing. Parking spaces, drives, and aisles shall be constructed of either concrete, asphalt concrete pavement, recycled asphalt, asphalt millings, or crushed gravel. Base material suitable for the traffic anticipated to utilize the facility, including emergency vehicles, shall also be provided. ADA spaces must be concrete or asphalt concrete pavement.
 2. Entrance. Commercial development, industrial/light-industrial development, and multi-family developments that are accessed directly from a state highway or street classified as an arterial or collector shall have a paved entrance/exit extending from the curb cut to a point at least fifty feet from the public street, measured along the direction of travel.
 3. Back Out Prohibited. Off-street parking for commercial, industrial, civic, and multiple-family development shall be arranged so as to make it unnecessary for a vehicle to back out into a public street. Backing into alleys is acceptable.
 4. Hard-surfaced parking areas shall use paint, curbing, or similar improvements to delineate car stalls. Painted parking lot stripes and directional markings must be white or yellow.
 5. Gravel parking areas shall use wheel stops/parking stops or wood timbers to delineate car stalls, and signage as necessary for the direction of traffic.
 6. Where pedestrian walks are used in parking lots for the use of foot traffic only, they shall be curbed, or raised six inches above the lot surface.
 7. Wheel stops or parking blocks shall be provided next to sidewalks and pedestrian aisles when necessary to prevent vehicle overhang from reducing the sidewalk or pedestrian aisle to less than four (4) feet in width. When determining possible encroachment into the sidewalk or pedestrian aisle, an overhang of 2.0 feet is to be assumed for 90-degree parking, 1.7 feet for 60-degree parking, 1.6 feet for 45-degree parking, and 1.0 feet for 30-degree parking.

8. Primary access gates located next to an arterial or collector street shall be set back sufficiently from the public street to allow an appropriate design vehicle to completely pull off the street before having to stop to open the gate.
9. Parking lots that slope down to adjoining properties or streets, or that have a drop-off grade separation in relation to adjoining streets or properties shall provide a wall, sturdy railing or other installation which will prevent a slow-moving or driverless car from escaping such areas.
10. Parking areas situated within twenty (20) feet of a neighboring residence shall have a visual screen, such as landscaping and/or fencing, as necessary to prevent headlight glare disturbance to the occupants of the neighboring residence.
11. When off-street parking is provided to the rear of a building, and a driveway or lane alongside the building provides access to the rear parking area, such driveway shall be a minimum of 12 feet wide and a minimum four-foot wide sidewalk must be installed adjoining the building, which sidewalk is to be curbed or raised six inches above the driveway surface.
12. Dead-end one-way parking aisles shall not be permitted. Additional back-up or turnaround area, such as a hammerhead, shall be provided at the end of two-way dead-end parking aisles.

10-20-100 Number of Spaces Required

The minimum number of parking spaces required for a use shall be according to the following table, unless the Planning and Zoning Board authorizes otherwise based on reliable data, such as parking data from a highly comparable facility or a parking demand study prepared by a qualified parking consultant or engineer, which justifies use of a different parking ratio.

Calculations based on the following figures that result in a fraction of one-half (½) or greater are to be rounded up, and fractional results of less than one-half (½) may be rounded down. Area per square foot (sq. ft.) refers to square foot of gross floor area, unless noted otherwise.

Table 1. Minimum number of parking spaces.

CATEGORY:	MINIMUM SPACES REQUIRED:
RESIDENTIAL AND LODGING:	
Accessory Apartments, Guest Houses, and Bed and Breakfast Inns.	1.4 spaces for a 1-bedroom unit 2 spaces per 2-bedroom unit 2.25 spaces for a 3+ bedroom unit (In addition to the spaces for the main dwelling.)
Congregate Care Facility	.5 spaces per dwelling unit
Hotels, Motels, and other Lodging Facilities not otherwise listed.	1.1 spaces per rentable room or sleeping unit, plus 1 space per hotel/motel vehicle (e.g. shuttle), and .75 spaces per employee on the maximum shift. Parking

	for any conference/banquet room is to be calculated separately at a ratio of one space per 150 sq. ft. Any full-service restaurant is to be calculated as a restaurant.
Multiple-Family Dwellings (3 or more units in same building).	1.4 spaces per 1-bedroom unit 2 spaces per 2-bedroom unit 2.25 spaces per 3+ bedroom unit
Residential Care Facility/Assisted Living	0.5 spaces per bed, plus 1 per day-shift employee
Single-Family Attached (e.g. townhouse), Single-Family Detached, and Two-Family Dwellings.	2 spaces per dwelling unit
<u>CIVIC AND PUBLIC ASSEMBLY:</u>	
Hospitals	4.9 spaces per bed
Public Assembly, including, but not limited to, Auditoriums, Churches, and Theaters.	Fixed Seats: .3 spaces per seat Without Fixed seats: 11.3 spaces per 1,000 sq. ft. of gross floor area, or 1 space per 45 sq. ft. of assembly area, whichever is less.
Schools: (The Planning and Zoning Board may authorize public schools to count available on-street parking towards the following requirements.)	Elementary Schools: 0.2 spaces per student Middle Schools: 0.2 spaces per student High Schools: 0.5 spaces per student
<u>COMMERCIAL/OFFICE/SERVICE:</u>	
Auto Parts Sales	1 space per 200 sq. ft.
Banks, Credit Unions, Financial Institutions	1 space per 300 sq. ft.
Bar or Lounge, with or without eating facilities.	17.3 spaces per 1,000 sq. ft.; or 0.3 spaces per fixed seat where seating is fixed. Indoor and outdoor seating areas are counted.
Convenience Store, without gas pumps.	5.7 spaces per 1,000 sq. ft.
Daycare Center	3.5 spaces per 1,000 sq. ft.; or .2 spaces per child,

	whichever is less.
Discount Store, freestanding.	1 space per 200 sq. ft.
Drugstore/Pharmacy	5.4 spaces per 1,000 sq. ft.
Furniture, Carpet, Tile, Home Furnishing Showrooms/Stores.	2.3 spaces per 1,000 sq. ft.
Gas Station	With convenience store: .75 spaces per fueling position, in addition to fueling spaces. Without Convenience Store or Service Station: One per on-site employee.
Laundromat	.5 spaces per washing machine, plus one per employee.
Medical and Dental Offices	1 space per 250 sq. ft.
Office Supply Store	1.2 spaces per 1,000 sq. ft.
Professional Offices, General.	4 spaces per 1,000 sq. ft.
Restaurant, Fast Food	With Drive-thru: 15.2 spaces per 1,000 sq. ft., or 0.6 spaces per fixed seat where seating is fixed. Without Drive-thru: 12.7 spaces per 1,000 sq. ft. Indoor and outdoor seating areas are counted.
Restaurant, Sit Down	14.3 spaces per 1,000 sq. ft.; or 0.5 spaces per fixed seat where seating is fixed. Indoor and outdoor seating areas are counted.
Retail Establishments; including Appliance, Clothing, Hardware, Housewares, Specialty Items, Sporting Goods, and other retail establishments not otherwise listed.	1 space per 300 sq. ft.
Shopping Centers:	4.1 spaces per 1,000 sq. ft. for <30,000 sq. ft. of gross leasable area. 4.7 spaces per 1,000 sq. ft. for 30,000+ sq. ft. of gross leasable area.

Supermarkets, up to 5,000 sq. ft. in size.	3.33 spaces per 1,000 sq. ft.
Supermarkets, larger than 5,000 sq. ft.	5.8 spaces per 1,000 sq. ft.
Vehicle Repair and Maintenance Services.	4 spaces per service bay, except vehicle repair/maintenance accessory to vehicle sales is 3 spaces per service bay.
Vehicle Sales (New or Used)	1 space per 300 sq. ft. of office and indoor sales area.
<u>INDUSTRIAL:</u>	
Light Industry, General (not manufacturing).	1.1 spaces per 1,000 sq. ft.
Manufacturing	1.3 spaces per 1,000 sq. ft.
Warehousing	1 space per 2,000 sq. ft. for warehouses. Mini-storage/self-storage has no parking required.

10-20-110 Dimensional Standards for Off-Street Parking

A) Parking Stall Dimensions: A standard angled or perpendicular parking space on a paved or concrete surface shall measure a minimum of nine (9) feet in width by twenty (20) feet in length. A standard angled or perpendicular parking space on a gravel surface shall measure a minimum of ten (10) feet in width by twenty (20) feet in length. The minimum length may be reduced to eighteen (18) feet when an additional space of two (2) feet is provided for the front overhang of vehicles (e.g. overhanging a curb, sidewalk, wheel stop, landscaped area or combination thereof). Any front overhang of a vehicle may not reduce the clear width of an adjacent sidewalk or ADA accessible route to less than four feet in width. The minimum dimensions for an off-street parallel parking space shall be nine (9) feet wide by twenty-two (22) feet long.

Parking lots serving a high-turnover of short duration users, such as convenience stores, grocery stores, and hardware stores should consider use of 10-foot wide stalls.

Covered parking stalls (i.e. carports) are to exclude the width of any support poles/columns from the parking stall width, and all support poles/columns must be at least two feet (three feet recommended) from the back of the stall.

B) Standards for parking rows and aisles: Parking lot rows and aisles shall meet the following minimum dimensional requirements, as set forth in Tables 2 and Figure 1. To determine module width, simply add aisle width and the appropriate parking row width(s) from Figure 1.

Table 2: Parking Lot Aisle Width.

Parking Angle:	Minimum Aisle Width:
90-deg.	24'
60-deg.	18' (one-way) 24' (two-way)
45-deg.	13' (one-way) 24' (two-way)
30-deg.	12' (one-way) 24' (two-way)

Figure 1. Parking Stall Dimensions.

(Located at end of ordinance.)

10-20-110 Off-Street Loading Facilities

Outside of the Downtown Parking District, buildings or structures that regularly receive or distribute material or merchandise by truck shall provide and maintain off-street loading spaces or docks in sufficient size and number to fill the needs of the use. The loading facilities shall be designed to the following standards, when located outside of the Downtown Parking District.

A) The minimum number shall be according to the following tables:

1. Loading Spaces/Docks for Commercial and Industrial Buildings:

Number of Loading Spaces/Docks	Gross Floor Area of Building in Square Feet
1	Up to 20,000
2	20,001 to 50,000
3	50,001 to 100,000
One additional berth is required for each 50,000 sq. ft. in excess of 100,000 square feet.	

2. Loading Spaces/Docks for Office Buildings, Hotels, Hospitals, and Other Institutional Uses:

Number of Loading Spaces/Docks	Gross Floor Area of Building in Square Feet
1	Up to 20,000
2	20,001 to 50,000
3	50,001 to 100,000
One Additional Berth is required for each 50,000 sq. ft. in excess of 100,000 square feet.	

- B) Setback from residential zone. Loading spaces or docks serving new development must be located at least fifty (50) feet from any residential zoning district.
- C) No part of a truck or van using the loading space may project into a public street or fire lane.
- D) Forward motion. New loading facilities must be designed so that vehicles enter and exit the site in a forward motion. The Planning and Zoning Board may waive this requirement when the

adjacent public street has minimal traffic and there is an alternative route around the vehicle maneuvering area.

10-20-120 Maintenance of Required parking.

In the event any off-street parking facilities required in connection with any building, structure or use are at any time not maintained for automobile parking purposes to the extent required, the Planning, Zoning and Adjustment Board shall direct the Building Official to revoke and cancel the certificate of occupancy for such building, structure or use after holding a hearing upon at least ten (10) days' written notice of the time, place and purpose of the hearing having been mailed to the owner or other person occupying the same as shown on the records of the city clerk; provided, that if it appears that the failure to maintain such required parking was reasonably beyond the control of the person required to maintain the same, no certificate of occupancy shall be revoked until such person shall have had ninety (90) days to reestablish the minimum required parking. In the event any certificate of occupancy is revoked, the premises covered thereby shall not be occupied or used for any purpose until a new certificate of occupancy has been issued.

10-20-130 Variances

DISCUSS WHICH OPTION IS PREFERRED—CURRENTLY A CONFLICT.

(Existing section in **parking code** :)

The city council may, by a majority vote, vary or adjust the strict application of any of the requirements of this chapter where physical conditions applying to a lot or building area are such that strict application would result in practical difficulty or unnecessary hardships that would prevent the owner or occupant of the reasonable use of the land or building involved. However, before granting such a variance, the city council shall first refer the application for variance to the planning and zoning commission for their study and recommendation. Consideration may be given for any monetary payments made to the city for parking lots or off street parking in lieu of providing such off street parking as required by this chapter. (Ord. 79-17)

(Existing section in **Special Exemption** chapter:)

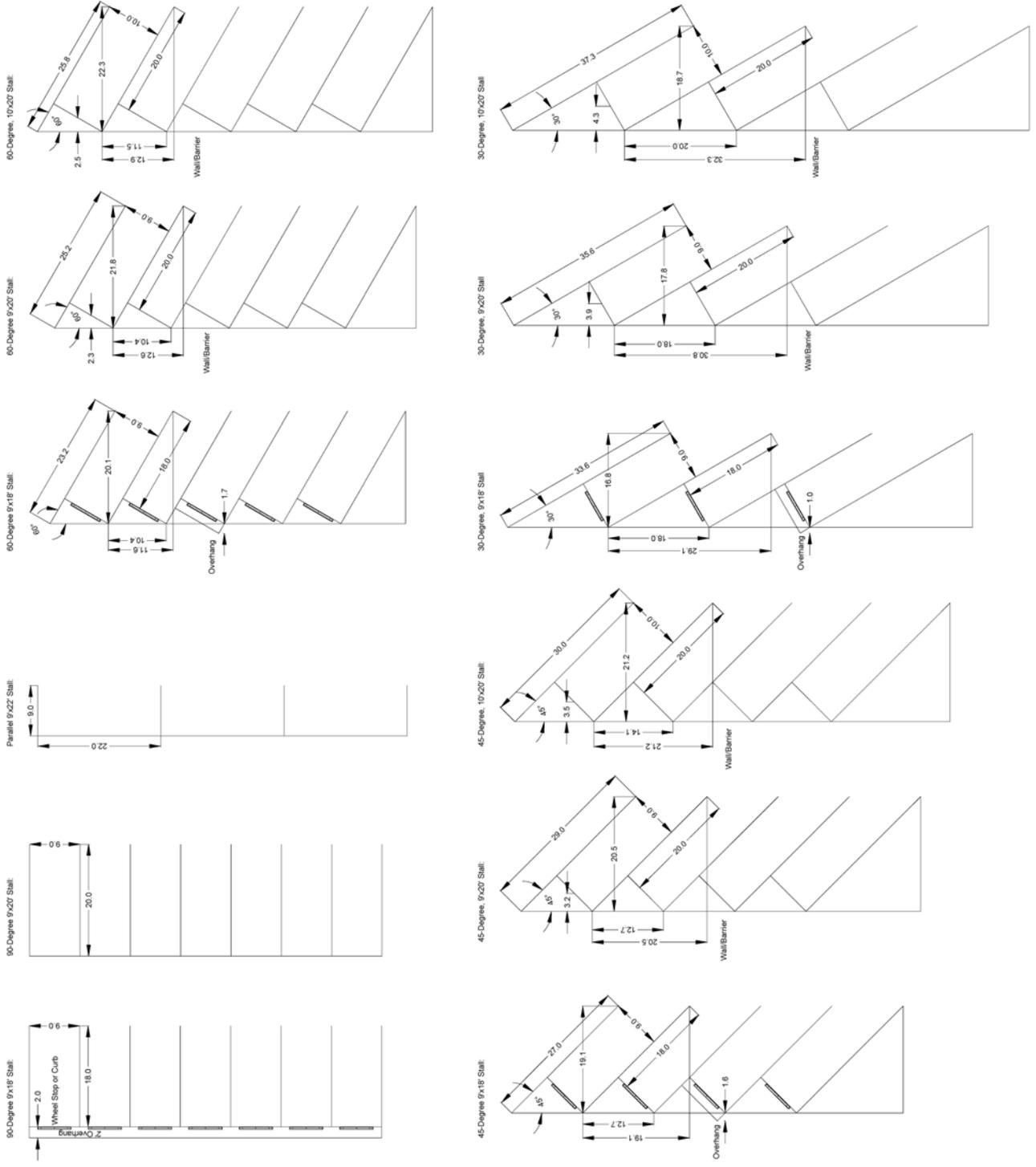
B. Applicability: Applicants may request, and the planning and zoning board may consider, special exemptions from certain numerical specifications and for uses that are similar to permitted uses as specified below:

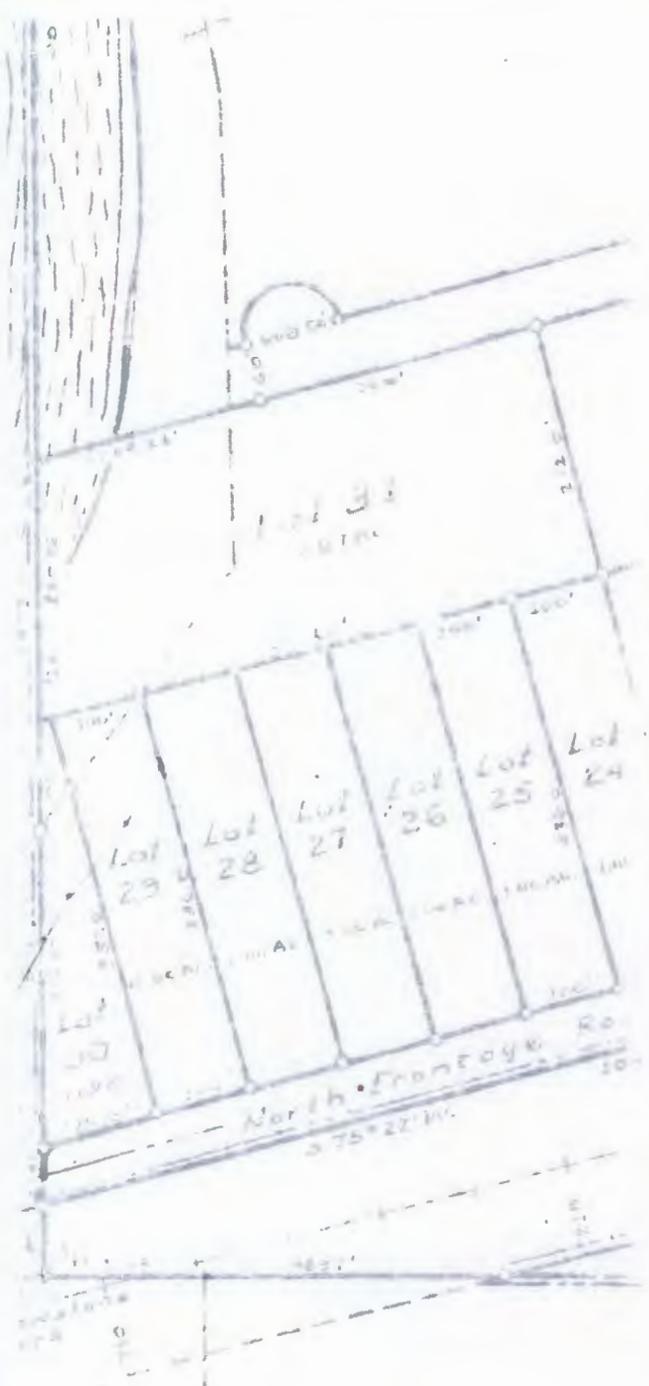
1. Exemption from Numerical Specifications: The following types of numerical standards may be waived or modified by special exemption:

- a. Hour of business operation limits in D-1 district;
- b. Setbacks and yard requirements;
- c. Height limits;
- d. **Parking standards of title 9, chapter 4 of this code;**

...

FIGURE 1: Parking Stall Dimensions





VICINITY MAP

Legend: -

- Boundaries
- U.S. Govt. Survey
- de Maris Spr. Road
- Road
- River
- 3/4" x 14" Iron

- the de Maris Subdivision shown thus: ————
- Survey Corners, with status shown thus: ————
- County Roads shown thus: ————
- roads shown thus: ————
- lines shown thus: ————
- Corners, set by this survey shown thus: ————

The portion of the de Maris subdivision shown thus: ————

Water

- EXHIBIT A -
CERTIFIED LAND DESCRIPTION

State of Wyoming)
) SS.
County of Park)

I, Lyle J. Casciato, of Engineering Associates in Cody, Wyoming, hereby certify that this description was prepared for the City of Cody from notes taken during actual surveys performed under my direction between November 29 and December 4, 2012, for which I stand responsible.

A PARCEL OF LAND located in the North Frontage Road of deMARIS Subdivision, Resurvey Township 52 North, Range 102 West, 6th P.M., Park County, Wyoming,

Said Parcel being 25.00 feet wide, described as the south 25 feet of the east 179.2 feet of the North Frontage Road, deMARIS Subdivision, lying south of Lot 20, deMARIS Subdivision;

said Parcel contains 0.103 acres, more or less;

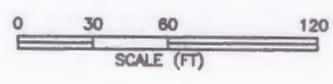
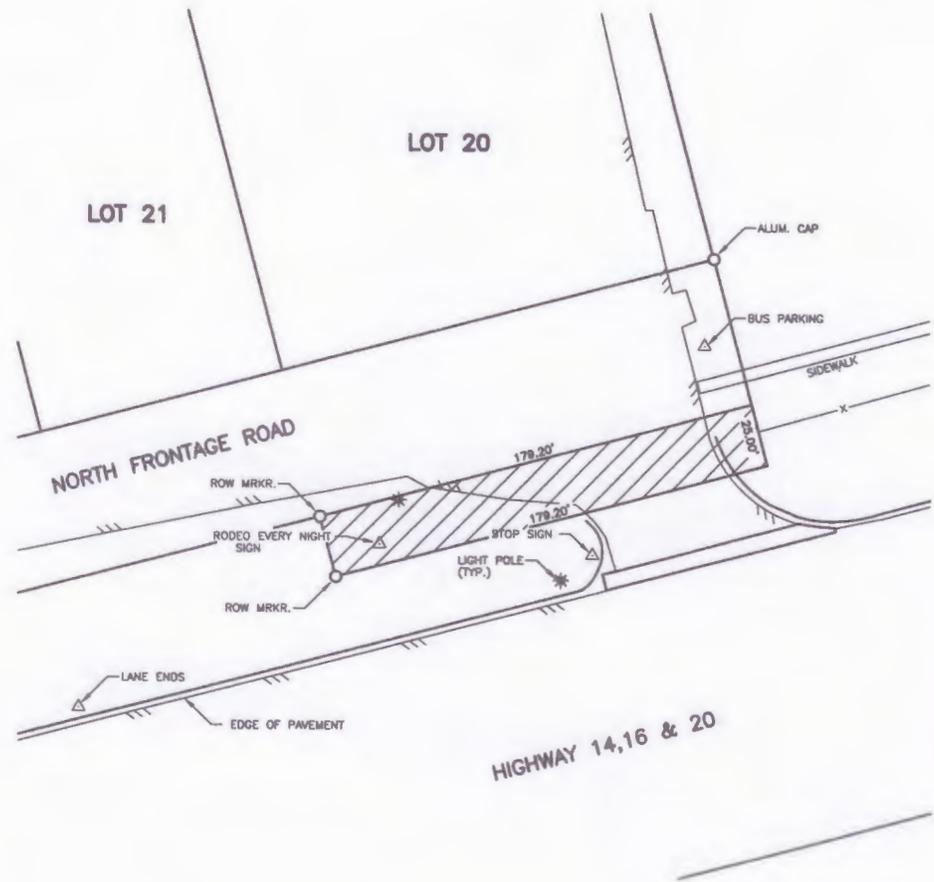
ALL IN ACCORDANCE with a Map to Accompany Land Description for City of Cody, entitled in part "deMARIS Subdivision" attached hereto and by this reference made a part hereof.

THIS DESCRIPTION is prepared for location purposes. Specific conditions of land use are to be fully described in the conveyance documents this description accompanies. Title to the lands described herein is to be investigated and reported by others.



ENGINEERING ASSOCIATES
Cody, Wyoming 82414
Job No. 12106

Alteration of this description other than by the above certifying Professional Land Surveyor or as otherwise allowed by law may affect liability for the accuracy of said description.



CERTIFICATE OF SURVEYOR

STATE OF WYOMING) ss.
 COUNTY OF PARK)

I, LYLE J. CASCIATO, OF ENGINEERING ASSOCIATES IN CODY, WYOMING, HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM NOTES TAKEN DURING ACTUAL SURVEYS PERFORMED UNDER MY DIRECTION BETWEEN NOVEMBER 29 AND DECEMBER 4, 2012: THAT THIS MAP IS MADE TO ACCOMPANY A DESCRIPTION OF THE PARCEL SHOWN HEREON; AND THAT TO MY KNOWLEDGE, THIS MAP SHOWS THE SITUATION ON THE GROUND AT THE TIME OF ITS PREPARATION.



LEGEND

- SUBJECT PARCEL.
- FOUND CORNER MONUMENT AS NOTED.

Map To Accompany
 Land Description For

CITY OF CODY

- Located In -

deMARIS SUBDIVISION,
 RESURVEY T.52N., R.102W., 6TH P.M.,
 PARK COUNTY, WYOMING

ENGINEERING ASSOCIATES, CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS



DECEMBER 7, 2012
 FB 523 12106
 EXHIBIT.DWG
 SHEET 1 OF 1

ALTERATION OF THIS MAP OTHER THAN BY THE ABOVE PROFESSIONAL LAND SURVEYOR OR AS OTHERWISE ALLOWED BY LAW MAY AFFECT LIABILITY FOR THE ACCURACY OF SAID MAP.

RODEO EVERY NIGHT



June - August
8:00 PM

BUFFALO BILL COST STAMPIDE RODEO JULY 12-14

Prudently sponsored by *Coca-Cola Bottling Co. of Cody*



SIDE VIEW

Overall Width: 20 ft

Bucking horse plasma cut from 1/4" steel and painted black.

Painted or vinyl adhesive letters on rusted 1/8" steel. (both sides of sign)

Overall Height: 24 ft

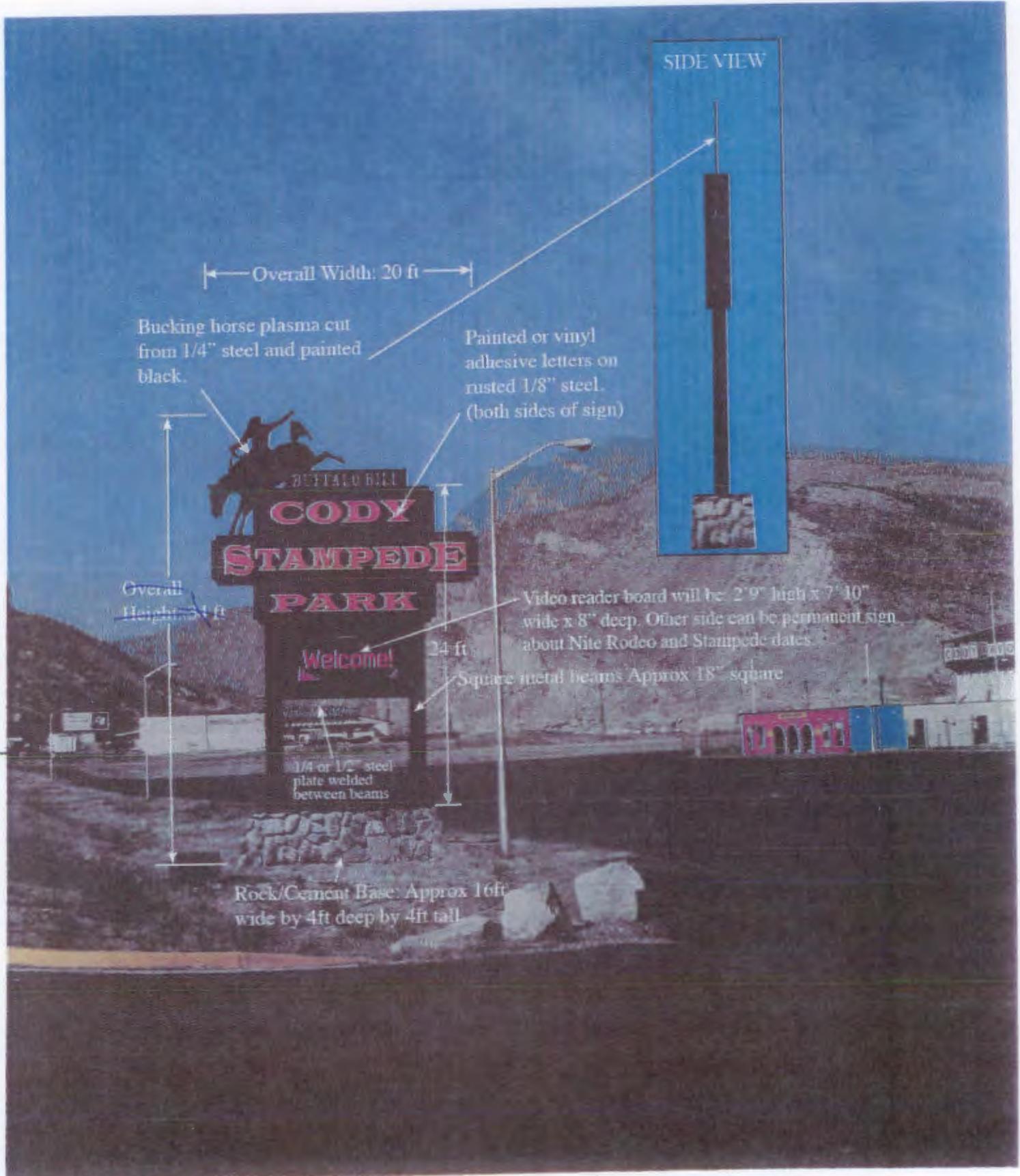
Video reader board will be 2'9" high x 7'10" wide x 8" deep. Other side can be permanent sign about Nite Rodeo and Stampede dates.

24 ft

Square metal beams Approx 18" square

1/4 or 1/2" steel plate welded between beams

Rock/Cement Base: Approx 16ft wide by 4ft deep by 4ft tall



Engineering Associates
 Robert Overfield
 902 13th St
 PO Box 1900
 Cody, WY USA 82414
 Phone: (307) 272-0131
 Fax:
 Email: RobertOv@EAengineers.com

12106

14/Dec/2012
 Quote valid for: 90 days
 Terms: PAYMENT WITH ORDER
 FOB: DAKTRONICS
 Delivery: Call for production time

Reference: Message Center for Cody Stampede

Item No.	Model	Description	Qty	Price
1	AF-3550-32x112-20-RGB-2V	Galaxy® 20mm RGB Outdoor LED Matrix Display 3550 Series; Standard Cabinet Separation Up To 18ft Matrix: 32 lines by 112 columns Line Spacing: 20mm LED Color: RGB- 68 Billion Colors Face Configuration: 2V - two one sided displays - same content View Angle: 140 degrees Horizontal x 70 degrees Vertical Cabinet Dimensions: 2' 9" H X 7' 10" W X 0' 8" D (Approx. Dimensions) Max Power: 650 watts/display Weight: Unpackaged 180 lbs per display; Packaged 300 lbs per display	1	\$28,498.00
	Galaxy® AF-35XX Outdoor Display Communication Kit	Choose One of the Following Communication Methods Wire Ethernet or Fiber Ethernet. Cable Not Included.	1	
	Galaxy® Wireless Ethernet Bridge Communication Upgrade Kit	Price Upgrade From Outdoor Galaxy® Communication Kit. Radio Set Includes: 1 Server (Sending) and 1 Client (Receiving). *Wireless communication devices may be affected by site specific conditions. Daktronics makes no guarantees that the communication device is suitable for every location.	1	
	Venus® 1500 v4 Software	Venus® 1500 v4 License Code Compatible with Windows® XP, Vista™, or Windows® 7	2	
	CUSTOM SHAPED ID PANEL; 8'-0" X 20'-0" NON-BACKLIT	CUSTOM SHAPED ID PANEL; 8'-0" X 20'-0" NON-BACKLIT Weight: Packaged 700 lbs per display	1	
	FREIGHT	Shipping to site	1	
Services				
2	G5C5-W	Five Year Warranty - Parts Coverage - G5G5	1	
	Venus® 1500 v4 Software Training - One-on-One webinar	Customized Venus® 1500 v4 training in a live, web-based, conference call format using the customer's phone & computer. (English only. To discuss other arrangements, please contact us at: softwaretraining@daktronics.com)	1	

Total Price Excluding Sales Tax: \$28,498.00

Please reference listed sales literature: DD1361543 for Venus® 1500 v4 Software, DD1558151 for Venus® 1500 v4 Software Training - One-on-One webinar, DD1628383 for G5C5-W, DD1715852 for Galaxy® Wireless Ethernet Bridge Communication Upgrade Kit, DD2334392 for AF-3550-32x112-20-RGB-2V

Please reference listed shop drawings: DWG-00583302 for AF-3550-32x112-20-RGB-2V

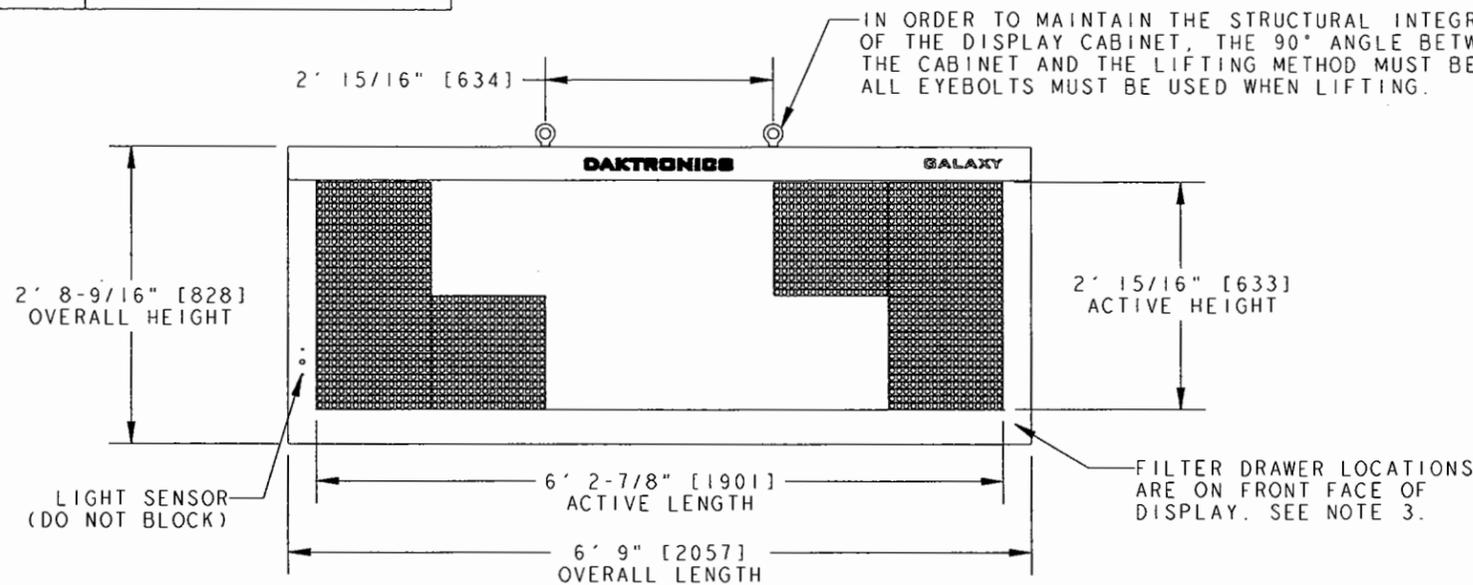


DESIGN WIND PRESSURE "P"

P < 110 psf

TECHNOLOGY	COLOR	WATTS	POWER REQUIREMENTS PER SINGLE FACE		
			120 VAC, 60 Hz (2 WIRE + GND)	120/240VAC, 60 Hz (3 WIRE + GND)	240VAC, 1PH, 50 Hz (2 WIRE + GND)
AF-3500	RED	279	AMPS	AMPS*	AMPS
	AMBER	326	2.32	N/A	1.16
	**RGB	692	2.72	N/A	1.36
AF-3550	RGB	542	5.77	N/A	2.89
			4.51	N/A	2.26

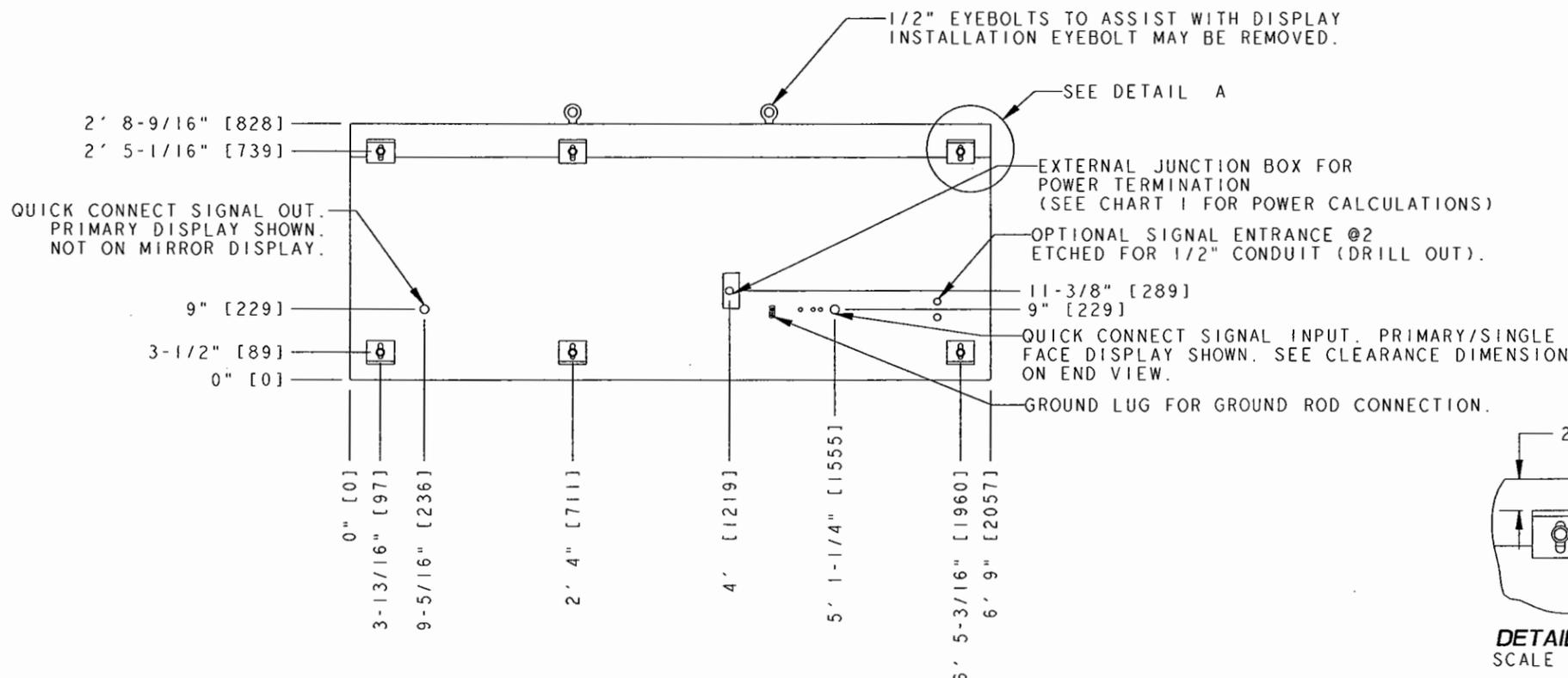
*AMPS LISTED ARE HIGHEST LEG OF CIRCUIT.
 **AF-3500 RGB INACTIVE AS OF 23 AUGUST 2012.



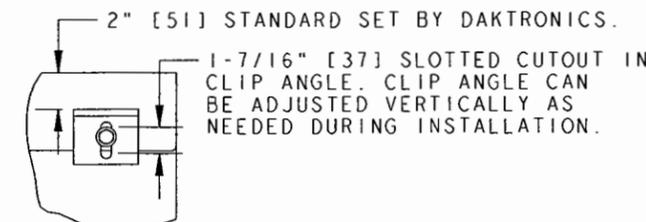
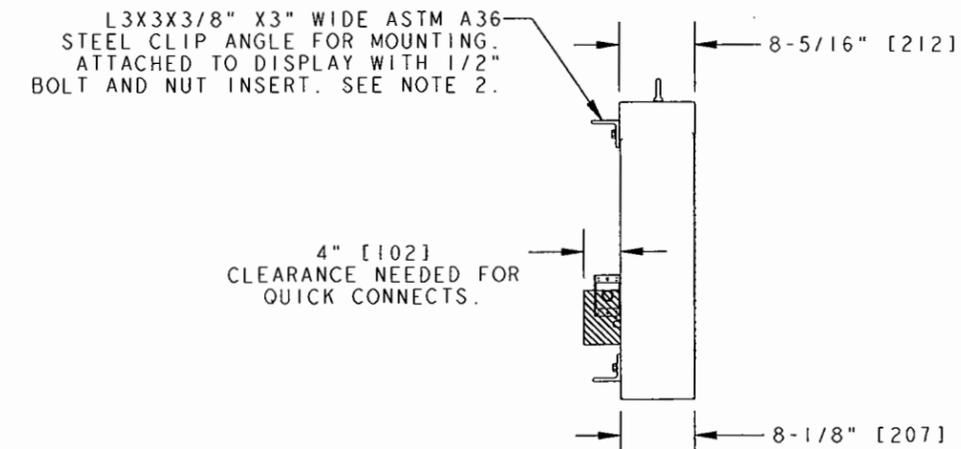
FRONT VIEW

NOTES:

1. EYEBOLTS MAY NOT BE USED FOR PERMANENT INSTALLATION.
2. ALL CLIP ANGLES (OR THEIR LOCATIONS) MUST BE USED FOR DISPLAY INSTALLATION.
3. DISPLAY IS FRONT VENTILATED SO NO PORTION OF THE FRONT FACE CAN BE COVERED. AIR INTAKES ARE FILTERED. FILTERS ARE LOCATED IN DRAWERS ON FACE AND WILL NEED TO BE PERIODICALLY CLEANED IN ORDER TO PROVIDE THE PROPER DISPLAY VENTILATION. REFER TO THE MAINTENANCE DOCUMENT (DD-1564079) FOR FILTER MAINTENANCE INSTRUCTIONS.
4. ALL DIMENSIONS ARE IN FEET AND INCHES [MILLIMETERS].
5. DISPLAY IS ALL ALUMINUM CONSTRUCTION.
6. THIS DISPLAY IS SHIPPED AND INSTALLED AS A SINGLE UNIT.
7. DISPLAY CABINET COLOR IS SEMI-GLOSS BLACK.
8. FRONT ACCESS FOR SERVICE.
9. ESTIMATED WEIGHT IS: 160 LBS [73 KG].
10. DISPLAY L.E.D. COLOR IS RED, AMBER, OR RGB.
11. POWER REQUIREMENTS ARE LISTED IN CHART 1 OF THIS DRAWING.
12. DAKTRONICS IS NOT RESPONSIBLE FOR THE MAIN ELECTRICAL DISCONNECT.
13. DAKTRONICS IS NOT RESPONSIBLE FOR THE MOUNTING HARDWARE OR THE INTEGRITY OF THE STRUCTURE THE DISPLAY IS MOUNTED TO.



REAR VIEW



DETAIL A SCALE 1/10

REV	DATE	DESCRIPTION	BY
04	19 JUL 12	UPDATED POWER BLOCK AND TITLE BLOCK TO REFLECT 3550 CHANGE	CDH
03	21 JUL 11	UPDATED DESIGN CODE TO INCLUDE IBC 2009 ALONG WITH IBC 2006	AJK
02	22 MAR 11	UPDATED QUICK CONNECT LOCATION AND UPDATED POWER REQUIREMENT CHART	RLB

DAKTRONICS, INC. BROOKINGS, SD 57006		THE CONCEPTS EXPRESSED AND DETAILS SHOWN ON THIS DRAWING ARE CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE BY ANY MEANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF DAKTRONICS, INC. COPYRIGHT 2011 DAKTRONICS, INC.	
DO NOT SCALE DRAWING			
PROJ: GALAXY AF-35** 20MM DISPLAYS			
TITLE: SHOP DWG, AF-35** -32X96-20			
DESIGN: TWHITEH	DRAWN: BHAROLD	DATE: 19-JUL-12	
SCALE: 1=20			
SHEET: 1 OF 1	REV: 04	JOB NO: P 1473	FUNC-TYPE-SIZE: E-10-B
608460			

P:\2012\12106-CODY STAMPEDE PARK\ACAD\STAMPEDE.dwg SIGN DETAIL 12/21/12 CLIFF

HIGHWAY 14, 16, 20
(WEST YELLOWSTONE AVENUE)

5066

30.00

25' MAXIMUM

5091

29'-6"

5073.5

5065.5

5061.5

5060.75 (PARKING LOT)

R.O.W.

4'-1"

7'-10"

10' MINIMUM
SHAFT PENETRATION

8'±

5073.5

VIDEO READER BOARD

SIGN.
COORDINATE LOCATION
AND ATTACHMENT
WITH MANUFACTURER

2'

1'

4'

4'

4'

2'-6"

HSS 18x18x1/2. EMBED HSS
FULL LENGTH OF DRILLED SHAFT,
OR 10" DIA. SCH 40 STEEL PIPE

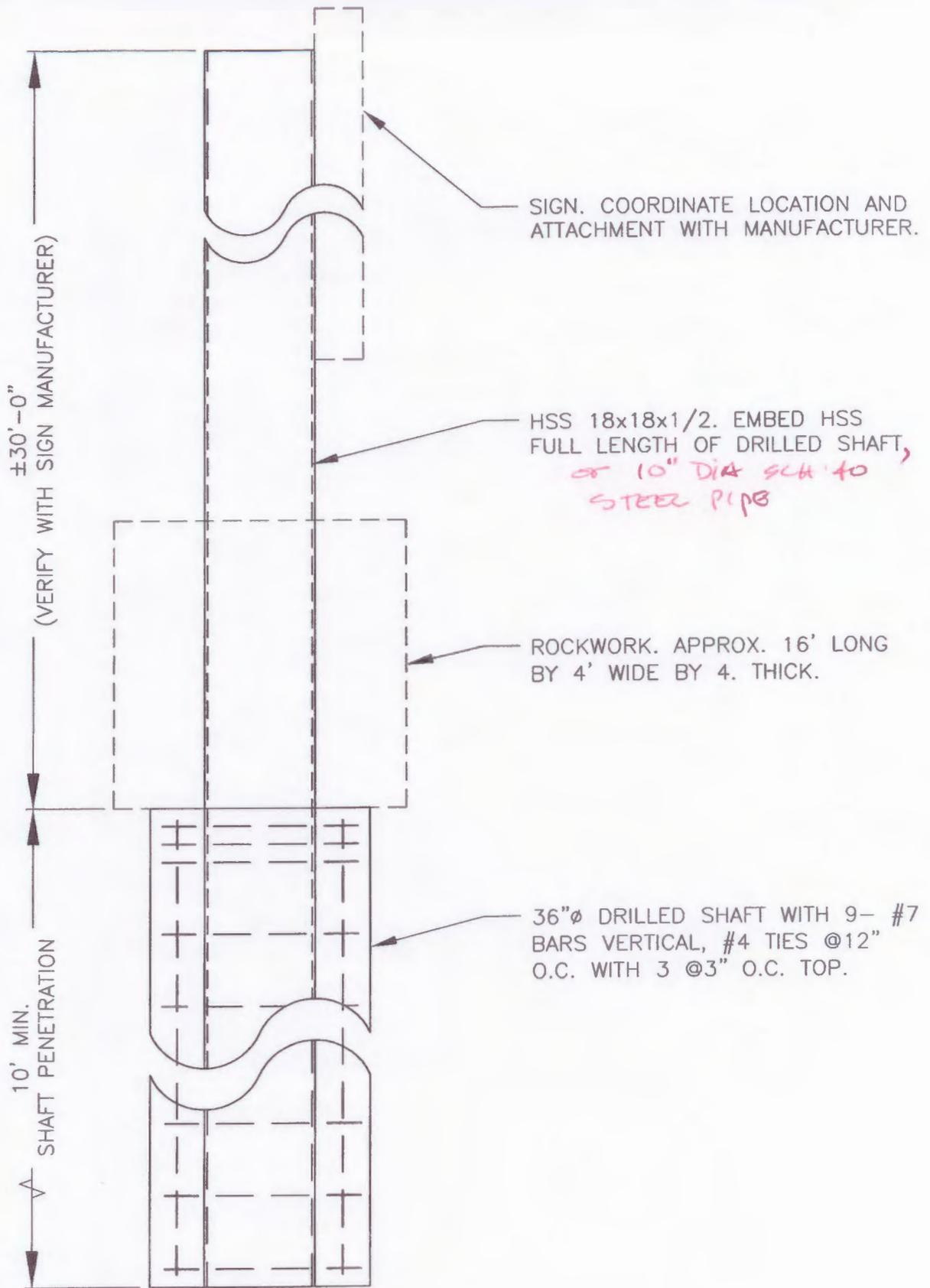
ROCKWORK. APPROX. 16' LONG
BY 4' WIDE BY 4" THICK

36"Ø DRILLED SHAFT WITH 9-#7
BARS VERTICAL, #4 TIES @ 12" O.C.
WITH 3 @ 3" O.C. TOP

SIGN SUPPORT DETAIL

HORIZONTAL SCALE: 1" = 5'
VERTICAL SCALE: 1" = 5'

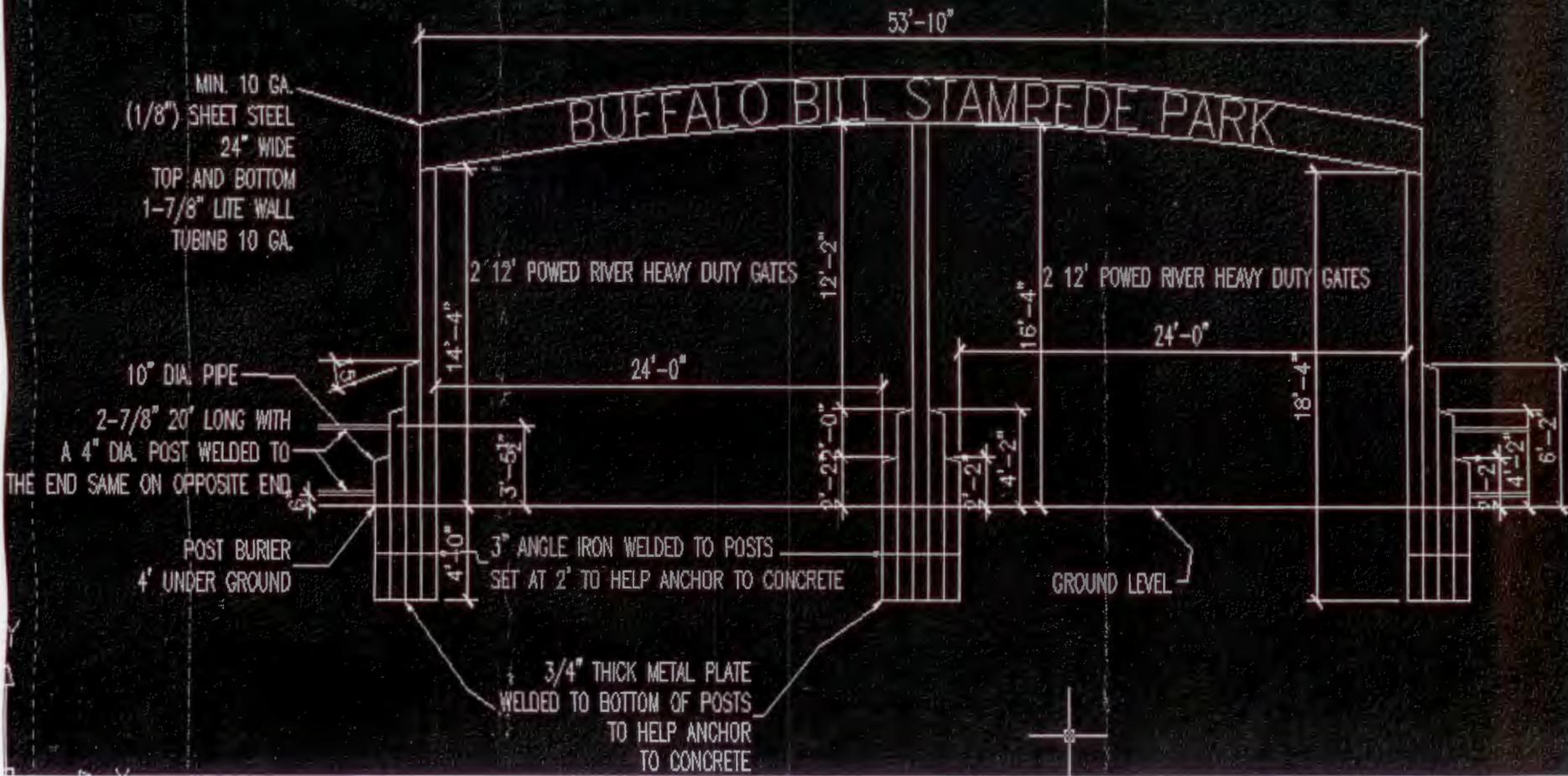
LOOKING WEST
CODY STAMPEDE BOARD
SIGN REPLACEMENT
ELEVATION CROSS-SECTION



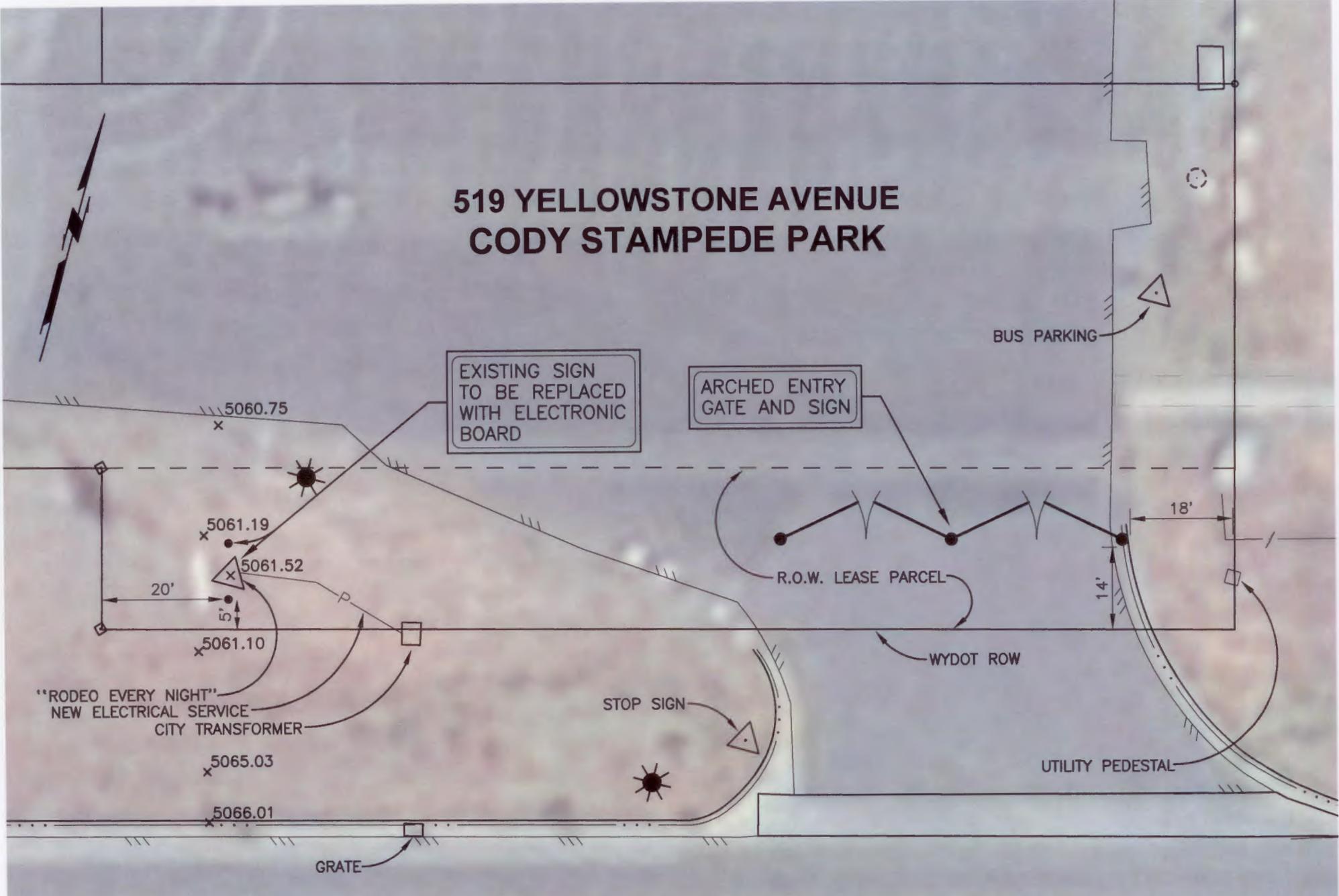
SIGN SUPPORT DETAIL (TWO TOTAL)

SCALE: 1/2" = 1'-0"

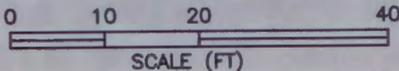
EAST ENTERANCE



519 YELLOWSTONE AVENUE CODY STAMPEDE PARK



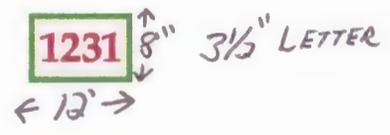
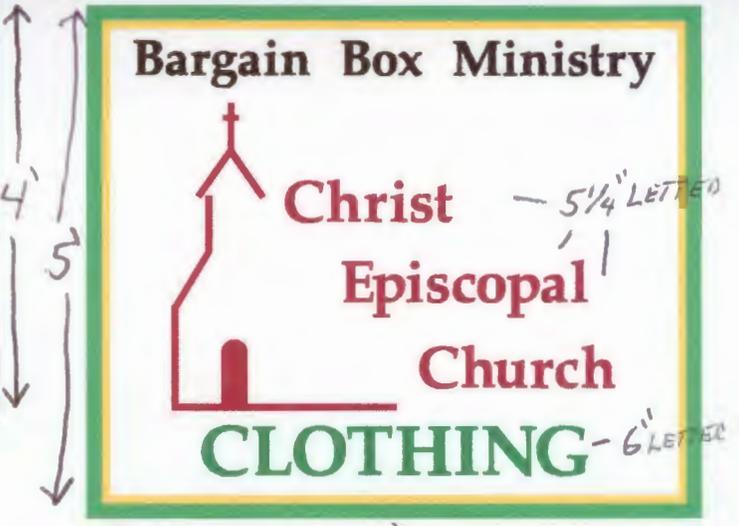
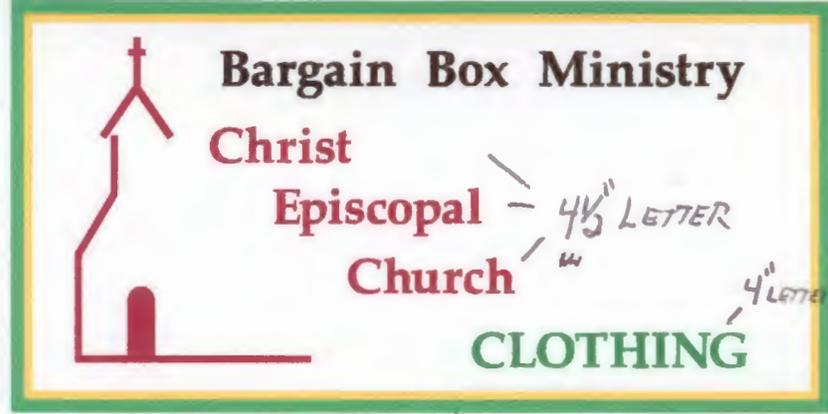
HIGHWAY 14, 16, 20 (WEST YELLOWSTONE AVENUE)



ENGINEERING ASSOCIATES, CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

CRA, RAO
DECEMBER 21, 2012

12106-CODY STAMPEDE PARK





2x →

← Flat

01/17/2011