

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, JULY 28, 2020
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the July 14, 2020 regular meeting
6. BUSINESS:
 - A. Site plan review for White Veterinary Services, LLC located at 5524 Greybull Highway.
 - B. Site plan review for Rocky Mountain Power, located at 226 West Yellowstone Avenue.
 - C. Review the final Planned Unit Development plan and final plat for Cody Legacy Estates 18-unit PUD.
7. P & Z Board Matters (announcements, comments, etc.)
8. Council Update
9. Staff Items: Background information on Cody Cattle Company and Firearm Experience signs.
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning, and Adjustment
Board Meeting July 14, 2020

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, July 14, 2020 at 12:00 pm.

Present: Richard Jones; Rodney Laib; Klay Nelson; Sandi Fisher; Wade McMillin; City Deputy Attorney Sandee Kitchen; Council Liaison Glenn Nielson; City Planner Todd Stowell; Administrative Coordinator Bernie Butler

Absent: Kayl Mitchell

Richard Jones called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Klay Nelson made a motion, seconded by Rodney Laib to approve the agenda for the July 14, 2020 meeting. Vote on the motion was unanimous, motion carried

Klay Nelson made a motion, seconded by Rodney Laib to approve the minutes from the June 23, 2020 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

A. Todd Stowell reviewed the site plan for Legacy Enterprise Storage Units to construct two storage buildings, located at 601 14th Street. The property is zoned Industrial (E). Todd reviewed the zoning regulations. The application did not include a landscaping plan. Staff suggested some landscaping, along with weed barrier, and gravel.

Jim Atnip spoke on behalf of the applicant, and answered questions from the Board.

Klay Nelson made a motion, seconded by Wade McMillin to approve the site plan for Legacy Enterprise Storage Units with staff recommendations 1-10. Vote on the motion was unanimous, motion carried.

B. Todd Stowell reviewed a site plan for the Buffalo Bluff RV Park, a 43-space RV park, located 137 Belfry Highway. This property was recently annexed into the City of Cody and is zoned General Business (D-2). Todd reviewed the zoning regulations.

The existing landscape is well over the 5% entryway required, with several trees and grass. There is some concern about the visibility of the RV park from the highway. Staff would like to see a hedge along the northeast side of the RV park. Staff would allow the access road to be reduced from 24 feet wide to 20 or maybe 18 feet wide if hedges were installed.

The Board has concerns about the access/approach from the highway to the property. The property has a commercial approach permit from WYDOT for the proposed use. WYDOT has jurisdiction over the highway. Staff has some concerns with the access/approach but will be addressed in an updated set of plans.

The sign height will need to be reduced to meet the sign code.

Property owner Kelly Hunt answered question from the Board.

Klay Nelson made a motion, seconded by Sandi Fisher to approve the site plan for the Buffalo Bluff RV Park with staff recommendations 1-8, with an additional recommendation (#9) to be added to the staff report to say "DEQ storm water plan permit will be required". Vote on the motion was unanimous, motion carried.

C. Todd Stowell reviewed the site plan for Yeezy Apparel to complete the construction of the former Cody Labs site with modifications, located at 125 Road 2AB.

The facility was originally approved and constructed as a pharmaceutical production facility and warehouse, but will now be used for apparel/shoe manufacturing. The pharmaceutical facility was not fully completed. The modifications are to remove items that are not needed for the new use. Some rearrangement of the parking and utilities will be done, and slightly modify the site grading.

Wade McMillin made a motion, seconded by Rodney Laib to approve the site plan improvements as proposed with staff recommendations 1-9. Vote on the motions was unanimous, motion carried.

Klay Nelson made a motion, seconded by Wade McMillin to adjourn the meeting. Vote on the motion was unanimous. The meeting was adjourned the meeting at 12:52 pm.

Bernie Butler, Administrative Coordinator

DRAFT

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JULY 28, 2020	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	MINOR SITE PLAN REVIEW: STORAGE SHED FOR CODY VETERINARY HOSPITAL. SPR 2020-18	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Rives White of White Veterinary Services, LLC has submitted a site plan application for construction of an 18-foot by 20-foot, 3-sided building for the purpose of hay and equipment storage at the Cody Veterinary Hospital located at 5524 Greybull Highway.

REVIEW CRITERIA:

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.



Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

STAFF COMMENTS:

The property is zoned General Business (D-2), and the shed is accessory to the primary permitted use. The location meets zoning standards, but building code standards

specify that if located as shown on the site plan (two feet from the covered stall building) that a fire wall is required. To avoid all fire wall requirements, it would need to be 10 feet from the other buildings (block wall does not count). A separation of 5-10 feet requires a 1-hour fire wall (5/8" fire rated sheetrock), and a separation of less than 5 feet requires a 2-hour fire wall (two, 5/8" fire rated sheetrock).

There appears to be sufficient room to shift the building to avoid the fire wall requirements. The zoning review can allow the flexibility on placement, subject to applicable building code standards.

In addition, there is a doorway to the main building that may need to maintain access. The building inspector will need to see the inside of the building to determine if the exit access route needs to remain.



Architecture:

The architecture of the building is a standard metal carport with three walls. The applicant has indicated a desire to install the seams vertically instead of horizontally. The other buildings on the property are metal sided.

The Board will need to determine if the architectural design of the building is compatible with the surrounding buildings in the neighborhood.

Landscaping

No landscaping is affected by this project. The property is within the entry corridor overlay zone, but the relatively small size of the shed does not trigger additional landscaping.

Access and Parking

The storage building does not trigger additional parking, and its location does not affect any existing access or parking spaces.

Exterior Lighting

No lighting is proposed as part of this project.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. No residential buffers are required for this proposal as there is no adjacent residential zoning.

Storm Water

As the shed is relatively small, located far from the property line and slopes toward the County roadside ditch system, no storm water plan is being required.

Utility Services

The building will have no utilities.

Signs

No signs are proposed.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the project, with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the project as proposed. A building permit is needed and applicable setbacks/fire wall requirements will be applied as needed. The building may be shifted to avoid or reduce fire wall requirements.

□ = 6' x 6'



Rd. 30XS

Property
Line

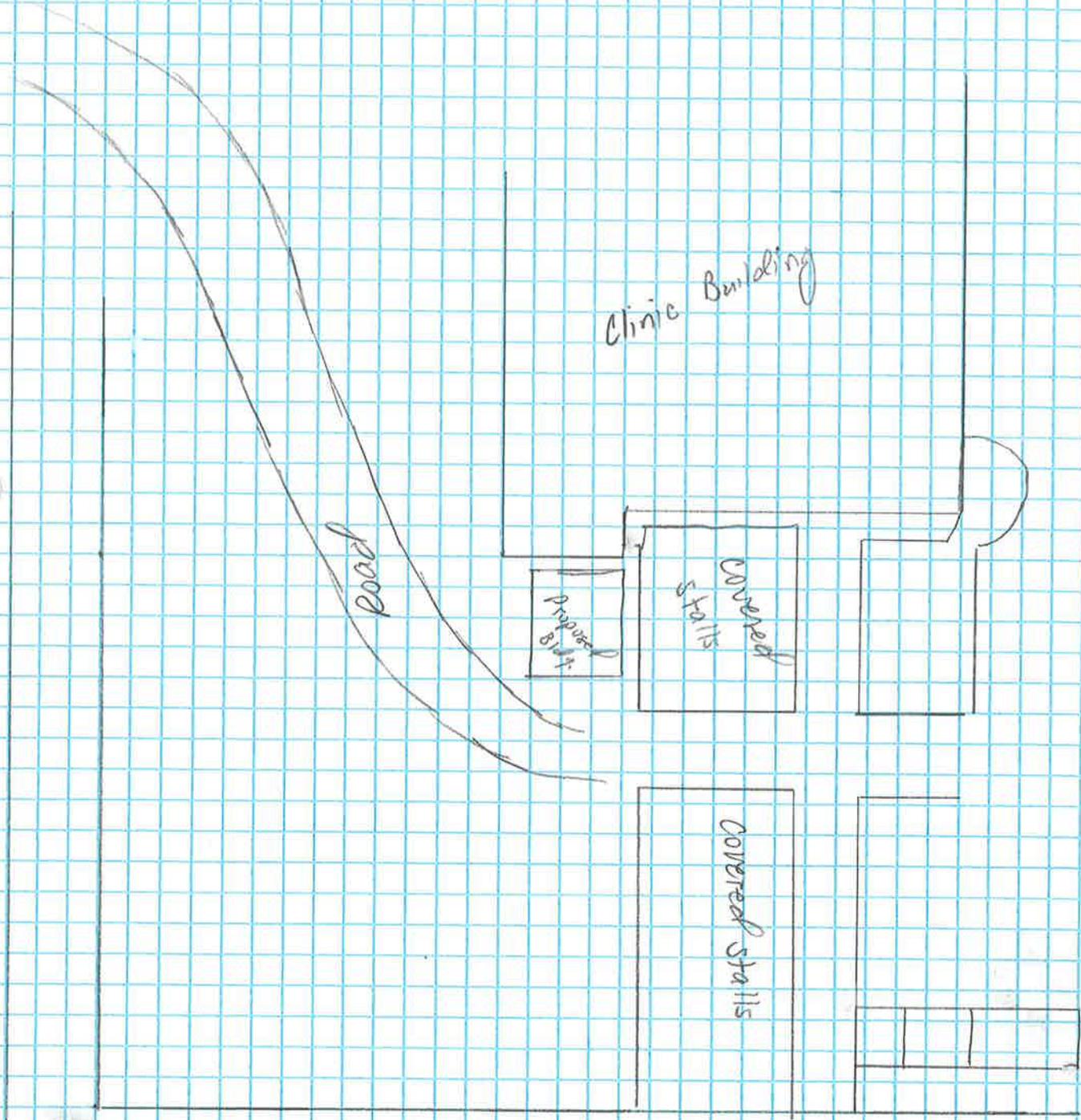
Road

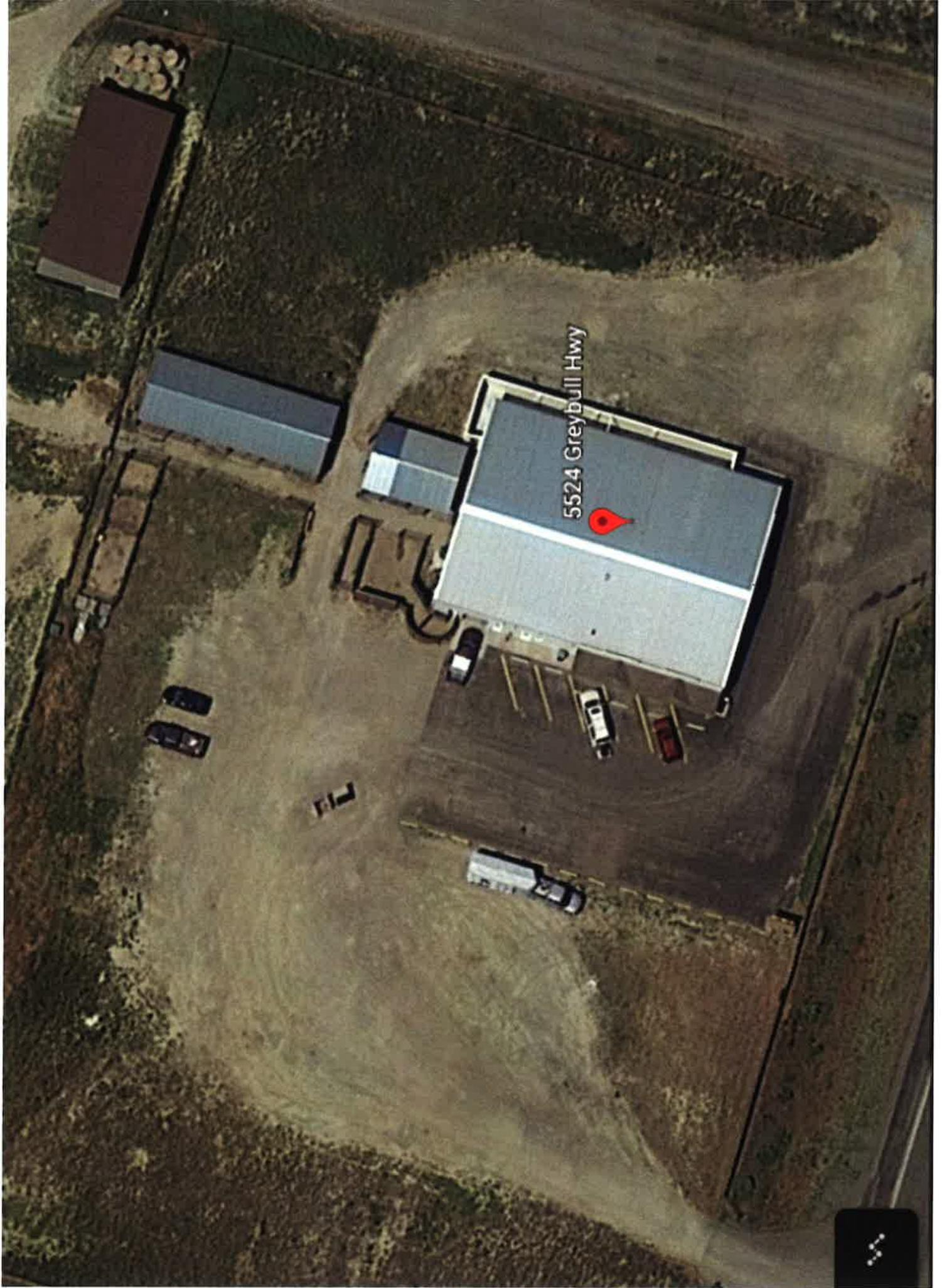
Clinic Building

Prep Room

Covered
Stalls

Covered
Stalls





**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JULY 28, 2020	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	MINOR SITE PLAN REVIEW: ROCKY MOUNTAIN POWER COMMUNICATION TOWER. SPR 2020-19	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

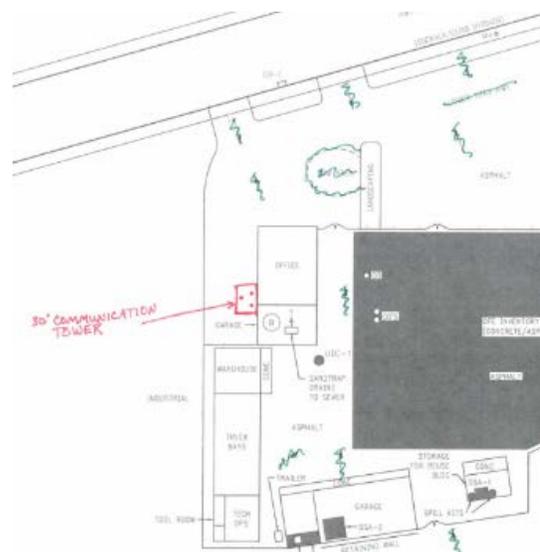
Rocky Mountain Power has submitted an application to construct a 30-foot tower with a 6-foot diameter dish antenna immediately west of their office building at 226 W Yellowstone Avenue. The tower would be a lattice style, with each of the three sides measuring five feet in width.

REVIEW CRITERIA:

The Cody zoning ordinance considers communication towers that are less than 35 feet tall and within 20 feet of an existing structure that is at least 25 feet tall to be permitted uses in the commercial zoning districts. All communication towers are subject to Planning and Zoning Board review for compliance with applicable standards. The communication tower review processes and standards are found in the “supplemental development standards” sections of the zoning code under “wireless communication facilities” (10-8 for residential and 10-11 for commercial zones).

STAFF COMMENTS:

The property is zoned Open Business/Light Industrial (D-3), so the provisions of 10-11 apply. The tower will be within 20 feet of a pre-existing structure, so the 30-foot height allows the tower to be considered a permitted use.



Admittedly the pre-existing structure is an existing communication tower (pole) that is about 42 feet in height. Yet it qualifies.

It is also noted that there will be a 4-foot lightning rod on the top of the tower—whether or not that is counted in height does cause it to exceed the 35-foot limit. The 6-foot diameter antenna will be mounted with its center at 27 feet, so it will not extend above the tower. The antenna will point eastward. No additional antenna is planned for the tower.



In addition, the tower location is sufficiently set back from the highway that it will be screened to eastbound traffic on the highway by “The Cody” hotel, and the hotel forms a visual background for the tower to westbound traffic. Ultimate staff preference would be for the applicant to shift the location even further south, but the proposed location isn’t that bad. All other applicable standards are met.

Shortly after the new tower is installed, the 42-foot pole will be removed.

Landscaping

No landscaping is affected by this project, and the tower does not trigger additional landscaping requirements.

Exterior Lighting

No lighting of the tower is proposed.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. No residential buffers are required for this proposal as there is no adjacent residential zoning.

Utility Services

The tower will rely on existing utility services.

Signs

No signs are proposed.

ALTERNATIVES:

Approve or deny the project, with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the project as proposed. A building permit has already been submitted.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

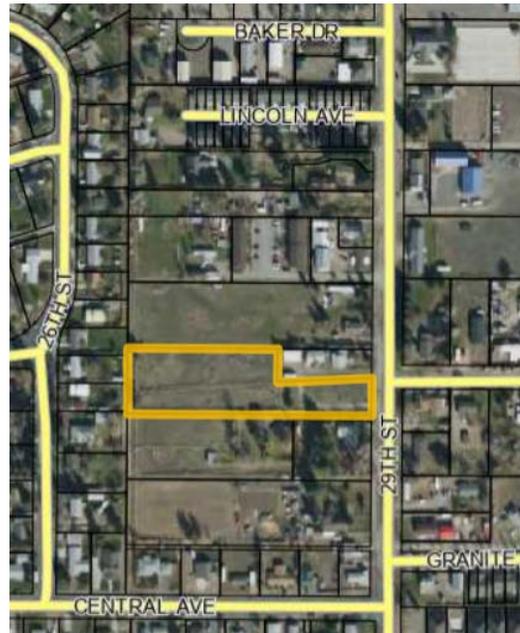
MEETING DATE:	JULY 28, 2020	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	REVIEW OF THE FINAL PLANNED UNIT DEVELOPMENT PLAN AND FINAL PLAT FOR THE CODY LEGACY ESTATES PLANNED UNIT DEVELOPMENT—AN 18-UNIT PUD. PUD 2019-01	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

We have received the final plat application from Bryan Edwards of the Cody Legacy, LLC for the Cody Legacy Estates Planned Unit Development (P.U.D.) an 18-unit development. The Board reviewed the preliminary plat and PUD plan in April.

The 1.9-acre property is located on the west side of 29th Street, just south of the East Carter Avenue intersection. It is currently vacant, located in the R-3 Residential zoning district. The property is proposed to be developed with three 4-plexes and three duplexes, with each unit on an individual lot.

The preliminary P.U.D. plan application included a specific plan document, outlining the plan for development. The final PUD application does not have an individual document outlining the plan, but relies on a combination of the actual construction plans, the final plat survey, notes on the final plat, and private covenants. As the P.U.D. is not overly extensive in scope or size, and the current owner plans on developing the property himself, staff is agreeable to the method utilized to document the “final plan”, with the understanding that the owner will work with staff if any further clarifications are needed.



The application materials are attached for review. In an attempt to process this review as expeditiously as possible, staff only has time to list the edits we believe are needed to the application materials. They are not in any particular order of importance. Exact

wording is negotiable. The Board recommendation to City Council would be subject to compliance with all requested edits. Some additional staff review would be needed to verify the edits are acceptable.

View from 29th Street:



Looking east along south fence line:



McMillan irrig. pipeline west end of property:



Edits to Final Plat:

- a) The common areas are to be included in a tract (e.g. Tract A). Add a note that Tract A is common area for the benefit of the subdivision and is to be transferred by deed to the Legacy Estates Homeowner's Association for ownership and maintenance.
- b) Add a note to "Refer to the P.U.D. file at city hall for the location of required improvements within Tract A."
- c) Within Tract A, exclude the common landscape/stormwater areas north and south of the access road from the access easement. (Retain as common area and utility easements.)
- d) Add an additional "Legacy Lane (Private Access Road)" to the area between the lots.

- e) Restrict any future private utilities (not part of initial construction) to a 10-foot wide easement along the south side of the access road, unless otherwise authorized by City—provide easement and note.
- f) Under Easement of Record #5, add “previously” before “vacated”.
- g) Add a note that if the pipeline identified in Easement of Record #2 is encountered during construction, WY DEQ is to be contacted immediately.
- h) Add “serving Lots 1-12” to the 10-foot easement along the north side of the lots and “serving Lots 13-18” to the 7.9-foot easement along the south side of those lots (eliminates neighbors from having the right to use those easements).
- i) Add note, “HOA Bylaws and Covenants apply to this P.U.D. and are filed herewith.”
- j) Within the legend, change “utility access” to “utility easement” and add a symbol for the brass caps required at the subdivision corners.
- k) Remove or clarify apparent extraneous linework on existing access and irrigation easement #3.
- l) Identify new brass cap monumentation at the subdivision corners per 11-5-1(B)(3)(b and c).
- m) Add bearings to the side lot lines as needed to clarify (ends don’t match)
- n) Add the exterior property line bearings and dimensions of record in parenthesis.
- o) Add missing language to the “Recorder’s acceptance”.
- p) Add a “Description of Lands” (legal description), separate from that found in the certificate of dedication.
- q) The mayor’s signature does not require the notary block—can eliminate if need room.
- r) Coordinate with staff to rework the last half of the Certificate of Dedication—need to dedicate easement for all public utilities (not just City); remove DEQ and resource data language; and, note ownership of common areas is to be held by the subdivider until transferred to HOA.
- s) Add a note that surface water rights are being detached from this property at the time of subdivision.
- t) Replace the “Building Setbacks” section with the following:
 - “Development Standards
Lots 1-12 shall be developed with townhouses. The townhouses shall maintain 5’ setbacks from the lot lines separating Lots 4 and 5, and Lots 8 and 9. Lots 13-18 are authorized for semi-detached or detached single-family dwellings only.

Development Standards and land use regulations for this P.U.D. shall be per the City of Cody zoning of the property (R-3 at the time of this plat), except as modified as follows:

(And continue with the table as is, except add “front” before “lot line” in the first two lines; and, replace the building height line with “Lot coverage and lot width as shown”.)

Edits to Construction Plans:

In the title sheet, add the "s" to "Estate".

Sheet G-1:

- a) Add language that the contractor is responsible to obtain an encroachment permit from the City of Cody for all work within the City right-of-way.
- b) Add a note that the contractor is responsible for compliance with WY DEQ regulations for preparation and compliance with a storm water pollution prevention plan (SWPPP).

Sheet C-1: (none)

Sheet C-2:

- a) Add signs for street names and traffic control at the intersection with 29th Street—coordinate with Public works and address the pathway in signage as well.
- b) Add ", or street curb" to the end of note 4.
- c) Provide a more detailed utility plan that includes all utility lines and boxes (missing telecommunications, cable, phone, irrigation). Locations must be acceptable to Public Works and Community Development.
- d) Move the water services so that the curb stops are not in the driveways. Options for rearranging services are available and can be discussed with Public Works.
- e) Extend the sewer main slightly to the west, so that the services come in downstream of the manhole.
- f) The "New Light Pole" will need to be a private light, fed through a meter. Provide fixture details to demonstrate that the light is full cutoff in style and modest in intensity. (It is anticipated that the HOA will have a utility account for electric and raw water, and that the individual lot owners will have their own sewer, water, electric, and garbage services.)

Sheet C-3:

- a) Extend the sewer main as just noted above.
- b) Correct the leader arrows for the manhole inverts.

Sheet C-4:

- a) Coordinate raw water service locations and sizes with City staff. Note that the connection charge and monthly bill relates to size of service. (Staff is okay with the HOA serving the individual lots (a variance to City Code), but appropriate billing coordination is needed.)
- b) Provide raw water service construction details (corp stop at main, ball valve at property line).
- c) The connection of the raw water to the existing main could be accomplished by rotating the "T", rather than by additional fittings, which would help provide more cover.

- d) Include the raw water service to the Snelson property (Lot 101), per agreement.
- e) Move the domestic water curb stops out of the driveways as noted above.

Sheet C-5:

- a) Add missing elevation data. Staff will need to further review once elevation data is provided.
- b) Without geotechnical/soil data to justify a reduction, the lack of pit run in the road profile is questionable. Typically, 6" of pit run would be provided below the base course, unless native soils naturally have that composition. Either provide soil data justifying lack of pit run, or provide the pit run.
- c) Note that the pavement depth is "compacted depth"
- d) Key Note 1 should read 5-foot sidewalk to match the plans.

OTHER:

- a) The Bylaws and Covenant documents need redone. Staff can provide their suggested edits, but the final version is to be reviewed by the City attorney. Provide a cleaned-up version for his review. The documents must be authorized before the final plat is recorded. The covenants must include regulation and enforcement of "no parking", maintenance of the storm water facility, be coordinated internally and with the final plat language, etc.
- b) The plans show a fire hydrant at the west end of the water main. Alternatively, Public Works is agreeable to a flushing hydrant configuration, which would provide some cost savings. Provide bollard protection for the hydrant.
- c) The water and sewer plans must be approved by Public Works and WY DEQ prior to utility construction.
- d) Provide markers at the end of all utility service stubs (typically 2x4s with color coded paint)
- e) The transfer of surface water rights to the City is the responsibility of the property owner. Per the agreement with the Snelsons, the developer will also include the Snelson property in the water right transfer. Per the subdivision ordinance, the paperwork must be filed with the State engineer's office within one year of final plat approval.
- f) Identify the sizes of the trees that will be planted (3' minimum height evergreen and 1 1/2" caliper deciduous?).
- g) Staff will need to compare the final grading plan (currently missing elevations data), with the final drainage report, for adequacy of the size of the retention facility.
- h) No building will be issued a certificate of occupancy and no lot may be sold until the infrastructure is complete and accepted by the City for the phase in which the lot is located. Building permits will be limited to the lots in the phase of the subdivision currently under construction.
- i) The property owner must sign an Authorization of Detachment form for the surface water rights on the property and deliver it to the City before any lot sales occur (closing).

- j) Add a note to the final plat that surface water rights are being detached and transferred to the City of Cody.
- k) Provide verification that the utility providers are committed to following the utility plan by having them sign the construction set of plans, or providing individual letters stating their approval of and commitment to the utility plan.
- l) Conduct all inspections, testing, and other requirements during construction, so as to comply with City Code 11-11-5-1(A). As-builts are required.
- m) The value of subdivision improvements accepted for ownership by the City (e.g. utility mains) must be provided by the developer to the City treasurer, so that contributed capital can be tracked.
- n) Utility fees will apply and the water tap and electrical estimate must be paid prior to the mayor signing the final plat, or construction of the services, whichever occurs first.

Variance

If the applicant desires to commence construction of the dwellings before the subdivision improvements are completed, a variance to that effect would be needed. Staff is open to the request as follows:

Allow issuance of building permits prior to completion of the subdivision infrastructure, with the commitment that no building will be issued a certificate of occupancy and no lot will be sold until the infrastructure is complete and all public infrastructure is accepted by the City.

RECOMMENDATION/POTENTIAL MOTION:

If the applicant is willing to make the changes noted in the staff report and comply with all provisions noted therein, it is recommended that the Board recommend the final plan and plat of the Legacy Estates Planned Unit Development to City Council for approval, subject to all provisions noted in the staff report. A relatively "cleaned up" version of the final plat and construction plans must be provided for staff review prior to presentation to the City Council. The variance related to timing of building permits could also be recommended, if requested.

ATTACHMENTS:

Application materials.

July 9, 2020

Todd Stowell, AICP
City of Cody
1338 Rumsey Avenue
Cody, WY 82414

**Subject: Final Plat Application – Cody Legacy, LLC
Legacy Estates Planned Unit Development**

Dear Mr. Todd Stowell:

Enclosed is the Final Plat application for the Legacy Estates Planned Unit Development located
Included with this letter and application are the following items:

1. Planned Unit Development Application
2. Appendix A – Legacy Estates Planned Unit Development Final Plat
3. Appendix B – 100% Civil Construction Plans
4. Appendix C – Statement Regarding Water Rights
5. Appendix D – Homeowners Association By-Laws and Covenants
6. Appendix E – Submitted DEQ Report
7. Appendix F – “Will Serve” Statement – Black Hills Energy, Natural Gas
8. Appendix G – “Will Serve” Statement – City of Cody, Treated Water, Sanitary Sewer, Raw Water
9. Appendix H – New Deed and Vacation of Irrigation Easement

Thank you in advance for your assistance and direction with this project.

Sincerely,
Morrison-Maierle



Frank Page, PE
Senior Civil Engineer



Austin Reed, EI, LSI
Project Engineer

We create solutions that build better communities.



**PLANNING, ZONING AND ADJUSTMENT BOARD
PLANNED UNIT DEVELOPMENT APPLICATION**

STAFF USE
File: PUD2019 _____
P&Z Invoice: _____

Owner or Applicant's Name: Bryan Edwards - Cody Legacy LLC

Mailing Address: PO Box 2035, Cody, WY Zip: 82414

Phone: _____ Cell: 307.250.2253 Fax: _____ Email: bryanedwards71@yahoo.com

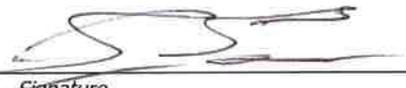
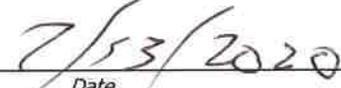
Project Address: West side of 29th Street at Carter Ave. Zone: R3

Legal Description: BRANTZ SUB. LOT 2 (EX. A SMALL PARC. ALONG THE S. LINE OF LOT 1) - (ALSO SHOWN AS LOT 102 ON BOUNDARY LINE ADJUSTMENT PLAT K-35) (1.92 AC.)

Description of Proposal and Proposed Use of Project: Develop vacant residential land. PUD application for Multi-family

Estimated Construction Start Date: Summer 2020

Representative Attending P&Z Meeting: Owner Bryan Edwards and Engineer Frank Page, PE, Morrison-Maierle

Signature of Property Owner:  
Signature *Date*

REMEMBER: **Submit a total of twelve (12) copies of the application, plans, and any other information noted.**
One (1) full size (24"x36") scalable set of plans for staff review and
Eleven (11) reduced size (11"x17") to be distributed to the Planning and Zoning Board
Submit a digital file containing PDFs of each document submitted.

The deadline for submitting the application is by 4:00 PM.

Please see attached meeting, submittal date and fee schedule.

A. The Conceptual Plan should include:

A description of the proposed PUD must be submitted and shall contain:

- A written explanation of the objectives to be achieved by the PUD.
- A written statement of the scope of the proposed development to include:
 - Architectural theme.
 - Uses of single-family and multi-family dwellings, townhouses, condominiums, commercial structures, and other proposed uses.
 - Approximate size and number of lots.
 - Availability of adequate or provision of adequate utilities, including raw water.
 - Availability of adequate or provision of adequate new streets.
 - Statement of compatibility of proposed PUD with adjacent land uses.
 - A graphic Conceptual plan describing the land uses to be permitted with each area.
 - A common area landscaping concept graphically illustrating the location and character of common area, recreational amenities, pathways, and other proposed site improvements.
 - A proposed phasing plan.

B. The Preliminary Plan should include: (Included with this phase is a Public Hearing)

- A list of abutting landowners of record and their addresses from the county assessor's office
- A description of uses and activities proposed within each area, including the following:
 - The type, sizes, and mixture of dwelling units.
 - The acreage or square footage of each use, including parking, roadways, easements, rights-of-way, and recreational areas.
 - The number of off-street parking spaces.

- Any other applicable restrictions such as building setbacks, structural height limits, access, grades, or widths of roads.
- The overall density for the entire PUD, as well as the ratio of common area in areas to be developed, stated on a percentage basis, including the number of square feet.
- A written statement by a registered professional engineer, which shall describe the following:
 - The proposed method and arrangement for connection to the municipal water system, and the projected usage and needs.
 - The proposed method and arrangement for connecting to the municipal sewer system, and the projected usage and needs.
 - The soil, geological, and ground water conditions of the site and the manner in which storm drainage will be handled.
 - The manner in which raw water or irrigation water will be provided.
- If the PUD is to be developed in phases, a description of each phase and an estimated date of completion for each phase. Any substantial change or alteration in the design of the PUD or completion schedule will require the owner to submit an amended plan in compliance with the most current rules and regulations adopted by the City of Cody.
- The applicant shall provide an estimate of water consumption and amount of sanitary sewer discharge based on the proposed land use plan.
- Appendices: **Appendix 1 (Site Plans Check List) See Attached**
 Appendix 2 (Traffic Impact Analysis Check List) See Attached
 Appendix 3 (Landscape and Common Area Plan Check List) See Attached
 Appendix 4 (Master Utility plan Check List) See Attached
 Appendix 5 (Drainage Study and Site Detention Plan Check List) See Attached
 Appendix 6 (Common Area Maintenance Plan Check List) See Attached
 Appendix 7 (PUD Design Objectives Review Forms) See Attached
- Primary Contact.
- Scale not less than 1" = 100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Location/Boundaries tied to official government survey.
- Names and address of subdivider, designer of PUD, licensed PE or LS.
- Date of preparation.
- North Arrow.
- Exact bearings/distance dimensions.
- Total acreage.
- All proposed subdivided lands.
- All lands and owners adjacent to proposed lands within 200ft.
- Location/dimensions and names of proposed streets, typical cross-sections, alleys, easements, lot lines.
- Contour lines.
- Designated flood areas.
- Lot designated/lot size.
- Names of adjacent subdivisions.
- Existing Utilities including: location within subdivision, size, grade, type of material, approx. depth of bury, service locations.
- Existing Utilities including: location adjacent to subdivision, size grade, type of material, approx. bury depth.
- Proposed Utilities (conforming to city master plan) including: location within PUD, size, grade, type of material, approx. depth of bury, service locations.

- Drainage plan.
- Proposed Street and Traffic Signs.

Supplemental Materials

- Warranty Deed
- Copies of easements/rights of ways.
- Written requests for variances to regulations.
- Proposed Utilities systems.
- Water line design.
- Surface improvements.
- Any additional preliminary information pertaining to utility systems.
- Agreement for transfer of water rights to the city.
- Common Area
- CD containing digital files of all maps and drawings submitted for this application.
- Application fees due upon submittal to City of Cody.

C. The Final Plan/Plat should include:

- Scale of not less than 1"=100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Date of preparation.
- North arrow.
- Legal description of property to be divided.
- Primary control points.
- Tract boundary lines, right-of-ways lines (streets & easements), lot lines with accurate dimensions, bearings or angles.
- Curve data (spirals not permitted).
- Right-of-way widths for each street, alley or other right-of-way.

Supplemental Materials

- Statement from the state engineers office regarding water rights.
- Utility company statements.
- Covenants.
- Three sets of approved plans and specifications for improvements to be installed with appropriate signatures of federal agencies, local agencies and companies affected by development (ie. **DEQ Approval**).

- Deed for open space land to city or cash in lieu of open space received.
- Special requirements by P&Z or Council.
- Utility fees paid.
- Application fees due upon submittal to City of Cody.

After Final Plat Approval by P&Z & Council

- 2 Mylar copies of signed/sealed and filed final plat.
- Electronic copy of subdivision providing the following data:
Prior to recordation of the Final Plat, electronic media shall be provided in AutoCad.dwg or AutoCad.dxf format, which contains the physical features of the survey for this development. The drawings shall be referenced to a known coordinate system. A Project (PRJ) file should be submitted. If not, include a text file with all the parameters describing the datum, projection and coordinate system used for the project. The drawings shall include either a data dictionary to explain the layers, or a self-explanatory layering system.

Appendix 1. (Site Plans)

A. Submittal Requirements

The site plan is a plot plan of the entire area to be developed, which shows location and size of buildings, the size and area of the land under consideration, street names and widths, parking area size, and all other items required on the following site plan checklist. A site plan is required for all PUDs, and must be prepared by an architect, a civil engineer, a land surveyor, or a planner and must comply with the standards and requirements set forth in this Appendix. A complete site plan application consists of:

- The site plan application form.
- Vicinity map (8 ½"x 11" or if less than one acre, a scale of 1":200')
- 12 copies of a site plan and site plan checklist.
- Drainage Study and Site Detention Plan, see appendix number 5.
- Traffic Impact Analysis; see appendix number 2.
- Master Utility Plan, see appendix number 4.
- Landscape Common Area Common area Plan; see appendix number 3.

Objectives:

- To insure compliance with Subdivision Regulations, and all drainage, safety, utilities, natural hazard, traffic, and easement provisions required by City rules, regulations, and plans.
- To provide a smooth transition between adjoining properties.
- To facilitate the review of new developments by appropriate departments of the City.
- To streamline the development application, review, and approval process.

B. Site plan check list

All items on the following checklist must be addressed on a site plan. All proposed items addressed on the checklist must be included in the finished physical development as designated on the approved site plan.

- Legal description and common address of the proposed site.
- Title block stating names of project, name, address, and telephone number of owner and designer.
- Names and addresses of all abutting property owners and assessor's parcel number.
- Surrounding land uses and zoning on all abutting sides, including those lands separated from the site by a street, alley, or other roadway.
- Current zoning of the land under consideration and proposed zoning, if applicable.
- North arrow, scale of site plan to be 1"=10' or a multiple thereof, date site plan was prepared.
- Land area dimensions.
- Dimensions of all setbacks and heights of all proposed structures.
- Location and dimensions of all proposed off-street loading dock areas, including street access and traffic flow to these areas.
- Location of all trash receptacles.
- Dimensions and locations of all advertising signs and fences.
- Location of existing and proposed exterior lighting, heights of poles, and size and number of fixtures.
- Names and widths of all adjacent streets; dimensions and locations of all public and private roadways, streets, or driveways, both paved and unpaved, including rights-of-way, pavement width, and proposed uses of rights-of-way.
- Location and dimensions of existing and proposed curb cuts and sidewalks.
- Off-street parking spaces, locations and dimensions, layout, traffic control, compact and handicapped parking spaces, including all surface markings such as directional arrows.
- Types of ground or yard surfacing throughout, grass, paving, gravel, etc.
- Existing and proposed easements.
- Vicinity map at a scale of 1"=600' clearly indicating the location of the site.

General notes that summarize:

- Total land area in acres or square feet.
- Total building area in square feet (building footprint and total floor area).
- Percentage of land covered by buildings.
- Number and type (single family, duplex, etc.) of housing units.
- Structure height(s).
- Number of stories and square footage per story of leasable space.
- Total number of parking spaces.
- Square footage of parking area(s).
- Square footage of all landscaped areas and common areas.
- Percentage of site covered by landscaping.
- Existing and proposed contours in intervals acceptable to the City Engineer.
- Finish Floor Elevations and Architectural Elevations of the buildings(s) to be constructed (front, rear, side).
- Surface drainage plan for all sites.
- Pavement design report for parking areas.
- N/A Traffic study, as required by City Engineer.

Appendix 2. (Traffic Impact Analysis)

TRAFFIC IMPACT ANALYSIS DEEMED UNNECESSARY BY CITY IN MEETING HELD ON 08/23/19

A. The traffic impact analysis shall include:

- Land Use and Trip Generation
 - A table of each type of land use, the number of units or square footage, as appropriate.
 - Trip rates used (daily and peak hour) and resulting trip generation.
- Traffic graphics showing AM and PM peak and total site generated traffic.
- AM and PM Capacity Analysis
 - An AM and PM peak hour capacity analysis shall be provided for all major drive accesses that intersect collector or arterial streets and all arterial-arterial, collector-collector, and arterial-collector intersections within one mile of the site, or as directed by the Public Works Director.
- Location of approaches
- Circulation and channelization patterns
- Location and type of traffic-control devices
- Pedestrian systems
- Bicycle systems
- Projected turning movements
- Impact on surrounding existing street intersections
- Proposed actions to mitigate traffic impacts related to the proposed development.

B. Report format shall be:

- Trip Generation – using Institute of Transportation Engineers Trip Generation Manual.
- Trip Distribution
- Traffic Assignment
- Capacity Analysis
- Evaluation
- Recommended Access Plan, including access points, modifications and any mitigation techniques.

C. Summary Analysis explaining:

- The proposed access points for the project, their location, and the rationale for their placement in terms of circulation.
- Future off-site road improvements for the access, which roads they will be, the projected time frame for their

completion and who is responsible for their completion.

- ADT and level of service changes to all streets.
- How the PUD will minimize traffic impacts to existing streets.
- Describe bicycle and pedestrian pathways within the development, if used.

Appendix 3. (Landscape and Commons Area Plan)

Landscape and Common area Plan Check List

All items on the following checklist must be addressed on a landscape and commons area plan. All proposed items addressed on the checklist must be included in the finished physical development as designated on the approved landscape and commons area plan.

- Scale: $\frac{1}{4}'' = 1'-0''$ to $1'' = 40'$
- Property lines, easements, and public rights-of-way, including clear vision triangles.
- All existing and proposed buildings or structures.
- Drive approaches, parking spaces, light standards, circulation and pedestrian walkways.
- Location and spacing of proposed plant materials.
- Location of existing trees or landscaping to be preserved or eliminated.
- Types and locations of new vegetation identified by botanical and common names and listed on a plant schedule.
- Size of materials to be used.
- Quantity of each planting material to be used.
- Types and location of inorganic landscaping material.
- Locations of walls, fences, and refuse storage areas.
- Methods of protecting the landscaped areas.
- Proposed treatment of all ground surfaces (concrete or asphalt paving, pavers, turf or gravel).
- For areas requiring watering or irrigation, specify the means this is to be accomplished, i.e., automatic lawn sprinkler system, and source of water.
- A performance bond or letter of credit for one hundred fifty (150) percent of the landscaping materials and labor cost shall be posted with the City of Cody to ensure complete and timely installation of the specified landscaping.

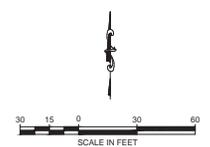
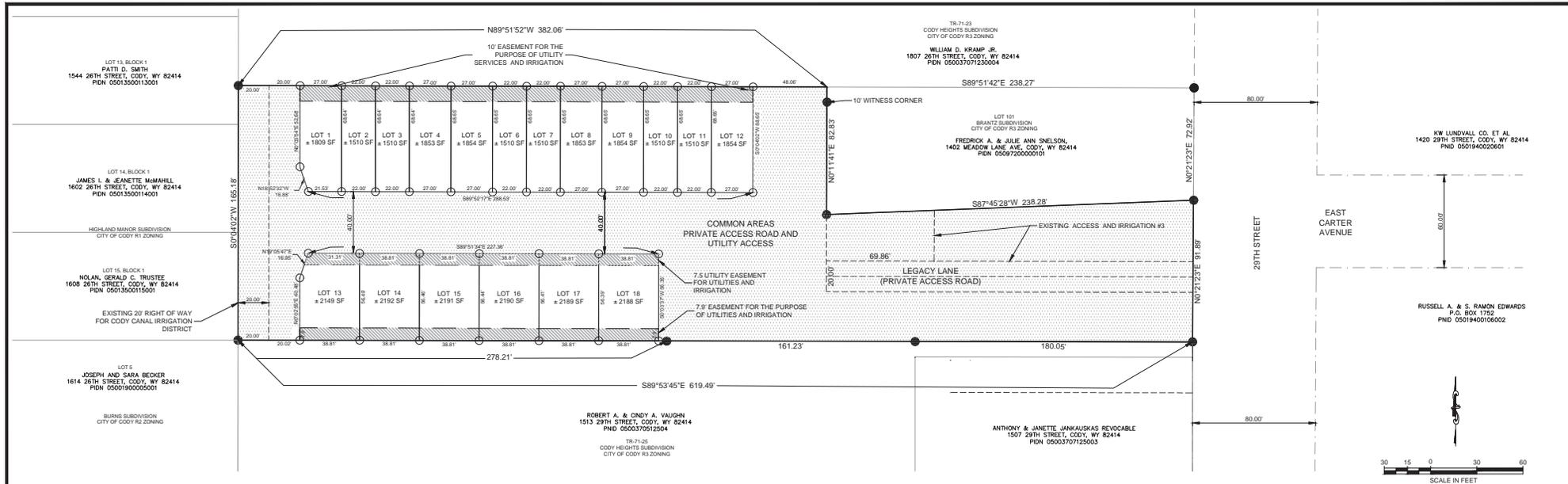
Appendix 4 (Master Utility Plan)

A. The utility plan shall include:

- Title of development.
- Label "Master Utility Plan".
- Plans must be prepared in a format to drafting standards approved by the Planning Department at a scale between $1''=20'$ and $1''=50'$.
- Existing and proposed street names labeled.
- Location of all proposed and existing lot lines.
- "Ties" to control points shall be indicated with the township, section and range indicated.
- Block and lot numbers.
- City of Cody Datum and Benchmark.
- Vicinity map ($8 \frac{1}{2}'' \times 11''$) indicating site and adjacent streets. If site is less than one acre, map must be drawn at a minimum of $1'' : 200'$.
- Location of all proposed and existing easements and/or rights-of-way appropriately dimensioned.
- Topography indicated using 2-foot vertical contour lines on City of Cody datum.
- Scale and north arrow.
- Existing and proposed utilities (separation between utilities must be indicated).

Appendix A

Legacy Estates Planned Unit Development Final Plat



CERTIFICATE OF DEDICATION

STATE OF WYOMING } SS
 COUNTY OF PARK }
 KNOW ALL PERSONS BY THESE PRESENTS, THAT CODY LEGACY, L.L.C. IS THE OWNER OF LOT 102 OF THE BRANTZ SUBDIVISION, ACCORDING TO THE BOUNDARY LINE ADJUSTMENT SURVEY FOR THE BRANTZ SUBDIVISION, AS LOCATED IN BOOK "K" OF THE PLATS, PAGE 35, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING EXCEPTING THAT PORTION OF THE SUBJECT PROPERTY THAT MAY BE CONTAINED WITHIN 29TH STREET.

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS AS DESCRIBED IN THE WARRANTY DEED RECORDED AS DOCUMENT NO. 2020-2081; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED, AND THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.

AND WE HEREBY DEDICATED:

THE EASEMENTS WITHIN THE LOTS LABELED HEREON ARE DEDICATED TO THE USES SO NOTED;

THAT THE COMMON AREAS ARE DEDICATED EASEMENTS IN PERPETUITY FOR THE CITY OF CODY AND THE WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY PER STATUTE SS 6-3-414 AND (ii) FOR THE CONSTRUCTION, MAINTENANCE, INSPECTION, REPLACEMENT, AND REPAIR OF RAW WATER MAINS, TREATED WATER MAINS, SANITARY SEWER MAINS AND ELECTRICAL LINES AND THAT NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE CENTER LINE OF THE SANITARY SEWER MAIN.

AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

IN WITNESS WHEREOF, THE SAID OWNER, A CODY LEGACY, L.L.C., HAVE CAUSED THEIR NAMES TO BE HEREON SUBSCRIBED THIS _____ DAY OF _____ 2020 BY _____

BY: BRYAN EDWARDS, MEMBER COUNTY OF PARK } SS
 CODY LEGACY, L.L.C. BY: KELLIE EDWARDS, MEMBER/MANAGER COUNTY OF PARK }
 CODY LEGACY, L.L.C.

ACKNOWLEDGMENT:

STATE OF WYOMING } SS
 COUNTY OF PARK }
 THE FORGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2020 BY _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY REPUBLIC

MY COMMISSION EXPIRES: _____

APPROVALS

CITY PLANNING AND ZONING BOARD

APPROVED AS OF THE _____ DAY OF _____ 2020 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN _____

CITY COUNCIL APPROVAL

APPROVED AS OF THE _____ DAY OF _____ 2020 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL _____

ATTEST: CINDY BAKER ADMINISTRATIVE SERVICES OFFICER

STATE OF WYOMING } SS

COUNTY OF PARK }

THE FORGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2020 BY _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY REPUBLIC

MY COMMISSION EXPIRES: _____

RECORDER'S ACCEPTANCE

COUNTY, WYOMING, AT _____ O'CLOCK _____ M. ON THE _____ DAY OF _____ 2020
 A.D., AND IS DULY RECORDED UNDER DOCUMENT NUMBER _____ IN PLAT CABINET _____ AT PAGE _____

PARK COUNTY CLERK _____

BY: _____ DEPUTY

BUILDING SETBACKS

- GARAGE DOOR SETBACKS = 15.75' FROM LOT LINE (LOTS 1-12)
- = 17.5' FROM LOT LINE (LOTS 13-18)
- SIDE SETBACKS = 5' FROM LOT LINE OR AT COMMON WALLS
- REAR SETBACKS = 10' FROM LOT LINE (LOTS 1-12)
- = 7.5' FROM LOT LINE (LOTS 13-18)
- BUILDING HEIGHT NOT TO EXCEED TWO STORIES WITH BASEMENTS 30'

EASEMENTS OF RECORD

- RIGHT OF WAY OVER IRRIGATION LATERAL ARE AS ESTABLISHED BY THE FEDERAL RESERVATIONS FOR DITCHES ACT OF AUGUST 30, 1890 AND WYOMING STATE STATUTE 41-9-201.
- BLANKET EASEMENT FOR AN OIL PIPELINE GRANTED TO ILLINOIS PIPE LINE COMPANY AS RECORDED ON AUGUST 6, 1927, BOOK 67 PAGE 560 PARK COUNTY COUNTY CLERK AND RECORDERS OFFICE. (NOT FLOTTABLE)
- MUTUAL ACCESS AND IRRIGATION EASEMENT FOR A BURIED PIPELINE FOR THE USE AND BENEFIT OF LOT 101 AND 102 OF BRANTZ SUBDIVISION AS RECORDED ON MAY 6, 2019, DOCUMENT #2019-2173 PARK COUNTY CLERK AND RECORDERS OFFICE.
- PORTION OF IRRIGATION EASEMENT ON NORTH 15 FEET OF LOT 101 AS RECORDED ON MAY 6, 2019, DOCUMENT #2019-2173 VACATED ON MAY 21, 2020 DOCUMENT #2020-3050 PARK COUNTY CLERK AND RECORDERS OFFICE.
- OTHER PRIOR EASEMENTS ON THIS PROPERTY HAVE BEEN VACATED AND ARE NOT SHOWN ON THIS PLAT.

NOTES

- BEARINGS ARE BASED ON THE CITY OF CODY DATUM.
- AREA TO BE DEVELOPED IS ZONED R3 WITHIN THE CITY OF CODY.
- THE TOTAL ACREAGE OF THE LEGACY ESTATES PLANNED UNIT DEVELOPMENT IS ±1.82 ACRES (81909 SQUARE FEET).
- THE TOTAL COMMON AREAS ARE ±50,522 SQUARE FEET.
- LEGACY LANE WILL BE A PRIVATE ACCESS ROAD.
- THERE ARE NO DESIGNATED FLOOD AREAS ON THE PROPOSED SITE.
- THERE SHALL BE NO ON STREET PARKING ALONG LEGACY LANE.

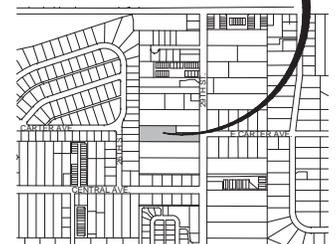
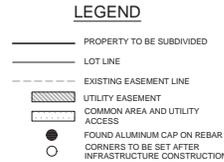
CERTIFICATE OF SURVEYOR

STATE OF WYOMING } SS
 COUNTY OF PARK }
 I, RUSSELL B. BLOUGH, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF WYOMING BY REGISTRATION NUMBER 10014 HEREBY CERTIFY:
 THAT ON JULY 05, 2020, THE LEGACY ESTATES PLANNED UNIT DEVELOPMENT SHOWN HEREON WAS SURVEYED UNDER MY DIRECTION.
 THAT THE LAND SURVEYED IS CORRECTLY DESCRIBED IN THE OWNER'S CERTIFICATE OF DEDICATION, AND THIS PLAT ACCURATELY SHOWS THE CORRECT LOCATION AND DIMENSIONS OF SAID SUBDIVISION.
 THAT THE REQUIREMENTS OF W.S. 38-11-101 THROUGH 38-11-110 WERE COMPLIED WITH AND MONUMENTS AND LOT CORNERS SHOWN AND DESCRIBED HEREON WERE ACTUALLY SET.
 THAT ALL ELEMENTS OF THE SURVEY CLOSE TO AN ACCURACY OF ONE PART IN FIVE THOUSAND OR BETTER AND DIMENSIONS ARE GIVEN IN FEET AND DECIMALS OF A FOOT. ANY SURPLUS OR DEFICIENCY IS DISTRIBUTED UNIFORMLY IN PROPORTION TO THE MEASUREMENTS SHOWN ON THIS PLAT.
 THAT THE CITY OF CODY DATUM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM AND 83WS WEST CENTRAL ZONE WAS USED AS THE BASIS OF BEARINGS FOR ALL BEARINGS SURVEYED AND SHOWN ON THIS PLAT.

WYOMING L.S. REGISTRATION NO. 10014
 RUSSELL B. BLOUGH
 BY: RUSSELL B. BLOUGH (AGENT)



PROJECT LOCATION



**LEGACY ESTATES
 PLANNED UNIT DEVELOPMENT
 FINAL PLAT**

A PLANNED UNIT DEVELOPMENT WITHIN LOT 102 OF THE BRANTZ SUBDIVISION BOUNDARY LINE ADJUSTMENT, TOWNSHIP 53 NORTH, RANGE 101 WEST, 6TH P.M.. (RESURVEY), WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING

Morrison Maierle Engineering & Construction Services & Consulting		442 S. Grand Ave. Cody, WY 82404 Phone: 307.587.0288 www.m-m-cad.com	1/4 SEC.	SECTION	TOWNSHIP	RANGE
DATE: 06/19/2020		SCALE: 1/30	6TH PRINCIPAL MERIDIAN		COUNTY, WYOMING	
DRAWN BY: ARR		PROJ. #: 5387-00201	PARK		PLOTTED BY: Justin Reed	
CHECKED BY: RBB			CLIENT: CODY LEGACY INN, LLC		SHEET _____ OF _____	
DRAWING NAME: J:\5387-Brantz-Edwards\0001-Edwards 20th Street Development\ACAD\Survey\002-01_Plat_800.dwg						

Appendix B

100% Civil Construction Plans

100% CIVIL DRAWINGS FOR LEGACY ESTATE PLANNED UNIT DEVELOPMENT 6357.001

CODY, WYOMING

PREPARED BY:

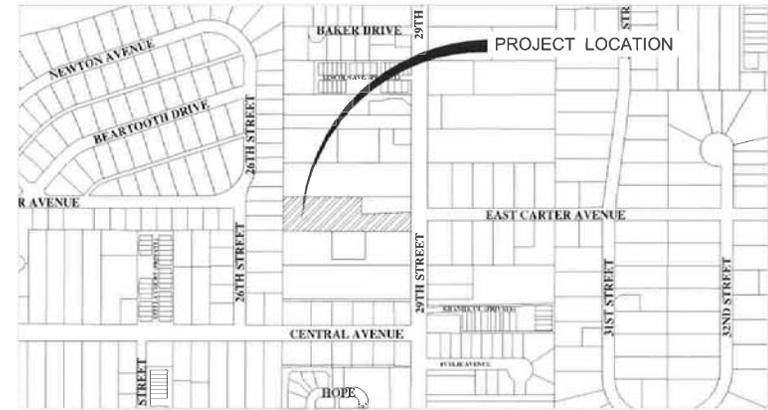


engineers · surveyors · planners · scientists

1402 Stampede Avenue, Cody, WY 82414
307.587.6281 • www.m-m.net



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

SHEET INDEX		
SHT. No.	DWG. No.	TITLE
		COVER AND SHEET INDEX
1	G-1	GENERAL NOTES AND PROJECT NOTES
2	-	FINAL PLAT
3	C-1	EXISTING CONDITIONS
4	C-2	SITE LAYOUT
5	C-3	SANITARY SEWER PLAN AND PROFILE
6	C-4	TREATED AND RAW WATER PLAN AND PROFILE
7	C-5	SITE GRADING
8	-	CITY OF CODY DETAILS

FOR CITY APPROVAL
06/2020



Know what's below.
Call before you dig.



APPROVED BY: _____
FRANCIS M. PAGE
Project Manager

APPROVED BY: _____
CODY LEGACY, LLC

APPROVED BY: _____
FRANK PAGE, PE
SENIOR ENGINEER

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VERIFY COLOR!
THIS SHEET IS INTENDED TO BE IN COLOR. RED, GREEN AND BLUE WILL BE VISIBLE IF REPRODUCED CORRECTLY.

Morrison Maierle engineers · surveyors · planners · scientists	
QUALITY ASSURANCE	
FRANCIS M. PAGE, P.E.	6/11/2020
PROJECT MANAGER	Q.A. APPROVAL DATE
THERESA GUNN, P.E.	20-14
OFFICE QUALITY ASSURANCE COORDINATOR	Q.A. PROJECT NUMBER
THERESA GUNN, P.E.	
PEER REVIEWER	

SET NO. _____
MORRISON-MAIERLE PROJECT NO. 6357.00201

GENERAL NOTES

A. GENERAL

1. ALL WORK SHALL COMPLY WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
2. ALL QUANTITIES ARE CONSIDERED APPROXIMATE.
3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE PRIOR TO BIDDING AND CONSTRUCTION.
4. THE CONTRACTOR SHALL NOTIFY THE CITY, EMERGENCY MEDICAL SERVICES, THE FIRE DEPARTMENT, LAW ENFORCEMENT, LOCAL MEDIA AND SCHOOLS TO ALL ROAD CLOSURES AND ALTERNATE ROUTES. IN ADDITION, THE CONTRACTOR SHALL ADVERTISE ROAD CLOSURES AT LEAST 48 HOURS IN THE LOCAL NEWSPAPER PRIOR TO ANY STREET CLOSURE.
5. LEGAL LOAD LIMIT REQUIREMENTS SHALL BE ENFORCED ON ALL STATE HIGHWAYS, CITY STREETS, AND COUNTY ROADS.
6. CONTRACTOR SHALL PROVIDE WATER FOR DUST CONTROL AND COMPACTION.
7. THE CONTRACTOR SHALL NOT USE WATER FROM FIRE HYDRANTS FOR ANY PURPOSE UNLESS PRIOR APPROVAL IS OBTAINED FROM THE CITY AND AN APPROVED BACKFLOW PREVENTION DEVICE WITH WATER METER IS USED.
8. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED IN ACCORDANCE WITH CITY OF CODY REGULATIONS.

B. RIGHT-OF-WAY AND SURVEY

1. ANY BENCH MARKS, SECTION CORNERS OR PROPERTY CORNERS DISTURBED BY THE CONTRACTOR SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF WYOMING, AT THE CONTRACTOR'S EXPENSE.
2. PROPERTY LINES ARE SHOWN BASED ON INFORMATION PROVIDED BY SURVEY AND/OR THE COUNTY ASSESSOR. THEIR TRUE LOCATIONS MAY NOT BE EXACTLY AS SHOWN ON THE DRAWINGS. MINOR ALIGNMENT ADJUSTMENTS MAY BE NEEDED IN THE FIELD.

C. TRAFFIC CONTROL

1. CONSTRUCTION SHALL NOT COMMENCE ON THE PROJECT UNTIL NECESSARY CONSTRUCTION WARNING SIGNS AND TRAFFIC CONTROL ARE IN PLACE AND APPROVED BY THE OWNER.
2. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR EACH ROAD CLOSURE TO BE APPROVED BY THE CITY OF CODY. ALL TRAFFIC CONTROL SHALL COMPLY WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. TWO-WAY TRAFFIC IS TO BE MAINTAINED AT ALL TIMES, UNLESS SPECIAL PERMISSION IS OBTAINED.

D. EXISTING UTILITIES

1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITH A 48-HOUR ADVANCE NOTICE AND DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE COMMENCING WORK. CONTRACTOR IS RESPONSIBLE FOR PROTECTING AND PROPERLY REPAIRING ANY DAMAGED UTILITIES.
2. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE BASED ON RECORDS OF UTILITY COMPANIES AND FIELD VERIFICATION BY THE UTILITY COMPANIES. FIELD VERIFICATION OF BURIED GAS, ELECTRIC, TELEPHONE, WATER, SEWER AND CABLE TV LINES ARE BY ELECTRONIC OR MAGNETIC DETECTION METHODS. ALL UTILITY LOCATIONS ARE SUBJECT TO THE ACCURACY OF THE LOCATION METHOD, AND SUBJECT TO RELOCATION FROM THE TIME THAT THE DRAWINGS WERE PREPARED. NO EXCAVATION OR POT-HOLING WAS PERFORMED.
3. NOT ALL UTILITIES ARE SHOWN IN THE STREET OR UTILITY PROFILE DRAWINGS.
4. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION, AND SHALL NOT BACKFILL UNTIL THE CONTRACTOR HAS MADE A RECORD OF ITS TYPE, SIZE AND LOCATION.

E. PROPOSED UTILITIES

1. ONLY CITY PERSONNEL SHALL OPERATE EXISTING WATERLINE VALVES UNLESS THE CITY GIVES PRIOR WRITTEN APPROVAL TO THE CONTRACTOR.
2. CONTRACTOR SHALL RESPECT ALL RIGHT-OF-WAY AND EASEMENT BOUNDARIES SHOWN. ALL WORK SHALL BE DONE WITHIN THESE BOUNDARIES. ANY WORK OUTSIDE OF THE RIGHT-OF-WAY OR EASEMENT SHALL ONLY BE DONE AFTER RECEIVING WRITTEN PERMISSION OF THE LANDOWNER. THIS PERMISSION SHALL BE OBTAINED BY THE CONTRACTOR.
3. PIPE JOINT DEFLECTIONS ARE NOT TO EXCEED MANUFACTURER'S REQUIREMENTS.
4. ADDITIONAL EXCAVATION IS TO BE USED TO KEEP WATER LINES ON GRADE PREVENTING HIGH POINTS IN THE LINE THAT ARE NOT SHOWN ON THE PLANS, AND TO AVOID JOINT DEFLECTIONS DUE TO LOCALIZED CHANGES OF LESS THAN 4- FEET IN THE GROUND SURFACE. JOINT DEFLECTIONS USED TO ACCOMMODATE SIGNIFICANT CHANGES IN TERRAIN OR TO AVOID BURIED OBSTACLES ARE TO BE MADE

PROPOSED UTILITIES CONTINUED

5. GRADUALLY OVER SEVERAL JOINTS, OR THROUGH MECHANICAL MEANS AS SHOWN ON THE PLANS OR AS APPROVED BY THE ENGINEER.
6. A MINIMUM COVER OF 6 FEET IS TO BE MAINTAINED OVER ALL WATER LINES UNLESS SHOWN OTHERWISE ON THE PLANS. WHERE THE ENGINEER AUTHORIZES A REDUCTION IN THE COVER, INSULATION OF THE PIPE IS TO BE INSTALLED.
7. WATER AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND WYOMING DEQ REGULATIONS AND POLICIES 13.9.11 AND 14.14.14.
8. LOCATIONS OF VALVES, HYDRANTS, SERVICE TAPS AND ACCESSORIES, TEST STATIONS, MANHOLES, VAULTS, AIR/VACUUM VALVES, FITTINGS, AND OTHER APPURTENANCES SHOWN ON THE DRAWINGS SHALL BE CONSIDERED APPROXIMATE FOR BIDDING PURPOSES. FINAL LOCATIONS MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.
9. ADDITIONAL HORIZONTAL DEFLECTIONS AT PIPE JOINTS AND FITTINGS BEYOND THOSE SHOWN ON THE DRAWING MAY BE NEEDED DURING CONSTRUCTION. THESE DEFLECTIONS SHALL NOT EXCEED MANUFACTURER'S REQUIREMENTS. THE PIPE CANNOT BE ALLOWED TO SHIFT IN LOCATION SIGNIFICANTLY SO ITS LOCATION IN THE EASEMENT WILL BE AFFECTED. SUCH DEFLECTIONS ARE TO BE APPROVED BY THE ENGINEER PRIOR TO BACKFILLING.
10. WHENEVER BURIED OBSTACLES ARE EXPECTED TO BE ENCOUNTERED NEAR A NEW WATER LINE INSTALLATION, THE CONTRACTOR SHALL EXCAVATE AHEAD, TO DETERMINE THE DEPTH AND LOCATION OF THE OBSTACLE. APPROPRIATE JOINT DEFLECTIONS ARE THEN TO BE MADE TO AVOID THE OBSTACLE.
11. CONTRACTOR SHALL ORIENT THE FIRE HYDRANT PUMPER NOZZLE TOWARD THE ROAD, OR AS DIRECTED BY THE ENGINEER.
12. ALL EXISTING WATER SYSTEMS SHALL REMAIN IN SERVICE DURING CONSTRUCTION OF THE NEW WATER SYSTEM UNLESS APPROVED TEMPORARY WATER SERVICE IS PROVIDED. CONTRACTOR SHALL REPAIR DAMAGED WATER SERVICES PROMPTLY. WATER MAY BE SHUT OFF TO ANY PROPERTY FOR A MAXIMUM OF 4 HOURS IN ANY 24-HOUR PERIOD. IF WATER IS SHUT OFF LONGER THAN 4 HOURS, THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER TO THE AFFECTED PROPERTIES. UNLESS OTHERWISE INDICATED, ALL NEW WATER SERVICE CURB STOPS SHALL BE LOCATED AT THE PROPERTY LINE, AND SHALL BE HOOKED UP TO EXISTING SERVICES.
- 12 CORROSION PROTECTION MEASURES ON ALL BURIED PIPE AND FITTING SHALL BE IN ACCORDANCE WITH CORROSION ZONE 2 REQUIREMENTS (PVC PIPE).
13. IF GROUNDWATER IS ENCOUNTERED IN WATER LINE TRENCH EXCAVATIONS WITHIN 100' OF HYDRANT LOCATIONS, WEEPLESS FIRE HYDRANTS SHALL BE PROVIDED.

F. SAFETY

1. GENERAL: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DESIGNING AND CONSTRUCTING STABLE, TEMPORARY EXCAVATIONS AND SHOULD SHORE, SLOPE, OR BENCH THE SIDES OF THE EXCAVATIONS AS REQUIRED TO MAINTAIN STABILITY OF BOTH THE EXCAVATION SIDES AND BOTTOM. ALL EXCAVATIONS SHOULD COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE CURRENT OSHA EXCAVATION AND TRENCH SAFETY STANDARDS. CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL ALSO BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCING OF CONSTRUCTION OPERATIONS.

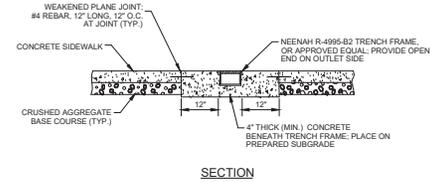
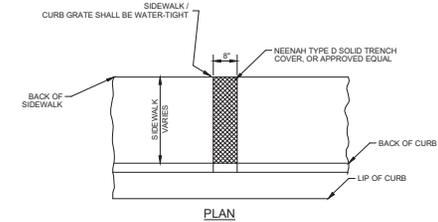
UNDER NO CIRCUMSTANCES SHOULD THE INFORMATION PROVIDED BE INTERPRETED TO MEAN THAT THE ENGINEER IS ASSUMING RESPONSIBILITY FOR CONSTRUCTION SITE SAFETY OR THE CONTRACTOR'S ACTIVITIES. SUCH RESPONSIBILITY IS NOT BEING IMPLIED AND SHALL NOT BE INFERRED.
2. EXCAVATION AND SLOPES: IN NO CASE SHOULD SLOPE HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING UTILITY TRENCH EXCAVATION DEPTH, EXCEED THOSE SPECIFIED IN LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS. SPECIFICALLY, THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926 SHOULD BE FOLLOWED. IT IS THE ENGINEER'S UNDERSTANDING THAT THESE REGULATIONS ARE BEING STRICTLY ENFORCED AND IF THEY ARE NOT CLOSELY FOLLOWED, THE CONTRACTOR COULD BE LIABLE FOR SUBSTANTIAL PENALTIES.
3. CONTRACTOR SHALL CLEARLY MARK AND/OR FENCE ALL OBSTRUCTION, EXCAVATIONS, CONSTRUCTION MATERIALS AND EQUIPMENT. THE PROJECT SUPERINTENDENT (OR A DESIGNATED REPRESENTATIVE) SHALL MONITOR THE PROJECT FOR SAFETY CONCERNS AND POTENTIAL HAZARDS AT ALL TIMES.

G. STREETS

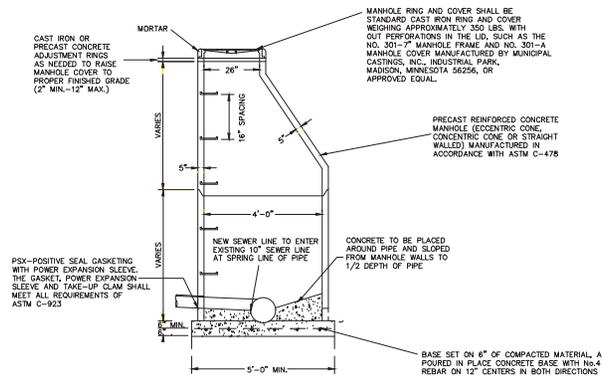
1. ALL CONCRETE CURBS AND GUTTER SHALL BE THOROUGHLY CLEANED OF EXISTING ASPHALT AND SEDIMENT PRIOR TO PAVING.
2. LOCATIONS AND LIMITS OF CONCRETE VALLEY GUTTERS, CURB TURNS; COMMERCIAL, RESIDENTIAL AND ALLEY APPROACHES; SIDEWALK, CURB AND GUTTER ARE SHOWN ON THE DRAWINGS AND SHALL BE CONSIDERED APPROXIMATE FOR BIDDING PURPOSES. FINAL LOCATIONS AND LIMITS MAY BE ADJUSTED IN THE FIELD BY THE ENGINEER.

H. RESTORATION

1. ALL AREAS OF DISTURBANCE SHALL BE RECLAIMED TO A CONDITION THAT IS EQUAL TO OR BETTER THAN THE ORIGINAL. TOPSOIL IS TO BE SALVAGED AND REPLACED.



SIDEWALK / CURB GRATE DETAIL



FOR CITY APPROVAL
06/2020

VERIFY SCALE!		REVISIONS			
NO.	DESCRIPTION	BY	DATE		

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PROFESSIONAL ENGINEER
FRANCIS M. WILSON
172626
WYOMING

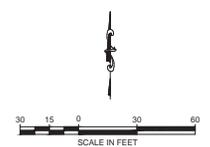
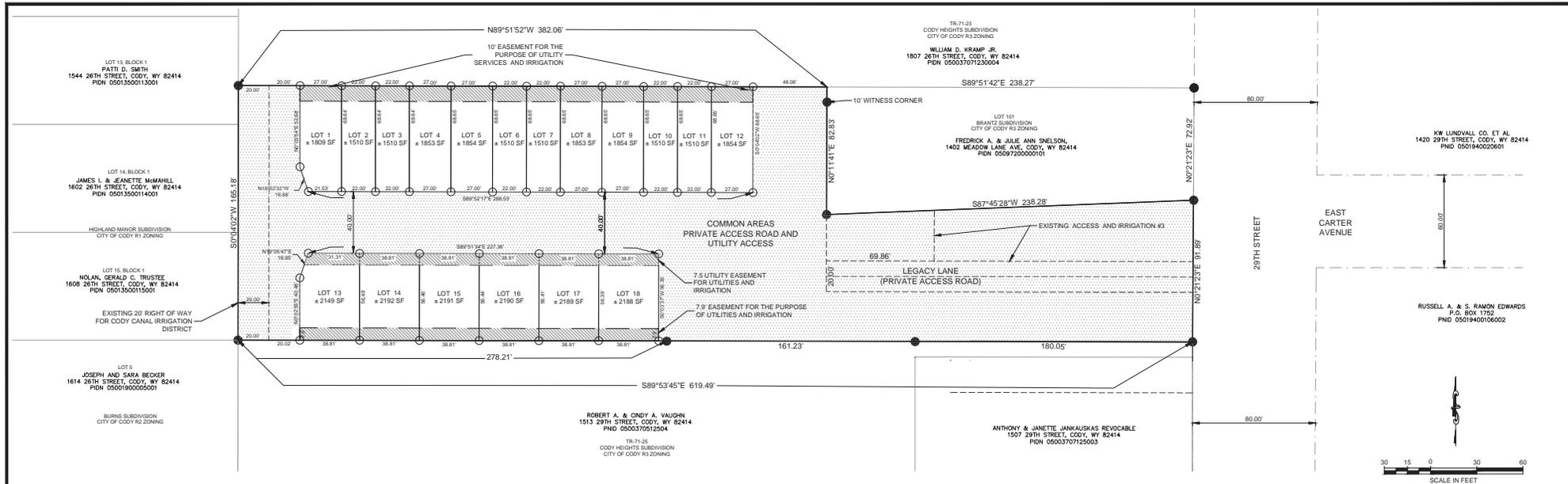
DRAWN BY: _____
DSGN. BY: ARR
APPR. BY: FMP
DATE: 06/2020
CODY
G.C. REVIEW BY: TAG
DATE: 06/2020

LEGACY ESTATES
PLANNED UNIT DEVELOPMENT

GENERAL NOTES
AND PROJECT NOTES

WYOMING

PROJECT NUMBER: 6357.00201
SHEET NUMBER: 1
DRAWING NUMBER: G-1



CERTIFICATE OF DEDICATION

STATE OF WYOMING } SS
 COUNTY OF PARK }
 KNOW ALL PERSONS BY THESE PRESENTS, THAT CODY LEGACY, L.L.C. IS THE OWNER OF LOT 102 OF THE BRANTZ SUBDIVISION, ACCORDING TO THE BOUNDARY LINE ADJUSTMENT SURVEY FOR THE BRANTZ SUBDIVISION, AS LOCATED IN BOOK "K" OF THE PLATS, PAGE 35, ACCORDING TO THE RECORDS OF THE COUNTY CLERK AND RECORDER OF PARK COUNTY, STATE OF WYOMING EXCEPTING THAT PORTION OF THE SUBJECT PROPERTY THAT MAY BE CONTAINED WITHIN 29TH STREET.

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS AS DESCRIBED IN THE WARRANTY DEED RECORDED AS DOCUMENT NO. 2020-2081; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED, AND THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.

AND WE HEREBY DEDICATED:

THE EASEMENTS WITHIN THE LOTS LABELED HEREON ARE DEDICATED TO THE USES SO NOTED;

THAT THE COMMON AREAS ARE DEDICATED EASEMENTS IN PERPETUITY FOR THE CITY OF CODY AND THE WYOMING DEPARTMENT OF ENVIRONMENTAL QUALITY PER STATUTE SS 6-3-414 AND (ii) FOR THE CONSTRUCTION, MAINTENANCE, INSPECTION, REPLACEMENT, AND REPAIR OF RAW WATER MAINS, TREATED WATER MAINS, SANITARY SEWER MAINS AND ELECTRICAL LINES AND THAT NO TREES SHALL BE PLANTED WITHIN 10 FEET OF THE CENTER LINE OF THE SANITARY SEWER MAIN.

AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

IN WITNESS WHEREOF, THE SAID OWNER, A CODY LEGACY, L.L.C., HAVE CAUSED THEIR NAMES TO BE HEREON SUBSCRIBED THIS _____ DAY OF _____, 2020 BY _____

BY: BRYAN EDWARDS, MEMBER COUNTY OF PARK } SS
 CODY LEGACY, L.L.C. BY: KELLIE EDWARDS, MEMBER/MANAGER COUNTY OF PARK }
 CODY LEGACY, L.L.C.

ACKNOWLEDGMENT:

STATE OF WYOMING } SS
 COUNTY OF PARK }
 THE FORGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2020 BY _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY REPUBLIC

MY COMMISSION EXPIRES: _____

APPROVALS

CITY PLANNING AND ZONING BOARD

APPROVED AS OF THE _____ DAY OF _____, 2020 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN _____

CITY COUNCIL APPROVAL

APPROVED AS OF THE _____ DAY OF _____, 2020 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL _____

ATTTEST: CINDY BAKER
 ADMINISTRATIVE SERVICES OFFICER

STATE OF WYOMING } SS
 COUNTY OF PARK }

THE FORGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2020 BY _____

WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY REPUBLIC

MY COMMISSION EXPIRES: _____

RECORDER'S ACCEPTANCE

COUNTY, WYOMING, AT _____ O'CLOCK _____ M. ON THE _____ DAY OF _____, 2020
 A.D., AND IS DULY RECORDED UNDER DOCUMENT NUMBER _____ IN PLAT CABINET _____ AT PAGE _____

PARK COUNTY CLERK _____

BY: _____
 DEPUTY

BUILDING SETBACKS

- GARAGE DOOR SETBACKS = 15.75' FROM LOT LINE (LOTS 1-12)
- = 17.5' FROM LOT LINE (LOTS 13-18)
- = 5' FROM LOT LINE OR AT COMMON WALLS
- SIDE SETBACKS = 10' FROM LOT LINE (LOTS 1-12)
- REAR SETBACKS = 7.5' FROM LOT LINE (LOTS 13-18)
- BUILDING HEIGHT NOT TO EXCEED TWO STORIES WITH BASEMENTS 30'

EASEMENTS OF RECORD

- RIGHT OF WAY OVER IRRIGATION LATERAL ARE AS ESTABLISHED BY THE FEDERAL RESERVATIONS FOR DITCHES ACT OF AUGUST 30, 1890 AND WYOMING STATE STATUTE 41-9-201.
- BLANKET EASEMENT FOR AN OIL PIPELINE GRANTED TO ILLINOIS PIPE LINE COMPANY AS RECORDED ON AUGUST 6, 1927, BOOK 67 PAGE 560 PARK COUNTY COUNTY CLERK AND RECORDERS OFFICE. (NOT FLOTTABLE)
- MUTUAL ACCESS AND IRRIGATION EASEMENT FOR A BURIED PIPELINE FOR THE USE AND BENEFIT OF LOT 101 AND 102 OF BRANTZ SUBDIVISION AS RECORDED ON MAY 6, 2019, DOCUMENT #2019-2173 PARK COUNTY CLERK AND RECORDERS OFFICE.
- PORTION OF IRRIGATION EASEMENT ON NORTH 15 FEET OF LOT 101 AS RECORDED ON MAY 6, 2019, DOCUMENT #2019-2173 VACATED ON MAY 21, 2020 DOCUMENT #2020-3050 PARK COUNTY CLERK AND RECORDERS OFFICE.
- OTHER PRIOR EASEMENTS ON THIS PROPERTY HAVE BEEN VACATED AND ARE NOT SHOWN ON THIS PLAT.

NOTES

- BEARINGS ARE BASED ON THE CITY OF CODY DATUM.
- AREA TO BE DEVELOPED IS ZONED R3 WITHIN THE CITY OF CODY.
- THE TOTAL ACREAGE OF THE LEGACY ESTATES PLANNED UNIT DEVELOPMENT IS ±1.82 ACRES (81909 SQUARE FEET).
- THE TOTAL COMMON AREAS ARE ±50,522 SQUARE FEET.
- LEGACY LANE WILL BE A PRIVATE ACCESS ROAD.
- THERE ARE NO DESIGNATED FLOOD AREAS ON THE PROPOSED SITE.
- THERE SHALL BE NO ON STREET PARKING ALONG LEGACY LANE.

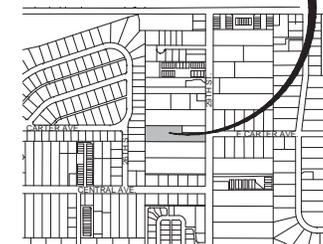
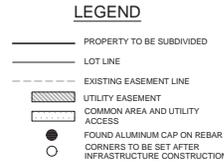
CERTIFICATE OF SURVEYOR

STATE OF WYOMING } SS
 COUNTY OF PARK }
 I, RUSSELL B. BLOUGH, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF WYOMING BY REGISTRATION NUMBER 10014 HEREBY CERTIFY:
 THAT ON JULY 05, 2020, THE LEGACY ESTATES PLANNED UNIT DEVELOPMENT SHOWN HEREON WAS SURVEYED UNDER MY DIRECTION.
 THAT THE LAND SURVEYED IS CORRECTLY DESCRIBED IN THE OWNER'S CERTIFICATE OF DEDICATION, AND THIS PLAT ACCURATELY SHOWS THE CORRECT LOCATION AND DIMENSIONS OF SAID SUBDIVISION.
 THAT THE REQUIREMENTS OF W.S. 38-11-101 THROUGH 38-11-110 WERE COMPLIED WITH AND MONUMENTS AND LOT CORNERS SHOWN AND DESCRIBED HEREON WERE ACTUALLY SET.
 THAT ALL ELEMENTS OF THE SURVEY CLOSE TO AN ACCURACY OF ONE PART IN FIVE THOUSAND OR BETTER AND DIMENSIONS ARE GIVEN IN FEET AND DECIMALS OF A FOOT. ANY SURPLUS OR DEFICIENCY IS DISTRIBUTED UNIFORMLY IN PROPORTION TO THE MEASUREMENTS SHOWN ON THIS PLAT.
 THAT THE CITY OF CODY DATUM, WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM AND 83WS WEST CENTRAL ZONE WAS USED AS THE BASIS OF BEARINGS FOR ALL BEARINGS SURVEYED AND SHOWN ON THIS PLAT.

WYOMING L.S. REGISTRATION NO. 10014
 RUSSELL B. BLOUGH
 BY: RUSSELL B. BLOUGH (AGENT)



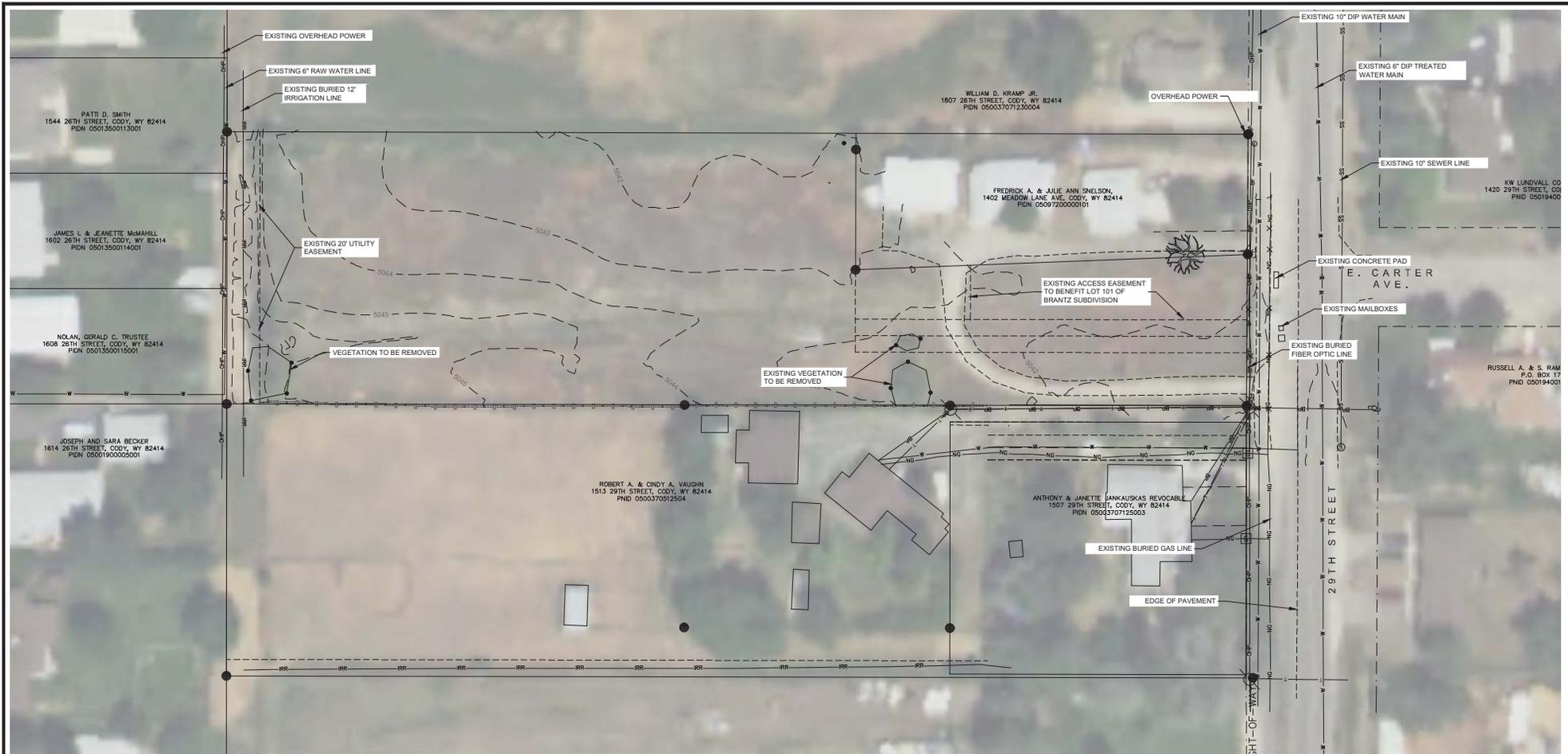
PROJECT LOCATION



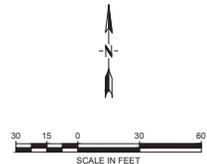
**LEGACY ESTATES
 PLANNED UNIT DEVELOPMENT
 FINAL PLAT**

A PLANNED UNIT DEVELOPMENT WITHIN LOT 102 OF THE BRANTZ SUBDIVISION BOUNDARY LINE ADJUSTMENT, TOWNSHIP 53 NORTH, RANGE 101 WEST, 6TH P.M.. (RESURVEY), WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING

Morrison Maierle 4425 Sandstone Avenue Cody, WY 82414 Phone: 307.587.6288 www.m-m.com		1/4 SEC.	SECTION	TOWNSHIP	RANGE
DATE: 06/19/2020 DRAWN BY: ARR CHECKED BY: RBB		6TH PRINCIPAL MERIDIAN	53	101	
SCALE: 1/30 PROJ. #: 5387-00201		PARK COUNTY, WYOMING			
PLOTTED DATE: Jun19/2020 CLIENT: CODY LEGACY INN, LLC		PLOTTED BY: Justin Reed			
DRAWING NAME: J:\5387-Brantz-Edwards\0001-Edwards 20th Street Development\ACAD\Survey\002-01_Plat_800.dwg		SHEET _____ OF _____			



- GENERAL NOTES**
- CONTROL BASED ON CITY OF CODY DATUM
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BEFORE EXCAVATION



FOR CITY APPROVAL
06/2020

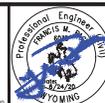
VERIFY SCALE:		REVISIONS		
NO.	DESCRIPTION	BY	DATE	

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DSGN BY: ARR
APPR BY: FMP
DATE: 06/2020
Q.C. REVIEW BY: TAG
DATE: 06/2020

CODY

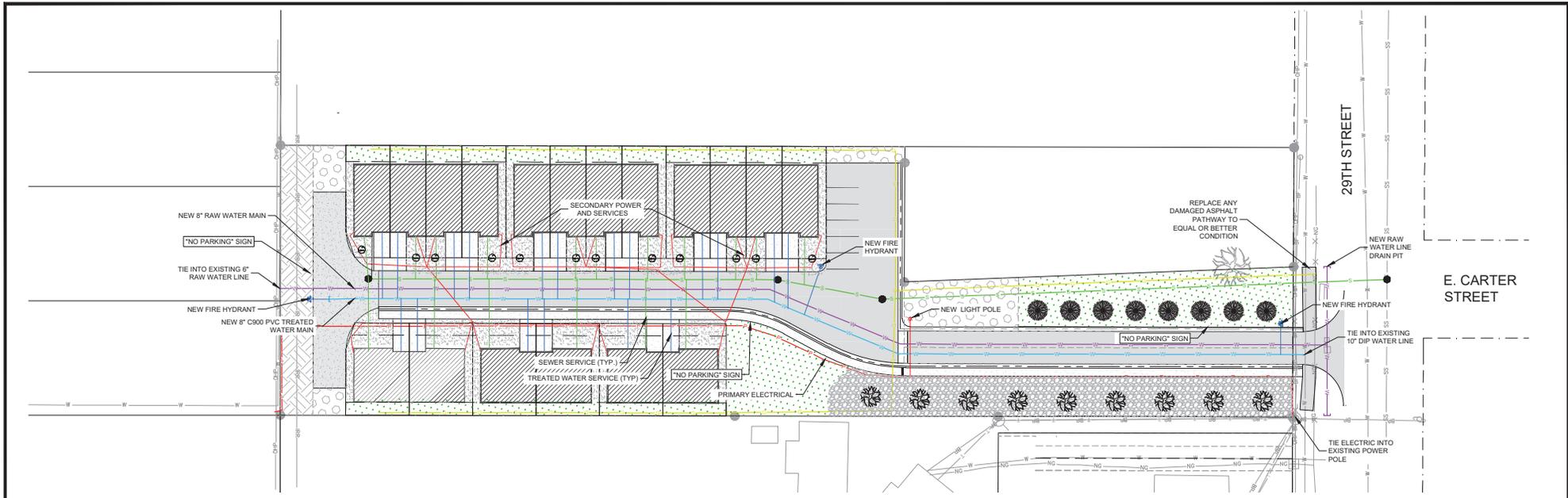
LEGACY ESTATES
PLANNED UNIT DEVELOPMENT

WYOMING

PROJECT NUMBER
6357.00201
SHEET NUMBER
3

DRAWING NUMBER
C-1

EXISTING CONDITIONS



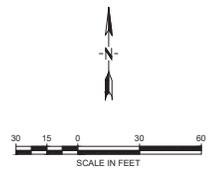
NO PARKING SIGN DETAIL

GENERAL NOTES

1. GRASS AREAS TO BE IRRIGATED BY CITY OF CODY RAW WATER VIA AN AUTOMATIC SPRINKLER SYSTEM MAINTAINED BY THE HOME OWNERS ASSOCIATION.
2. COMMON AREAS SHALL CONSIST OF ALL AREA THAT ARE NOT ROADWAYS OR PARKING AREAS OUTSIDE OF THE PROPOSED LOTS AS DESCRIBED IN CHAPTER 11-7-5-B OF THE CITY OF CODY SUBDIVISION REGULATIONS.
3. LANDSCAPE DESIGN AND LAYOUT BY BRYAN EDWARDS
4. NO TREES SHALL BE PLANTED WITHIN 10 FEET OF PROPOSED OR EXISTING SEWER LINES
5. ELECTRICAL CONDUIT TO BE PLACED BY CONTRACTOR. PRIMARY POWER TO BE 4" SCHEDULE 40 PVC.

LEGEND

- BUILDING FOOTPRINT
- GRAVEL
- GRASS
- RIVER ROCK 1/4"
- LANDSCAPE ROCK 1/2"
- EXISTING GROUND
- PAVEMENT
- CONCRETE SIDEWALK / CURB CUTTER/DRIVEWAY
- ASPEN TREE (POPULUS TREMULOIDES)
- BLUE SPRUCE (PICEA PUNGENS)
- CRAB APPLE TREES (MALUS SYVESTRIS)



FOR CITY APPROVAL
06/2020

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NO.	DESCRIPTION	BY	DATE

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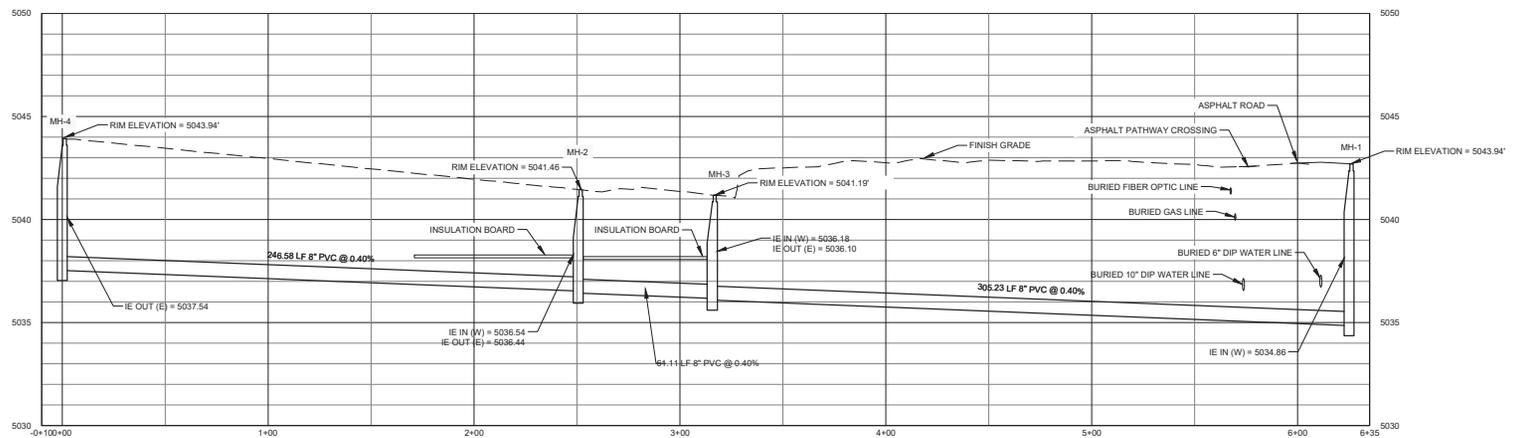
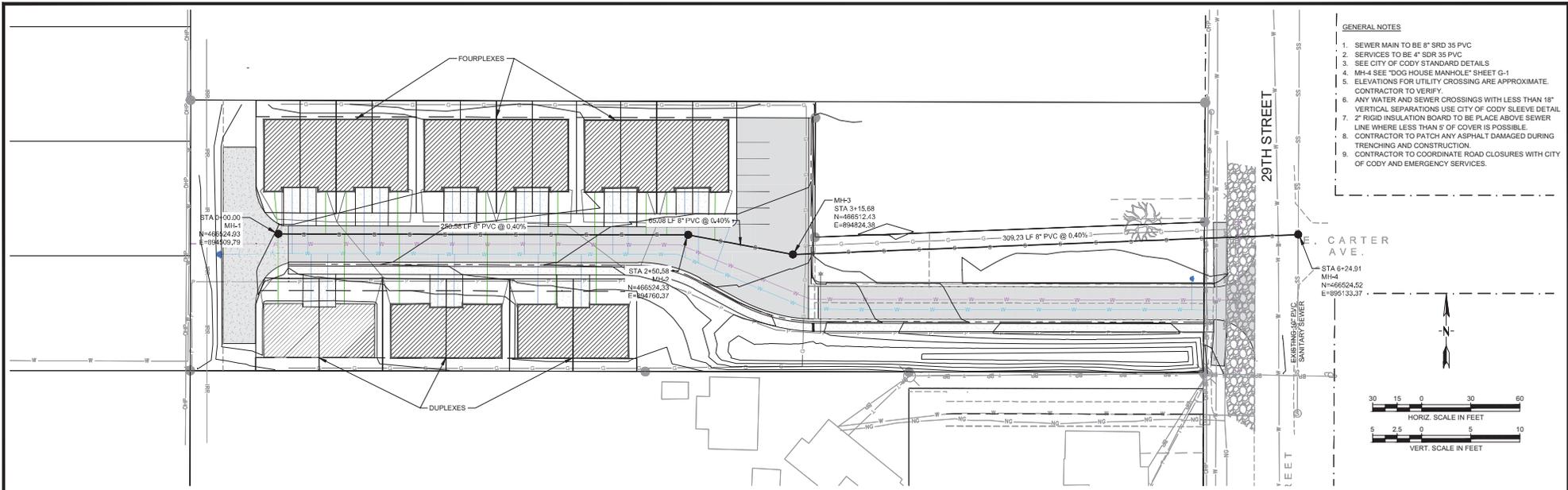
PROFESSIONAL ENGINEER
FRANCIS M. EDWARDS
4724260
WYOMING

DESIGN BY: ARR	DATE: 05/2020
APPR BY: FMP	DATE: 05/2020
BY: TAG	DATE: 05/2020

CODY	LEGACY ESTATE PLANNED UNIT DEVELOPMENT	WYOMING	PROJECT NUMBER 6357.00201
	SITE LAYOUT		SHEET NUMBER 4
			DRAWING NUMBER C-2

6357 BRYAN EDWARDS\00201 EDWARDS 29TH STREET DEVELOPMENT\ACAD\SHEETS\CONSTRUCTION PLAN\4 SITE LAYOUT.DWG PLOTTED BY RUSTY BLOUGH ON

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PROPOSED SANITARY SEWER

FOR CITY APPROVAL
06/2020

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DRAWN BY: ARR
 DSGN. BY: ARR
 APPR. BY: FMP
 DATE: 06/2020
 Q.C. REVIEW BY: TAG
 DATE: 06/2020

CODY

LEGACY ESTATES
PLANNED UNIT DEVELOPMENT

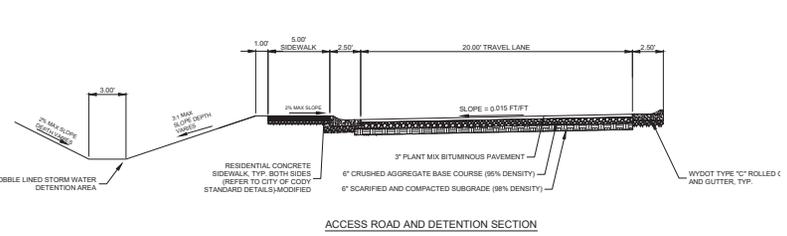
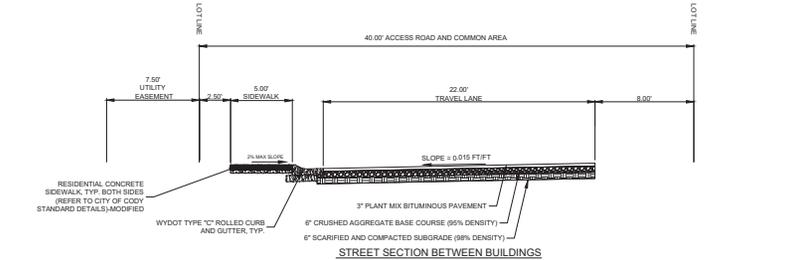
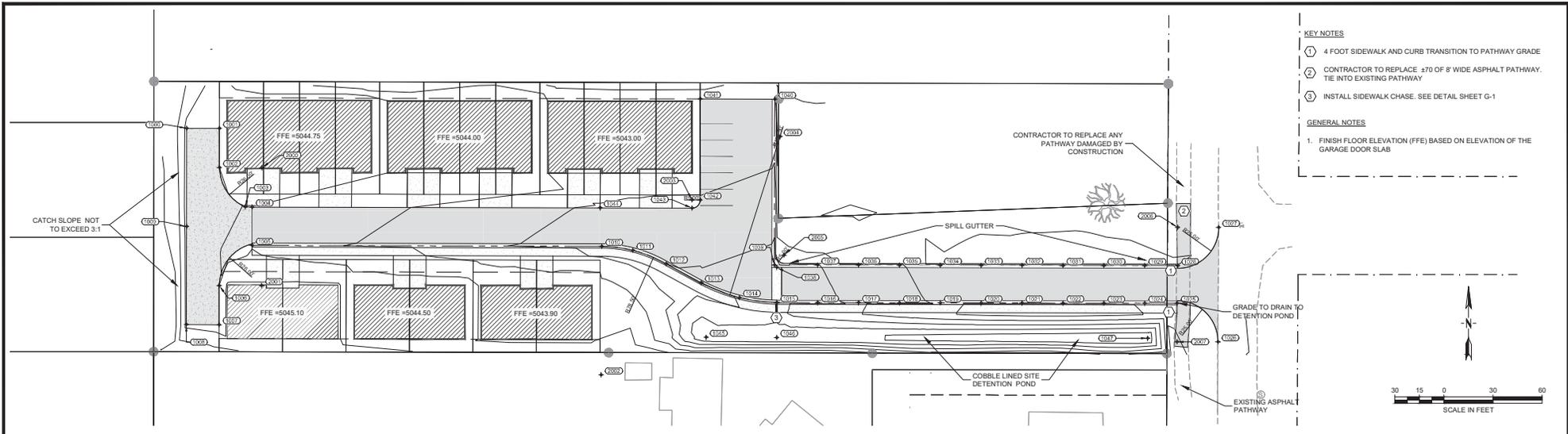
WYOMING

SANITARY SEWER
PLAN AND PROFILE

PROJECT NUMBER: 6357.00201
 SHEET NUMBER: 5
 DRAWING NUMBER: C-3

6357 BRYAN EDWARDS 00201 EDWARDS 29TH STREET DEVELOPMENT ACAD SHEETS CONSTRUCTION PLAN 14 SANITARY SEWER PLAN AND PROFILE DWG PLOTTED

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POINT TABLE			
PNT. #	NORTHING	EASTING	DESC.
1000	466578.00	894476.09	FG
1001	466577.96	894496.10	FG
1002	466553.92	894496.07	FG
1003	466529.92	894511.99	FG
1004	466529.91	894516.04	FG
1005	466506.41	894516.04	FG
1006	466481.93	894495.98	FG
1007	466457.97	894495.95	FG
1008	466458.01	894475.95	FG
1009	466518.01	894476.02	FG
1010	466505.89	894729.88	FG
1011	466503.48	894749.00	FG
1012	466495.16	894769.40	FG
1013	466483.62	894790.79	FG
1014	466474.57	894814.04	FG
1015	466471.48	894836.85	FG
1016	466471.44	894861.85	FG
1017	466471.39	894886.85	FG
1018	466471.34	894911.85	FG
1019	466471.29	894936.85	FG

POINT TABLE			
PNT. #	NORTHING	EASTING	DESC.
1020	466471.25	894961.85	FG
1021	466471.20	894986.85	FG
1022	466471.15	895011.85	FG
1023	466471.10	895036.85	FG
1024	466471.06	895061.85	FG
1025	466471.02	895086.85	FG
1026	466447.53	895106.64	FG
1027	466517.37	895107.06	FG
1028	466494.02	895082.02	FG
1029	466494.06	895061.90	FG
1030	466494.10	895036.90	FG
1031	466494.15	895011.90	FG
1032	466494.20	894986.90	FG
1033	466494.25	894961.90	FG
1034	466494.29	894936.90	FG
1035	466494.34	894911.90	FG
1036	466494.39	894886.90	FG
1037	466494.44	894861.90	FG
1038	466492.98	894836.91	FG
1039	466494.47	894835.47	FG

POINT TABLE			
PNT. #	NORTHING	EASTING	DESC.
1040	466595.81	894835.63	FG
1041	466595.91	894790.13	FG
1042	466534.27	894790.05	FG
1043	466529.27	894785.04	FG
1044	466529.41	894728.98	FG
1045	466450.30	894793.81	FG
1046	466450.20	894836.85	FG
1047	466449.69	895063.81	FG

POINT TABLE			
PNT. #	NORTHING	EASTING	DESC.
2000	466553.89	894522.07	26' RADIUS
2001	466481.90	894521.98	26' RADIUS
2002	466427.39	894729.61	78.5' RADIUS
2003	466534.27	894785.05	5' RADIUS
2004	466572.96	894838.97	101.5' RADIUS
2005	466500.46	894841.37	5' RADIUS
2006	466517.52	895082.06	25' RADIUS
2007	466447.52	895081.64	25' RADIUS

FOR CITY APPROVAL
06/2020

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PROFESSIONAL ENGINEER
STATE OF WYOMING
NO. 1000
70 M.M.D.

DESIGN BY: ARR
APPR BY: FMP
DATE: 06/2020

Q.C. REVIEW BY: TAG
DATE: 06/2020

CODY

LEGACY ESTATES
PLANNED UNIT DEVELOPMENT

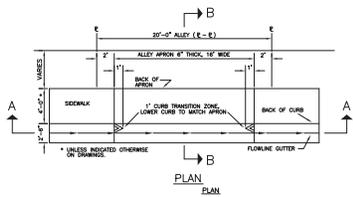
WYOMING

SITE GRADING

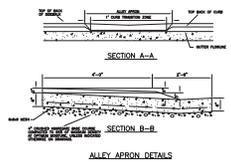
PROJECT NUMBER
6357.00201

SHEET NUMBER
7

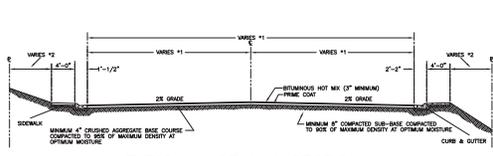
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C-5



PLAN

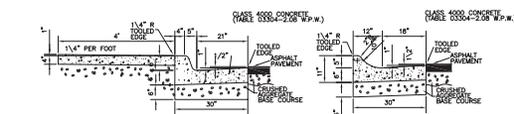


ALLEY APRON DETAILS



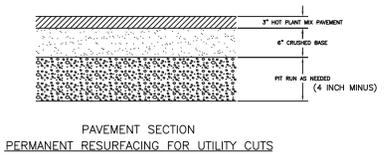
TYPICAL HOT MIX SECTION

SPECIAL NOTE
THE ABOVE SHOWN TYPICAL STREET SECTIONS ARE TO BE CONSIDERED MINIMUM REQUIREMENTS. ALL STREETS WILL BE DESIGNED IN ACCORDANCE WITH ADOPTED ENGINEERING DESIGN PROCEDURES WITH EAR DESIGN BEING APPROVED BY THE CITY ENGINEER.

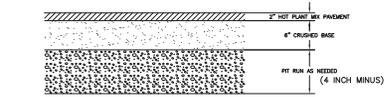


TYPICAL VALLEY GUTTER SECTION

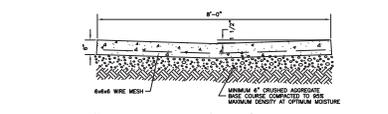
NOTE 1: SUBGRADE COMPACTION SHALL CONFORM TO 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 1001.
NOTE 2: ALL CURBS SHALL BE CONSTRUCTED WITH 4" MIN. 100% COMPACTED 3/4" MAX. SIZE GRANULAR FILL.
NOTE 3: ALL CURBS SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE CITY ENGINEER.
NOTE 4: ALL CURBS SHALL BE PLACED WITH A 1" TOLERANCE.
NOTE 5: ALL CURBS SHALL BE PLACED WITH A 1" TOLERANCE.
NOTE 6: ALL CURBS SHALL BE PLACED WITH A 1" TOLERANCE.



PAVEMENT SECTION PERMANENT RESURFACING FOR UTILITY CUTS



PAVEMENT SECTION TEMPORARY RESURFACING FOR UTILITY CUTS



TYPICAL VALLEY GUTTER SECTION

NOTE: REINFORCED CONCRETE OF 40 MPA OR 15' ON EACH SIDE MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.

CODE MATERIAL SPECIFICATIONS

1. ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO T-99.
2. CRUSHED BASE COURSE
 - A. THE MATERIAL PRODUCED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGHSIDE TO THE LOWSIDE BY MORE THAN 1%.
 - B. THE PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE.
 - C. THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0. CENTER OF THE LIQUID LIMIT SHALL BE WITHIN THE RANGE OF 1-11.
 - D. ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27 & T-111.

SIEVE	% PASSING
1 1/2"	100
1"	80-85
3/4"	60-65
NO. 4	35-40
NO. 200	3-10

3. AGGREGATE FOR HOT PLANT PAVEMENT MIXTURES SHALL BE IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT RECOMMENDATION - BEST COST.
 - A. FOR COMPACTION PURPOSES 1/2" OR LESS, USE WOTITE 1/2" WITH MAXIMUM AGGREGATE.
 - B. FOR COMPACTION PURPOSES GREATER THAN 1/2" USE WOTITE 1/2" WITH MAXIMUM AGGREGATE FOR FIRST LIFT. SECOND LIFT SHALL BE A MINIMUM COMPACTION THICKNESS OF 1 1/2" INCHES. 1/2"-INCH MAXIMUM AGGREGATE.
 - C. FEDERAL STATES: FINELY GRADDED PARTICLES OF LIME, FINEST FINE LINE OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER.
4. FORMER A CUT-BACK LIQUID ASPHALT OF THE MEDIAN CURING TYPE, GRADE 2-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027. BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY.
5. TACK COAT: A CRACKING SLOW SET EMULSION ASPHALT MIXED WITH A N EQUAN AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D544. OTHER GRADES OF QUALIFIED ASPHALT WILL BE CONSIDERED UPON WRITTEN APPROVAL OF THE CITY ENGINEER.
6. MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF A MS-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK.
 - A. MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

GRADE	MINIMUM	MAXIMUM
10M	100	15
15M	100	15
20M	100	15
 - B. MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

GRADE	MINIMUM	MAXIMUM
10M	100	15
15M	100	15
20M	100	15

7. CONCRETE SPECIFICATIONS
 - A. CEMENT SHALL BE PORTLAND CEMENT, TYPE I CONFORMING TO THE REQUIREMENTS OF ASTM C-150.
 - B. IF SPECIAL CONDITIONS WARRANT TO THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE CITY ENGINEER.
 - C. AGGREGATE GENERAL: - GRADUALLY GRADUATED, CLEAN, FREE OF ORGANIC OR OTHER HARMFUL MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF FAULTS OR CONTAMINANTS.
 - D. FINE AGGREGATE
 - 1) THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES:

FLY ASH	15
COAL AND LIGNITE	0.25
CLAY	0.25
OTHER DELETERIOUS SUBSTANCES	2.05
 - 2) WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES ROTARY METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%.
 - 3) THE FINE AGGREGATE SHALL BE FREE FROM EXCESSIVE AMOUNTS OF ORGANIC IMPURITIES.
 - E. COARSE AGGREGATE
 - 1) THE MAXIMUM PERCENTAGES OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES:

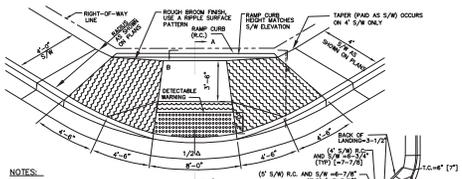
FLY ASH	15
COAL AND LIGNITE	0.25
OTHER DELETERIOUS SUBSTANCES	2.05
 - 2) THE COARSE AGGREGATE SHALL BE GRADUATED TO FINE MEETING THE FOLLOWING GRADATION:

SIEVE	% PASSING
1 1/2"	100
1"	80-100
3/4"	60-80
NO. 4	35-40
NO. 200	3-10
 - 3) THE AGGREGATE SHALL BE GRADUATED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

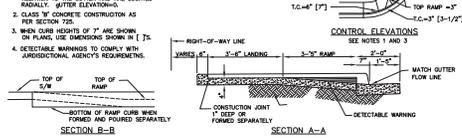
SIEVE	% PASSING
1 1/2"	100
1"	80-100
3/4"	60-80
NO. 4	35-40
NO. 200	3-10

8. GENERAL - ALL WORK ASSOCIATED WITH THE DETAILS SHOWN ON THIS PAGE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WYOMING STANDARD SPECIFICATIONS UNLESS OTHER SPECIFICATIONS ARE PROVIDED IN THE PROJECT MANUAL.
 - A. ALL WORK ASSOCIATED WITH THE DETAILS SHOWN ON THIS PAGE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WYOMING STANDARD SPECIFICATIONS UNLESS OTHER SPECIFICATIONS ARE PROVIDED IN THE PROJECT MANUAL.

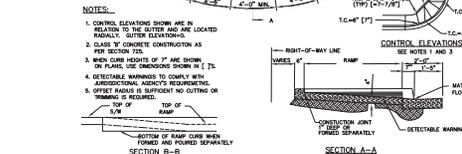
NOTE: ALL DETAILS NOT TO SCALE



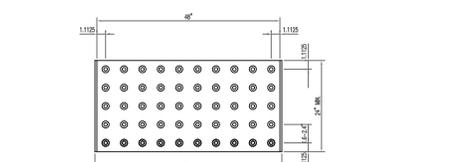
CONTROL ELEVATIONS



SECTION A-A SECTION B-B

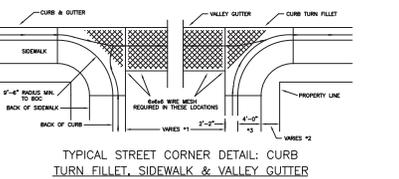


SECTION A-A SECTION B-B

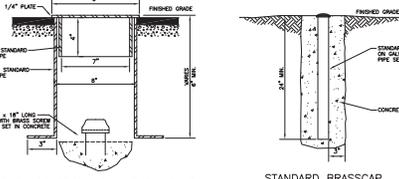


GENERAL NOTES

1. PLACE TOLERATED DOME DETECTABLE WARNING PANELS AT THE BASE OF CURB RAMP. PANELS ACROSS FULL WIDTH OF RAMP A MINIMUM 6" (150mm) IN DEPTH AND SET BACK 300mm (12") FROM BOTTOM OF CURB.
2. SIDEWALK CURB RAMP SLOPES SHOWN ARE RELATIVE TO THE TRUE LEVEL HORIZON (GRID BARRIERS).
3. IN ALTERNATIVE CURB RAMP SLOPES MAY BE USED FOR A MAXIMUM RISE OF 150mm (6") OR 12.5% FOR MAXIMUM RISE OF 75mm (3"). CURB RAMP, IN ALTERNATIVE, NEED NOT EXCEED 1.5m (5'-0") IN LENGTH.
4. SIDE FIELDS THAT ARE NOT PART OF THE PATH OF TRAFFIC MAY BE ANY SLOPE.
5. FOR THE PURPOSES OF THIS DRAWING, A CURB RAMP IS CONSIDERED "PERPENDICULAR" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 90 DEGREES OR GREATER.
6. TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
7. SIDEWALK FLEAS ARE NOT NECESSARY WHERE THE RAMP IS PROTECTED FROM PEDESTRIAN CROSS-TRAFFIC.
8. THICKEN CONCRETE UNDER DETECTABLE WARNING PANELS.
9. IN FREEZE THAW ZONES, LEAVE 1/16" GAP IN BETWEEN PANELS AND SEAL WITH SIKAFLEX 1A SEALANT.



TYPICAL STREET CORNER DETAIL: CURB TURN FILLET, SIDEWALK & VALLEY GUTTER



SURVEY CONTROL MONUMENT WITH BOX STANDARD BRASSCAP

CALL 1-800-849-2476
48 HOURS BEFORE YOU DIG



HENNINGSON
AUTOCAD-DRAWING

DRAWN BY: ULD
CHECKED BY: SWP
JOB NAME: STREET STANDARD DETAIL
FILE NAME: H:\ENGINEERING\AUTOCAD-DRAWING\STREET STANDARD DETAIL.dwg
DATE: 1/11/2015
TIME: 10:11:11 AM

STANDARD STREET DETAIL SHEET
SHEET 4 OF 4

Appendix C

Statement Regarding Water Rights

July 9, 2020

Todd Stowell, AICP
City of Cody
1338 Rumsey Avenue
Cody, WY 82414

Subject: Water Rights Statement - Legacy Estates Planned Unit Development

Dear Mr. Todd Stowell:

This proposed Plan Unit Development is located entirely within lot 102 of the Boundary Line Adjustment for Brantz Subdivision and is located on the West side of 29th Street just south of the intersection with East Carter Avenue. This lot has adjudicated water rights through the Louisa M. Cody Appropriation with a priority date of August 7, 1895. After the approval of the final plat, a petition for change of use from irrigation to miscellaneous use and a change in means of conveyance will be filed with the State Engineers Office. This petition will change covert any water right currently held by the property to the City of Cody and will change the allowable distribution method from irrigation ditches to the City of Cody's Raw water System.

The State Engineers Office has been contacted regarding this project and the Board will entertain the change of use petition after determining the historic use of the property.

"I consulted with the Division III superintendent and it appears that this parcel has recent historic use, so a petition to change the use may be entertained by the Board. Please be aware the historic use will be reviewed by the Board as a whole, too. A change of use petition must be accompanied by a Consumptive Use Report and a map showing the area to be taken out of production as well as a recording fee of \$50 per affected appropriation." - **Karyl Tully, State Engineers office**

The City of Cody's Development code requires that the Water Rights be transferred to the City with a municipal classification. The State Engineers office has indicated they will only entertain the change if the water rights are transferred as miscellaneous category.

"Your email indicated the intent is to change the use to Municipal and use the changed water in Cody's Raw Water System. Because the raw water system is not intended for human consumption, the board feels Municipal is not an accurate designation. If the intent is to put this water into the raw water system, the board would prefer the beneficial use be changed to Miscellaneous." - **Karyl Tully, State Engineers office**

We create solutions that build better communities.

Thank you in advance for your assistance.

Sincerely,
Morrison-Maierle



Austin Reed, EI, LSI
Engineer Intern

Appendix D

Homeowners Association By-Laws and Covenants

By-Laws of the Legacy Estates Homeowners Association

These By-Laws; are adopted by Cody Legacy LLC, a Wyoming limited liability company, as the owner of all the lots within the Legacy Estates Subdivision, are adopted with the intent to bind all future lot owners, and to provide a framework upon which such owners may pursue the purposes set forth herein.

In the event of a conflict between the provisions of these By-Laws and the ordinances, or regulations adopted by the City of Cody, Wy, the ordinances and regulations of the City of Cody, Wy shall control. These By-Laws shall be in addition to, and not in-lieu of, any and all ordinances and regulations imposed by the City of Cody, Wy. Nothing in these By-Laws shall be construed to constitute a waiver of compliance with any City of Cody, Wy ordinances or regulations. All grantees of property governed by these By-Laws shall abide by and be governed by the ordinances and regulations of the City of Cody, Wy.

Definitions

“Owner” shall mean and refer to the recorded owner(s), whether one or more persons or entities of a fee simple title to any note which is part of the Legacy Estates Subdivision; including contract sellers, but excluding those having such interest merely as security for the performance of an obligation.

“Tenant” shall mean and refer to the lessor, of a lot from the “Owner”. Same rules apply to Tenant, as from Owner, described herein, in cases of a communication representative to and from HOA, a voting tenant must have writing authorization from Owner, as described herein.

“Common Area” shall mean all portion of the Legacy Estates Subdivision including improvements thereto, owned by the HOA for the common use and enjoyment of all the lot owners. The Common Area to be owned by the HOA at the time of the conveyance of the first lot is described as all the area of the platted subdivision, that are not designated as lots for any building which will be individually owned, including the private street, sidewalk, parking ares, lawns, and easements throughout, etc.

“Lot” shall mean and refer to any individual plat of land shown upon any recorded plat with the exception of the Common Area, described herein.

“Declarant” shall mean and refer to Cody Legacy LLC, partners, successors, and assigns.

“Spokesperson” shall mean and refer to the Lot Owner, or representative of any 1 “one” lot, for purposes of voting, billing, and all communications to and from the HOA, Manager, or other Subdivision representative. When multiple individuals are ‘Owners” of any 1 “one” lot, that group of owners shall appoint 1 “one” person to be spokesperson for the group, as this pertains to

vote, or communications with the HOA, created herein. The person shall notify the Manager of the HOA, in writing to the identity, and all contact information for the spokesperson.

Article 1- Purpose

The purposes for which the HOA is organized are:

- A. Maintenance, and organizational control of the common areas, including trees, lawn, fencing and rocks, irrigation lines, street, curb, gutter, sidewalk, easements, utility main lines, including irrigation, sewer, treated and raw water, phone, cable, other cable to the lot lines, and electric transmission lines to the transformer, or meter whichever is most suitable for the HOA.
- B. To provide liability insurance for Common areas, and any building(s), or Lot(s) Owned by the Subdivision.
- C. Enforcement of the Declaration and Restrictive and Protective Covenants.
- D. In General to do everything necessary, proper or advisable for the accomplishment of the purposes set forth herein, including paying bills, and collecting dues, and fees, as described herein.
- E. To coordinate with the Subdivision Land Owner, Cody Legacy LLC, as it pertains to any purpose described herein.

Article 2- Membership and Voting Rights

- A. Membership Eligibility: Each Lot within the Subdivision shall represent one membership even if a lot is owned by more than one person or entity, herein described as "Member, or Spokesperson".
- B. Voting Authority: Each present and future owner(s) of record, of each Lot shall have the collective authority as a Member to cast one vote per Lot, by the approved Spokesperson. In the event the Owner of record shall agree to sell their Lot(s) under contract for deed, voting authority shall automatically transfer to the purchaser upon recording of the Deed with the Park County Clerk and Recorder. Each Member shall file a contact form with the Manager including Owner Name, Tenant (if applicable), Mailing address, Email address, Phone numbers, and Lot Number to which they can show ownership. Manager shall keep these forms in a convenient location, in case of emergency. If the information on this form changes, it is the sole responsibility of the Lot Owner, or Tenant to notify the Manager.
- C. Assignment: An Owner of record may assign their membership to 1 "one" tenant occupying their lot in the subdivision. Such assignment to be effective must be filed with, and approved by the Manager of the HOA, and will be effective unless the owner of record file a written revocation with the Manager of the HOA, or the assignment agreement determines otherwise.

Article 3- Meeting of Members

- A. Annual Meeting: An annual meeting of the members of the HOA shall be held on the second Monday of March, and each following year beginning with the first year the Declarant organizes the HOA, at a time to be notified by Manager.
- B. Special Meeting; In addition to the annual meeting, special meeting(s) of the members may be held at such time as shall be determined by the majority vote of the officers, or upon petition signed by not less than fifty percent (50%) of the member's having valid voting rights, or by Manager notice. Manager shall give written notice, and no business shall be transacted at any special meeting, except as stated in the notice.
- C. Location of Meeting: Meetings of the HOA shall be held at such place, suitable for the members, as designated by the Manager.
- D. Notice of Meeting: It shall be one of the duties of the Manager to mail, email, or hand deliver, a notice of any meeting. Notice shall include purpose, location, Date, and Time. Notice shall be given to all voting Members, at least 5 days prior to any meeting. If mailed such notice shall be, addressed as noted on the contact form given to the Manager, deemed to have been delivered when deposited at the US Post Office with proper postage. If emailed such notice shall be sent to the address as noted on the contact form given to the Manager, deemed to have been delivered when sent.
- E. Waiver of Notice: A written waiver of notice signed by a member, whether before or after a meeting, shall be equivalent to the giving of such notice. Attendance of a member at a meeting shall constitute a waiver of notice.
- F. Quorum: Fifty percent (50%) of members represented either in person, phone, video, proxy, other technology as available for communication, shall constitute a quorum for the transaction of business. If the required quorum is not present, another meeting may be called, subject to the same notice requirements, but may include a lower quorum representation requirement, as determined by the Manager.
- G. Proxy Voting: At any duly called meeting, a member entitled to vote may vote by proxy, provided that the said notice of proxy is executed in writing, delivered to the Manager at least 48 hours prior to the Date, signed by the Voting Member, Naming the Proxy Voter, and providing contact information for the Proxy voter. If the Proxy is to be used on more than one occurrence said written notice must include a start, and finish date.
- H. Manner of Acceptance: A majority vote, of all eligible voters, as described herein, at a meeting with a quorum present, shall be necessary to adopt any matter for which the meeting has been called, unless otherwise required by these By-Laws.

- I. Record of Meeting: At every meeting, the acting Treasurer shall record as much information as necessary to provide an accurate recording of the proceedings, including members present, votes (for and against), and relevant discussion.

Article 4- Officers

- A. Election and Term: The officers shall include a President, Vice-President, Secretary, and Treasurer. Officers shall be elected by the Members, that are in good standing, at a duly notified Meeting. Each officer shall serve until a successor is duly elected, removed by vote, or resignation. One Member can serve as officer in multiple positions, however no more than three positions, can be served by any one officer.
- B. Designation: The initial officers of the Board shall be the Owners of the Subdivision, and Manager can be designated as an officer, without violating the three positions rule, described herein.
- C. Removal: Upon an affirmative vote of a majority fo the members, any officer may be removed, and a successor elected at any meeting, provided notice is duly given.
- D. Manager: The Manager shall be the “Operator” of the HOA, and shall have all powers necessary to perform the duty, or as described herein, including winterizing sprinkler lines, organizing repairs, etc.
- E. Treasurer: The Treasurer shall have the responsibility for all monies, provide prompt payments, collections, keep accurate records, and books, reports to the board as necessary, etc.
- F. Secretary: The Secretary shall keep and maintain records of all meetings, organize notices, communications, etc.
- G. All members shall hold harmless each officer for all acts or omissions done in good faith.

Article 5- Records, and Books

- A. Any member shall have access to accurate records, books, and reports, with written notice, at a reasonable time, and at a reasonable cost.

Article 6- Fiscal Year

- A. The fiscal year shall be based on the standard calendar year.

Article 7- Dues and Assessments

- A. Monthly Dues: Except for any Lot owned by the Declarant, monthly dues shall be set for each Lot in the Subdivision. Amount of dues may change from time to time, upon a vote, described herein. Dues shall be paid, and received by the Treasurer, by the first of each month. Dues received after the 5th of the month, shall included a ten percent (10%) late fee. Dues that are not received by the 15th of the month, may constitute further actions, including fines and liens, as described herein. Any action greater than eleven percent (11%), or lien, shall be made by majority vote of the Members, as described herein.
- B. Special Assessments: Special assessments may be levied on members as such time as deemed necessary, by sixty percent (60%) majority vote, as described herein.
- C. Default: Any member shall be in default in the payment of monthly dues, or assessments for a period from fifteen (15) days after the said dues, or assessment became due and payable, said member shall be considered to be not in good standing, and thus relinquishes their right as a voting member, may be subject to additional action filed in court, as law permits, shall be responsible to pay all dues, assessments, fines, fees, including any attorney fees, filing fees, court assessed costs, etc. If the member is a Tenant, the Owner shall be notified in writing to the delinquency, and the responsibility to rectify the dues, or assessments, prior to filing for a property lien.
- D. Unfiled Liens: Any unfiled liens for such assessment, together with interest, costs, and reasonable attorney fees, shall also be the personal obligation of the person who was the owner of such property at the time when the assessment fell due. The personal obligation for delinquent assessments shall not pass to the successors in title, unless expressly assessed by the notice.
- E. Enforcement: The HOA, its successors, and assigns, or any other lot owner shall have the right to enforce, by proceeding at law, or in equity, all restrictions, conditions, covenants, reservations, liens, and charges now of hereafter imposed by the provisions of these By Laws, Failure by the HOA, its successors, and assigns, or any other lot owners, to enforce any covenants or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.
- F. Payment Status Certificate: The HOA shall upon demand, and for a reasonable charge, furnish a certificate signed by an officer of the HOA setting forth whether the assessments on a specified Lot have been paid. A properly executed certificate fo the HOA as to the status of assessments on a Lot is binding upon the HOA as of the date of its issuance.

Article 8- Use of Funds

- A. Purpose: Income of the HOA shall be used for the operation, responsibilities, maintenance, repairs, and improvements needed for the Common Area, or other need as, described herein, or otherwise determined by the Board.
- B. Liability Insurance: The HOA shall procure a policy of liability insurance for the coverage of Common areas, and any Lot owned by the Subdivision.

Article 9- Rules and Regulations

A. The Membership may adopt such rules and regulations as may be necessary or appropriate for the accomplishment of the purposes the HOA. Such rules and regulations shall become effective when approved by vote, as described herein, and shall become part of these By Laws.

B. These By Laws may be amended, replaced, or repealed by vote, as described herein, and shall be recorded in the office of Park County Clerk and Recorder.

Whereby certify that these By-Laws were duly adopted, as the By-Laws of the Legacy Estates Homeowners Association this _____ Day of _____, 2020.

President

Member

STATE OF WYOMING))
 ss
COUNTY OF PARK))

The above and forgoing instrument was acknowledged before me
this _____ day of _____ 2020, by Bryan Edwards, President and Manager, and Kellie
Edwards, Member of a Wyoming limited liability company.

WITNESS my hand and official seal

Notary Public

My Commission Expires:

Declaration of Restrictions, Conditions, and Protective Covenants For Legacy Estates Subdivision

This Declaration is made by and between Cody Legacy, LLC: a Wyoming Limited Liability Company, hereinafter referred to as (“Declarant”), who is the owner of all lands within the following described property, situated in the City of Cody, Park County, Wyoming, which is more particularly described as follows:

Lot 102 of the Brandt Subdivision to the City of Cody, Park County, Wyoming now re-subdivided and platted as the Legacy Estates Subdivision according to the plat recorded on January 8, 2008 under document number 2008-197 and in Book “J” of Plats, page 71, in the office of the County Clerk, Park County, Wyoming, hereinafter referred as (“Plat”), which establishes the designation of said land in lot numbers 1 to 28, hereinafter referred to as (“Lots”).

WHEREAS, these covenants are executed in conjunction with the By-laws of the Legacy Estates Homeowners Association, hereinafter referred to as the (“Association”, or “HOA”), concurrently herewith both documents are created to insure that the use and development of the above described property will be for residential purposes only: to enhance the values related to said property; to provide for the establishment, and maintenance of road, irrigation, and utility serves (including, but not limited too, electric power, natural gas, sewer, phone, cable, and irrigation); and easements for the mutual benefit of future lot owners, or residents, within the Legacy Estates Subdivision, hereinafter referred to as (“Legacy Estates”). A homeowners’ association board consisting of a Manager, Secretary, and Treasurer shall be elected by the HOA members, as described herein, after 12 lots are sold, or as directed, by Declarant.

NOW THEREFORE, the undersigned do hereby make, publish, declare, and impose upon all of the above described property, known as Legacy Estates, the following restrictions, and limitations governing the use, and development of all of the lots within the above described property, and do hereby covenant, agree and declare that the said restrictions and limitations on the use of said land shall be and constitute covenants running with the land and each portion thereof, within the above described property, and shall be binding upon the undersigned and all persons claiming under them, and shall be for the benefit as well as limiting and restricting all future owner of any and all of the the lots within the above described property in the following manner, to-wit:

Article 1- Use of the Property

- A. All lots contained in said subdivision shall be used exclusively for single-family residential purposes.
- B. Retail or commercial use, of any kind, shall be prohibited, unless authorized under existing zoning. No building or other structure intended for solely for business purposes shall be constructed.
- C. Use shall comply with City of Cody, WY Zoning Ordinance under the appropriate classification.
- D. No lot within Legacy Estates shall be further divided for any purpose.
- E. Declarant saves onto itself, its successors, and assigns the right to annex additional residential property and common area, without consent of the HOA.

Article 2- Structures

- A. Buildings erected upon the property shall meet local building codes in terms of size, square footage, type, and use.
- B. Buildings shall be constructed, altered, or repaired with reasonable diligence and care, and within a reasonable length of time.
- C. No temporary structures shall be used as a residence.
- D. All exterior finishes shall be of the same, or similar, style as the other buildings in the subdivision.
- E. Each Building shall be maintained in an adequate, and timely manner, by the lot owner, or tenant of said lot owner, hereinafter known as (“resident, assigned resident, tenant”), including landscaping, patios, sidewalk, driveway, and necessary snow removal.

Article 3- Party and Common Walls

- A. General Rules: Each wall, or fence which is built as a part of the original construction of any lot within Legacy Estates, and placed upon a dividing line between lots, shall constitute a party, or common wall, and to the extent consistent with the provisions of the this document, general laws regarding party, or common walls and liability for property damage due to negligence or willful acts or omissions shall apply.

B. All costs of reasonable repair and maintenance of any party, or common wall shall be shared by the lot owners, whom utilize said wall, in proportion the such use, and fault.

C. In such case, as a party, or common wall is damaged, or destroyed by fire or other cause, any lot owner, or residence who has used the wall may restore, and contribute to the repairs in proportion to said use, and without prejudice to the right of any other lot owner, to call for a larger contribution from the other, under any rule of law regarding liability for negligent or willful acts.

D. Notwithstanding any other provision of this Article, a lot owner, or resident whom by negligent, or willful act causes the party, or common wall to be exposed to the elements or any other damage shall bear the whole cost fo furnishing the necessary protection against such elements or any other costs to repair any damages in a timely manner.

E. The rights of the lot owner to contribution from any other lot owner under this Article shall be appurtenant of the land and shall pass to such successors in title.

Article 4- Pets and Livestock

A. Any resident shall be entitled to keep, and maintain domestic dogs, and cats, herein referred to as ("pets"), on their property; provided said pets do not to create a nuisance in sight, sound, number, smell, or damage to property within the above described subdivision.

B. Pets must be under control by their lot owner, or residents, at all times, maintained, and cleaned-up after, in a timely manner, including all guests pets. Failure to do so may result in penalties assessed by the HOA board, or manager, including but not limited too monetary fine, revocation of vote, and right to allow pets on their lot. This includes any use of the common areas in the Subdivision.

Article 5- Fencing

A. All fencing will be of uniform construction, and maintained in good order, as determined by Manager.

B. HOA shall be responsible for common area fencing, including installation, maintenance, and repair, and for cost included, as determined by the Manager.

Article 6- Utility Services

A. Utility service lines are provided to each lot line. It shall be the lot owner's responsibility to apply for, fund, and organize all said services to any point of use, including all tap fees, hook-up fees, easement, and contractual requirements.

B. All said services shall be buried, unless approved by the HOA, or Manager.

C. All new services shall be located within an easement as provided by the HOA as much as possible, then to the nearest point of use, as best practice, any damage to other utility service or

property shall be the sole responsibility of the service provider, lot owner, and resident whom initiated the service, or caused the damage.

D. Outdoor Lighting, including seasonal, shall be subject to City of Cody standards.

E. All lots within the subdivision are subject to rights-of-way, and easements for the ingress, egress, use, repair, replacement, installation and maintenance of all roads, water lines, pipelines, irrigation lines, drainage ditches, utility lines, and any other service as specified on any plat, or other recorded agreement by the HOA.

Article 7- Easements

A. All easements to remain as desired on the plat, and for the intended use, each lot owner or resident shall maintain any such easement area which runs over their lot.

B. All common areas shall remain unaltered, without prior written permission of the HOA, or Manager, provided it is consistent with the Final Plat, or any easement agreement.

C. No other lot owner, or resident shall be allowed to access another lot without notice being given to said lot owner or resident, or in case of emergency Manager may authorize permission.

D. City of Cody shall be allowed access to any easement to which has be previously agreed to, provided they use the standard notification process.

E. Legacy Lane is a private street, and is subject to easement agreement.

F. All lot owners, or residents are subject to all easements, and agreements attached to the subdivision, including but not limited to all fees, access, and limitations described herein.

Article 8- Common Areas

A. HOA shall be responsible for maintenance, cleaning, and repair of all common areas, including cost, unless otherwise provided herein.

Article 9- Vehicles and Equipment

A. No commercial, or industrial use trucks, trailers, or equipment; or horse trailer, ATV, UTV, boats, campers, or RV shall be parked, stored, or permitted to be, on any location within the common areas of the subdivision for more than 24 hrs with our permission of the HOA, or Manager.

B. No inoperative vehicles shall be parked in any common area.

Article 10- Offensive Activities

- A. All lots shall be kept in an orderly fashion, clean of trash, litter, junk, or materials that pose an unsightly view from any other lot, or common area, except as needed during construction, or temporary repair. Subject to the discretion of the Manager.
- B. No obnoxious or offensive activities shall be allowed on any lot, or common area.
- C. Any noise, or odor which may become an annoyance, nuisance, disturb the peace, quiet, comfort, use, or serenity to other lot owners, or residence shall be prohibited, and may result in action taken by the HOA, or manager as described hereinafter.

Article 11- Irrigation

- A. All irrigation within the subdivision shall be by sprinkler system. NO flood irrigation.
- B. Raw water will be provided to the lot, and the common area north of Legacy Lane, provided by easement.
- C. The HOA shall maintain the main lines, as provided in the easement agreement, including the common area described in this Article.
- D. The HOA shall provide the initial raw water tap fee, and service charges for the use, and benefit of the Subdivision, and fees shall be reimbursed as described herein.
- E. Winterizing shall be scheduled each fall, and temporary access must be provided by each lot owner, and resident for such purpose.
- F. Notice for watering times, and dates, as permitted through city ordinance, for all lots shall be organized by the Manager.
- G. Any issue, or conflict shall be brought to the Manager for final determination.

Article 12- Miscellaneous

- A. All lot owners, or residence shall use city "roll-out" container, provided by the City of Cody, for city trash service provided they are stored within a garage or back yard.
- B. Lot owners may utilize a yard refuse container, provided by the City of Cody, for debris, provided they are stored within a garage, or back yard.

- C. All lot owners, or residents shall regularly maintain all lands within their lots, and easement area adjacent to their lot including but not limited to lawn, weed, shrub and tree management, or repairs, or other as needed to maintain a slightly appearance.
- D. A parking area is provide for the use, and benefit of all lot owners, and residents, or their guests, and is included as a common area.
- E. Owners, or residents shall use the common areas for their enjoyment, as permitted by the terms provided herein.
- F. The HOA, or manager shall charge reasonable fees to the lot owners, or residents, for the purposes described herein.
- G. The HOA, or manager shall provide payment for services rendered under the requirements herein.
- H. The HOA, or manger may at its own discretion suspend rights to any lot owner, or resident, including voting, or any other right as described herein.
- I. The HOA, or manager shall determine use of, and dedication for all common areas, or other lands to the extent provided by law.

Article 13- Liability of HOA

- A. By purchasing, rent or lease, in whatever form, this party accepts the property condition “AS IS, WHERE IS”, and does herein release, and agree to hold harmless the HOA, manager, board member(s), Declarant, or other lot owner(s) for any condition found after acceptance of possession.
- B. Any Lot Owner(s) shall provide as general practice, an insurance policy to cover the lot, and building, as needed under ownership of title, or possession, until changes in ownership, or possession, requires such change.
- C. All Lot owners shall provide a copy of an “additional insured” statement on property insurance policy, naming Legacy Estates Homeowners Association to that effect, for purposes of claims against the HOA, or any member, to the Manager, including any policy change.

Article 14- Authority and Enforcement

- A. By purchase, rent, or lease of any lot within the Subdivision, said lot owner, or resident shall bind themselves, heirs, and assigns to this agreement, by their signature, including all Articles herein, or other provisions agreed to.
- B. Each current lot owner, or Tenant resident of the Subdivision shall be granted membership in the HOA, including one (1) vote for each lot, as determined herein.

C. Each lot owner, or resident shall agree to provide payment to the HOA, or manager, the amount of \$ 100 per month, for any fees described, directed, or requested by the HOA, or Manager for services described herein, said fees may change with a 30 day notice from the Manager.

E. The HOA may, as allowed by law, retain a lien against any lot, or lot owner for purposes of collecting unpaid fees for assessments, such lien may include foreclosure, in the same manner as a mechanic's lien under the laws of Wyoming.

F. HOA shall have all enforcement remedies described herein, or other, as allowed by law.

G. HOA shall change, or modify as described in the HOA Bylaws.

H. Lot Owner, or Tenant, who is in violation of any of the covenants, or restrictions set forth herein, or as amended, is liable to pay for and reimburse the HOA, for all fees, including attorney's fees, and costs associated with the collection, enforcement, and/or use of the lien process to address said violation(s), with or without a legal action.

In Witness whereof, the parties have originally executed the original Final Declaration of Restrictions, Conditions, and Protective Covenants for the Legacy Estates Subdivision on _____ Day of _____, 2020;

Cody Legacy LLC, Bryan Edwards, Manager

Cody Legacy LLC, Kellie Edwards, Member

STATE OF WYOMING))
 ss
COUNTY OF PARK))

The above and forgoing instrument was acknowledged before me
this _____ day of _____ 2020, by Bryan Edwards, President and Manager, and Kellie
Edwards, Member of a Wyoming limited liability company.

WITNESS my hand and official seal

Notary Public

My Commission Expires:

Appendix E

Submitted DEQ Report

**ENGINEERING DESIGN REPORT
FOR**

LEGACY ESTATES – PLANNED UNIT DEVELOPMENT

**MORRISON-MAIERLE, INC.
PROJECT NO. 6357.002.01**

Cody, Wyoming

Prepared for:

Cody Legacy, LLC

Prepared by:

Morrison-Maierle, Inc.
1402 Stampede Avenue
Cody, WY 82414
(307) 587-6281

June 24, 2020

 Morrison Maierle <small>engineers - surveyors - planners - scientists</small>
QUALITY ASSURANCE
Frank Page, PE PROJECT MANAGER
Theresa Gunn, PE OFFICE QA COORDINATOR
Theresa Gunn, PE PEER REVIEWER
6/11/2020 QA APPROVAL DATE
20-14 QA PROJECT NUMBER

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1.0 Introduction

This Engineering Design Report accompanies the construction plans of the Legacy Estates Planned Unit Development and includes the design analysis for water and sanitary sewer systems for a proposed 18-lot planned unit development (PUD), which is approximately ±1.92 acres in total including the private access road, lot areas, and common area. The PUD is located entirely within Cody Heights Subdivision lot 71-24. Lot 71-24 was further subdivided by the Brantz Subdivision, which was amended in in 2009. The PUD is developing Lot 102 of the boundary line adjustment for the Brantz Subdivision. The proposed use of the property is individually deeded and saleable residences comprised of duplexes and four-plexes.

The property is zoned D-3 and located within the incorporated limits of the City of Cody and is situated in the Tract 71, Township 53 North, Range 101 West .

This report and the enclosed plans have been prepared in accordance with the City of Cody Standard Details (see Drawing Sheet 8), Wyoming DEQ Chapter 11 and 12, and the Wyoming Public Works Standards, 2015 Edition.

2.0 Sanitary Sewer System

2.1 Proposed Configuration

The proposed sewer system configuration will consist of a single 8-inch PVC sanitary sewer main as shown on the enclosed construction plans. The proposed 8-inch sewer main will connect to a proposed manhole and existing 10-inch PVC sewer network located within the City right-of-way of 29th Street. The existing 10-inch sewer flows south to north.

2.2 Existing Sewer Infrastructure

The proposed sewer system will be served by the existing sewer system referenced in Paragraph 2.1 above. The City of Cody Water Superintendent and Director of Public Works were contacted in the design on this PUD. The City indicated there are no known issues with the mains in the vicinity of the point of connection for this project. The City of Cody did not have any concerns with the condition or capacity of the existing 10" PVC sewer main in 29th Street. Appendix A includes a letter from the City of Cody's Director of Public Works stating the existing wastewater collection system and wastewater treatment systems all have sufficient capacity to serve the new development.

2.3 Sewer System Demands

The estimated ultimate wastewater flows from this development are 5.55 gallons per minute (gpm) for the average day, 11.65 gpm for the peak day, and 16.65 gpm for the peak hour based upon the residential flow data and bedroom sizes from Table 1 in Chapter 25 from the DEQ regulations.

The calculated demand values are shown below in Table 1. An 8-inch PVC main at a minimum allowable slope of 0.40% can convey a flow of approximately 453 gpm when flowing 75% full. The minimum anticipated slope for any of the sewer mains within the Legacy Estates PUD development will be 0.40%. Therefore, the system is designed to handle the anticipated flows from this development.

Table 1. Sewer System Flows

SIZE OF UNITS (bedrooms)	NUMBER OF UNITS	FLOW PER UNIT (gpd)	TOTAL FLOW PER DAY (gpd)	AVG. DAY FLOW (gpm)	PEAK DAY FLOW (gpm) [Factor of 2.1]	PEAK HR. FLOW (gpm) [Factor of 3.0]
Duplexes 3 bedrooms	6	390	2,340	-	-	-
Fourplexes 4 bedrooms	12	470	5,640	-	-	-
		Total	7,980	5.55	11.65	16.65

This was determined from the WWDC Cody Master Plan Level I Study dated September 2009. The peaking factors used to compute peak day and peak hour sewer flows from the average day flow rate are 2.1 and 3.0 as shown above. We assumed that sewer peak day and peak hour flows would be similar to water peak flows since the City does not have a sewer master plan available.

3.0 Domestic Water System

3.1 Proposed Configuration

The proposed water system configuration will consist of a single 8-inch PVC water main as shown on the enclosed construction plans. The water main will be cut into an existing 10-inch water main located on the West side of the 29th Street right-of-way. One additional gate valve will be added to the existing water man just south of the new tie in. The entire subdivision will be served by the proposed 8-inch line which will dead-end at the back of the development. A 2-inch “blow-off” hydrant placed on the end of the line for flushing purposes. Two fire hydrants will be placed on the line, one near the 29th Street Right-of-Way and the other in the middle of the development. Per previous direction from the City, a “tee” will be placed on the end of the water line to allow for future development north or south of the proposed development to loop into the proposed system. All hydrant and valve locations are shown on the plans.

3.2 Domestic Water System Modeling

A water model has been created to assist in the design of the water system improvements associated with the Legacy Estates PUD. The water model is a skeleton of the City's distribution system in Cody and is based on information provided from the City of Cody complete water model. The information for the model is based on peak day demands. This model was utilized to establish the layout of the distribution mains and the resultant operating characteristics near the proposed Legacy Estates PUD. Refer to Section 3.4 below for water model results.

3.3. Domestic Water System Demands

The domestic demands from the development area may should be identical to the sewer flows in Table 1 because all irrigation water will come from the City of Cody's raw water system. These demands are shown in Table 2.

Table 2. Water System Demands

SIZE OF UNITS (bedrooms)	NUMBER OF UNITS	FLOW PER UNIT (gpd)	TOTAL FLOW PER DAY (gpd)	AVG. DAY FLOW (gpm)	PEAK DAY FLOW (gpm) [Factor of 2.1]	PEAK HR. FLOW (gpm) [Factor of 3.0]
Duplexes 3 bedrooms	6	390	2,340	-	-	-
Fourplexes 4 bedrooms	12	470	5,640	-	-	-
		Total	7,980	5.55	11.65	16.65

The peaking factors used to compute peak day and peak hour sewer flows from the average day flow rate are 2.1 and 3.0 as shown above. This was determined from the WWDC Cody Master Plan Level I Study dated September 2009.

Fire flow demands were assumed to be 1,500 gpm for a residential development which excess the 1000 gpm in the recommended by the International Fire Code, Appendix C. All fire hydrants will be spaced at a maximum of 400 feet apart.

3.4 Domestic Water Model Results

The system was modeled for multiple scenarios, each of which is described as follows:

- 1) Proposed water system improvements with *average day demands* (Figure 1, App. B)
- 2) Proposed water system improvements with *average day demands and fire flow at J-615* (Figure 2, App. B)
- 3) Proposed water system improvements with *peak day demands* (Figure 3, App. B)
- 4) Proposed water system improvements with *peak day demands and fire flow at J-615* (Figure 4, App. B)
- 5) Proposed water system improvements with *peak hour demands* (Figure 5, App. B)
- 6) Proposed water system improvements with *peak hour demands and fire flow at J-516*(Figure 6, App. B)

Please refer to the individual scenarios found in Appendix B. Pressures and demands are shown at each junction, as well as pipe information (flow rate, velocity, and diameter). In general, fire flows in excess of 1500 gpm are expected in conjunction with peak day demands with minimum system pressures at or above 35 psi, and peak hour demands are served with minimum system pressures in the range of 48 to 60 psi. This system operation will more than adequately serve fire hydrant flows needed within a typical residential housing development and meets the Wyoming DEQ requirement that normal working pressures are not less than 35 psi.

4.0 Raw Water System

4.1 Proposed Configuration

The proposed raw water system configuration will consist of a single 8-inch PVC water main as shown on the enclosed construction plans. The water main will connect to the existing 6" inch water main located on the west side of the subdivision. The entire subdivision will be served by the proposed 8-inch line which will dead-end in the Right of Way in 29th Street. Per previous direction from the City, a drain pit will be placed north of the Legacy Lane using the City's "Raw Water Drain into Pit" detail (included as Sheet 8). All valve and drain locations are shown on the plans.

4.1 Water Rights

The property being developed currently has adjudicated surface water rights for irrigation. The State Engineers office has been contacted and acknowledged that a change of use petition will be entertained by the Board of Control. Upon acceptance of the Final plat by the City of Cody, a change of use petition, consumptive use

report and map will be submitted to the State Engineers office to transfer the surface water right to the City of Cody with the beneficial use being changed to “Miscellaneous”.

5.0 Project Specifications

The 2015 Wyoming Public Works Standard Specifications and Details, supplemented by the City of Cody Details and Specifications (included as Sheet 8 of the drawings) will be used for the construction of the water, sanitary sewer, and street infrastructure for this project. The WPWSS will be used as the regulations for this subdivision along with DEQ.

6.0 Backflow Prevention Information

Backflow prevention on individual homes will be addressed through plumbing code requirements and City Building Department inspections as each home is constructed. Lawn irrigation system is not planned for the common areas within the subdivision. A raw water system is proposed for this development to irrigate landscaped area and will not require backflow prevention as it does not connect to the potable water system.

7.0 Variances

No variances are requested for this planned unit development.

DEQ Application Appendix

Appendix A

Letter from City of Cody Director of Public Works



CITY OF CODY
WYOMING

May 7, 2020

James S. Brough, P.E.
Northwest District Engineer
Water Quality Division - WDEQ
510 Meadowview Drive
Lander, WY 82520

Subject: Legacy Estates P.U.D. Utility Extensions

Matt Hall
MAYOR

Justin Baily
Diane Ballard
Jerry Fritz
Landon Greer
Glenn A. Nielson
Heidi Rasmussen
COUNCIL MEMBERS

C. Edward Webster II
MUNICIPAL JUDGE

Barry A. Cook
CITY ADMINISTRATOR

1338 Rumsey Avenue
P.O. Box 2200
Cody, Wyoming 82414

(307) 527-7511
FAX (307) 527-6532

Dear Mr. Brough:

The City of Cody has reviewed the preliminary plans and design reports prepared for the Legacy Estates P.U.D. treated water line, raw water line, and sanitary sewer line extensions. The project will be developing up to 18 multi-family lots within the incorporated limits of the City of Cody, Wyoming.

The City of Cody has reviewed the proposed treated water main, raw water main, and sanitary sewer main preliminary plans for the project and has generally found these plans to be acceptable. It has been agreed by the City, the developer, and the design engineer that an exclusive treated water, raw water, and sanitary sewer easement will be dedicated to the City of Cody for the long-term access and maintenance of these facilities, along with separate electric and 3rd party dry utility easements. The construction of all utility and access improvements will be completed in a single phase.

Based on the review of the design information provided by Morrison-Maierle, the City's treated water distribution system, raw water distribution system, wastewater collection and wastewater treatment systems all have sufficient capacity to serve the proposed P.U.D. development and subdivision. With your review and approval of the "Permit to Construct" for the proposed utility extensions, I will continue to work with the developer and their engineer to finalize and approve all civil construction plans for the proposed project. Prior to the start of construction, the developer and their engineer must (1) provide an exclusive treated water, raw water and sanitary sewer easement (dedicated for the sole use of the City of Cody) for the proposed utility extensions, (2) acquire a City of Cody ROW Encroachment Permit for construction activities in 29th Street, and (3) hold a pre-construction meeting with the contractor, engineer, and appropriate City Staff before any work commences on the utility extensions or connections to the existing city utilities in the 29th Street ROW are made.

Please let me know if you have any questions or concerns about this project, or the City's review of the utility extension plans. I appreciate your ongoing assistance with projects in the City of Cody, thanks in advance.

Sincerely,

Phillip M. Bowman, P.E., CFM
Public Works Director

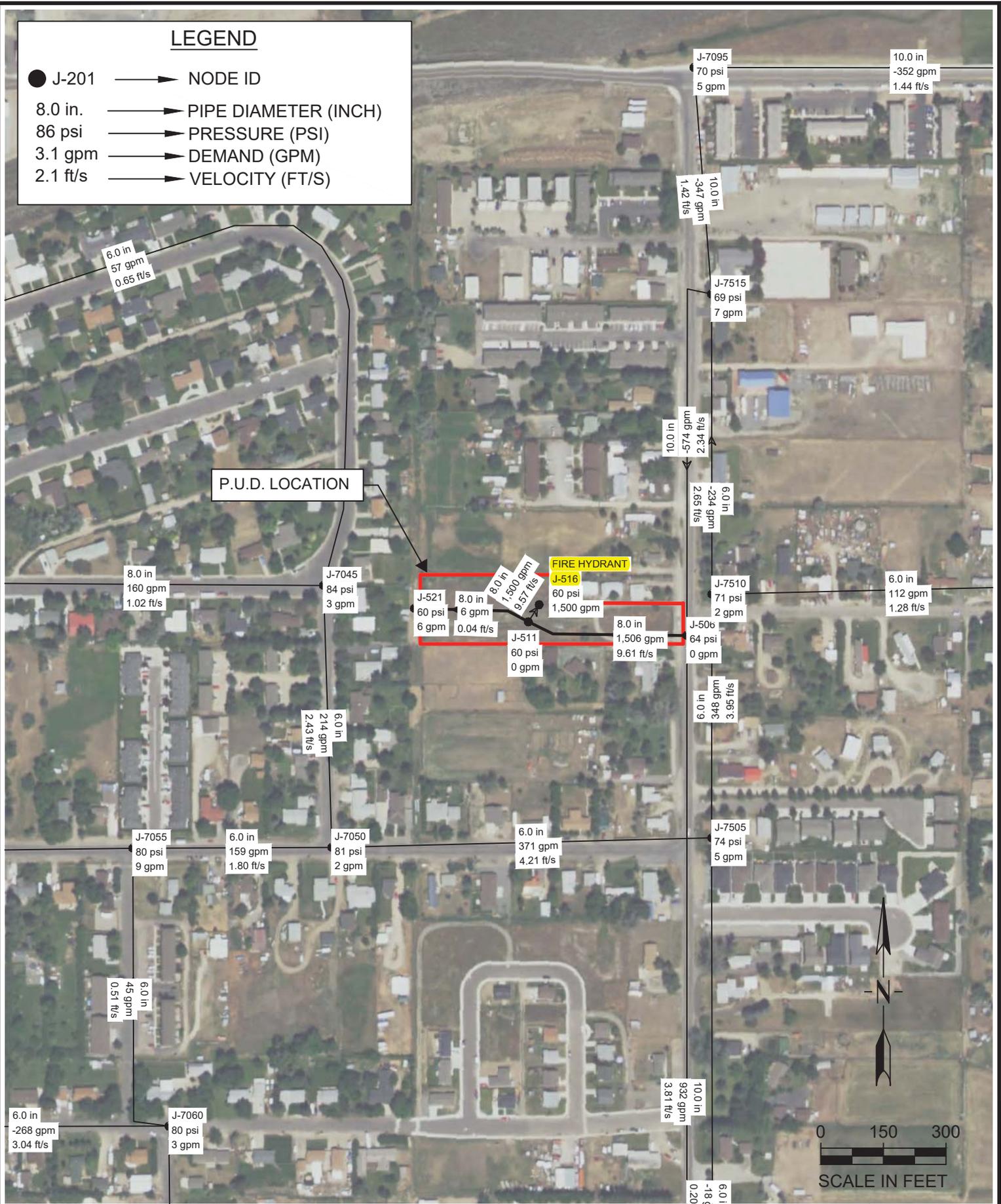
CC: Austin Reed, Morrison-Maierle
James Keenan, Water & Wastewater Superintendent
P.U.D. Application File – Community Development

DEQ Application Appendix
Appendix B

Water Model Output

LEGEND

- J-201 —▶ NODE ID
- 8.0 in. —▶ PIPE DIAMETER (INCH)
- 86 psi —▶ PRESSURE (PSI)
- 3.1 gpm —▶ DEMAND (GPM)
- 2.1 ft/s —▶ VELOCITY (FT/S)



1402 Stampede Avenue
Cody, WY 82414
307.587.6281
www.m-m.net

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DRAWN BY: KJM
DSGN. BY: ARR
APPR. BY: FMP
DATE: 5/29/2020

LEGACY ESTATES PLANNED UNIT DEVELOPMENT
CODY WYOMING

PROJECT NO.
6357.00201

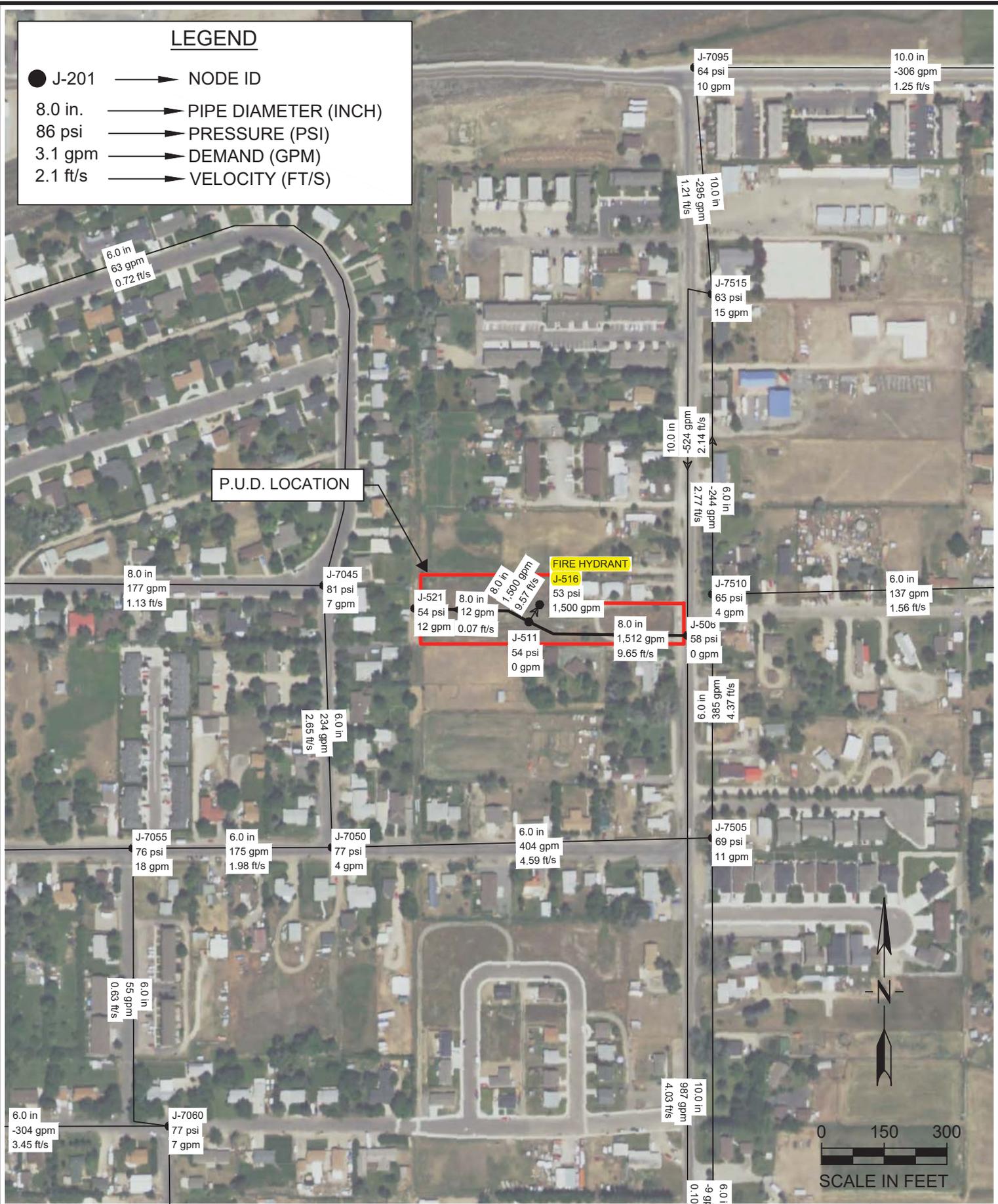
WATER MODEL OUTPUT - AVERAGE DAY DEMAND - FIRE FLOW

FIGURE NUMBER

2

LEGEND

- J-201 —▶ NODE ID
- 8.0 in. —▶ PIPE DIAMETER (INCH)
- 86 psi —▶ PRESSURE (PSI)
- 3.1 gpm —▶ DEMAND (GPM)
- 2.1 ft/s —▶ VELOCITY (FT/S)



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LEGACY ESTATES PLANNED UNIT DEVELOPMENT
CODY WYOMING

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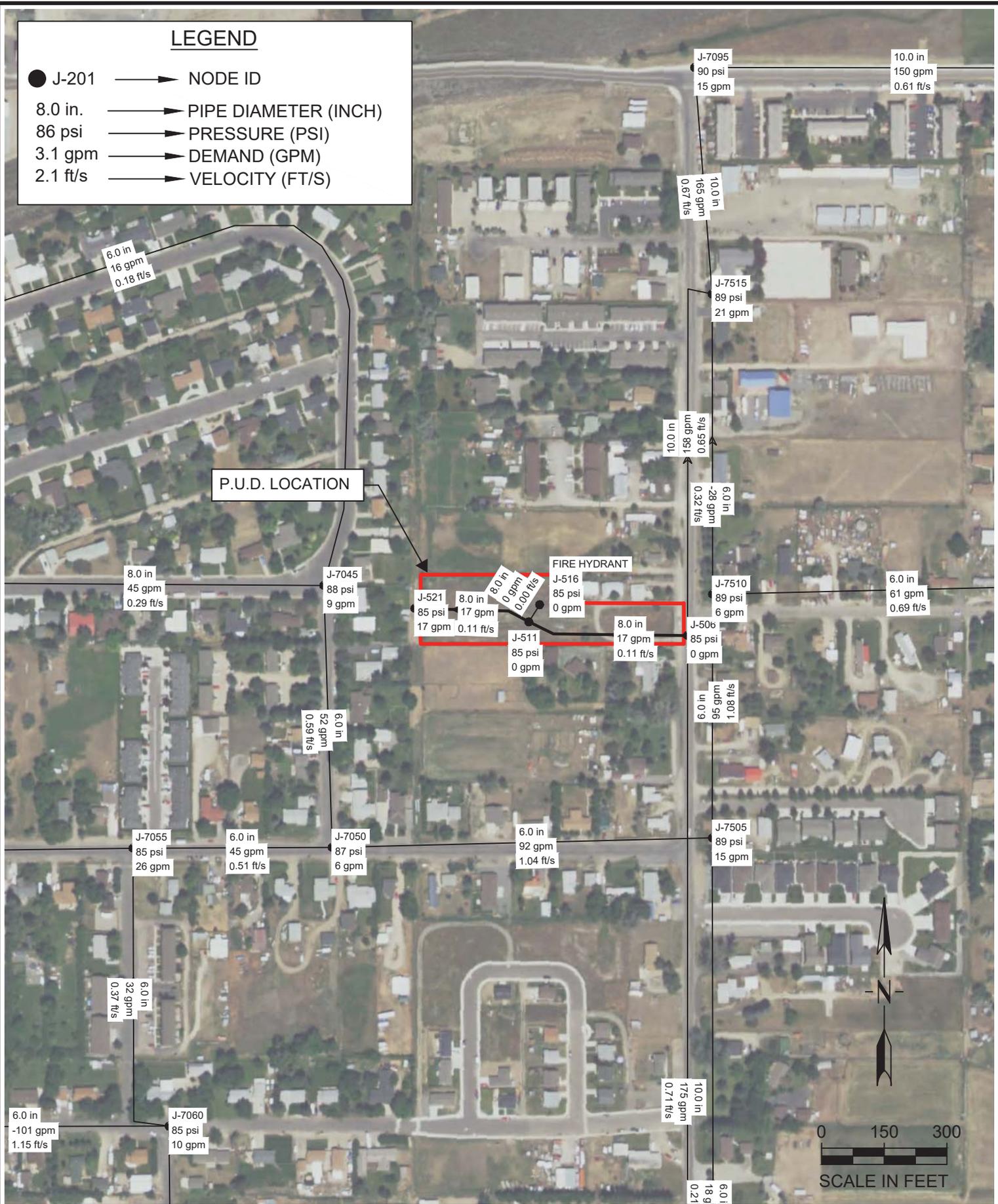
FIGURE NUMBER

WATER MODEL OUTPUT - PEAK DAY DEMAND - FIRE FLOW

4

LEGEND

- J-201 —> NODE ID
- 8.0 in. —> PIPE DIAMETER (INCH)
- 86 psi —> PRESSURE (PSI)
- 3.1 gpm —> DEMAND (GPM)
- 2.1 ft/s —> VELOCITY (FT/S)



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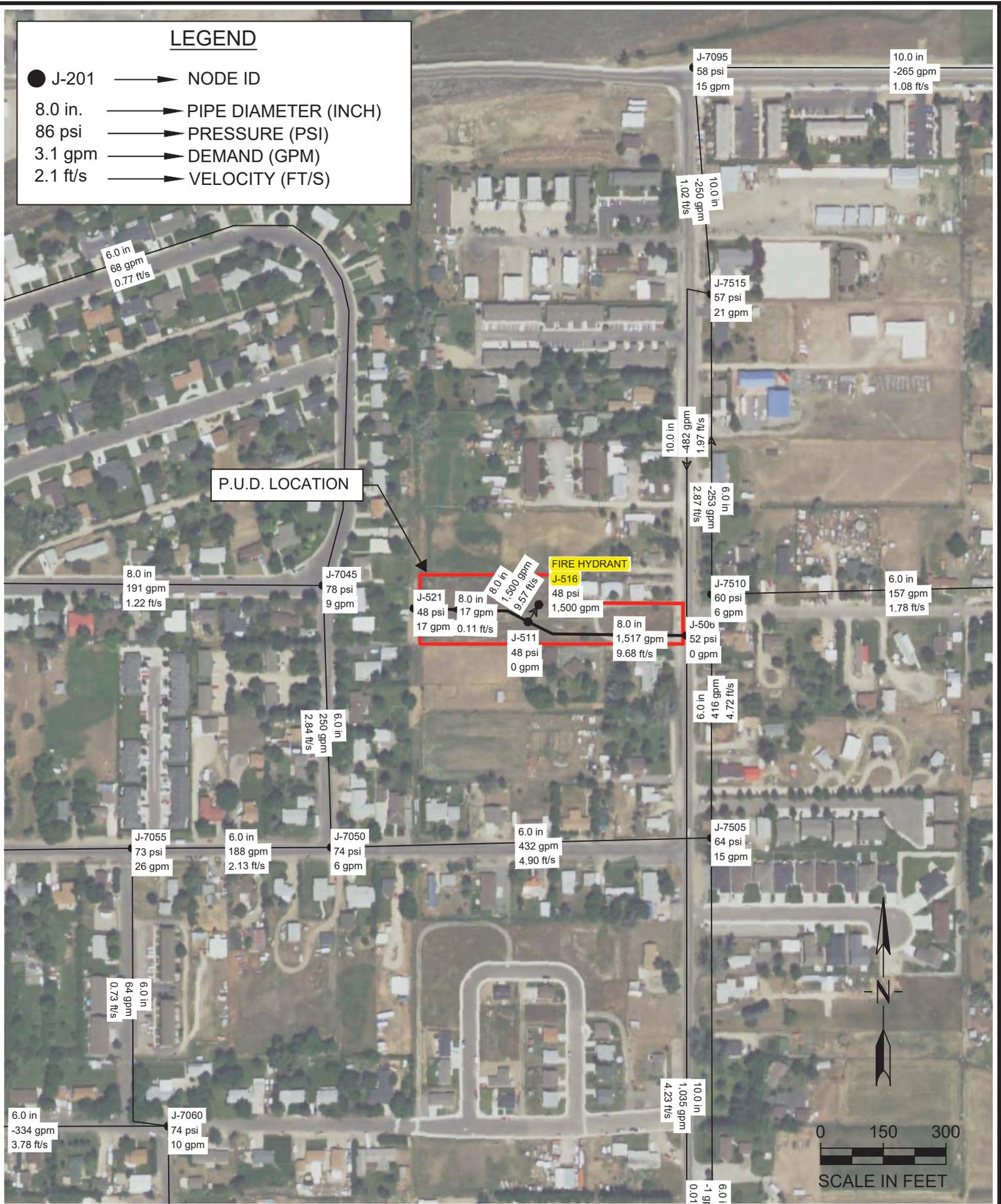
WATER MODEL OUTPUT - PEAK HOUR DEMAND

FIGURE NUMBER

5

LEGEND

- J-201 —▶ NODE ID
- 8.0 in. —▶ PIPE DIAMETER (INCH)
- 86 psi —▶ PRESSURE (PSI)
- 3.1 gpm —▶ DEMAND (GPM)
- 2.1 ft/s —▶ VELOCITY (FT/S)



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APPR. BY: FMP
DATE: 5/29/2020

LEGACY ESTATES PLANNED UNIT DEVELOPMENT
CODY WYOMING

PROJECT NO.
6357.00201

FIGURE NUMBER

WATER MODEL OUTPUT - PEAK HOUR DEMAND - FIRE FLOW

6

Appendix F

“Will Serve” Statement – Black Hills Energy, Natural Gas



Josh Robinson
Utility Construction Planner
josh.robinson@blackhillscorp.com

2320 Mountain View Dr.
Cody, WY, 82414
O: 307-527-3975
F: 307-587-4563

July 2nd, 2020

(Austin Reed)
1402 Stampede Ave
Cody, WY 82414

Dear Austin:

This is in response to the most recent Civil Drawings for the Legacy Estates Planned Unit Development. Black Hills Energy has confirmed that the location of the proposed gas main will work for our needs. BHE will have sufficient volume from our 4" main located on 29th St. Please contact us with any questions or concerns you may have.

Thanks,

Josh Robinson
Black Hills Energy

Appendix G

“Will Serve” Statement – City of Cody, Treated Water, Sanitary Sewer, Raw
Water



CITY OF CODY
WYOMING

May 7, 2020

James S. Brough, P.E.
Northwest District Engineer
Water Quality Division - WDEQ
510 Meadowview Drive
Lander, WY 82520

Subject: Legacy Estates P.U.D. Utility Extensions

Matt Hall
MAYOR

Justin Baily
Diane Ballard
Jerry Fritz
Landon Greer
Glenn A. Nielson
Heidi Rasmussen
COUNCIL MEMBERS

C. Edward Webster II
MUNICIPAL JUDGE

Barry A. Cook
CITY ADMINISTRATOR

1338 Rumsey Avenue
P.O. Box 2200
Cody, Wyoming 82414

(307) 527-7511
FAX (307) 527-6532

Dear Mr. Brough:

The City of Cody has reviewed the preliminary plans and design reports prepared for the Legacy Estates P.U.D. treated water line, raw water line, and sanitary sewer line extensions. The project will be developing up to 18 multi-family lots within the incorporated limits of the City of Cody, Wyoming.

The City of Cody has reviewed the proposed treated water main, raw water main, and sanitary sewer main preliminary plans for the project and has generally found these plans to be acceptable. It has been agreed by the City, the developer, and the design engineer that an exclusive treated water, raw water, and sanitary sewer easement will be dedicated to the City of Cody for the long-term access and maintenance of these facilities, along with separate electric and 3rd party dry utility easements. The construction of all utility and access improvements will be completed in a single phase.

Based on the review of the design information provided by Morrison-Maierle, the City's treated water distribution system, raw water distribution system, wastewater collection and wastewater treatment systems all have sufficient capacity to serve the proposed P.U.D. development and subdivision. With your review and approval of the "Permit to Construct" for the proposed utility extensions, I will continue to work with the developer and their engineer to finalize and approve all civil construction plans for the proposed project. Prior to the start of construction, the developer and their engineer must (1) provide an exclusive treated water, raw water and sanitary sewer easement (dedicated for the sole use of the City of Cody) for the proposed utility extensions, (2) acquire a City of Cody ROW Encroachment Permit for construction activities in 29th Street, and (3) hold a pre-construction meeting with the contractor, engineer, and appropriate City Staff before any work commences on the utility extensions or connections to the existing city utilities in the 29th Street ROW are made.

Please let me know if you have any questions or concerns about this project, or the City's review of the utility extension plans. I appreciate your ongoing assistance with projects in the City of Cody, thanks in advance.

Sincerely,

Phillip M. Bowman, P.E., CFM
Public Works Director

CC: Austin Reed, Morrison-Maierle
James Keenan, Water & Wastewater Superintendent
P.U.D. Application File – Community Development

Appendix H

New Deed and Vacation of Irrigation Easement

20204202
WARRANTY DEED

Cody Legacy Inn, LLC, a Wyoming limited liability company, Grantor, of Cody, Park County, Wyoming, for and in consideration of the sum of \$10.00 and other good and valuable consideration in hand paid, the receipt whereof is hereby acknowledged, conveys and warrants to Cody Legacy, LLC, a Wyoming limited liability company, Grantee, whose address is PO Box 2035, Cody, Wyoming 82414, the following described real estate, situate in Park County, State of Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State, to-wit:

Lot 102, BRANTZ SUBDIVISION, according to the Boundary Line Adjustment Survey for Brantz Subdivision, as located in Book "K" of plats, Page 35, according to the records of the County Clerk and Recorder of Park County, State of Wyoming; EXCEPTING ANY PORTION OF SUBJECT PROPERTY that may be contained within 29th Street.

TOGETHER WITH all improvements situate thereon and appurtenances thereunto belonging; and,

SUBJECT TO all easements, reservations, covenants and restrictions or any other matter of record; all assessments and subsequently assessed taxes, including the following:

GRANTEE agrees to promote and participate in an improvement district for curb, gutter, and sidewalk on 29th Street when deemed necessary by the City of Cody. This agreement shall be contained in each and all conveyances of record.

WITNESS my hand this 20th day of April, 2020.

GRANTOR:

Cody Legacy Inn, LLC
a Wyoming limited liability company

By: 
Bryan Edwards, Member

By: 
Kellie Edwards, Member/Manager

GRANTOR'S NOTARY:

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

On this 20th day of April, 2020, before me personally appeared Bryan Edwards and Kellie Edwards, to me personally known, who being by me duly sworn did say that they are the Members of **Cody Legacy Inn, LLC**, a Wyoming limited liability company, and that said instrument was signed on behalf of said limited liability company by authority of its Members & Managers, and that Bryan Edwards and Kellie Edwards acknowledged said instrument to be the free act and deed of said limited liability company.

WITNESS my hand and official seal.

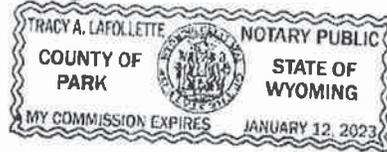
My Commission expires: 1/12/2023

Tracy A. LaFollette

Notary Public

GRANTEE:

Cody Legacy, LLC
a Wyoming limited liability company



By: *[Signature]*

Bryan Edwards, Member

By: *[Signature]*

Kellie Edwards, Member/Manager

GRANTEE'S NOTARY:

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

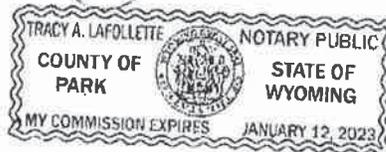
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WITNESS my hand and official seal.

My Commission expires: 1/12/2023

Tracy A. LaFollette

Notary Public



2020 4202
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WITNESS my hand this 20th day of April, 2020.

GRANTOR:

Cody Legacy Inn, LLC
a Wyoming limited liability company

By: 
Bryan Edwards, Member

By: 
Kellie Edwards, Member/Manager

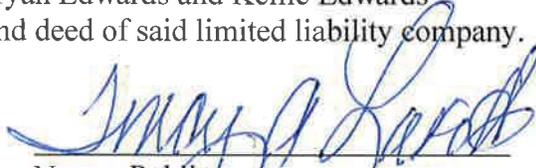
GRANTOR'S NOTARY:

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

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WITNESS my hand and official seal.

My Commission expires: 1/12/2023


Notary Public

GRANTEE:

Cody Legacy, LLC
a Wyoming limited liability company



By: 
Bryan Edwards, Member

By: 
Kellie Edwards, Member/Manager

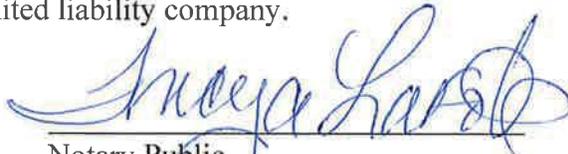
GRANTEE'S NOTARY:

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

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WITNESS my hand and official seal.

My Commission expires: 1/12/2023


Notary Public



VACATION & TERMINATION OF EASEMENT

This VACATION and TERMINATION of EASEMENT made and dated this 21st day of May, 2020 by **Fredrick A. Snelson, a/k/a Frederick A. Snelson and Julie Ann Snelson**, husband and wife, (hereinafter referred to as "SNELSON"), and **Cody Legacy, LLC**, a Wyoming limited liability company, (hereinafter referred to as "CODY LEGACY");

W I T N E S S E T H:

WHEREAS, the parties own adjoining properties in the BRANTZ SUBDIVISION;

WHEREAS, SNELSON is the owner of Lot 101 of the BRANTZ SUBDIVISION;

WHEREAS, CODY LEGACY is in the process of subdividing its Lot 102 of the Brantz Subdivision, and the parties have made an agreement based upon the anticipated changes as a result of the planned development intended to be called the *Legacy Estates Subdivision*;

WHEREAS, based upon the agreement of the parties, SNELSON and CODY LEGACY desire to have one of the temporary irrigation easements vacated and terminated.

NOW, THEREFORE, for and in consideration of the mutual covenants and agreements herein set forth it is agreed as follows:

1. SNELSON, for themselves and their heirs, successors and assigns, do hereby permanently vacate, abandon and relinquish to CODY LEGACY, its successors and assigns, all right, title and interest of any kind or nature, now and forever, to the following described

EASEMENTS:

The temporary 15' wide irrigation easement to benefit Lot 1 a/k/a Lot 101 was subject to the parties' further agreement as set forth in Note No. 7 on the *Final Plat for the Brantz Subdivision* recorded on August 12, 2009 at Document No. 2009-7070 in Book K, page number 12 of the Records of the County Clerk and Recorder, Park County, Wyoming & as set forth on the *Boundary Line Adjustment Survey* for the Brantz Subdivision recorded on November 17, 2009 at Document No. 2009-9302 in Book K, page number 35 of the Records of the County Clerk and Recorder, Park County, Wyoming.



The initially proposed location of the 15' wide irrigation easement for utility services that runs along the north property line of the proposed Legacy Estates Subdivision.

2. CODY LEGACY shall make available access for SNELSON, to install and utilize in the future a 2" (two inch) City of Cody raw water line at the southeast corner of Lot 101 of the Brandt Subdivision, currently owned by SNELSON to benefit SNELSON, and their heirs, successors and assigns.

3. CODY LEGACY in furtherance of completing the final plat for the Legacy Estates Subdivision, shall include, as necessary, the transfer of any raw water rights pertinent to Lots 101, 102 of Brantz Subdivision and/or SNELSON in its application to the Wyoming State Engineer, and/or other required agencies or governmental entities.

4. CODY LEGACY shall compensate SNELSON the amount of \$1700.00 for their agreement and cooperation with this Easement Vacation.

DATED this 21st day of May, 2020.

SNELSON:


Fredrick A. Snelson a/k/a Frederick A. Snelson


Julie Ann Snelson

CODY LEGACY:


Bryan Edwards, Member/Manager

STATE OF WYOMING)
) ss.
COUNTY OF PARK)

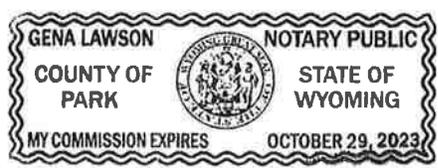
On this 21st day of May, 2020, before me personally appeared Bryan Edwards, to me personally known, who being by me duly sworn did say that he is the Member/Manager of **Cody Legacy, LLC, a Wyoming limited liability company**, and that said instrument was signed on behalf of said limited liability company by authority of its Members, and that Bryan Edwards acknowledged said instrument to be the free act and deed of said limited liability company.

WITNESS my hand and official seal.



Notary Public

My Commission expires: 10-29-2023



STATE OF WYOMING)
) ss.
COUNTY OF PARK)

The foregoing instrument was acknowledged before me by **Fredrick A. Snelson** and **Julie Ann Snelson**, this 21st day of May, 2020.

Witness my hand and official seal.



Notary Public

My Commission expires: 9/18/2020

