

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, JANUARY 14, 2020  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order
2. Welcome new Planning, Zoning, and Adjustment Board members Rodney Laib (3 year term) and Wade McMillin (1 year term), and reappointed Kayl Mitchell (3 year term).
3. Roll Call, excused members
4. Pledge of Allegiance
5. Approval of Agenda
6. Elect a Chairman and Vice Chairman for 2020 Planning, Zoning, and Adjustment Board.
7. Approval of Minutes of the December 17, 2019 regular meeting
8. Tabled item: Review a site plan for Park County School District #6 for a Transportation Facility, located at 3825 Sheridan Avenue.
9. NEW BUSINESS:
  - A. Downtown Architectural District sign review for the Dude Rancher's Association, located at 1122 12<sup>th</sup> Street.
  - B. Architectural review for an enclosed porch for Psalm Commercial, LLC, located at 3202 Big Horn Avenue.
  - C. Review the preliminary plat for What's Left, LLC minor subdivision of lots 10 and 12 of the Rocky Mountain Business Park subdivision on Stone Street.
  - D. Review a landscape plan revision for 2706 Big Horn Avenue.
  - E. Public hearing for a special exemption request from 19 Pioneers, LLC located at 620 19<sup>th</sup> Street, to eliminate the required 15' landscape buffer zone next to residential zoning to the east.
  - F. Review the special exemption request from 19 Pioneers, LLC located at 620 19<sup>th</sup> Street, to eliminate the required 15' landscape buffer zone next to residential zoning.
  - G. Review a site plan application from 19 Pioneers, LLC to develop the property at 620 19<sup>th</sup> Street into a Basin Vision Center.
10. P&Z Board Matters (announcements, comments, etc.).
11. Council Update
12. Staff Items
13. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning, and Adjustment**  
**Board Meeting December 17, 2019**

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, December 17, 2019 at 12:00 pm.

Present: Chairman Kayl Mitchell; Erynne Selk; Richard Jones; Sandi Fisher; Stan Wolz; Klay Nelson; Buzzy Hassrick; City Attorney Scott Kolpitcke; City Planner Todd Stowell; Council Liaison Glenn Nielson; Administrative Coordinator Bernie Butler.

Kayl Mitchell called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Stan Wolz made a motion, seconded by Richard Jones, to amend the order of the agenda items and add an additional item. Vote on the motion was unanimous, motion carried.

Klay Nelson made a motion, seconded by Erynne Selk to approve the minutes from the November 26, 2019, 2019 meeting. Vote on the motion was unanimous, motion carried.

**NEW BUSINESS:**

A. Todd Stowell presented a site plan review for the Walmart pickup area, located at 321 Yellowstone Avenue.

Erynne Selk made a motion, seconded by Sandi Fisher to approve the Walmart pickup area with the recommended signage per the staff report, and the lights be full cut off. Vote on the motion was unanimous, motion passed.

B. Todd Stowell reviewed the amended plat the Cook minor subdivision. Property is located at 1702 31<sup>st</sup> Street.

Richard Jones made a motion, seconded by Klay Nelson to recommend approval to Council for the amended Cook minor subdivision. Vote on the motion was unanimous, motion carried.

C. Todd Stowell reviewed a site plan for the Adidas/Yeezy Cody Sample Lab, located at 119 Road 2AB.

Klay Nelson made a motion, seconded by Buzzy Hassrick to approve the site plan for the Adidas/Yeezy Cody Sample Lab, with recommendations 1-8 in the staff report. Vote on the motion was unanimous, motion carried.

D. Todd Stowell reviewed the site plan for Park County School District #6 for the Transportation Facility, located at 3825 Sheridan Avenue.

There was a discussion among the Board regarding the architectural enhancement and landscaping plan. PCSD #6 Terry Gardner, Facility Supervisor, and Kane Morris of Point Architect explained the project with budget and design criteria. They answered questions from the Board. Councilman Glenn Nielson asked Todd Stowell if this project needed to meet the 5% landscape requirement. Todd said it is not applicable here. Citizen Landon Greer addressed the Board stating this project was on a tight budget, and needs to avoid added costs.

It was recommended that the Planning and Zoning Board discuss the project, give direction to the School District, and withhold approval of the site application until it is updated to include the additional details pointed out in the staff report. An updated plan is to be brought back to the Board for further review. The Board noted that the plans do not clearly show the architectural details explained by the applicant at the meeting.

Richard Jones made a motion, seconded by Sandy Fisher to table the site plan approval for Park County District No. 6 transportation facility.

Todd Stowell recognized Board Member Buzzy Hassrick for her six years of service on the Planning, Zoning, and Adjustment Board.

Buzzy Hassrick made a motion, seconded by Erynne Selk to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the Board, Chairman Kayl Mitchell adjourned the meeting at 1:11 pm.

---

Bernie Butler, Administrative Coordinator

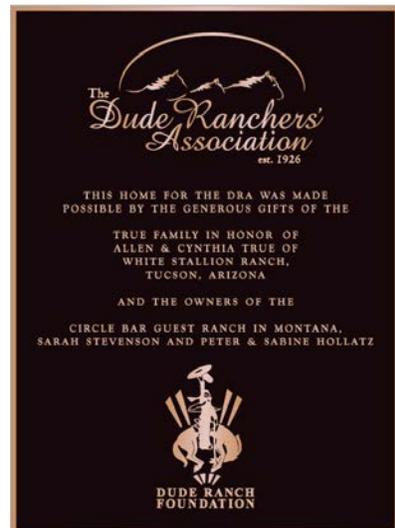
DRAFT

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2020	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	DOWNTOWN ARCHITECTURAL DISTRICT SIGN REVIEW: DUDE RANCHER'S ASSOCIATION SGN 2019-31	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

We have received a sign application from the Dude Rancher's Association to install a bronze plaque (wall sign) on the front of their building at 1122 12<sup>th</sup> Street. The sign would measure 3- inches tall and 22 inches wide and be mounted towards the left side of the building façade, as shown below.



**REVIEW CRITERIA:**

The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants."*

The signs must also meet the size and location requirements of the sign code.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2020	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: SCHOOL DISTRICT TRANSPORTATION FACILITY. SPR 2019-21	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**The application was originally considered at the December 17, 2019 meeting. The staff report is updated based on additional information since submitted (architectural drawings and landscaping plan).**

**PROJECT DESCRIPTION:**

The Park County School District #6 has submitted a site plan application for development of a transportation facility (bus barn, maintenance shop and office) on their Sheridan Avenue property, just west of Beacon Hill Road. The property currently contains the school's FFA building, which will remain. The property is located in the General Business (D-2) zoning district which allows storage buildings, office buildings, and vehicle repair buildings. The property is approximately ten acres in size and was part of a recent subdivision. That subdivision resulted in certain requirements pertaining to extension of utilities and access that remain to be completed. This review simply presumes that those requirements will be completed as designed, or as may be modified through other future review processes.



**REVIEW CRITERIA:**

Section 10-10B-4 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and*

*occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

**STAFF COMMENTS:**

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant commercial property, planned for a single-family residential subdivision by Kip Thiel Construction.	D-3 Open business/Light Industrial
East	Airport property and land in commercial zone.	D-2 General Business and "E" Industrial
South	Airport property.	D-2 General Business and "E" Industrial
West	Residential development, farmland, UIC injection well.	D-2 and Residential R-2

The bus barn would measure 60 feet in depth and between 156 feet and 234 feet in length. Lengths beyond 156 feet are three bid alternatives, each measuring about 26 feet in width. The minimum width would accommodate 20 buses and the District's checkout vehicles (cars and SUVs). Each bid alternative for the bus barn would accommodate four busses. More than likely no more than two of the bid alternatives for the bus barn would be built, which would allow for 28 busses—the planned size of their bus fleet. If less than two bid alternatives for the bus barn are built, they will park the extra busses outside, likely at the west end of the building.

To the east of the bus barn is the office building, a single-story structure which would measure 35 feet in width and 33 feet in depth. It has a wall height of 14 feet.

The maintenance building is the furthest to the east, measuring 85 feet wide and 60 feet in depth, with a 24'5" wall height on the front wall.

Architecture

**UPDATED**

Updated drawings and architectural renderings of the buildings have been submitted. In brief, the architecture of the buildings, combined with proposed landscaping to break

up the plainness of the back of the bus barn, has satisfied staff's concerns. The applicant's architect will explain the architectural details at the meeting.

There are no commercial buildings in the immediate area to compare architecture, and these being the first in the area will likely be what future developers point to in any compatibility review. Due to the visibility of the buildings and site, staff believes that there should be either some additional enhancements to the bus barn, which should also be reflected in the other buildings as needed to maintain continuity, or landscaping provided to soften the starkness of the buildings.

#### Landscaping:

##### **UPDATED**

An updated landscaping plan has been provided—see attached. As was the case in the original plan, the area in front of the office building will include “minimal xeriscaping high desert plants”. The updated plan adds six fir trees at each of the vehicular entrances. Five fir trees and six aspen trees in a manicured grass area is added to the east of the buildings—which area also serves as the detention pond. A few aspen trees and a grass area are added to the detention pond area behind the office building. To break up the plainness of the back of the bus barn building, two or three landscape islands with shrubs/trees? have been added along the back of the building.

The fir trees are noted as being either upright juniper or black hills spruce (mature height of 30-60 feet, spread of 15-25 feet, growth rate one foot/year or less). The variety were selected due to their limited height compared to other fir or spruce trees, in consideration of proximity to the airport.

The shrubs or grasses are noted as Karl forester ornamental grass, Elijah blue fescue, blue oar grass, and Shenandoah switch grass.

The vegetative buffer along the west side of the property is proposed as native grasses, as well as other “natural” areas disturbed by construction.

Conduit to run water to the areas needing irrigation is noted on the plans.

As noted by staff in the original report, we are open to allowing the school to have some additional time to install the landscaping. They plan to install it this year or next as their own project—not part of the contracted building project. If next year, it would be after occupancy of the building, which is sufficient to satisfy staff.

The tree locations are conceptual, and some will need to be shifted slightly, so that they are outside of the 10-foot utility easement along Sheridan Avenue and sight-distance triangles, based on their mature spread. City staff will work with the school district staff to ensure proper placement. For now, a note should be added to coordinate location of the trees near Sheridan avenue and the “gravel road” with the city.

Access:

The western approach is existing and would remain. The east approach would replace an existing approach in nearly the same place, but be expanded to a 30-foot wide access road on the access easement and soon to be public right-of-way that will also serve the Thiel property to the north of this facility.

The paving of the access roads is a bid alternate. If they are not paved, they will be gravel. If the access roads are only gravel, the parking ordinance requirement for paved approach areas (extending at least 25 feet from Sheridan Avenue) still applies.

As the access road on the east end of the site will be fully developed as a public street with the development of the property to the north, Public Works requests that the driveways within this site be developed to tie in as closely to a 90-degree angle to the future street as possible. The applicant's engineer will need to coordinate with Public Works on the specific design.

Parking:

The application narrative indicates that there would be 22 employees at the site. Each transportation facility employee should be provided with a parking space. Others checking out staff vehicles will also need some parking. 15 staff vehicles would be available. In addition, there will be occasional public vehicles visiting the site (mostly picking up items their student left on a bus).

**UPDATED**

The site plan shows five parking spaces at the front of the office area (3 standard and two ADA, as required). Parking at the back of the building (likely employee parking) is shown at 20 to 26 spaces, depending on the length of the building constructed.

Another 10 spaces will be provided at the west end of the building, wherever phase that is. The number of spaces provided appear sufficient and the parking spaces and aisles shown meet the dimensional standards and surfacing requirements of the city ordinance.

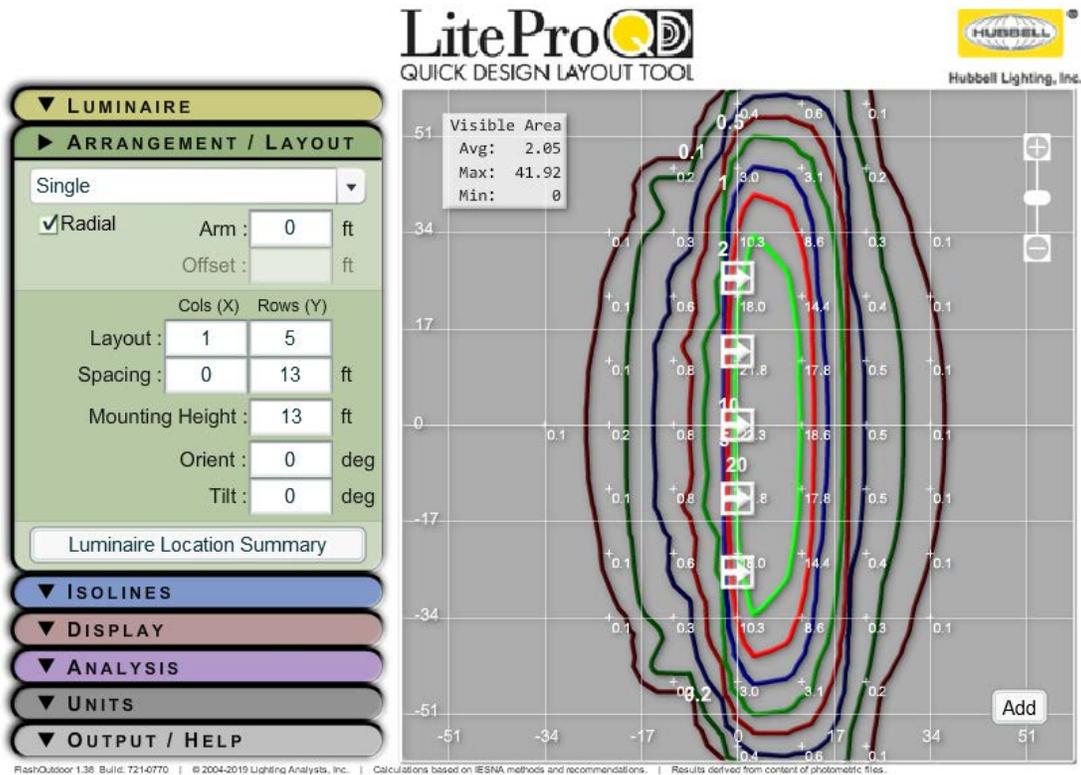
The exterior building lighting will provide the required parking lot lighting.

Exterior Lighting

The location of the exterior light fixtures is shown on Sheets E1.0 and 1.1. Fixture F is shown here on the left, and Fixture F2 is shown here on the right. The fixtures are full cut-off in design.



Staff used the manufacture's software to estimate lighting levels, as shown below. While light levels are relatively high next to the building, the light dissipates so that it does not extend beyond the property line (down to 0.1 foot candles at 35-38 feet).



### Utility Services

The building will utilize domestic water, power, gas, and sewer service. The general utility plans are shown on the site plan and plumbing plans (plumbing plans not included, but available), yet additional details are needed to show splitting the domestic water lines from the fire lines, and meter sizing. Public Works requests an updated plan with those details shown.

Related to the utilities, there is an existing high-pressure pipe that crosses the property and feeds an injection well to the west. In the review of the easement for that pipeline, it appears that there are to be no pipelines or utilities installed over that pipeline. As it is a private line and the City is not a party to the easement, we will not enforce any private restrictions found in the easement other than on the power line, which is the City's. The power line can be lowered slightly, so that it runs under the pipeline.

Utility fees will apply for connection to the power, water and sewer systems, and will need to be paid at the time of the building permit.

Due to the line sizes, the water and sewer lines, although private, require WY DEQ review and approval.

### Signs

A wall sign is shown on one of the renderings on the building. The applicant notes that the size shown is accurate, and the sign is within the allowable size limit of 150 square feet. As such, it is authorized at this time.

### Fire Protection/Hydrants

The bus barn and maintenance building will have fire sprinkler systems. In addition, there is an existing fire hydrant at the FFA building and a new hydrant will be installed near the NE corner of the property (by others).

The utility plan does not identify pipe size to the water main. It needs to be sufficient to feed both 4" fire lines that come off of it—verify through the fire system design review.

### Frontage Status

The frontage of the property is currently substandard, lacking curb, gutter, sidewalk, etc. However, staff has not taken the position that the School district should improve the frontage at this time, as the roadway needs redesigned and widened. That project is of regional significance and the cost should be shared regionally. The property is committed to participate in future improvement district, and therefore may be asked to help (e.g. install a sidewalk), but such details can be left to the future.

### Garbage

The dumpster(s) will be located towards the west end of the bus barn.

**ATTACHMENTS:**

Application materials.

**ALTERNATIVES:**

Approve or deny the site plan with or without changes.

**RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items:

1. All applicable city utility fees (water, sewer, electrical) are to be paid prior to building permit issuance—coordinate with Public Works.
2. Provide an updated civil site plan with more/corrected detail of how the driveways tie into the east road and Sheridan Avenue, and the water line details that are missing. Those components of the plan are subject to approval by Public Works.
3. Modify the utility plan to run the electric line under the high-pressure waste line.
4. Add a note to the landscaping plan (A1.0) to coordinate location of the trees near Sheridan avenue and the “gravel road” with the city, to ensure they are planted and remain outside of the utility easement and sight-distance triangles based on mature spread. The School District need not complete landscaping prior to occupancy of the building, but shall complete it by fall of 2021.
5. Provide copies of the WY DEQ application and notice to proceed (sewer and water line extensions) to the City.
6. Once constructed, the applicant’s engineer is to certify that the storm water system was constructed as designed, or equivalent.
7. The project must otherwise comply with the site plan, project description and applicable building, fire, and electrical codes.
8. A building permit must be obtained within three years or this authorization will expire.

# PCSD#6 Transportation Project P&Z Review Information

11-18-19

## Traffic Generation:

The District currently operates 14 route busses and those would be entering & exiting Sheridan Ave twice a day on all school days. Drivers for these units would be traveling in their personal cars to and from work on the same frequency. In addition to the route buses the District operates 3 activity buses on a routine basis. The schedule for these buses is less regular and is spread throughout the day. Again the drivers of these units will come and go as needed. It should be noted that the bulk of the bus & driver traffic will occur early mornings and midafternoons.

One or two supply deliveries generally occur on a daily basis.

The District generally checks out 15 staff vehicles each week so there will be that volume of teacher/ staff traffic into and out of the facility.

## Employee count:

22 employees: 1 manager, 1 assistant, 2 mechanics, 18 bus drivers

## Hours of Operation:

When school is in session activity around the facility begins at 6:00 am and generally concludes at 5:30 pm. The activity bus schedule is not predictable and there are late night arrivals scattered throughout the school year. These activity buses generally operate between 5:00am and midnight (maybe 2:00am).

When school is not in session the office staff and mechanics work day shift from 7:00am to 4:00pm

## Transfer Facility:

There are pros and cons associated with the current CMS transfer location. At this point the transfer station is just a concept that has been discussed to alleviate some of the traffic congestion at CMS.

## Location:

The facility will be placed 75 feet off of the northern property line and 275 feet from the area currently zoned residential on the west end. So a special exemption to the 15ft landscape buffer is requested. The same issue applies to the 6' privacy fence. The development plan for the property north of the transportation buildings is unknown at this time.

Parking:

Sufficient employee parking is planned on District property around the new facility so as to eliminate the need for any on street parking in the existing neighborhood or the new development north of the District facility.

Some external bus & staff vehicle parking may be needed depending the facility construction bid amount. The District currently has 32 buses and is planning to trim the fleet size to 30. The minimum indoor bus parking is planned at 20 spaces. If external parking is needed it would be on the west end of the facility.

Signage:

The only signage planned is on the building.

Landscaping:

Landscaping around office building to be gravel laid over weed barrier with shrubs and trees plantings. Remaining areas around drives to be left as existing grass and alfalfa.

Dumpsters:

Only 1 dumpster is required at this time. Dumpster will most likely be on the west end of the bus barn.



PARK COUNTY  
SCHOOL DISTRICT 6  
TRANSPORTATION DEPARTMENT



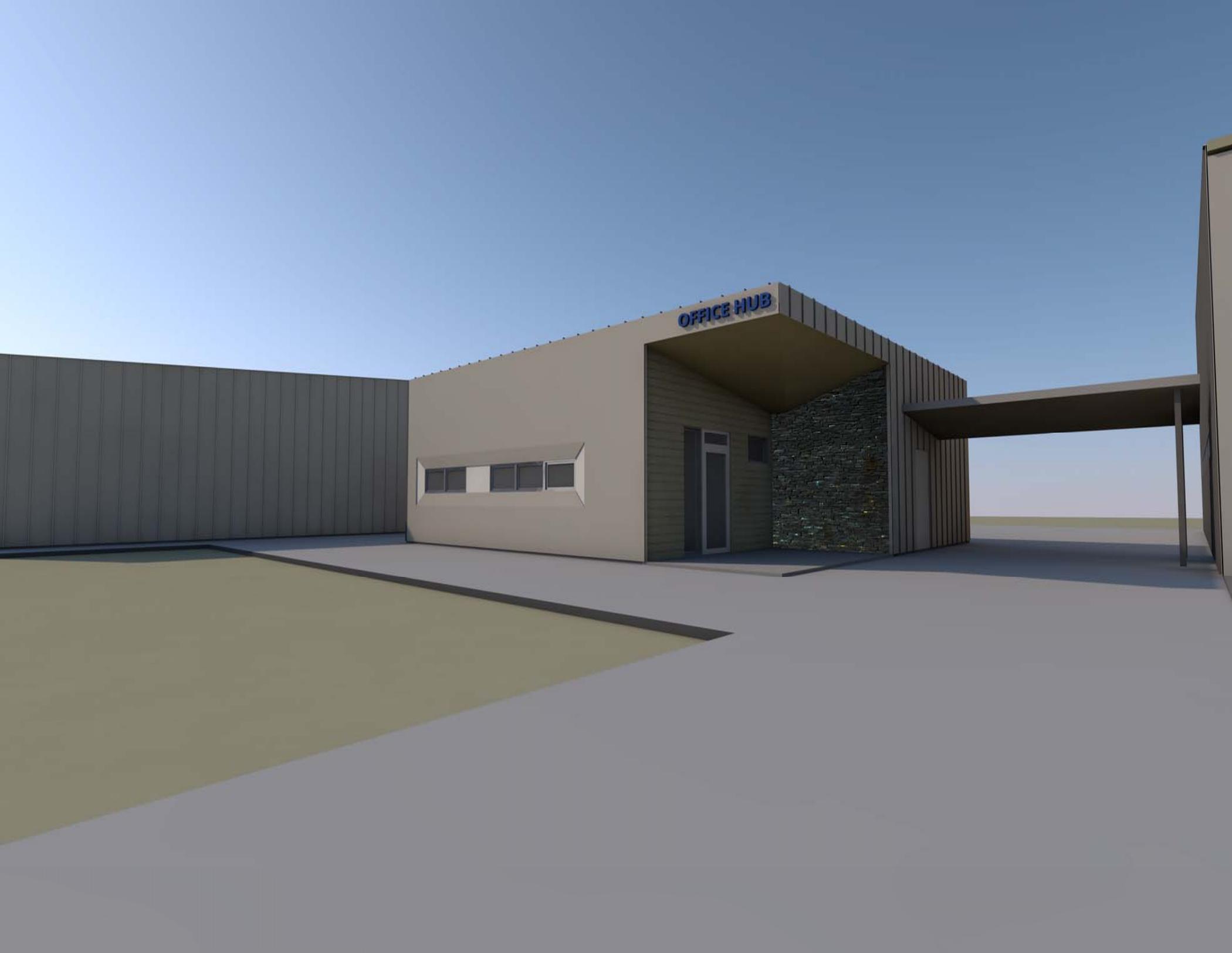
PARK COUNTY  
SCHOOL DISTRICT 6  
TRANSPORTATION DEPARTMENT

1

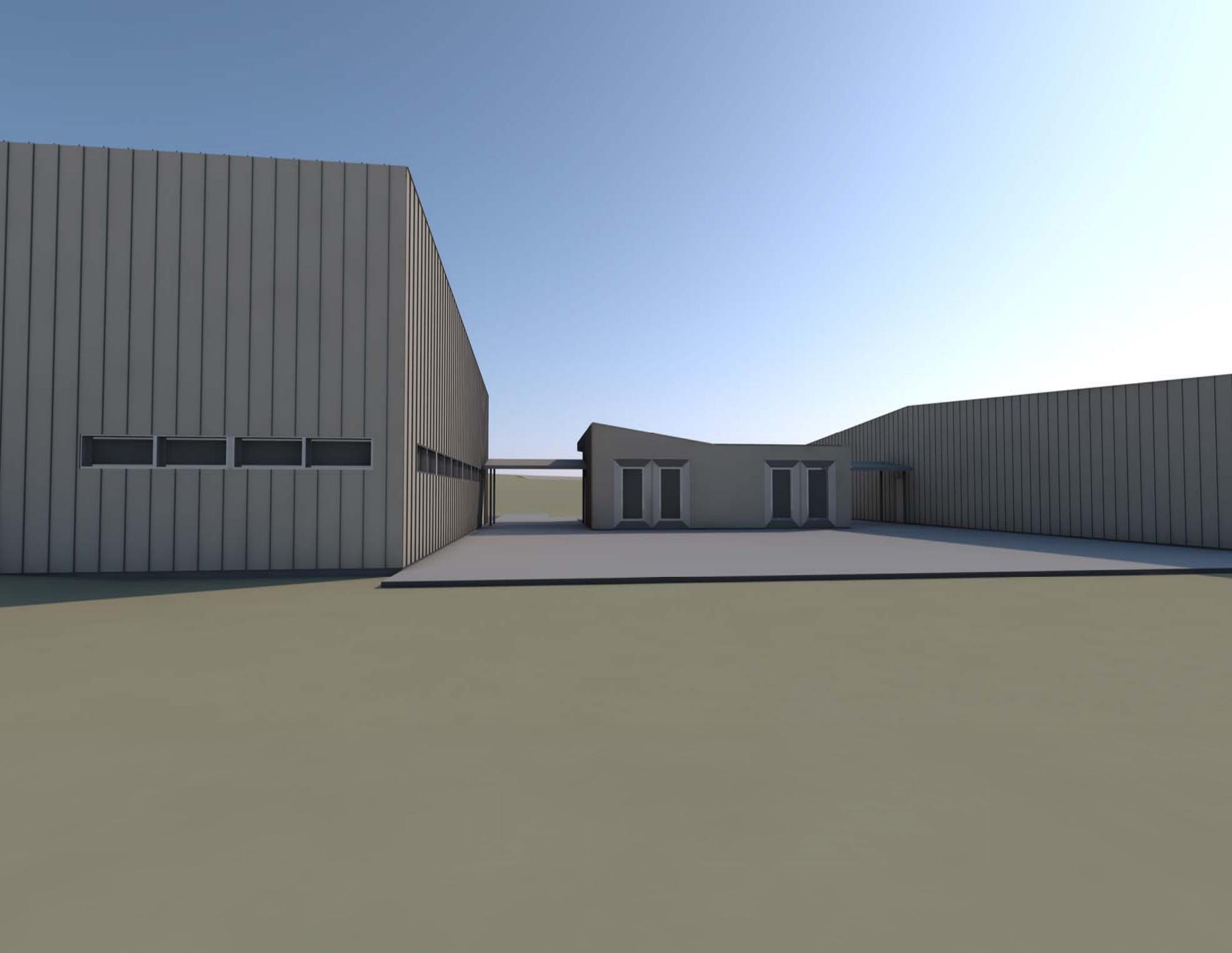
2

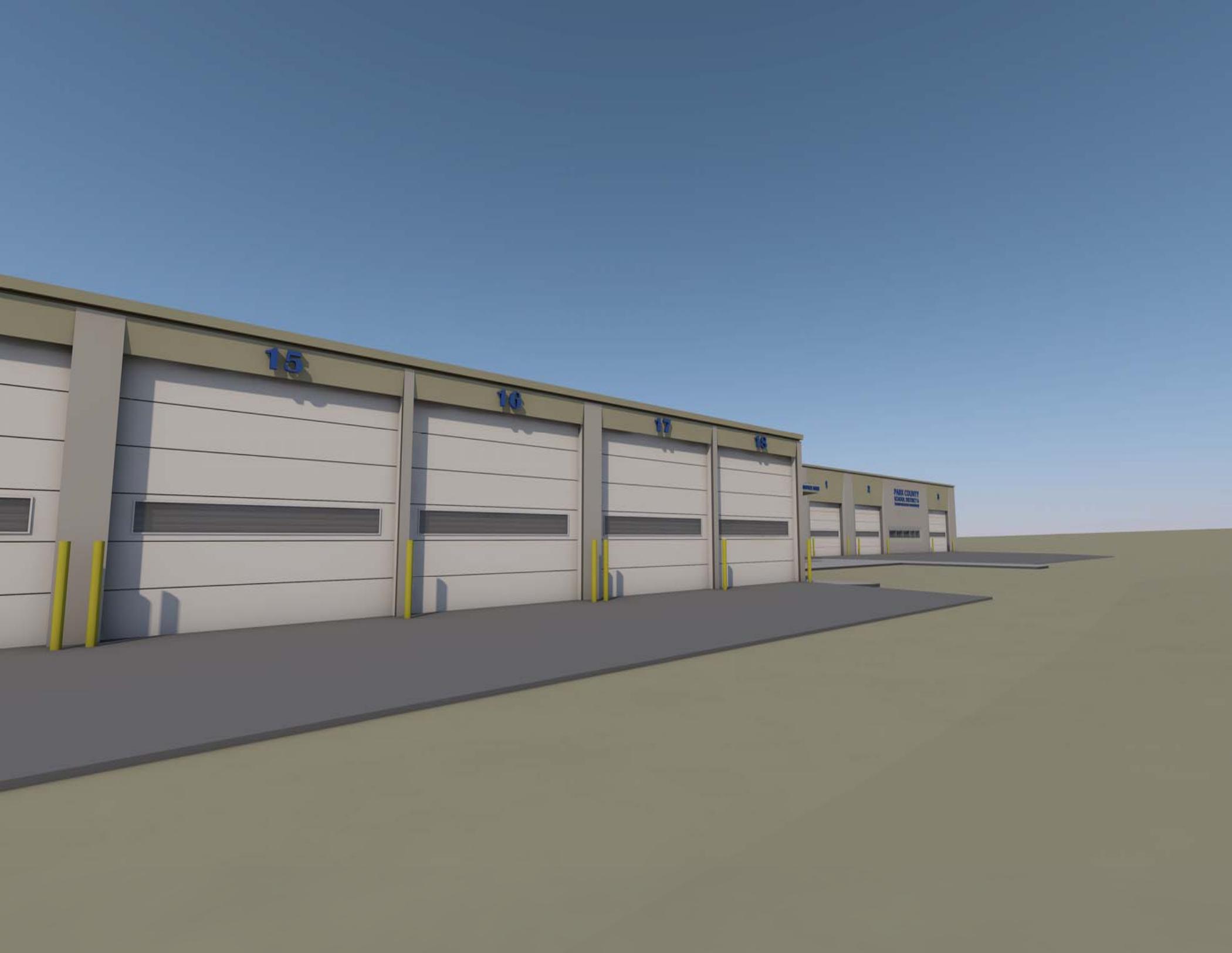
3





OFFICE HUB





15

16

17

18

1

2

PARK COUNTY  
SCHOOL DISTRICT

3



# PCSD #6 CODY HIGH SCHOOL TRANSPORTATION FACILITY DESIGN



ALL COPYRIGHTS ARE RESERVED.  
THIS DOCUMENT IS THE PROPERTY OF  
POINT ARCHITECTS AND IS NOT TO BE  
REPRODUCED OR TRANSMITTED IN ANY  
FORM OR BY ANY MEANS, ELECTRONIC OR  
MECHANICAL, INCLUDING PHOTOCOPYING,  
RECORDING, OR BY ANY INFORMATION  
SYSTEMS WITHOUT PERMISSION IN WRITING  
FROM POINT ARCHITECTS.



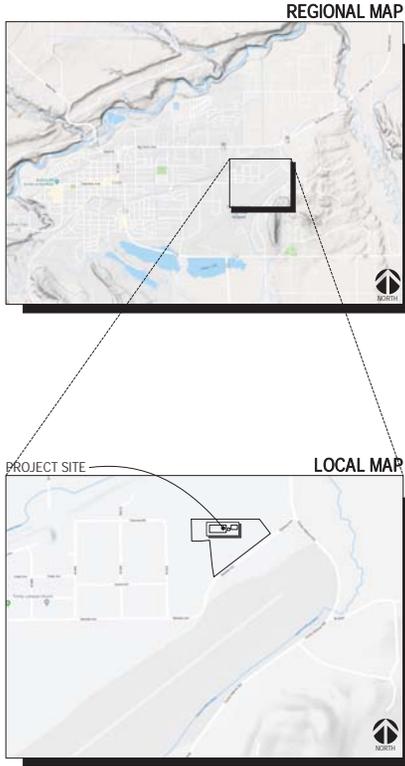
POINT  
ARCHITECTS

301 N 10th Street  
Cody, WY, ID  
P.O. Box 20799  
P.O. Box 1005  
Cody, Wyoming  
WY 82402  
www.pointarchitects.com

DATE REV  
▲  
▲  
▲  
▲

DATE 12/22/2019  
SCALE  
FILE Transportation Facility.pptx  
BY

A0.0



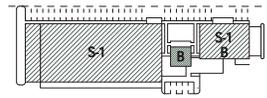
**PROJECT INFORMATION:**

**OWNER ADDRESS:** 919 CODY AVE,  
Cody, WY 82414

**SITE ADDRESS:** SHERIDAN AVE  
Cody, WY 82414

**CODE ANALYSIS:**

ZONE: D-2  
GENERAL BUSINESS



**OFFICE HUB**

**B**

OCCUPANCY GROUP: BUSINESS (B)  
CONSTRUCTION TYPE: II-A  
SPRINKLERED: NO  
FIRE SEPARATION: NO  
STORIES: 1



**MAINTENANCE**

OCCUPANCY GROUP: STORAGE (S-1) / BUSINESS (B)

CONSTRUCTION TYPE: II-B  
SPRINKLERED: YES  
FIRE SEPARATION: 1 HOUR  
STORIES: 2  
HIGHEST POINT: 25 ft

**BUS BARN**

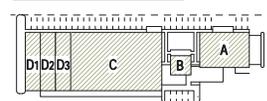
CONSTRUCTION TYPE: II-B  
SPRINKLERED: YES  
FIRE SEPARATION: 1 HOUR  
STORIES: 1

**CODE COMPLIANCE**

- \*\*2018 International Building Code
- \*\*2018 International Fire Code
- \*\*2018 International Plumbing Code
- \*\*2018 International Mechanical Code
- \*\*ICC A117.1 - 2009 Accessibility Code
- \*\*2018 International fuel Gas Code
- ELECTRICAL SHALL COMPLY WITH 2017 NEC

DEFERRED SUBMITTAL OF FIRE SUPPRESSION TO BE SUPPLIED TO CITY BUILDING OFFICIAL AND FIRE MARSHAL.

**AREA TABULATION:**



A. MAINTENANCE:	5,112 sq.ft
SECOND FLOOR:	1,200 sq.ft
B. OFFICE HUB:	1,155 sq.ft
C. BUS BARN:	15,625 sq.ft
D. BID ALTERNATES:	
3	+ 2,600 sq.ft
2	+ 2,600 sq.ft
1	+ 2,575 sq.ft
<b>TOTAL:</b>	<b>30,867 sq.ft</b>

**ARCHITECT:**  
**POINT ARCHITECTS**

1203 Sheridan Ave.  
P.O. Box 1001  
Cody, WY 82414  
p. 307-272-4006  
kane@pointarchitects.com

209 e 35th st.  
Garden City, ID 83714  
p. 208-600-2640  
rich@pointarchitects.com

www.pointarchitects.com

**CIVIL ENGINEER:**  
**ENGINEERING ASSOCIATES**

902 13th street  
Cody, WY 82414  
p. 307-587-4911  
engassoc@eaengineers.com

Robert A Overfield, PE  
Engineer  
robertov@eaengineers.com

www.eaengineers.com

**STRUCTURAL ENGINEER:**  
**WHITTEN & BORGES, PC,**  
**STRUCTURAL ENGINEERS**

P.O. BOX 559  
Sheridan, WY 82801  
p. 307-752-9083

Alfred Hendrickson, PE  
Structural Engineer  
alfred4321@whittenborges.com

www.whittenborges.com

**MECH/ELEC ENGINEER:**  
**ENGINEERING DESIGN ASSOCIATES**

1607 CY Ave., Ste. 303  
Casper, WY 82604  
p. 307-266-5033  
mail@edaengineering.com

Monte N. Schaff, P.E.  
Electrical Engineer  
montes@edaengineering.com

Andrew B. Elston, P.E., LEED AP  
Mechanical Engineer  
aelston@edaengineering.com

www.edaengineering.com

**GEOTECHNICAL ENGINEER:**  
**GEOSCIENCE, PLLP**

2728 Gregory Drive North  
Billings, MT 59102  
p. 406-959-5028  
info@geoscienceinc.net

Jordan L Grover, PE  
Geotechnical Engineer  
jordan@geoscienceinc.net

www.geoscienceinc.net

**GENERAL CONTRACTOR:**

TBD

**SHEET INDEX:**

**A0.0** COVER  
**A0.1** GENERAL INFORMATION

**C1.0** EXISTING SITE PLAN  
**C1.1** SITE PLAN  
**C1.2** UTILITY PROFILES AND DETAILS

**A1.0** ARCHITECTURAL BUILDING LOCATION SITE PLAN  
**A1.1** ARCHITECTURAL SITE PLAN  
**A2.0** MAINTENANCE MAIN FLOOR PLAN  
**A2.1** MAINTENANCE SECOND FLOOR PLAN  
**A2.2** MAINTENANCE ROOF PLAN  
**A2.3** OFFICE MAIN FLOOR & ROOF PLAN  
**A2.4** BUS BARN MAIN FLOOR PLAN  
**A2.5** BUS BARN ROOF PLAN  
**A3.0** MAINTENANCE BUILDING ELEVATIONS  
**A3.1** MAINTENANCE BUILDING ELEVATIONS  
**A3.2** OFFICE ELEVATIONS  
**A3.3** BUS BARN ELEVATIONS  
**A3.4** BUS BARN ELEVATIONS  
**A4.0** MAINTENANCE BUILDING SECTIONS  
**A4.1** MAINTENANCE BUILDING SECTIONS  
**A4.2** OFFICE BUILDING SECTIONS  
**A4.3** BUS BARN BUILDING SECTIONS  
**A4.4** WALL SECTIONS  
**A6.0** SECTION DETAILS  
**A8.0** MAINTENANCE & OFFICE HUB RCP  
**A9.0** INTERIOR ELEVATIONS

**S0.1** GENERAL NOTES  
**S0.2** GENERAL NOTES  
**S1.1** BUS BARN FOUNDATION PLAN  
**S1.2** OFFICE FOUNDATION & ROOF FRAMING PLANS  
**S1.3** MAINTENANCE FOUNDATION & MEZZANINE FRAMING PLANS  
**S2.1** OFFICE ELEVATION  
**S5.1** SECTIONS DETAILS  
**S5.2** SECTIONS DETAILS  
**S5.3** SECTIONS DETAILS

**E1.0** LIGHTING PLANS  
**E1.1** LIGHTING PLANS  
**E2.0** POWER PLANS  
**E2.1** POWER PLANS  
**E3.0** ELECTRICAL DETAILS  
**E4.0** ELECTRICAL SCHEDULES  
**E4.1** ELECTRICAL SCHEDULES

**M0.0** MECHANICAL SCHEDULES  
**M1.1** MAIN FLOOR PLANS WAIST & VENT  
**M1.2** MAIN FLOOR PLAN WAIST & VENT  
**M2.1** FLOOR PLANS DOMESTIC PIPING  
**M2.2** MAIN FLOOR PLAN DOMESTIC PIPING  
**M3.1** FLOOR PLANS HVAC  
**M3.2** MAIN FLOOR PLAN HVAC  
**M4.1** MECHANICAL DETAILS

**GENERAL NOTES:**

1. PLANS FOR THE CONSTRUCTION OF NEW BUILDINGS.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF POINT ARCHITECTS OR OWNER PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
4. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
6. MEANS AND METHODS ARE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL ATTACHMENTS FOR DROPPED CEILING PER SEISMIC ZONE C.



**LEGEND**

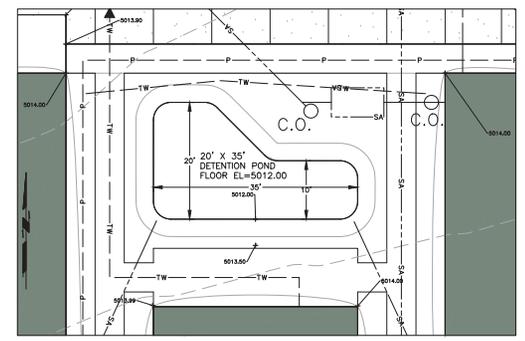
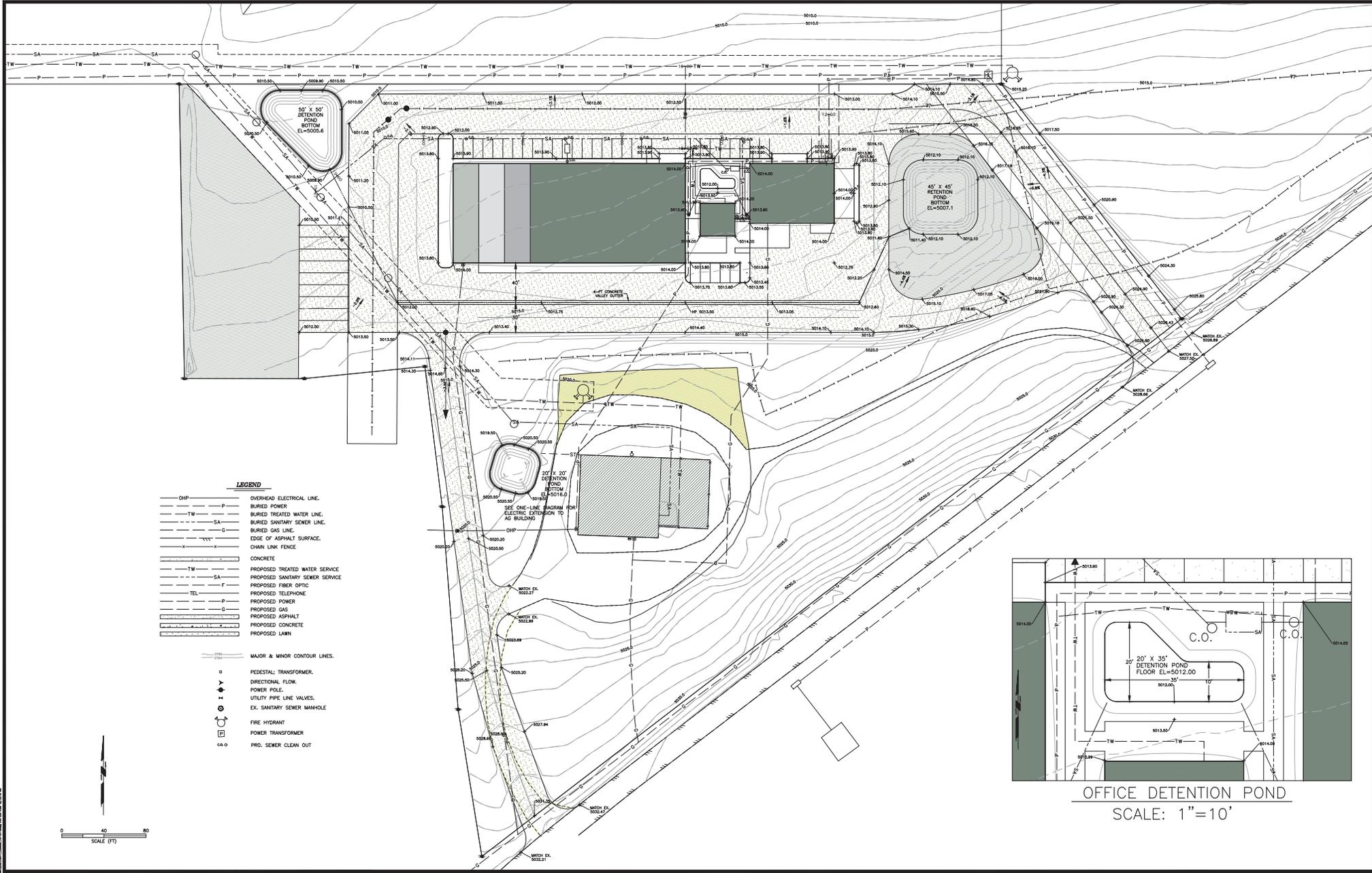
- OHP — OVERHEAD ELECTRICAL LINE.
- P — BURIED POWER.
- TW — BURIED TREATED WATER LINE.
- SA — BURIED SANITARY SEWER LINE.
- G — BURIED GAS LINE.
- — — — — EDGE OF ASPHALT SURFACE.
- X — CHAIN LINK FENCE.
- — — — — CONCRETE.
- — — — — MAJOR & MINOR CONTOUR LINES.
- — PIEDISTAL TRANSFORMER.
- — DIRECTIONAL FLOW.
- ◆ — POWER POLE.
- | — UTILITY PIPE LINE VALVES.
- — EX. SANITARY SEWER MANHOLE.
- — FIRE HYDRANT.
- — POWER TRANSFORMER.
- — PRO. SEWER CLEAN OUT.

DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY: IKSM
10/30/19	ORIGINAL DRAWING	IKSM	RAO	IKSM	JOB NO. 19011.02 FIELD BOOK NO. 411 DRAWING NO. SITE


**ENGINEERING ASSOCIATES — CODY, WYOMING**  
 CONSULTING ENGINEERS & SURVEYORS

OWNER:  
**PARK COUNTY SCHOOL DISTRICT NO.6**

PROJECT:  
**CODY HIGH SCHOOL BUS GARAGE**  
 TITLE:  
**EXISTING SITE PLAN**



DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY: IKSM
12/12/19	REVISE FRONT ENTRANCES	IKSM	RAO	IKSM	JOB NO. 19011.02
11/25/19	MOVE C.O. AT 3-INCH WITHLN	IKSM	RAO	IKSM	FIELD BOOK NO. 411
10/22/19	ORIGINAL DRAWING	IKSM	RAO	IKSM	DRAWING NO. SITE

**ENGINEERING ASSOCIATES – CODY, WYOMING**  
CONSULTING ENGINEERS & SURVEYORS

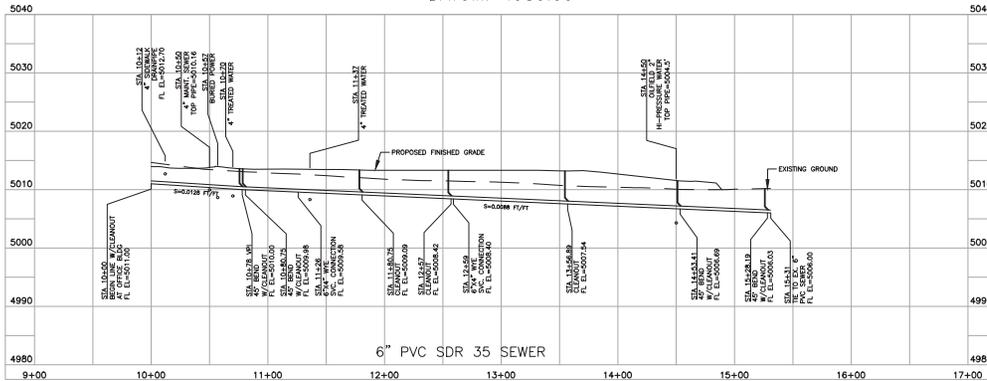
OWNER:  
PARK COUNTY SCHOOL DISTRICT NO.6

PROJECT:  
CODY HIGH SCHOOL BUS GARAGE

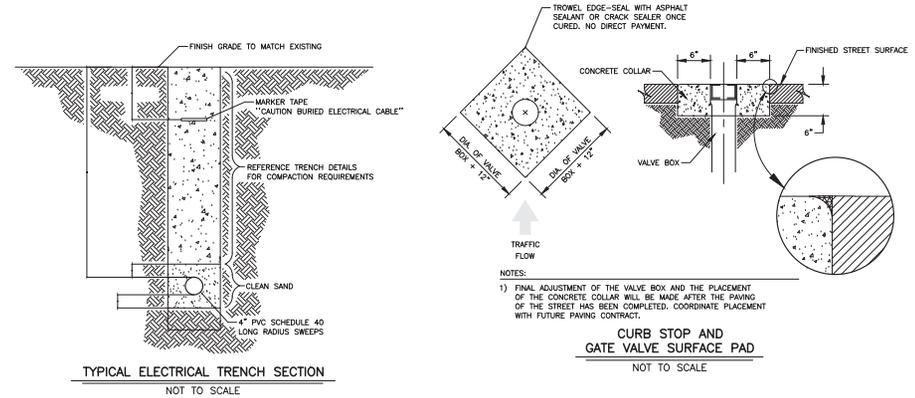
TITLE:  
PROPOSED SITE PLAN

C1.1

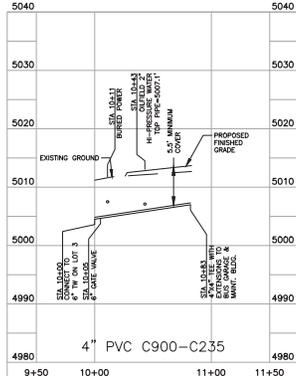
PROFILE VIEW: SANITARY SEWER  
SCALE: 10  
DATUM: 4980.00



- NOTES:  
1. CONTRACTOR SHALL VERIFY EXISTING 6-IN SEWER PIPE ELEVATION BEFORE INSTALLING NEW SEWER.  
2. INSTALLATION MUST BE OBSERVED BY ENGINEERING ASSOCIATES BEFORE BACKFILL.

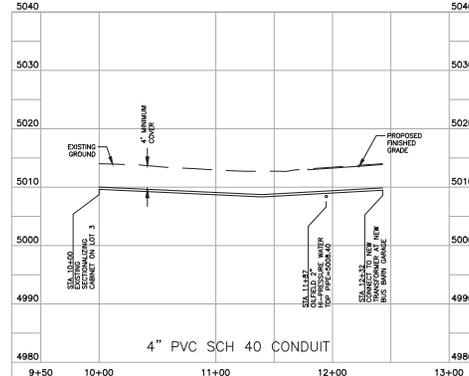


PROFILE VIEW: TREATED WATER  
SCALE: 10  
DATUM: 4980.00

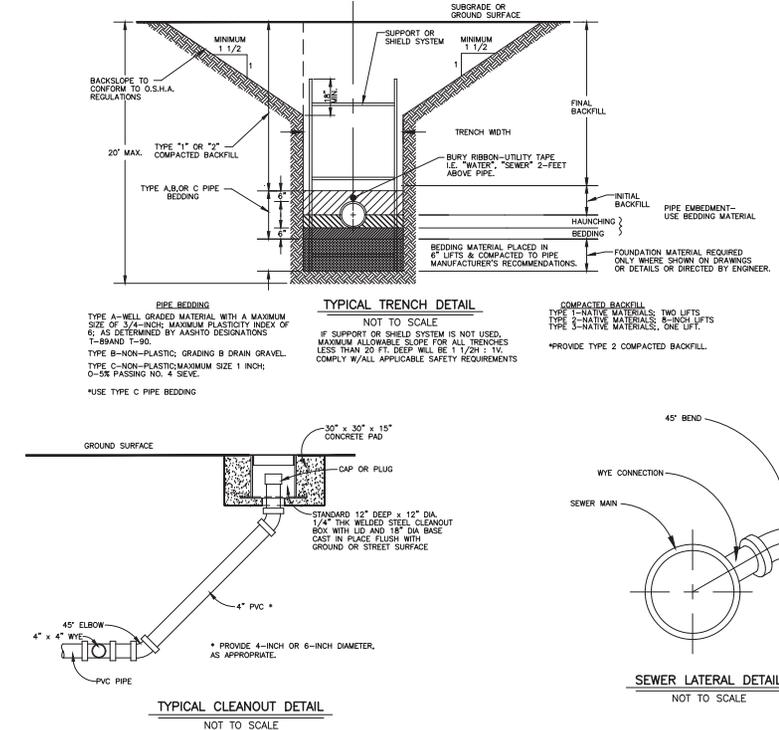


- NOTES:  
1. 4" TREATED WATER LINE SIZE TO BE VERIFIED BY FIRE SPRINKLER ENGINEER.  
2. INSTALLATION MUST BE OBSERVED BY ENGINEERING ASSOCIATES BEFORE BACKFILL.

PROFILE VIEW: POWER  
SCALE: 10  
DATUM: 4980.00



- NOTES:  
1. COORDINATE WORK WITH CITY OF CODY ELECTRIC DEPARTMENT.  
2. PROVIDE 4" GREY ELECTRICAL GRADE SCHEDULE 40 PVC CONDUIT, WITH LONG RADIUS SWEEPS, FOR NEW UNDERGROUND PRIMARY CONDUCTORS TO BE PROVIDED BY THE CITY OF CODY.  
3. INSTALL TRANSFORMER PAD, SLEEVE, AND GROUND RODS, FURNISHED BY CITY OF CODY, AT NEW MAINTENANCE BUILDING.  
4. TRANSFORMER FURNISHED AND INSTALLED BY CITY OF CODY.



NOTE: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND CITY OF CODY STANDARDS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
11/25/19	ORIGINAL DRAWING	KNB	IKSM	RAO

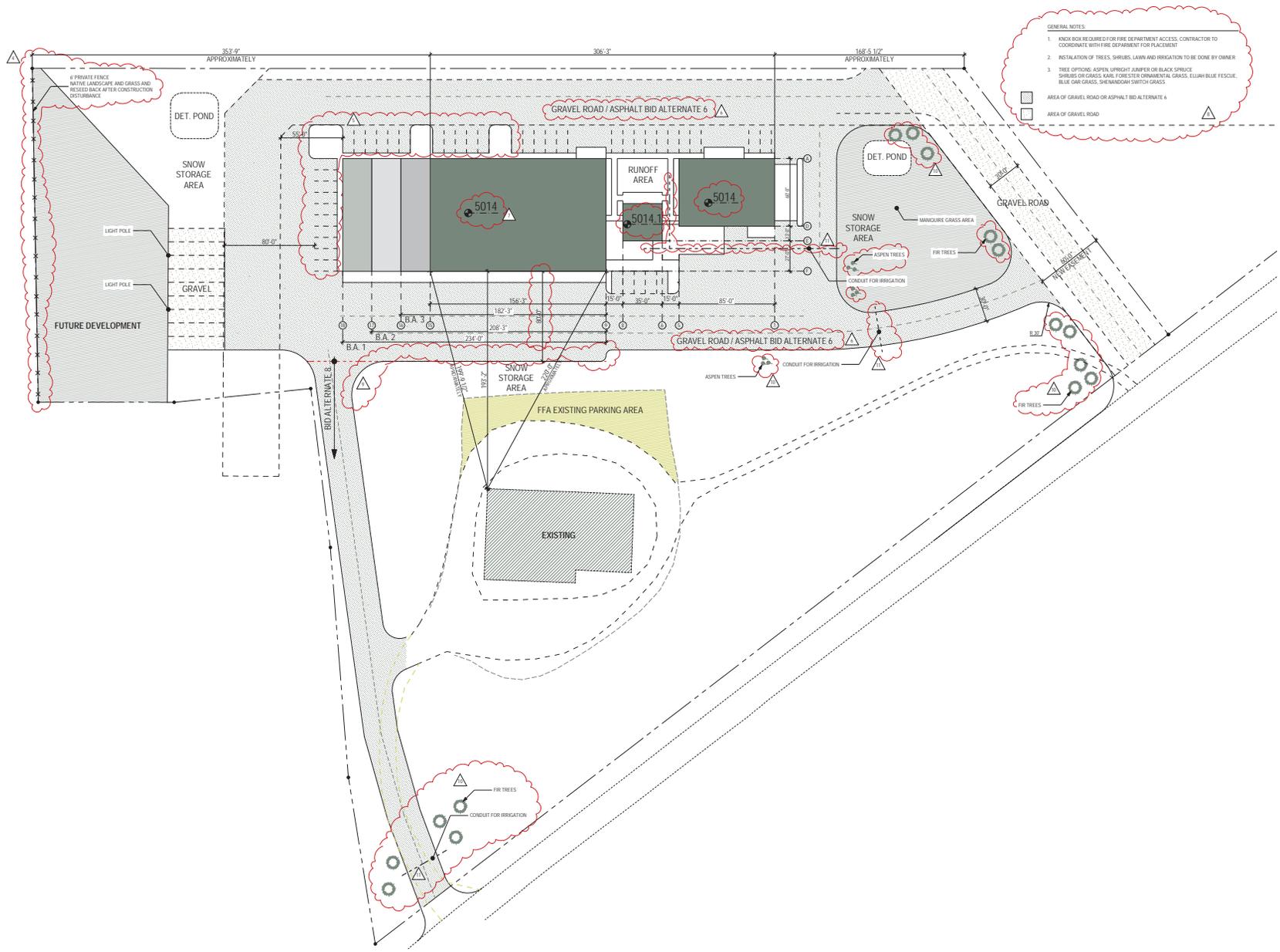
DRAWN BY: IKSM
JOB NO. 19011.02
FIELD BOOK NO. 411
DRAWING NO. SITE



ENGINEERING ASSOCIATES - CODY, WYOMING  
CONSULTING ENGINEERS & SURVEYORS

OWNER:  
PARK COUNTY SCHOOL DISTRICT NO.6

PROJECT:  
CODY HIGH SCHOOL BUS GARAGE  
TITLE:  
UTILITY PROFILES AND DETAILS



- GENERAL NOTES**
1. KNOW BOLL REQUIRED FOR FIRE DEPARTMENT ACCESS. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT FOR PLACEMENT.
  2. INSTALLATION OF TREES, SHRUBS, LAWN AND IRRIGATION TO BE DONE BY OWNER.
  3. TREE OPTIONS: ASPEN, UPRIGHT JUNIPER OR BLACK SPRUCE, SHRUBS OR GRASS: KARI, FOWSTER OR ORNAMENTAL GRASS, ELLIUM BLUE PESCUE, BLUE OAK GRASS, OENANDRA SWITCH GRASS.
- AREA OF GRAVEL ROAD OR ASPHALT BID ALTERNATE 6  
 AREA OF GRAVEL ROAD

ALL CONCEPT DESIGN  
 DRAWINGS CONSIDERED  
 PRELIMINARY AND NOT TO  
 BE USED FOR CONSTRUCTION  
 WITHOUT THE WRITTEN  
 PERMISSION OF  
 POINT ARCHITECTS

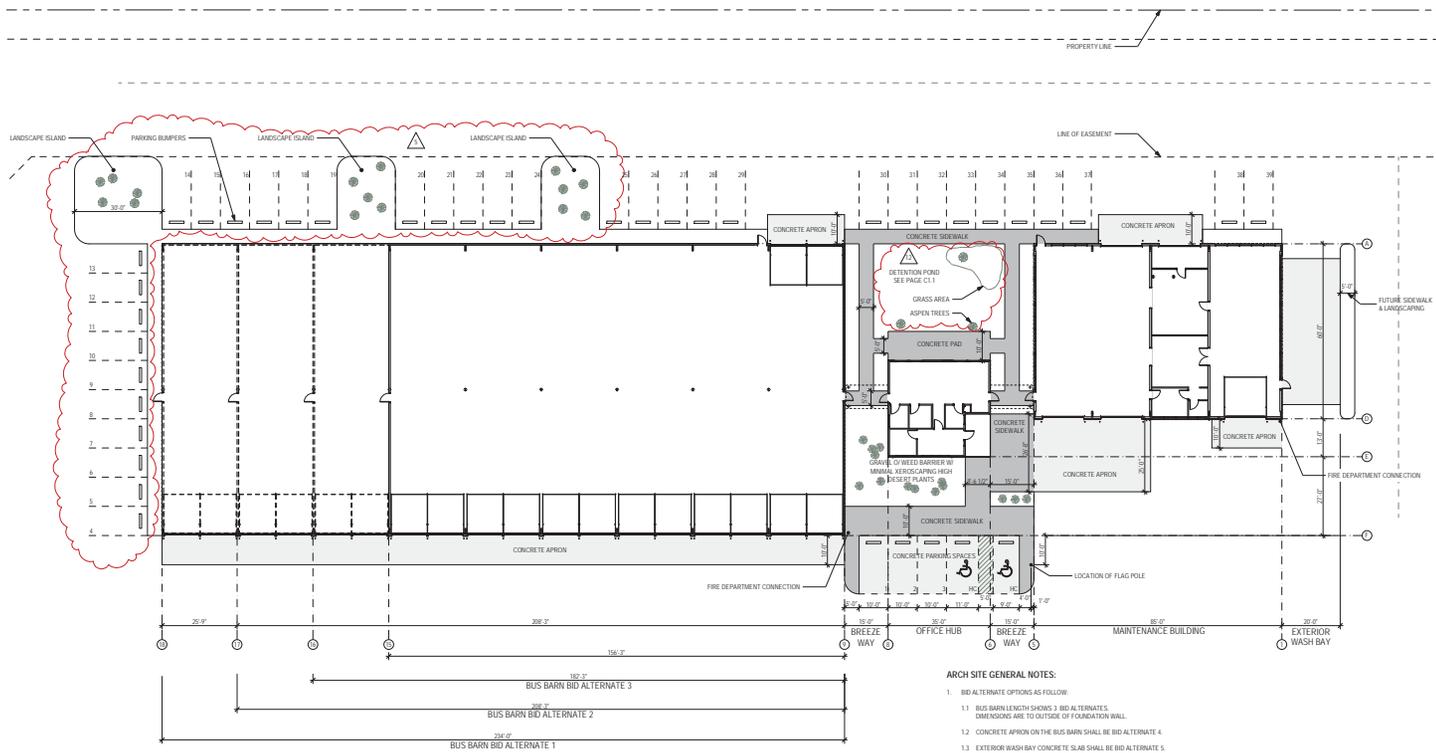


**POINT ARCHITECTS**  
 201 E. 10th Street  
 Cody, WY, ID  
 P.O. Box 1099  
 Cody, Wyoming  
 WY 82401

DATE	REV.
▲	
▲	
▲	
▲	
▲	

DATE: 1/9/2020  
 SCALE: FILE: Transportation Facility.p  
 BY: BHC

**ARCHITECTURAL SITE PLAN - BUILDING LOCATION**  
 1" = 40'-0"



ARCHITECTURAL SITE PLAN  
1" = 20'-0"



SITE FRONT ELEVATION  
1" = 20'-0"

ALL CONCRETE AREAS  
SHALL BE FINISHED  
WITH A BROOM  
FINISH UNLESS  
OTHERWISE NOTED  
ON THE DRAWING.  
SEE NOTES FOR  
FINISHES AND  
TOLERANCES.



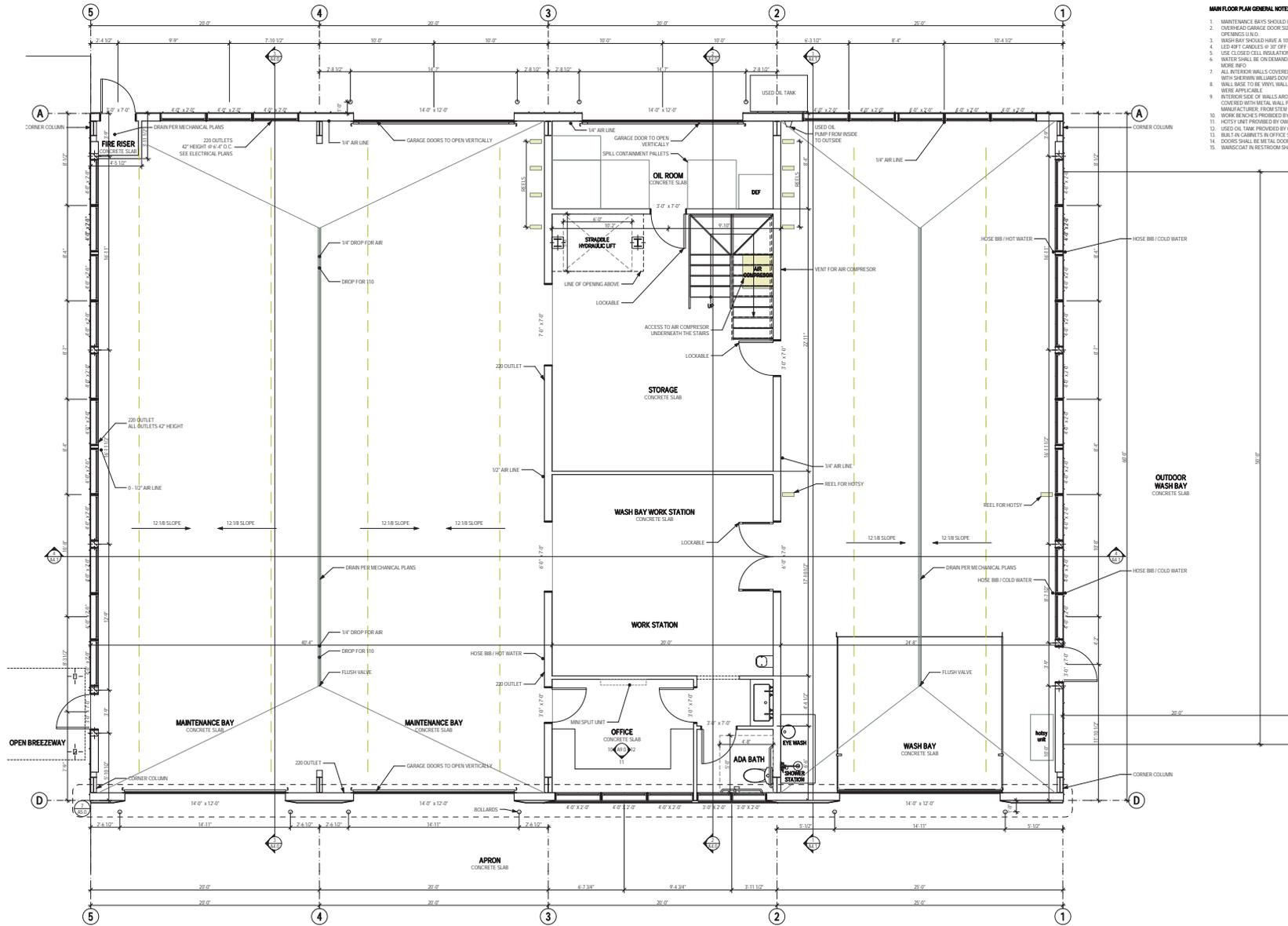
POINT  
ARCHITECTS

301 E. 10th Street  
Cody, WY, ID  
307.558.2979  
P.O. Box 1005  
Cody, WY 82414  
www.pointarchitects.com

DATE	REV.
▲	
▲	
▲	
▲	
▲	

DATE: 1/9/2020  
SCALE: FILE: Transportation Facility.p  
BY: BHC

A1.1



- MAIN FLOOR GENERAL NOTES:**
1. MAINTENANCE BAYS SHOULD HAVE A 2" CONCRETE APRON OVERHEAD GARAGE DOOR SIZES INDICATED IN PLANS ARE FOR OPENINGS UNLESS NOTED OTHERWISE.
  2. WASH BAY SHOULD HAVE A 1" CONCRETE APRON OVERHEAD GARAGE DOOR SIZES INDICATED IN PLANS ARE FOR OPENINGS UNLESS NOTED OTHERWISE.
  3. LEAD-RESISTANT CABLES 1/2" DIA. CONCRETE APRON.
  4. USE CLOSED CELL INSULATION ON ALL WALLS UNLESS OTHERWISE NOTED.
  5. WATER SHALL BE ON DEMAND. SEE MECHANICAL PLANS FOR MORE INFO.
  6. ALL INTERIOR WALLS COVERED WITH GYPSUM TO BE PAINTED WITH SHEKIN WILLIAMS COVER WHITE.
  7. WALL BASE TO BE VINYL WALL BASE 4" FINISH. NAVY COLOR. WHERE APPLICABLE.
  8. INTERIOR SIDE OF WALLS AROUND WASH BAY SHALL BE COVERED WITH METAL WALL PANELS PER STEEL BUILDING MANUFACTURER. FROM STAIN WALL TO ROOF UNLESS OTHERWISE NOTED.
  9. WORK FINISHES PROVIDED BY OWNER.
  10. HOTSY UNIT PROVIDED BY OWNER.
  11. USED OIL TANK PROVIDED BY OWNER.
  12. BUILDING CABINETS IN OFFICE SHALL BE WOOD.
  13. DOORS SHALL BE METAL DOORS.
  14. WAINSCOT IN RESTROOM SHALL BE DARK BROWN.

**MAINTENANCE BUILDING - MAIN FLOOR PLAN**  
1/4" = 1'-0"



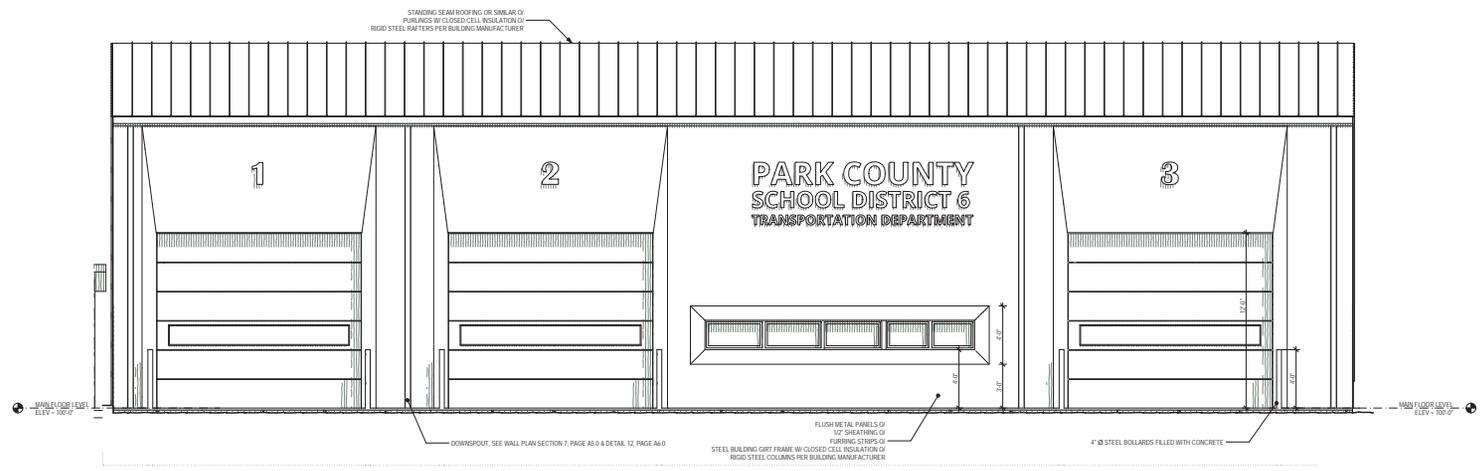
**POINT ARCHITECTS**

301 S. 10th Street  
Gardiner, WY, ID  
P.O. Box 2099  
P.O. Box 1005  
Cody, WY 82401  
P: 307.251.0000  
www.pointarchitects.com

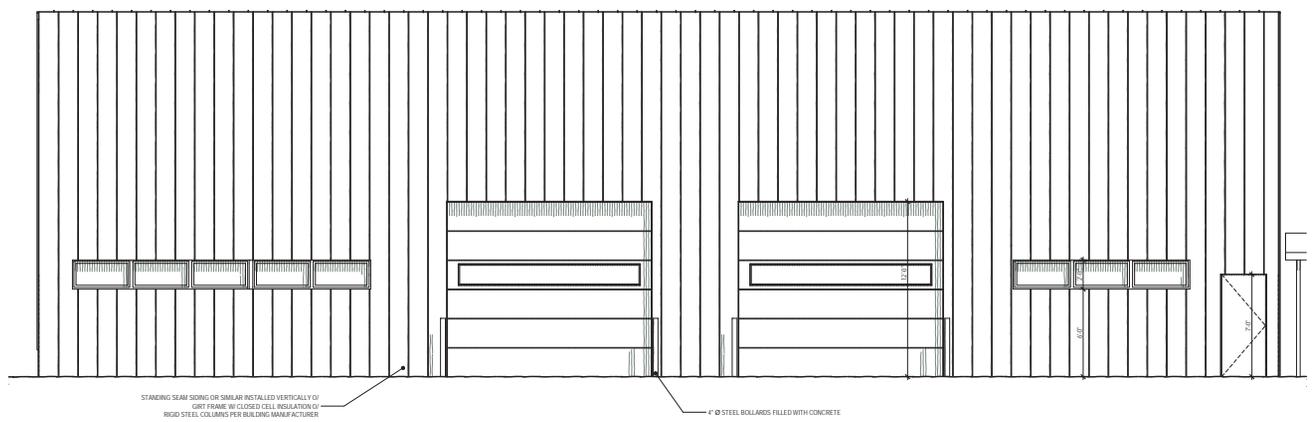
DATE: REV.  
▲  
▲  
▲  
▲  
▲

DATE: 1/22/2019  
SCALE: Transportation Facility p. 012

**A2.0**



**MAINTENANCE BUILDING - FRONT ELEVATION**  
1/4" = 1'-0"



**MAINTENANCE BUILDING - BACK ELEVATION**  
1/4" = 1'-0"

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.



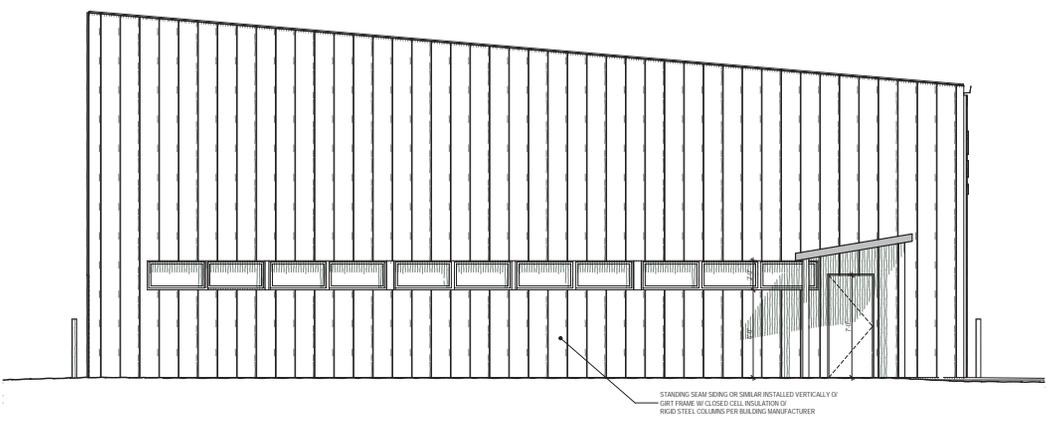
**POINT ARCHITECTS**

301 E. 10th Street  
Cody, WY, ID  
82401  
P.O. Box 1001  
Cody, WY 82401  
P: 307.571.0000  
www.pointarchitects.com

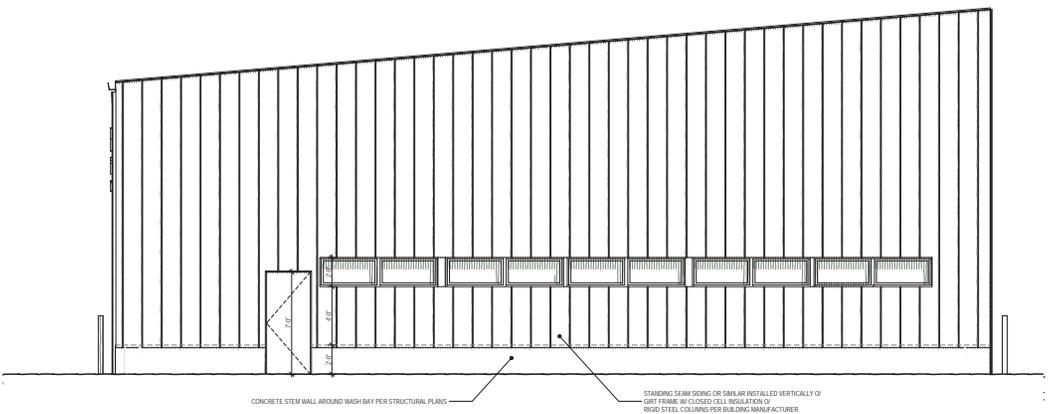
DATE	REV.
	▲
	▲
	▲
	▲

DATE: 1/22/2019  
SCALE:  
FILE: Transportation Facility.p  
BY: BJC

**A3.0**



MAINTENANCE BUILDING - WEST ELEVATION  
1/4" = 1'-0"



MAINTENANCE BUILDING - EAST ELEVATION  
1/4" = 1'-0"

ALL COPYRIGHTS ARE THE PROPERTY OF THE ARCHITECTS AND ARE PROTECTED BY LAW.



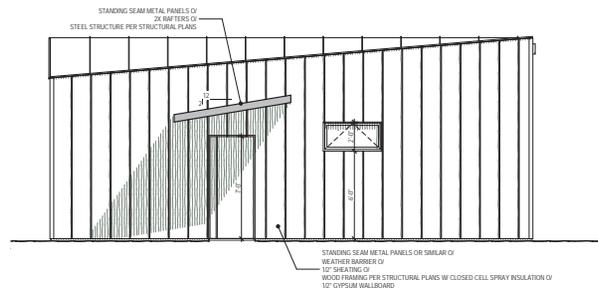
POINT ARCHITECTS

301 N 10th Street  
Cody, WY, ID  
P: 307.556.2979  
F: 307.556.1885  
Cody, Wyoming  
WY 82401

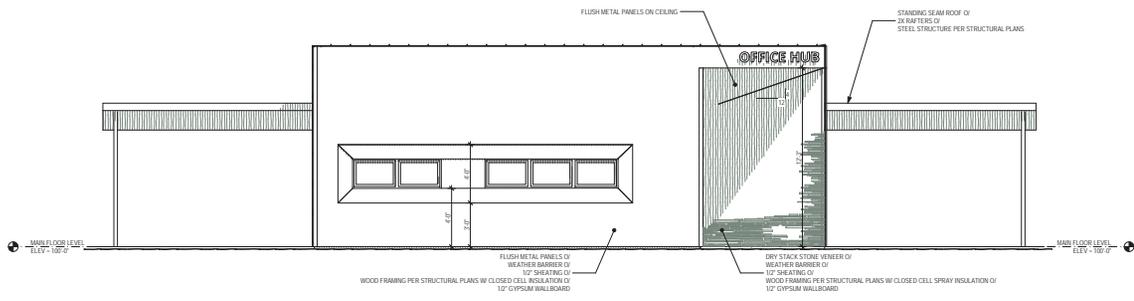
DATE	REV.
▲	
▲	
▲	
▲	

DATE: 12/2/2019  
SCALE:  
FILE: Transportation Facility.p  
BY: BJC

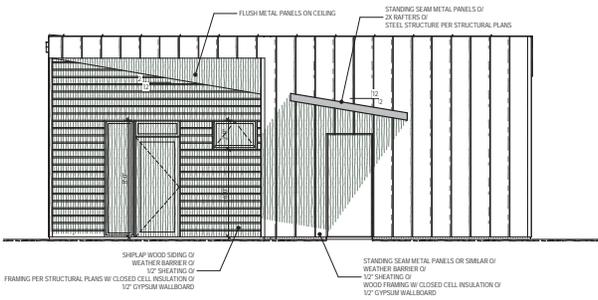
A3.1



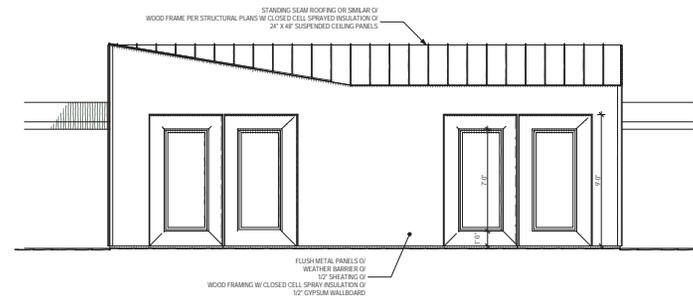
OFFICE HUB - WEST ELEVATION  
1/4" = 1'-0"



OFFICE HUB - FRONT ELEVATION  
1/4" = 1'-0"



OFFICE HUB - EAST ELEVATION  
1/4" = 1'-0"



OFFICE HUB - BACK ELEVATION  
1/4" = 1'-0"

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



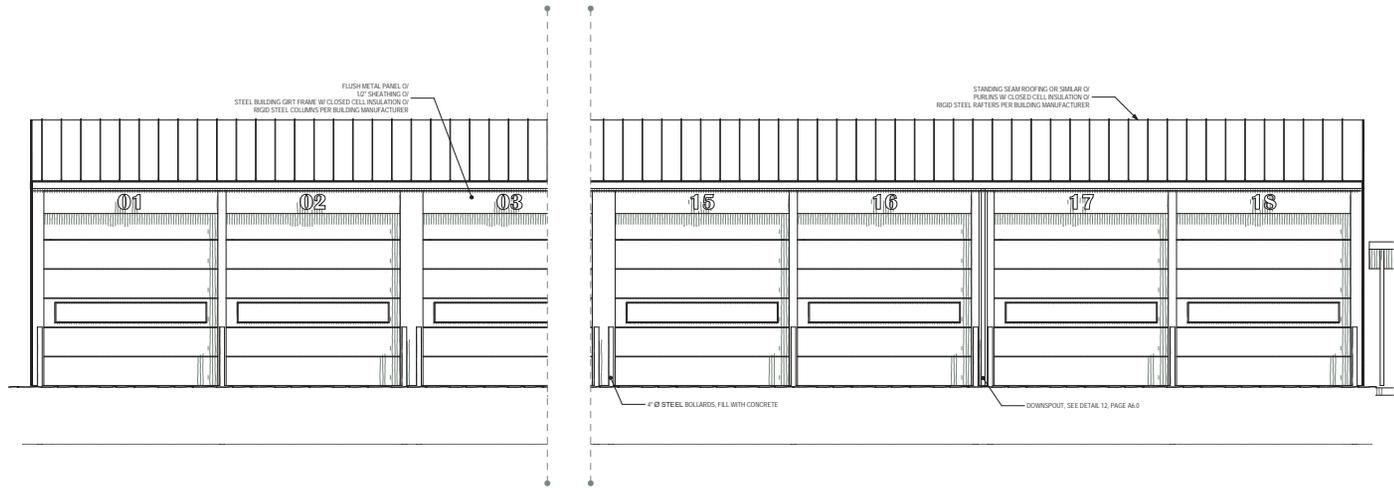
POINT ARCHITECTS

301 N. 10th Street  
Cody, WY, ID  
307.538.2979  
P.O. Box 1005  
Cody, Wyoming  
WY 82401

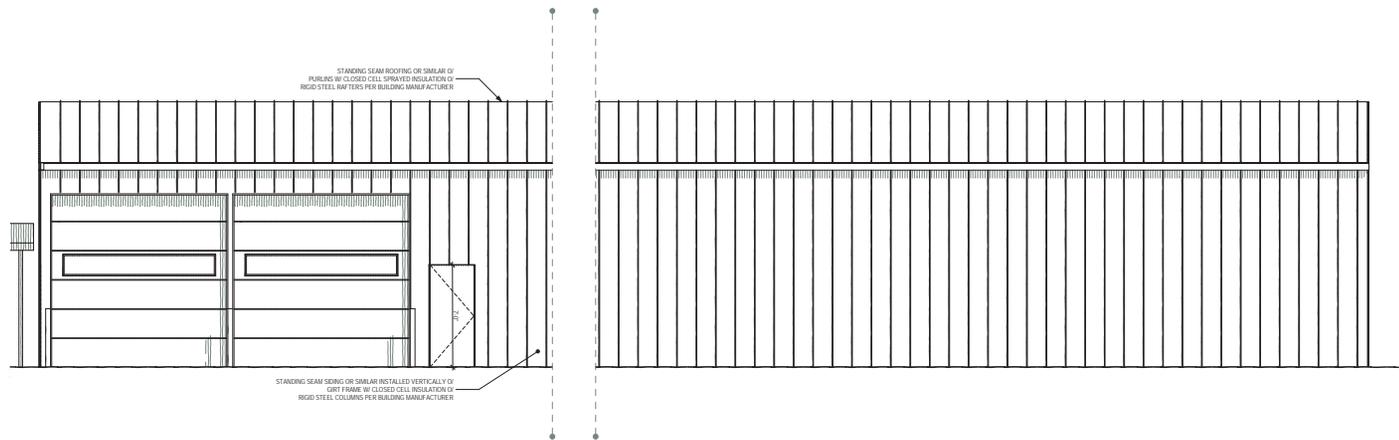
DATE	REV.
▲	
▲	
▲	
▲	
▲	

DATE: 1/22/2019  
SCALE:  
FILE: Transportation Facility.p  
BY: BJC

A3.2

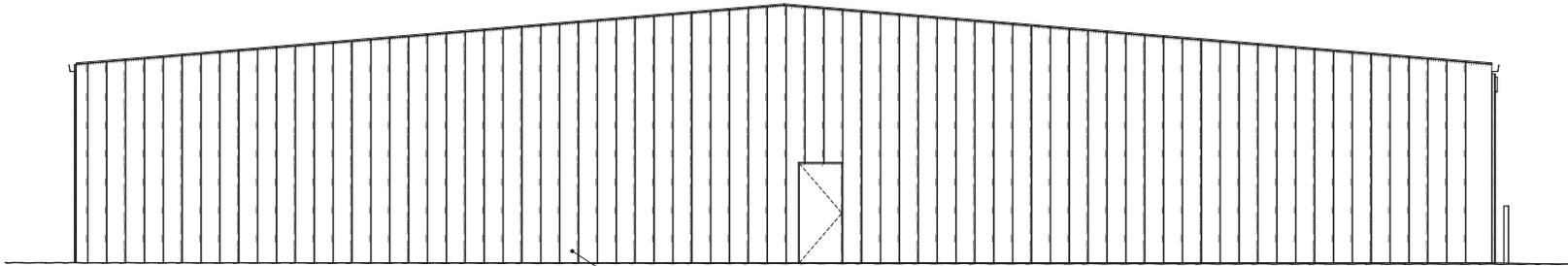


**BUS BARN - FRONT ELEVATION**  
1/4" = 1'-0"

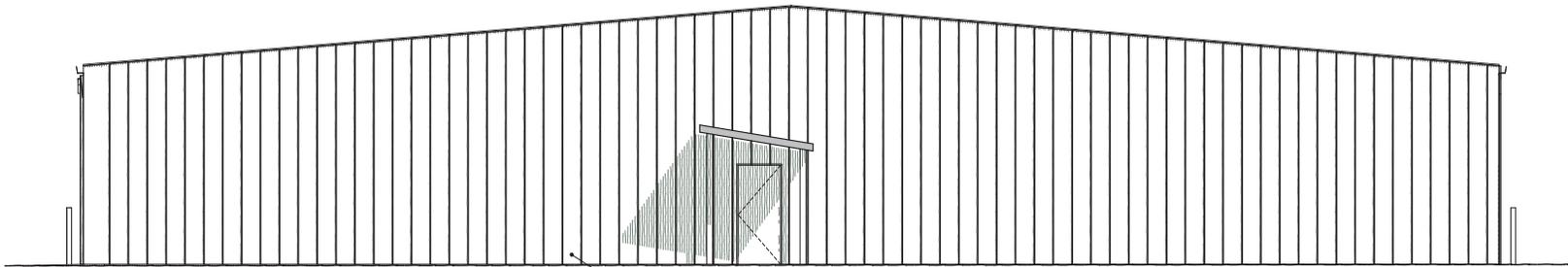


**BUS BARN - BACK ELEVATION**  
1/4" = 1'-0"





**BUS BARN - WEST ELEVATION**  
1/4" = 1'-0"



**BUS BARN - EAST ELEVATION**  
1/4" = 1'-0"

ALL CONSTRUCTION  
PERMITS, CONTRACTS,  
AND AGREEMENTS  
ARE THE PROPERTY OF  
POINT ARCHITECTS AND  
SHOULD BE KEPT  
PROTECTED BY LAW



**POINT  
ARCHITECTS**

301 N 10th Street  
Cody, WY, ID  
307.535.2979  
P.O. Box 1005  
Cody, Wyoming  
WY 82401

DATE

REV.



DATE

SCALE

FILE

BY

DATE

SCALE

FILE

BY

DATE

SCALE

FILE

BY

DATE

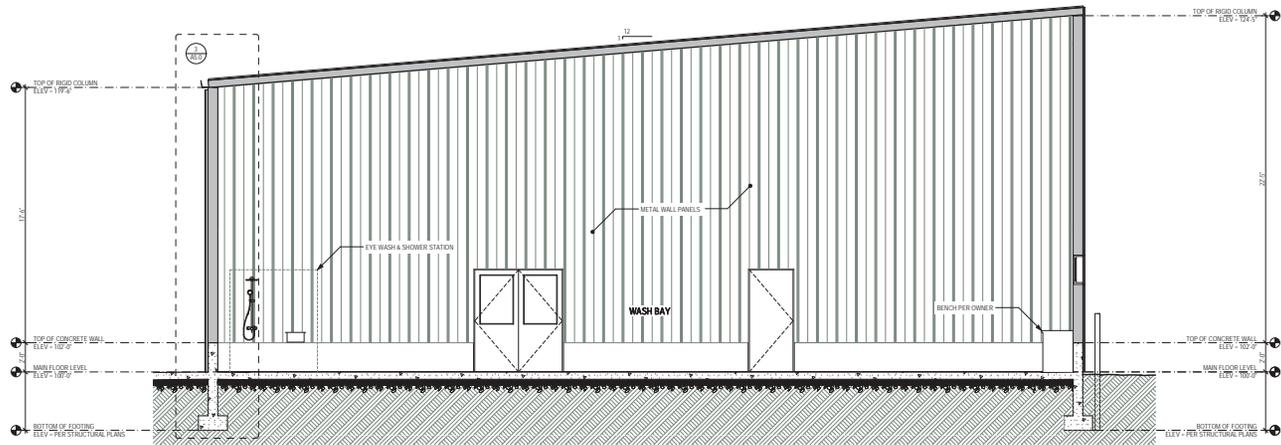
SCALE

FILE

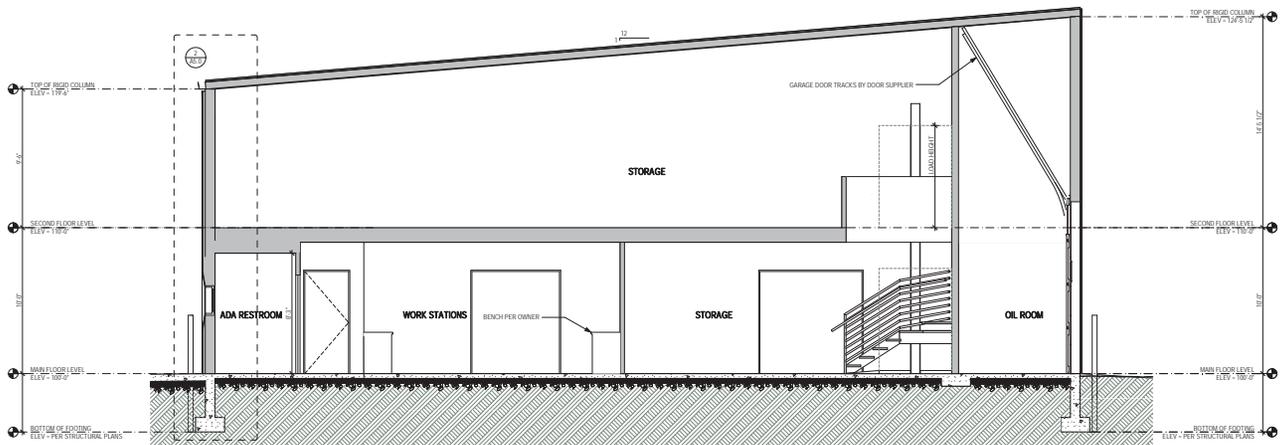
BY

12/22/2019  
Transportation Facility.ppt

A3.4



**MAINTENANCE BUILDING SECTION @ WASH BAY**  
1/4" = 1'-0" **1**



**MAINTENANCE BUILDING SECTION @ STORAGE BAY**  
1/4" = 1'-0" **2**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.

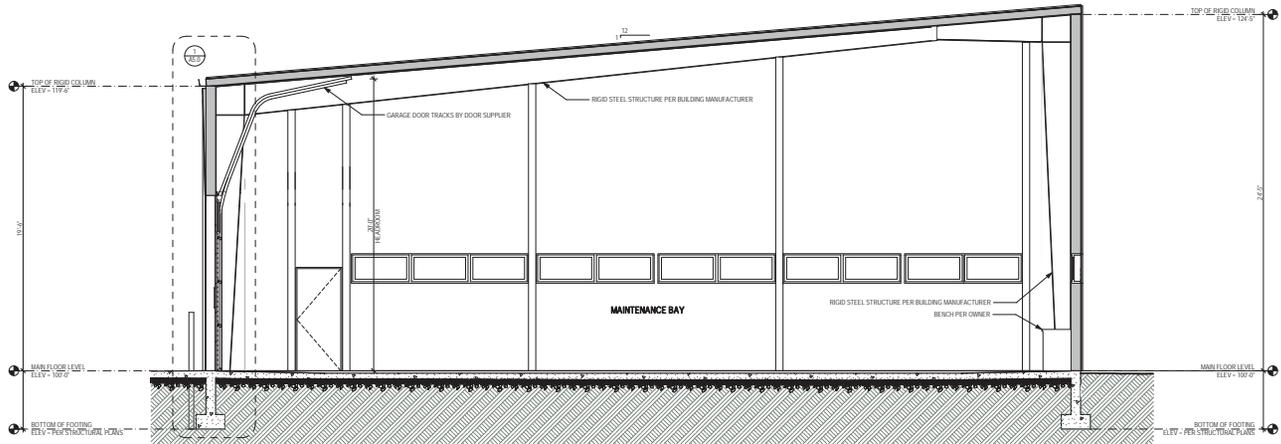


**POINT ARCHITECTS**  
301 N. 10th Street  
Cody, WY 82401  
P: 307.556.2999  
F: 307.556.1885  
Cody, WY 82401  
www.pointarchitects.com

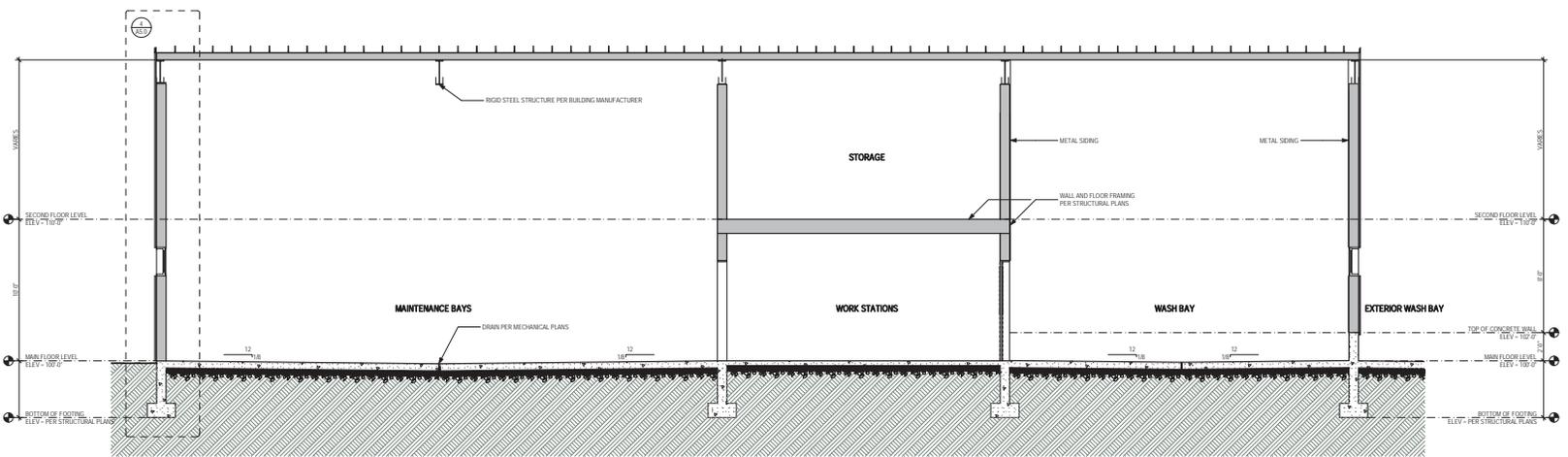
DATE	REV.
▲	
▲	
▲	
▲	
▲	

DATE: 1/22/2019  
SCALE:  
FILE: Transportation Facility.p  
BY: BHC

**A4.0**



**MAINTENANCE BUILDING SECTION @ MAINTENANCE BAY** 3  
1/4" = 1'-0"



**MAINTENANCE BUILDING SECTION ACROSS** 4  
1/4" = 1'-0"

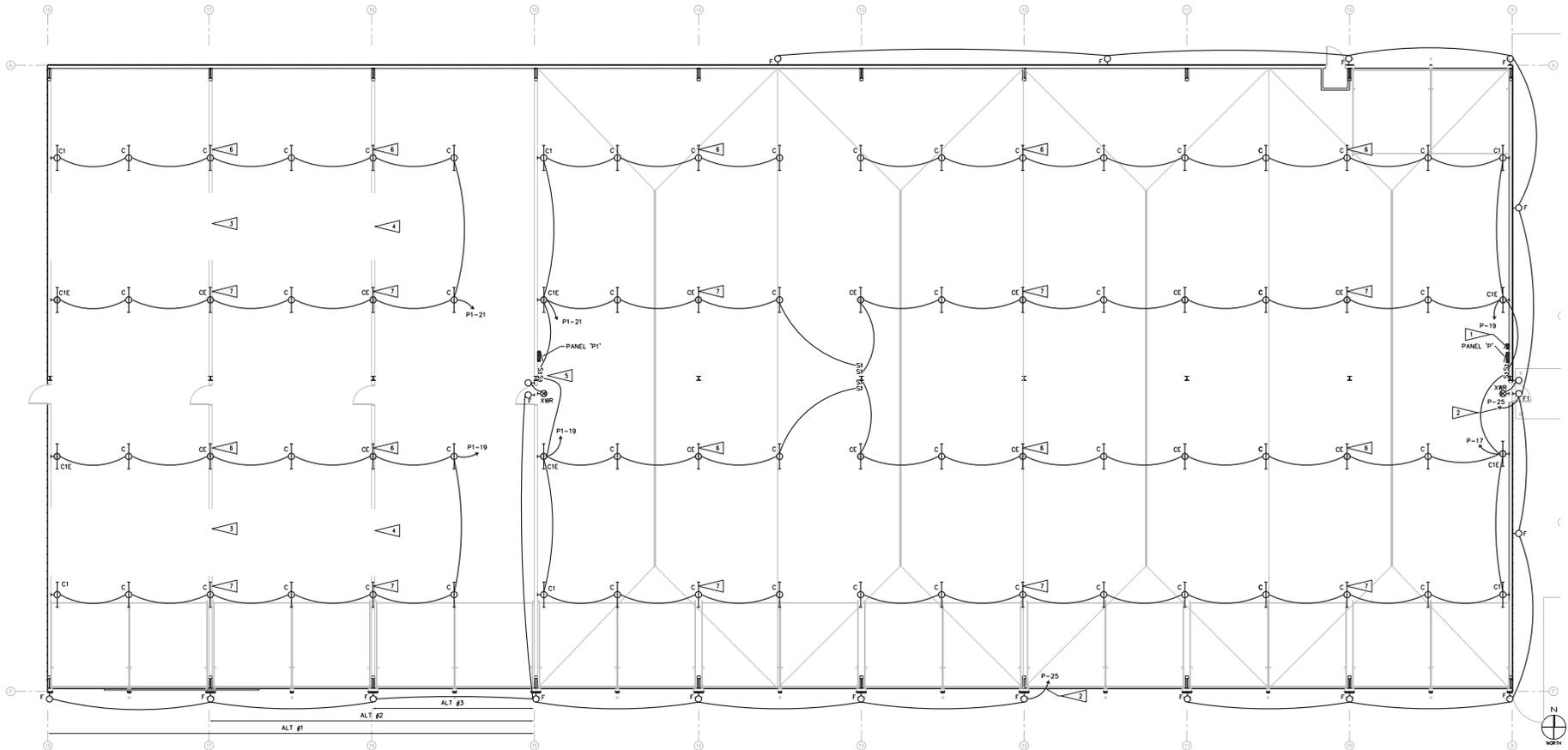
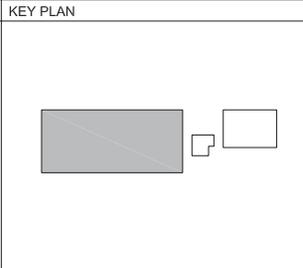


**GENERAL NOTES:**

- SEE SPECIFICATIONS FOR MATERIALS AND METHODS.
- ELECTRICAL INSTALLATIONS SHALL COMPLY WITH NEC, STATE AND LOCAL CODES.
- INSTALL EQUIPMENT GROUNDING CONDUCTORS IN ALL CONDUITS.
- CONTRACTORS ARE TO EXAMINE THE SITE AND DOCUMENTS OF OTHER TRADES AND BECOME FAMILIAR WITH THE FULL SCOPE OF WORK.
- SEWER LOCATIONS ARE SHOWN DIAGRAMMATICALLY. EC IS RESPONSIBLE FOR FINAL SEWER LOCATIONS, COORDINATED WITH ALL ROOM INTERFERENCES.
- ALL PENETRATIONS FOR RACEWAY AND WIRE WHICH ARE FURNISHED AND INSTALLED BY THE EC, THAT PENETRATE FLOORS, FIRE AND/OR SMOKE WALLS, AND FULL HEIGHT PARTITIONS (INCLUDING CHASE WALLS) SHALL BE SEALED WITH A SYSTEM SPECIFICALLY APPROVED FOR THE APPLICATION, TO MAINTAIN FIRE RATING.
- CONNECT ALL EXIT/EGRESS LIGHT FIXTURE TO UNSWITCHED LIGHTING CIRCUIT IN SAME ROOM.

**FLAG NOTES:**

- EXTERIOR LIGHTING TIME CLOCK: ASTRONOMIC, ELECTRONIC, 7-DAY TIME CLOCK. INTERMIX EMBOSC OR ACCEPTABLE EQUAL.
- CONNECT CIRCUIT NOTED VIA EXTERIOR TIME CLOCK.
- ALTERNATE #2 - CHANGE LIGHT FIXTURES ALONG EXTERIOR WALL LOCATION AT GRID LINE 17 NOTED TO TYPE 'C1' AND 'C1E'. CHANGE LIGHT FIXTURES ALONG GRID LINE 15 TO TYPE 'C1' AND 'C1E'.
- ALTERNATE #3 - CHANGE LIGHT FIXTURES ALONG EXTERIOR WALL LOCATION AT GRID LINE 16 NOTED TO TYPE 'C1' AND 'C1E'. CHANGE LIGHT FIXTURES ALONG GRID LINE 15 TO TYPE 'C1' AND 'C1E'.
- LOCATE PANEL 'P1'. LIGHT SWITCHES, EXIT/EGRESS FIXTURES AND EXTERIOR LIGHT FIXTURES AT FAR EAST WALL. VERIFY LOCATION BASED ON WHETHER ALTERNATES ARE ACCEPTED.
- COORDINATE LOCATION OF LIGHT FIXTURE WITH INFRARED HEATER. SEE MECHANICAL DRAWINGS. LOCATE LIGHT FIXTURE JUST TO THE EAST OF THE HEATER.
- COORDINATE LOCATION OF LIGHT FIXTURE WITH INFRARED HEATER. SEE MECHANICAL DRAWINGS. LOCATE LIGHT FIXTURE JUST TO THE WEST OF THE HEATER.



PARKING BUILDING - LIGHTING PLAN

SCALE: 1/8" = 1'-0" 01



**CODY HIGH SCHOOL  
Bus Garage**  
PARK COUNTY SCHOOL DISTRICT No 6

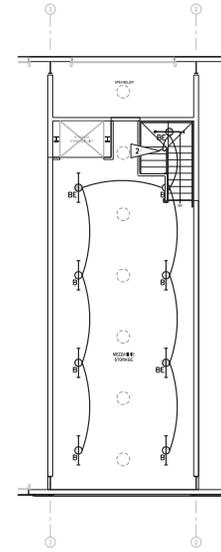


REVISIONS:

NO.	DESCRIPTION	DATE

DATE: 11/25/19 JOB: 19035  
SHEET TITLE: LIGHTING PLANS  
**E1.0**

LIGHTING FIXTURE SCHEDULE						
TYPE	LAMPS	DESCRIPTION	FINISH	MOUNTING	MANUFACTURER	CATALOG NO.
A	LED	8' LONG LENSED STRIP LIGHT, 1167 LUMENS, 4000K, L80=60000 HRS., 99W	WHITE	SURFACE MOUNT TO STRUCTURE	COLUMBIA LIGHTING	MPS8-60HL-CW-EU
AE	LED	SAME AS 'A', EXCEPT EMERGENCY BATTERY	WHITE	SURFACE MOUNT TO STRUCTURE	COLUMBIA LIGHTING	MPS8-60HL-CW-EU-ELL14
A1	LED	8' LONG LENSED STRIP LIGHT, 1167 LUMENS, 4000K, L80=60000 HRS., 99W	WHITE	WALL MOUNT, +10'-0" AFF	COLUMBIA LIGHTING	MPS8-60HL-CW-EU
A1E	LED	SAME AS 'A1', EXCEPT EMERGENCY BATTERY	WHITE	WALL MOUNT, +10'-0" AFF	COLUMBIA LIGHTING	MPS8-60HL-CW-EU-ELL14
B	LED	4' LONG LENSED STRIP LIGHT, 583 LUMENS, 4000K, L80=60000 HRS., 49.5W	WHITE	SURFACE MOUNT	COLUMBIA LIGHTING	MPS4-60HL-CW-EU
BE	LED	SAME AS 'B', EXCEPT EMERGENCY BATTERY	WHITE	SURFACE MOUNT	COLUMBIA LIGHTING	MPS4-60HL-CW-EU-ELL14
B1	LED	4' LONG LENSED STRIP LIGHT, 583 LUMENS, 4000K, L80=60000 HRS., 49.5W	WHITE	WALL MOUNT, +11'-0" AFF	COLUMBIA LIGHTING	MPS4-60HL-CW-EU
B1E	LED	SAME AS 'B1', EXCEPT EMERGENCY BATTERY	WHITE	WALL MOUNT, +11'-0" AFF	COLUMBIA LIGHTING	MPS4-60HL-CW-EU-ELL14
C	LED	4' LONG LENSED STRIP LIGHT, 8148 LUMENS, 4000K, L80=60000 HRS., 66.5W	WHITE	SURFACE MOUNT TO STRUCTURE	COLUMBIA LIGHTING	MPS4-60XL-CW-EU
CE	LED	SAME AS 'C', EXCEPT EMERGENCY BATTERY	WHITE	SURFACE MOUNT TO STRUCTURE	COLUMBIA LIGHTING	MPS4-60XL-CW-EU-ELL14
C1	LED	4' LONG LENSED STRIP LIGHT, 8148 LUMENS, 4000K, L80=60000 HRS., 66.5W	WHITE	WALL MOUNT, +11'-0" AFF	COLUMBIA LIGHTING	MPS4-60XL-CW-EU
C1E	LED	SAME AS 'C1', EXCEPT EMERGENCY BATTERY	WHITE	WALL MOUNT, +11'-0" AFF	COLUMBIA LIGHTING	MPS4-60XL-CW-EU-ELL14
D	LED	8' LONG LENSED GASKETED LIGHT, FIBERGLASS HOUSING, IP65 RATED, 12444 LUMENS, 4000K, L80=60000 HRS., 94.8W	WHITE	WALL MOUNT, +10'-0" AFF	COLUMBIA LIGHTING	LXEM8-60HL-RFA-EDU
DE	LED	SAME AS 'D', EXCEPT EMERGENCY BATTERY	WHITE	WALL MOUNT, +10'-0" AFF	COLUMBIA LIGHTING	LXEM8-60HL-RFA-EDU-ELL14
EM	LED	EMERGENCY EGRESS LED LUMINAIRE, SEALED NICKEL CADMIUM (NiCd) BATTERY, 10W, L70=50000, WET LOCATION	BRONZE	WALL SURFACE, +9'-0" AFF	MULE LIGHTING	EDE-BB-10L3-B
G	LED	2'X2' CEILING RECESSED EDGE-LIT FLAT PANEL FIXTURE, DIMMING DRIVER, 4000K, L70=60000 HRS., 4074 LUMENS, 40W	WHITE	CEILING RECESSED	COLUMBIA LIGHTING	CFP22-4040
G1	LED	2'X2' CEILING RECESSED EDGE-LIT FLAT PANEL FIXTURE, DIMMING DRIVER, 4000K, L70=60000 HRS., 4074 LUMENS, 40W	WHITE	FLANGE MOUNT	COLUMBIA LIGHTING	CFP22-4040-FX22
G2	LED	2'X2' CEILING RECESSED EDGE-LIT FLAT PANEL FIXTURE, DIMMING DRIVER, 4000K, L70=60000 HRS., 4330 LUMENS, 27W	WHITE	CEILING RECESSED	COLUMBIA LIGHTING	CFP22-3340-HE
H	LED	2'X4' CEILING RECESSED EDGE-LIT FLAT PANEL FIXTURE, DIMMING DRIVER, 4000K, L70=60000 HRS., 8330 LUMENS, 33W	WHITE	CEILING RECESSED	COLUMBIA LIGHTING	CFP24-4140-HE
F	LED	QUARTERSPHERE WALL PACK, ALUM. HOUSING, WET LOCATION, TYPE 3 DISTRIBUTION, 4000K, 49W, 5819 LUMENS	BRONZE	WALL MOUNT, 12'-6" AFF	HUBBELL	QSP2-24L-50-4K7-3-UVV-DB
F1	LED	QUARTERSPHERE WALL PACK, ALUM. HOUSING, WET LOCATION, TYPE 3 DISTRIBUTION, 4000K, 20W, 2140 LUMENS	BRONZE	WALL MOUNT, 9'-0" AFF	HUBBELL	QSP1-12L-20-4K7-3-UV-DB
XW	LED	SINGLE FACED EXIT/EGRESS COMBO SIGN WITH 6" LETTERS, ADJUSTABLE LED EGRESS LAMPS, HIGH IMPACT THERMOPLASTIC, HIGH INTENSITY LED LIGHT SOURCE, LITHIUM IRON PHOSPHATE BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE	WHITE	WALL SURFACE CENTERED ABOVE DOOR/WINDOW OR +7'-6" AFF, REMOTE HEAD CEILING SURFACE OR WALL +8'-0" AFF	MULE LIGHTING	MDC-U-R-A-A
XWR	LED	SINGLE FACED EXIT/EGRESS COMBO SIGN WITH 6" LETTERS, ADJUSTABLE LED EGRESS LAMPS, HIGH IMPACT THERMOPLASTIC, HIGH INTENSITY LED LIGHT SOURCE, SINGLE OUTDOOR REMOTE HEAD, LITHIUM IRON PHOSPHATE BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE	WHITE	WALL SURFACE CENTERED ABOVE DOOR/WINDOW OR +7'-6" AFF, REMOTE HEAD CEILING SURFACE OR WALL +8'-0" AFF	MULE LIGHTING	MDC-U-R-A-A-REM / R-ADRLD-1-MP-BL
XWW	LED	SINGLE FACED EXIT SIGN WITH 6" LETTERS, HIGH IMPACT POLYCARBONATE, SEALED & GASKETED HIGH INTENSITY LED LIGHT SOURCE, SEALED NICKEL CADMIUM (NiCd) BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE, WET LOCATION	WHITE	WALL SURFACE +7'-6" AFF	MULE LIGHTING	WLMX-1-B-R-WH



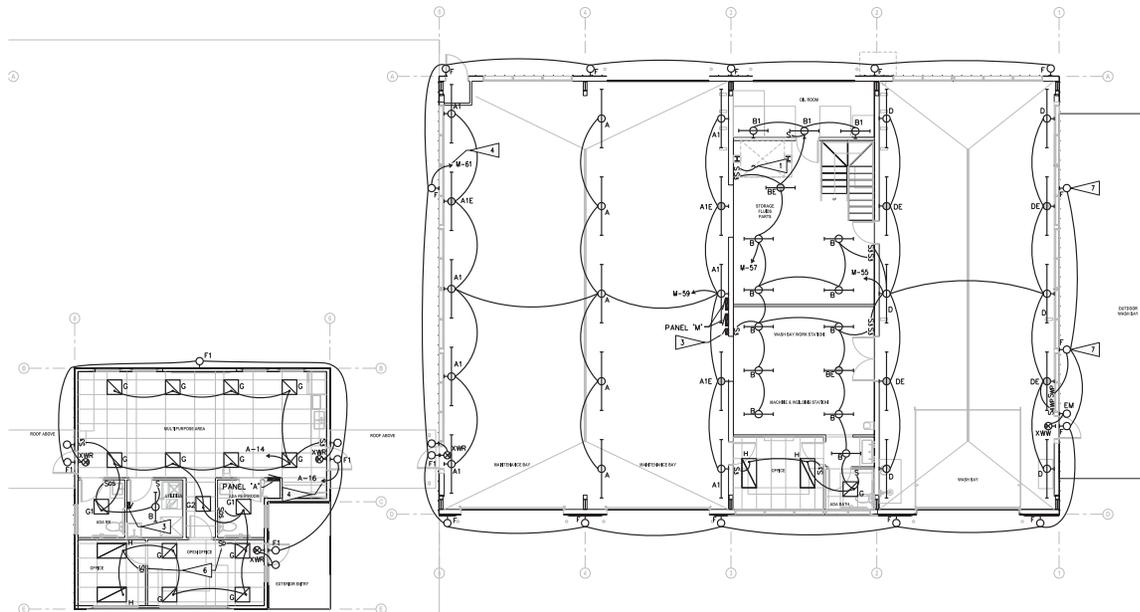
MEZZANINE - LIGHTING PLAN SCALE: 1/8" = 1'-0" 02

GENERAL NOTES:

- SEE SPECIFICATIONS FOR MATERIALS AND METHODS.
- ELECTRICAL INSTALLATIONS SHALL COMPLY WITH NEC, STATE AND LOCAL CODES.
- INSTALL EQUIPMENT BRACING CONDUCTORS IN ALL CONDITIONS.
- CONTRACTORS ARE TO EXAMINE THE SITE AND DOCUMENTS OF OTHER TRADES, AND BECOME FAMILIAR WITH THE FULL SCOPE OF WORK.
- DEVICE LOCATIONS ARE SHOWN DIAGRAMMATICALLY. EC IS RESPONSIBLE FOR FINAL DEVICE LOCATIONS, COORDINATED WITH ALL ROOM INTERFERENCES.
- ALL PENETRATIONS FOR RACEWAY AND WIRE WHICH ARE FURNISHED AND INSTALLED BY THE EC, THAT PENETRATE FLOORS, FIRE AND/OR SMOKE WALLS, AND FULL HEIGHT PARTITIONS (INCLUDING GASE WALLS) SHALL BE SEALED WITH A SYSTEM SPECIFICALLY APPROVED FOR THE APPLICATION, TO MAINTAIN FIRE RATING.
- CONNECT ALL EXIT/EGRESS LIGHT FIXTURE TO UNSWITCHED LIGHTING CIRCUIT IN SAME ROOM.

FLAG NOTES:

- CONNECT SWITCH NOTED TO MEZZANINE LIGHTS.
- CONNECT LIGHT CIRCUIT NOTED TO SWITCH AT THE BOTTOM OF THE STAIRS.
- EXTERIOR LIGHTING TIME CLOCK, ASTRONOMIC, ELECTRONIC, 7-DAY TIME CLOCK, INFORMATIONAL, OR ACCEPTABLE EQUAL.
- CONNECT CIRCUIT NOTED VIA EXTERIOR TIME CLOCK.
- COORDINATE LOCATION OF LIGHT FIXTURE WITH MECHANICAL DRAWINGS, LOCATE LIGHT FIXTURE JUST TO THE EAST OF THE HEATER.
- DIMMING SWITCH SHALL BE 120/277V, 0-10V, COMPATIBLE WITH LED FIXTURES, BATTERYSPECIFIER RATED 30W OR ACCEPTABLE EQUAL.
- LIGHT FIXTURE NOTED IS TO BE SWITCHED WITH TOGGLE SWITCH SHOWN IN WASH BAS, NOT TIME CLOCK.



MAINTENANCE AND OFFICE BUILDINGS - LIGHTING PLAN

SCALE: 1/8" = 1'-0" 01

KEY PLAN



CODY HIGH SCHOOL  
Bus Garage  
PARK COUNTY SCHOOL DISTRICT No 6



NO.	DESCRIPTION	DATE

DATE: 11/25/19 JOB: 19035

SHEET TITLE: LIGHTING PLANS

E1.1

**STAFF COMMENTS:**

The property is within the downtown architectural district, but the D-2 sign district. The D-2 sign district allows any individual wall sign to be up to 150 square feet in size, and total signage on the property no more than 300 square feet.

The new sign is 4.6 square feet in size. An existing wall sign above the canopy is about 21 square feet in size. The individual sign and total amount of wall signage is well within the allowable amount. The sign otherwise meets the dimensional and locational requirements of the sign code.

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The materials and text of the sign have a historic character.

**RECOMMENDATION:**

Approve the wall sign as proposed

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2020	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	ARCHITECTURAL REVIEW, ENCLOSE PORCH AT 3202 BIG HORN AVENUE SPR 2019-24	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Paul Hansen Construction, LLC has submitted an application for Psalm Cody Commercial, LLC to enclose the existing front porch of the building at 3202 Big Horn Avenue. The porch enclosure is described as a “vestibule”, in that it is not classified office space like the rest of the building. The porch is approximately 8 feet in depth, and runs the length of the building. A rendering and floor plan have been prepared and are attached.

Existing Conditions:



**REVIEW CRITERIA:**

The property is within the Open Business/Light Industrial (D-3) zoning district, which has the following requirement:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

**STAFF COMMENTS:**

The existing building was approved by the Planning and Zoning Board in July 2016.

That review involved a continuance for the applicant to enhance their original proposal. The applicant's enhancement included the gable ends in the front awning over the entry doors, the addition of a masonry wainscot (split face CMU block) on the front of the building, and a color change on the lower portions of the side walls. The masonry reflected the architecture of the FedEx building to the south (Split face CMU on lower portion of walls—see photo to right), and the use of a wainscot was similar to the Sherwin Williams building to the northwest. See photo below.



The current proposal would hide all of the existing masonry enhancement with the exception of the column bases, and visually replace it with black metal siding.



The use of black sheet metal for the proposed front wainscot is admittedly the cheap alternative. Staff would prefer if the applicant investigated a more aesthetically enhancing material or texture. It is anticipated that any additional expense that may involve would be more than reflected in the resulting value.

Some variation of depth to the building is lost by the enclosure—going from an 8-foot deep porch to about a 2-inch recess. However, there is still some variation in depth due to the upper portion of the wall of the main building being stepped back.

The use of several windows and the aligning of the new doors with the gables above are good components of the project. (The existing doors are offset from the gables above.)

The Board will need to determine if the proposed architecture is acceptable, or if enhancements are needed to maintain architectural compatibility with the area. Other buildings in the area seem to have higher architectural quality (e.g. Eleutian building, T-O Engineers building, Rawhide Mechanical building, Cody Enterprise building, Freemont Motors building, NWRW building.) Yet, is it good enough to pass?



Lighting:

The proposal does not consider that the lighting under the existing canopy serves as parking lot lighting for the row of parking immediately in front of the building. The parking ordinance requires lighting of all parking areas used at night, which is the case here. Exterior lighting will need to be added to the project. Provided the lighting is full-cut off in design and modest in intensity, the Board can authorize staff to review and approve the fixtures in conjunction with the building permit.

**RECOMMENDATION:**

Determine if the architecture of the project is adequate to maintain compatibility with the area and approve or request modifications as the Board determines.

If approved as is, or modified, require that:

- 1) Lighting of the parking spaces in front of the building occur with full cut-off fixtures of modest intensity, and authorize staff to verify in conjunction with the building permit.
- 2) The project must otherwise comply with applicable building, fire, and electrical codes.



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.273.5760

© PRECISIONPLANANDDESIGN.COM

MEMBER I.L.B.A. No. 1271

PROJECT LOCATION  
CODY, WY

PSALIM CODY COMMERCIAL  
PAUL HANSEN  
CODY, WYOMING 82414  
P: 307.299.3113

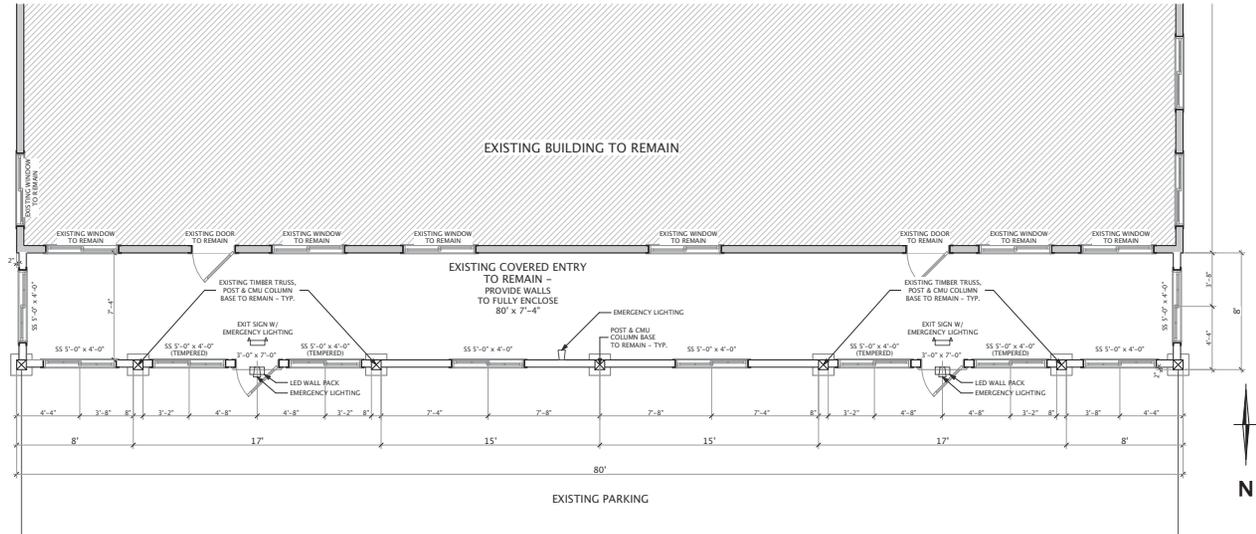
PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

NOTE:  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC. AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

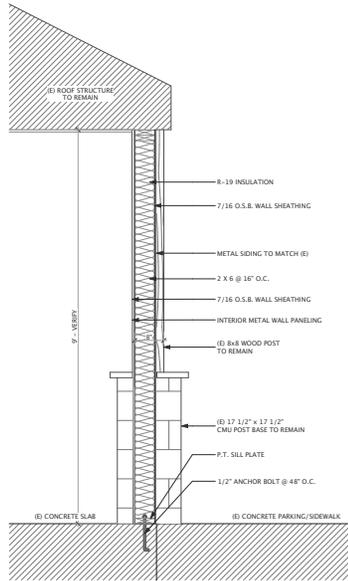
DATE: 01.07.20  
REVISION: 2

PROJECT NO.  
1762

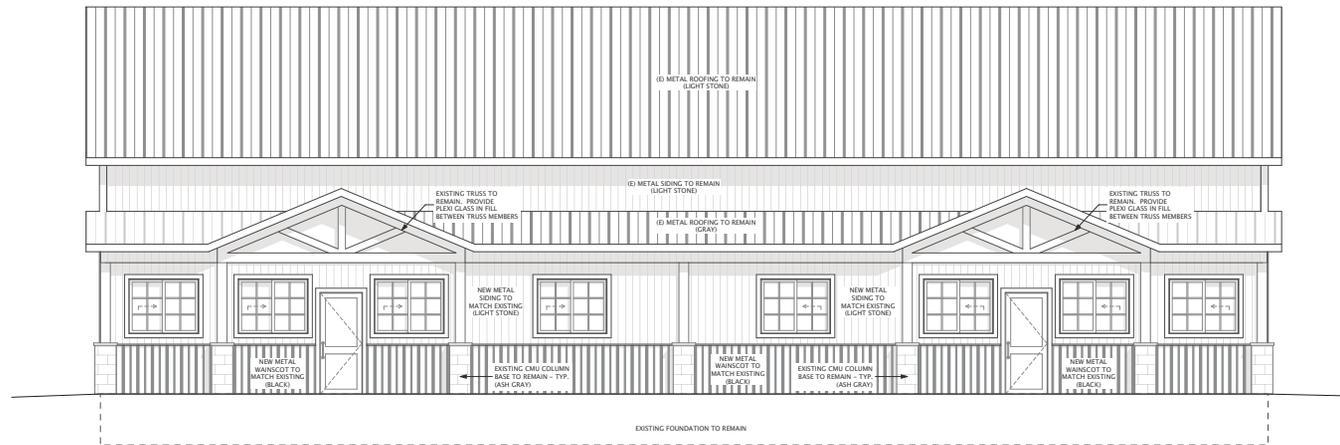
SHEET #  
A1.0  
MAIN FLOOR



1 MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 TYP. 9' WALL on Existing Slab/Foundation  
SCALE: 3/4" = 1'-0"



2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



PERSPECTIVE COLORED RENDERING  
NOT TO SCALE



PERSPECTIVE COLORED RENDERING  
NOT TO SCALE



PERSPECTIVE COLORED RENDERING  
NOT TO SCALE



PRECISION PLAN  
AND DESIGN INC.

A CUSTOM PLAN  
SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.273.5769

© PRECISIONPLANDESIGN.COM

MEMBER I.L.B.A. No. 1271

PROJECT LOCATION  
CODY, WY

PSALIM CODY COMMERCIAL  
PAUL HANSEN  
CODY, WYOMING 82414  
P. 307.299.3173

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

NOTE:  
ALTHOUGH GREAT CARE  
AND EFFORT HAVE GONE  
INTO THIS PLAN TO CREATE  
A PRECISE INTERPRETATION  
OF THE FINISHED PROJECT,  
IT IS IMPOSSIBLE TO  
GUARANTEE THAT THIS PLAN  
IS WITHOUT IMPERFECTIONS.  
THEREFORE PRECISION PLAN  
AND DESIGN INC. AND/OR  
ASSOCIATES ASSUMES NO  
LIABILITY FOR ANY PROJECT  
CONSTRUCTED FROM THIS  
PLAN. THE BUILDER/OWNER  
MUST VERIFY ALL  
DIMENSIONS. THIS PLAN IS  
SUBJECT TO CHANGE PER  
ENGINEER, AND/OR LOCAL  
CODES AND STANDARDS.

DATE: 01.07.20  
REVISION: 2

PROJECT NO.  
1762

SHEET #  
A1.1  
RENDERINGS

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2020	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	MINOR SUBDIVISION OF LOTS 10 AND 12 OF THE ROCKY MTN. BUSINESS PARK. SUB 2019-12	RECOMMENDATION TO COUNCIL:	X
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT OVERVIEW**

Tom Quick, of What's Left, LLC., has submitted a preliminary plat application to divide Lots 10 and 12 of the Rocky Mountain Business Park subdivision into four lots. The property is 1.27 acres in size, and located on the east side of Stone Street, immediately north of the Cougar Avenue right-of-way. Lot 12 contains two "contractor" buildings and each building would be split onto its own individual lot. Lot 10 is vacant and would be split into two lots. Each of the four resulting lots would be approximately 1/3 acre in size. The property is presently zoned Open Business/Light Industrial (D-3) and the lots are identified for "commercial use" in the application. The preliminary plat drawing and utility plan are attached.

Existing Conditions:



**SUBDIVISION REGULATIONS**

Applicable subdivision ordinance requirements are as follows. Staff comments follow each requirement. When a variance from the standard is involved, it is noted.

11-4-2: STREETS, ALLEYS AND EASEMENTS:

*A. Alignment: All proposed streets, alleys and easements shall align horizontally and vertically with existing streets, alleys and easements adjacent to or lying near the subdivision.*

Comment- No new public streets or alleys are proposed.

*B. Conform to Master Street Plan: All streets shall conform to the city master street plan for size and approximate alignment.*

Comment- The Master Street Plan does not indicate any future streets through this property. Cougar Avenue is identified as a future major collector with an 80-foot right-of-way, which right-of-way currently exists.

*Items "C" through "O" are standards that relate to construction of new public streets and are not applicable to this project, provided a waiver for the construction of Cougar Avenue is granted as noted in "Q" below.*

*P. Alleys: Alleys shall be required in all subdivisions with the minimum width being twenty feet (20'), unless extreme conditions preclude the feasibility of alleys. A variance of up to four feet (4') may be granted by the commission and council in a residential development if setbacks are provided for utility boxes, garbage cans, etc. Alleys shall be constructed with a minimum of six inches (6") of crushed aggregate base course for the finished surface...*

Comment: No alleys exist in the Rocky Mountain Business Park, as a variance for such was granted for that subdivision. All utilities were placed along Stone Street, and garbage collection can be by roll-out container, so no purpose would be served by requiring alleys. A variance to the alley requirement is requested.

*Q. Curb, Gutter, Sidewalk, Paved Streets: Curb, gutter, sidewalk and paved streets shall be required in all proposed subdivisions unless waived in accordance with criteria set out in subsection 11-5-2B of this title by the planning, zoning and adjustment board, and the city council. All waivers of curb, gutter and sidewalks shall require acknowledgment by the developer on the final plat that future improvement districts for the development of curb, gutter and sidewalks shall be supported by future owners of the lots and be so noted on the final plat. The developer shall be responsible for demonstrating to the city that the grades and location of the proposed improvements shall be compatible with all future development in the area.*

Comment: Stone Street is improved along the property frontage to city standards, except for sidewalk does not exist along proposed Lots 3 and 4. Sidewalk will need to be installed along the frontage of Lots 3 and 4 with this subdivision.

Cougar Avenue along the south of this property is only a gravel roadway. The parent subdivision (Rocky Mountain Business Park) was granted a waiver for construction of Cougar Avenue, subject to the agreement to participate in a future improvement district. All twelve of the Rocky Mountain Business Park lots are bound by that agreement. The applicant requests a waiver for this subdivision as well, subject to continuation of that agreement for these lots.

*Items "R" through "T" are standards that relate to streets and drainage that are not applicable to this project, provided no improvements to Cougar Avenue are required at this time.*

*U. Lot Requirements:*

*1. Lots shall be sited to meet the requirements of the appropriate zoning.*

Comment: The property is zoned D-3, which has no minimum lot size requirement.

*2. Every lot shall abut upon or have access to an approved street or cul-de-sac.*

Comment: Met.

*3. Side lot line shall be at approximately right angles to the street line on which the lot faces.*

Comment: Met.

*4. Strip lots...will be prohibited.*

Comment: Met.

*V. Blocks:...* Comment: Met.

**Section 11-5-1, DEVELOPMENT AND IMPROVEMENT** also includes standards for construction. Applicable sections are listed below.

*F. Sanitary Sewer...*

Comment: A sewer main is located in Stone Street. Sewer service lines exist for Lots 1, 2, and 4, and service for Lot 3 is proposed. The new sewer stub for Lot 3 is the responsibility of the developer, including the repair of the street cut to city standards.

*G. Storm Sewer...*

Comment: The Rocky Mountain Business Park utilizes the curbs in the street to collect street storm water and direct it to one of six infiltration trenches in the street. Part of one of those trenches is along the frontage of Lots 2 and 3. Future site development on the lots will be subject to the City's storm water management policy.

*H. Water...*

Comment: A water main is located in Stone Street. Water services exist for Lots 1, 2 and 4. Service for Lot 3 is proposed. Although not clearly noted, it appears that a single trench will be used for both the water and sewer service to Lot 3. If the water line is in the same trench and less than 12 inches above any sewer pipe, it must be sleeved, per plumbing code. Both the water and sewer service installations will need to be inspected by the City.

*I. Fire Hydrants...*

Staff Comment: Hydrants exist on Stone Street at the spacing required.

*J. Open Drains, Irrigation Ditches: All open drains and irrigation ditches shall be buried or, if possible, eliminated.*

Comment: There are no canals or ditches across the property.

*K. Utilities: All utilities (electrical service, natural gas, telephone, cable TV, etc.) shall be installed underground, whenever possible, in the streets, alleys or utility easements shown on the final plat. All buried utilities will be placed before the finished surface is placed on the streets or alleys ... It will be the developer's responsibility to ensure that all utilities necessary or reasonably expected are placed within the proposed subdivision.*

Comments:

Power. Electrical service will need to be extended to Lots 3 and 4. The extension is not shown on the preliminary plat. Conduit size and type of pedestal vary depending on whether single-phase or 3-phase power is proposed/needed. The developer will need to decide which level of service will be installed to Lots 3 and 4 and install it accordingly. An easement for the power extension (also available for telecommunication services) will need to be extended across Lot 3 and at least ten feet into Lot 4.

The electrical estimate for the extension to Lots 3 and 4 will need to be paid before the final plat is recorded and the electrical system must be completed before building permits can be issued.

Cable/TV/Internet. Telecommunication services are not shown on the preliminary plat, but are usually run with the electrical lines. The applicant will need to coordinate with the telecommunication providers on placement of their pedestals, etc.

Natural Gas: A natural gas service for Lot 3 is proposed. The main line runs along the west side of Stone Street, so a street crossing is needed. As it appears to be proposed in the same trench as the sewer and water services, be sure it meets separation requirements per Public Works (likely 3-4 feet from the water line). An encroachment permit for the work within the road will ensure separation and inspection is provided.

The applicant may want to consider shifting the proposed location of the utility services for Lot 3 to near its north boundary, so as to avoid having the curb stop and sewer cleanout in the likely driveway location for Lot 3.

*M. Street Lighting...*

Comment: Street lighting exists along Stone Street. The street lighting along Cougar Avenue should be included in the improvement district language on the final plat.

*N. Public Use Areas: ...*

Comment: Minor subdivisions are exempt from this requirement.

**OTHER:**

Irrigation: There are no surface water rights on the property. Irrigation will need to be from the domestic water service.

Corrections: The preliminary plat is missing a few distances and bearings, and has typos in Easement 2 and Survey note 5. A clean version should be presented for Council review.

Parking area between buildings on Lots 1 and 2: The parking area on Lot 2 currently appears to extend slightly onto Lot 1. If the applicant wants that to continue, it should be reflected as an access easement on the plat, or in a separate parking agreement.

**SUMMARY:**

A list of conditions has been prepared based on variances being granted to the alley requirement and to allow future participation in a local improvement district for Cougar Avenue, rather than construction at this time.

**RECOMMENDATION:**

Recommend that the City Council grant the variance to the alley requirement and the waiver of construction of Cougar Avenue subject to continuing the agreement for participation in a future improvement district; and,

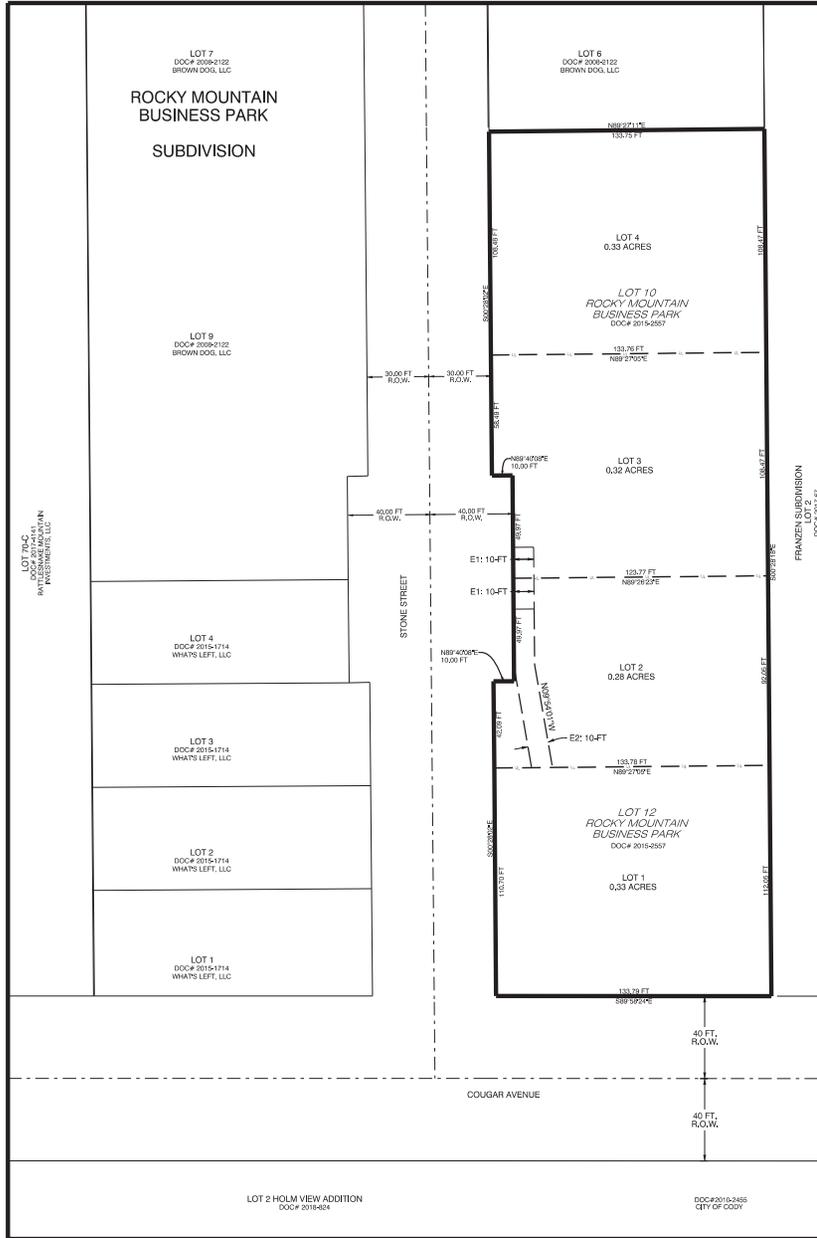
Recommend that the City Council approve the Preliminary Plat for the minor subdivision subject to the following conditions:

1. Provide a utility easement and plan for extension of power and telecommunications to Lots 3 and 4, for review and approval by Public Works. Note the easement on the preliminary plat, and note the plan on the utility plan drawing.
2. Note installation of sidewalk on Lots 3 and 4 as a subdivision improvement on the preliminary plat.
3. Make the corrections to the preliminary plat and utility plan noted by staff (typos, missing line information).
4. The final plat must include the following language: "...do hereby agree to promote and participate in an improvement district for the construction of Cougar Avenue to city street standards with curb, gutter, sidewalk and streetlights, when deemed necessary by the City of Cody; and further, that this language shall be contained in each and all conveyances of record."
5. The street cut for the water, sewer, and gas services to Lot 3 must be repaired with a single patch. An encroachment permit and inspection for the work within the street right-of-way is required.

6. Submit the final plat for review, and otherwise complete the improvements required by the subdivision ordinance and as noted on the preliminary plat. Utility connection fees for Lot 3 will be collected with the final plat.

**ATTACHMENTS:**

Preliminary Plat



**SUBDIVISION NOTES**

- TOTAL SUBDIVISION AREA: 1.26 ACRES
- PROPOSED SITE USAGE IS COMMERCIAL.
- ZONING FOR THIS SUBDIVISION IS D3.
- ZONING WEST IS D3; ZONING NORTH AND EAST IS D3; ZONING SOUTH IS R2 & R3.
- THERE IS EXISTING SIDEWALK ON BOTH SIDES OF STONE STREET, FROM COUGAR AVENUE TO THE SOUTH LINE OF LOT 1 OF THE ROCKY MOUNTAIN BUSINESS PARK SUBDIVISION.
- ALL LOT OWNERS WILL BE REQUIRED TO RETAIN AN ENGINEER TO ANALYZE THE DRAINAGE ON EACH LOT AT TIME OF SITE PLAN SUBMITTAL. SAID ANALYSIS MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL TO ASSURE THAT ANY PROPOSED INCREASE IN RUNOFF WILL BE RETAINED ON SITE IN AN APPROVED FASHION.
- STONE STREET WIDTH EXCEEDS LOCAL STREET STANDARDS, STONE STREET R.O.W. EXCEEDS LOCAL R.O.W. WIDTH.
- RECORD DIMENSIONS SHOWN HEREON AS (100.00 FT) ARE FROM THE PLAT OF ROCKY MOUNTAIN BUSINESS PARK ON FILE IN PLAT CABINET J ON PAGE 86 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER.
- EXISTING UTILITIES (REFER TO ROCKY MTL BUSINESS PARK RECORD DRAWINGS): CITY OF CODY - ELECTRICAL: 36-48 IN DEPTH (APPROX.) CITY OF CODY - TREATED WATER: 6 FT DEPTH (APPROX.) CITY OF CODY - SANITARY SEWER: 10 IN PVC, 7 FT DEPTH (APPROX.) CHARTER: EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION CODY CANAL - NOT IN THE AREA.
- WATER RIGHTS FOR THIS PROPERTY HAVE BEEN DETACHED.
- CONTOURS SHOWN ARE 1 FT INTERVALS.

**DESCRIPTION OF LANDS**

A PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 LOT 10 AND LOT 12 OF ROCKY MOUNTAIN BUSINESS PARK AS RECORDED IN PLAT CABINET J, PAGE 86 BEING TRACT 70-B OF THE TUTTLE SUBDIVISION RESURVEY T.53 N., R.101W., 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING.

**EASEMENT NOTES**

- EXISTING EASEMENTS**
- E1. AN EXISTING 10-FT X 15-FT WIDE UTILITY EASEMENT ALONG THE EAST BOUNDARY STONE STREET, SAID EASEMENT DEDICATED ON THE PLAT OF ROCKY MOUNTAIN BUSINESS PARK FILED IN PLAT CABINET J ON PAGE 86 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER.
- PROPOSED EASEMENTS**
- E2. A 10-FT UTILITY EASEMENT LOCATED WITHIN LOT 2, SERVING LOT 1 AS SHOWN HEREON.

**REQUESTED VARIANCES**

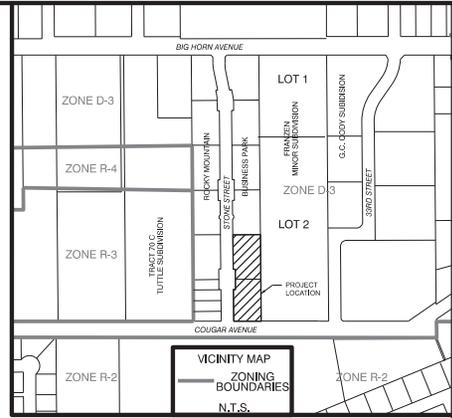
- CITY ORDINANCE 11-4-2 (P); A VARIANCE TO THE REQUIREMENT FOR ALLEYS IS HEREBY REQUESTED.
- CITY ORDINANCE 11-4-2 (O); WAIVER OF CONSTRUCTION OF COUGAR AVENUE, SUBJECT TO SUPPORT OF A FUTURE IMPROVEMENT DISTRICT FOR CONSTRUCTION OF COUGAR AVENUE TO CITY STANDARDS.

**SURVEY NOTES**

- BEARING BASE: BEARINGS SHOWN ON THIS PLAT ARE GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, NAD83(2011), WYOMING WEST CENTRAL ZONE.
- GRID DISTANCES HAVE BEEN SCALED ACCORDING TO THE CITY OF CODY DATUM; 1 CSF = 1,000.2978.
- ALL SURVEY WORK WAS COMPLETED TO AN ACCURACY OF 1:15,000.



- LEGEND**
- SUBDIVISION BOUNDARY
  - - - LOT LINES
  - - - STREET CENTERLINE
  - - - EXISTING EASEMENT
  - - - PROPOSED EASEMENT



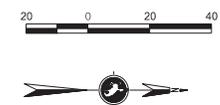
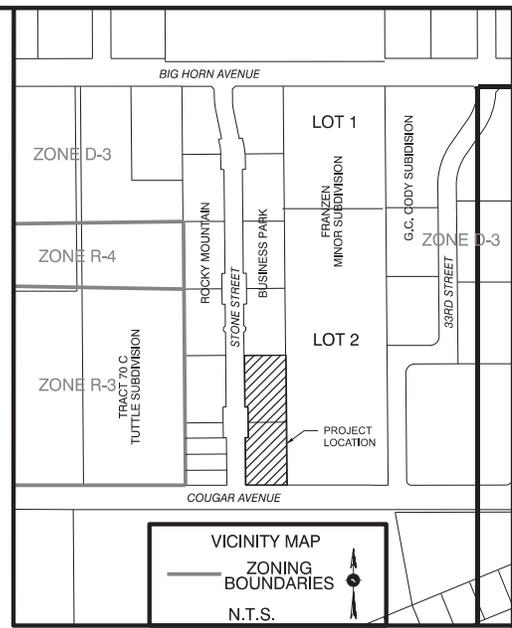
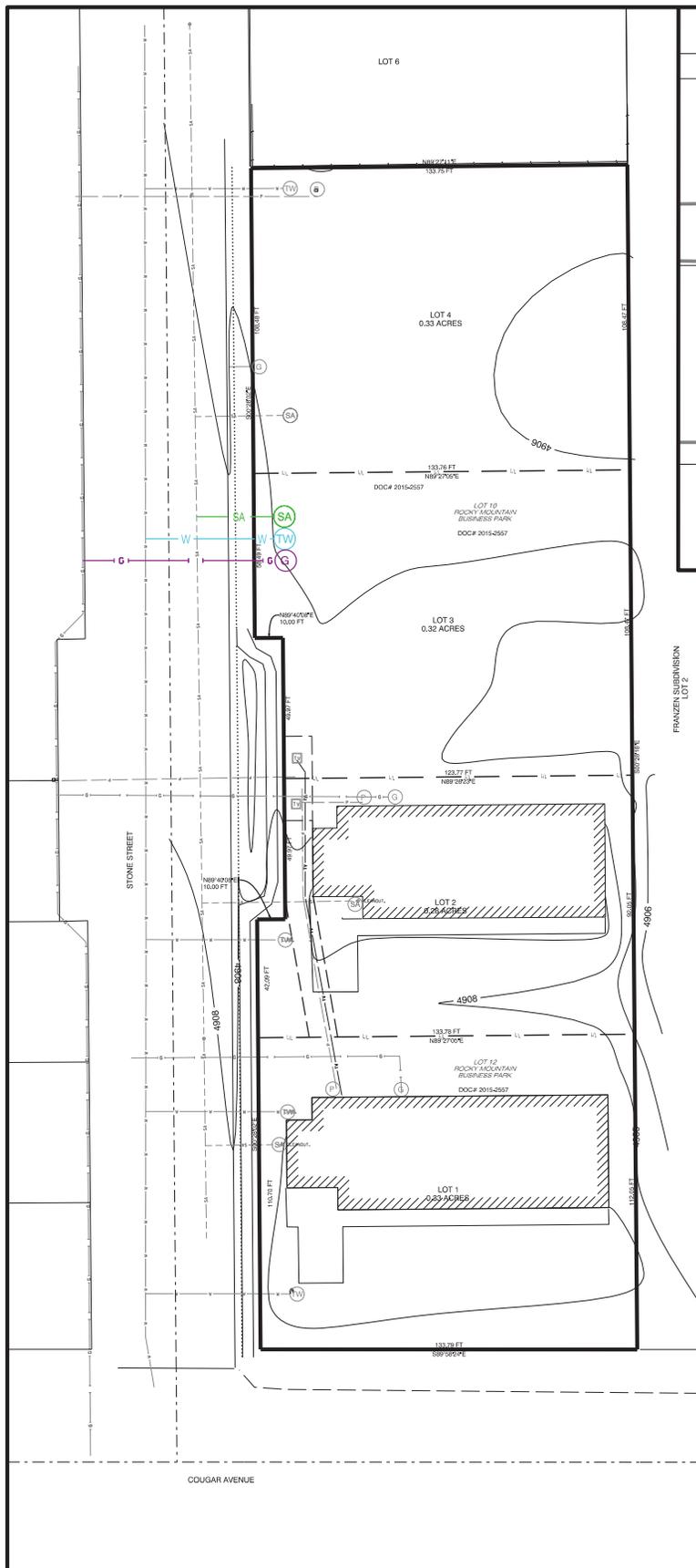
**PRELIMINARY PLAT**

**QUICK MINOR SUBDIVISION**

BEING A SUBDIVISION OF LOT 10 AND 12 OF THE ROCKY MOUNTAIN BUSINESS PARK SUBDIVISION

TRACT 70-B, TUTTLE SUBDIVISION RESURVEY T.53N., R.101W., 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING

<p><b>DEVELOPER / OWNER:</b></p> <p>WHAT'S LEFT, LLC          732 STONE STREET          CODY, WY 82414</p> <p>DOC# 2015-2557</p>	<p><b>SAGE CIVIL ENGINEERING AND SURVEYING</b></p> <p>2824 BIG HORN AVE.          CODY, WY 82414          307-552-0919</p>
<p>JANUARY 16, 2019          DRAWN BY: BML/BF</p>	<p>PROJECT # 2018-017          18-017_PLAT.DGN</p>
<p>FIELD SURVEY: MARCH 2018/APRIL 2019          BY: BTM</p>	



- LEGEND**
- SUBDIVISION BOUNDARY
  - LOT LINES
  - - - STREET CENTERLINE
  - - - EXISTING EASEMENT
  - - - PROPOSED EASEMENT
  - - - MAJOR CONTOUR (5-FT)
  - - - MINOR CONTOUR (1-FT)

- EXISTING UTILITIES**
- SA — SANITARY SEWER LINE & SERVICE
  - TW — TREATED WATER MAIN & SERVICE
  - P — UNDERGROUND POWER & SERVICE
  - G — GAS LINE & SERVICE
  - TV — TELEVISION LINE
  - T — TELEPHONE LINE
  - ⊕ — ELECTRIC PEDESTAL
  - ⊕ — TELEVISION PEDESTAL

EXISTING UTILITIES (REFER TO ROCKY MTN. BUSINESS PARK RECORD DRAWINGS):  
 CITY OF CODY - TREATED WATER: 6 FT DEPTH (APPROX.)  
 CITY OF CODY - SANITARY SEWER: 10 IN. PVC, 7 FT DEPTH (APPROX.)  
 CITY OF CODY - ELECTRICAL: 36-48 IN DEPTH (APPROX.)  
 BLACK HILLS ENERGY - GAS LINE: 3 FT DEPTH (APPROX.)  
 TCT - EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION  
 CHARTER-EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION  
 CODY CANAL - NOT IN THE AREA

- PROPOSED UTILITIES**
- SA — SANITARY SEWER MAIN & SERVICE
  - TW — TREATED WATER SERVICE
  - G — GAS SERVICE

**UTILITY PLAN**

**QUICK MINOR SUBDIVISION**  
 BEING A SUBDIVISION OF LOT 10 AND 12 OF THE  
 ROCKY MOUNTAIN BUSINESS PARK SUBDIVISION  
 TRACT 70-B, TUTTLE SUBDIVISION RESURVEY T.53N., R.101W.,  
 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING

DEVELOPER / OWNER:  
 WHAT'S LEFT, LLC  
 732 STONE STREET  
 CODY, WY 82414  
 DOC# 2015-2557

SAGE CIVIL ENGINEERING  
 AND SURVEYING  
 254 BIG HORN AVE.  
 CODY, WY 82414  
 307-627-0915

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2020	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SPECIAL EXEMPTION PUBLIC HEARING: 620 19 <sup>TH</sup> STREET BUILDING SIZE AND PARKING REQUIREMENTS. SUP 2018-04	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION & BACKGROUND:**

Jonathan Hartley of 19 Pioneers, LLC (Basin Vision) has submitted a special exemption application to waive the 15-foot buffer requirement along the east side of his property at 620 19<sup>th</sup> Street. The buffer requirement applies due to the adjacent residential (R-4) zoning to the east. There is also the requirement for a 6-foot privacy fence along the east property line, which fence is proposed.



Existing conditions along east property line (green from 2018 photo):



A public hearing for the exemption request was advertised as required by mail to neighboring properties within 140 feet on December 26, 2019, and by publication in the newspaper on January 2, 2020.

**REVIEW CRITERIA:**

Pursuant to Section 10-14-2(B)(1) of the City of Cody Code, the Planning and Zoning Board may consider special exemptions to the dimensional standards of the zoning ordinance. The standards for approval of a special exemption are as follows, with staff comments provided.

*No special exemption shall be approved unless the planning and zoning board finds:*

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*

Staff Comments:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Residence.	D-1
East	2-story condos, and mobile home.	R-4
South	Funeral home across Pioneer Avenue.	D-1
West	Residences.	R-2

The intent of the buffer is to provide physical separation between commercial activity and residential properties, and to visually transition from the residential use to the commercial use. A hedge current exists on the adjacent property to the east, which helps with that transition, yet to rely on that hedge shifts the responsibility from the commercial property to the residential and does not recognize that the residential property is ripe for redevelopment, so staff is not relying on the existing hedge as justification for any waiver of the buffer.

There is separation of about 42 feet between the commercial building and the residential property, and the closest parking space will be about 15 feet from the residential property, so most commercial activity will be outside of what would have been the 15-foot buffer area.

- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*

Staff Comment: Neighbor comment is typically a good indicator of compatibility. Twenty neighboring property owners were notified of the exemption request. Nine written responses were received. Seven clearly supported the exemption. One noted "I object", yet said, "If there is already a row of trees acting as a barrier, then I don't thin it's necessary to bother putting up a fence." And the last also noted objection and stated, "We bought the property as is and want to sell it as is."

Unfortunately, we did not receive a response from the neighboring residential property to the east—it is a rental.

- c. *The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*

Staff Comment: The applicant will need to answer this one—why can't the buffer be installed? Effectively the request results in replacing what would be a 15-foot strip of vegetation with asphalt and a portion of a rock retention swale.

- d. *The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*

Staff Comment: Met. The option of removing the buffer requirement can only be requested through the exemption process.

- e. *Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use;*

Staff Comment: Not applicable to the request.

- f. *The special exemption is consistent with the goals, policies and future land use map of the master plan.*

Staff Comment: The existing zoning is consistent with the future land use map designation for this area in the master plan. The master plan notes, "*Protect residential neighborhoods by transitioning between residential and non-residential land uses through appropriate zoning, development review processes, and buffer methods. In areas where non-residential land uses are located adjacent to or within neighborhoods, require screening or barriers to limit the impacts on residential uses. Buffer methods could include fencing, berms, native vegetation, plantings, trails and recreation areas, and density transitions.*" Principle 3.1.c

The buffer requirement is consistent with the master plan. However, how much of a buffer can be considered. In this case there will be a fence, just not the landscaped strip. The Board can determine if the fence is sufficient.

**ALTERNATIVES:**

Approve, deny or approve with conditions.

**ATTACHMENTS:**

Site Plan and Applicant's Narrative.

**RECOMMENDATION:**

That the Planning and Zoning Board make the following findings:  
(Draft, subject to information received at public hearing.)

1. That proper notice of the special exemption public hearing was provided by advertising in the Cody Enterprise and by mail to all property owners within 140 feet at least ten days before the hearing.
2. That the Planning and Zoning Board may grant special exemptions that are reasonable and harmless deviations from the zoning ordinance as determined by the standards outlined in Section 10-14-2, City of Cody Code.
3. That the Planning and Zoning Board has held a public hearing as required and has considered all comments pertaining to the request; and,
4. That the points identified in the staff report and at the Board meeting are adequate to set forth the reasoning why the criteria of 10-14-2(C)(2) are met.

AND,

Approve the Special Exemption to waive the 15-foot wide buffer requirement for the site plan currently under consideration. Any future modifications to the site plan that would establish buildings or uses within 15 feet of the property to the east would require future review.

NOTE: If approved, the applicant will need to complete and record a special exemption permit at the County Clerk's office. Staff will draft the permit based on the Board decision. Permission to delay the recording of the permit until issuance of the building permit is requested.

December 26, 2019

Re: Special Exemption Request

Dear Neighbor,

Sorry to bother you again but we overlooked this on the first go around. We need to get a special exemption to eliminate the 15' buffer zone between our D1 (commercial property-Basin Vision Center) zone and the residential zone that is located behind or to the east of us. There is a row of trees that act as a natural barrier and we will build a 6' fence there as well. We are planning on paving the back of the property but since it is located next to a residential zone we need to get a special exemption. With the trees and the fence blocking the views of the 15' buffer zone, we are hoping you will agree with us that it is unnecessary. Thank you and if you have any questions, please call planning and zoning or me.

Sincerely,

Jonathan Hartley  
307-250-6175

<b>Name</b>	<b>Address 1</b>	<b>Address 2</b>
19 PIONEERS, LLC	19 CHICKADEE DR	CODY, WY 82414
BUELL, JERROLD C. & MONIKA M.	25 SPRING ROAD	CODY, WY 82414
BUTZ FAMILY TRUST	631 19TH ST	CODY, WY 82414
CODY BIBLE CHURCH	POB 1475	CODY, WY 82414
CODY PIONEER PARK HOMEOWNERS ASSOC	P.O. BOX 141	CODY, WY 82414
CONGER, RICHARD M. & JUDY M.	3613 MAPLE LEAF AVE	CODY, WY 82414
JOHNSTON, BO DANIEL	625 19TH ST	CODY, WY 82414
L & H ENTERPRISES, LLC	2834 BIG HORN AVENUE	CODY, WY 82414
MAPLES, LORNA	1238 SAGE AVENUE	CODY, WY 82414
MCNEELY, KENTON V. TRUST	2700 HOMESTEAD RD STE1600	PARK CITY, UT 84098
NELSON, ARLEIGH & MEREDITH	619 19TH ST	CODY, WY 82414
PETERMAN, ANTHONY JAMES	1925 PIONEER AVE 6	CODY, WY 82414
PIONEER ENTERPRISES, INC.	300 NORTH CHAPEL HILL ROAD	SIoux FALLS, SD 57103
REITZ, CHASKA ANLU HALL	3027 NORTH PASCAL	ROSEVILLE, MN 55113
RIEDEL, GERALD L.	614 19TH STREET	CODY, WY 82414
RIVER VALLEY INVESTMENTS, LLC.	16 DOG WOOD DR.	PARK CITY, MT 59063
RONEY, PATTI LIVING TRUST	615 19TH ST	CODY, WY 82414
STUARD, ELIZABETH V.	1925 PIONEER COURT #2	CODY, WY 82414
TRUEBLOOD, ERIC D. & VANESSA GAIL	1925 PIONEER AVE., UNIT 1	CODY, WY 82414
VANONI, MARTHA	1925 PIONEER AVE 5	CODY, WY 82414
WILLIAMS, DAVID L. & BESSIE MARIE	526 19TH STREET	CODY, WY 82414

\*\*\*\*\*

I OBJECT to the Special Exemption Request:

Name: Eric Trueblood  
Address: 1925 Pioneer Ave  
Reason for Objection: we bought the property as is and want to sell it as is.

I am familiar with the proposal by Eric Trueblood for the special exemption described above.

I have NO OBJECTION to the Special Exemption Request.

Name: JUDY CONGER (3613 MAPLE LEAF AV)  
Address: 1925 PIONEER AV #4 CODY, WY 82414  
Comments: I FEEL THE LOCATION IN QUESTION WILL BENEFIT THE NEIGHBORHOOD'S RESIDENTS. IT IS ALSO BETTER THAN THE CURRENT LOCATION.  
Judy Conger

I OBJECT to the Special Exemption Request:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Reason for Objection: \_\_\_\_\_

I am familiar with the proposal by \_\_\_\_\_ for the special exemption described above.

I have NO OBJECTION to the Special Exemption Request.

Name: CORY MCNEELY, TRUSTEE FOR KENTON V. MCNEELY TRUST  
Address: 607 19TH ST, CODY, WY 82414  
Comments: \_\_\_\_\_

I OBJECT to the Special Exemption Request:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Reason for Objection: \_\_\_\_\_

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:  
I am familiar with the proposal by Jonathan Hardy for the special exemption described above.

I have NO OBJECTION to the Special Exemption Request.

Name: Gerald Redel  
Address: 614 19th St, Cody, WY 82414  
Comments: \_\_\_\_\_

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

I am familiar with the proposal by Cabin Vision Center for the special exemption described above.

I have **NO OBJECTION** to the Special Exemption Request.

Name: James & Donna Shutz, Co-trustees, Shutz Family Trust  
Address: 1031 19th St Cody, WY 82414  
Comments: \_\_\_\_\_

I **OBJECT** to the Special Exemption Request:

Name: Anthony Peterman  
Address: 1925 Pioneer Ave Apt #6  
Reason for Objection: If there is already a row of trees acting as a barrier, then I don't think its necessary to bother putting up a fence.

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: \_\_\_\_\_

I have **NO OBJECTION** to the Special Exemption Request.

Name: DAVE + MARY WILLIAMS  
Address: 526 19th St.  
Comments: AS long as the buried irrigation line on the east property line is accessible for maintenance if needed

I **OBJECT** to the Special Exemption Request:

I have **NO OBJECTION** to the Special Exemption Request.

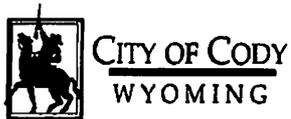
Name: Elizabeth Stuard  
Address: 1925 Pioneer Ave. #2  
Comments: No issues w/the request.

I have **NO OBJECTION** to the Special Exemption Request.

Name: MARTHA VANONI  
Address: 1925 PIONEER AVE #5 CODY  
Comments: \_\_\_\_\_

I **OBJECT** to the Special Exemption Request:

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Reason for Objection: \_\_\_\_\_



Todd Stowell <todds@cityofcody.com>

---

**(no subject)**

1 message

---

L.J. Omara <codytree@bresnan.net>  
To: "todds@cityofcody.com" <todds@cityofcody.com>

Fri, Jan 10, 2020 at 11:56 AM

Hi there,

I just spoke with you about the property on Pioneer ave where Basin Vision Center is going to be located. I have no objection for their request for a special exemption eliminating the 15 ft landscaped buffer zone.

L.J. Omara

Sent from Mail for Windows 10

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JANUARY 14, 2019	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: BASIN VISION CENTER. SPR 2020-01	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Jonathan Hartley of 19 Pioneers, LLC has submitted an application to renovate and expand the building at 620 19<sup>th</sup> Street into the Basin Vision Center. The existing building would be expanded from 4,132 square feet to 5,792 square feet. The property is 0.40 acres in size and located in the Limited Business (D-1) zoning district.



**Existing Conditions:**



The Board previously authorized a special exemption to allow more than 5,000 square feet on one level, and to reduce the number of required on-site parking spaces from 23 to 18. A special exemption relating to the buffer along the east property line is under consideration immediately prior to this site plan review.

The site plan, elevations, and floor plan are attached.

**REVIEW CRITERIA:**

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

**STAFF COMMENTS:**

Based on verbal feedback, the proposed renovation and expansion are well supported by the neighborhood. Staff also appreciates the investment in the community that this project represents. Components of the building and site plan are reviewed below.

**Architecture:**

The renovations and addition have been professionally designed by Plan 1 Architects. The full exterior will be redone and sided with a variety of quality materials—horizontal siding, manufactured stone, metal panel accents, and storefront windows. A modern entryway of wood timbers, metal panels, and glass walls will serve as the front entryway. A new roof structure will be built to tie in the addition and expanded front façade. The architectural design is excellent.

**Landscaping:**

The applicant indicates that the landscaping shown on the color rendering is a true representation of the proposed landscaping—not the “proposed gravel” indicated on the site plan sheets. The use of shrubs and decorative grasses, presumably in a rock landscape bed has a suitable appearance.

Due to issues that will be outlined later in this report, some areas of asphalt will need to be removed. Landscaping of those areas should also occur. If done in the same manner as the landscape bed along the front of the building, it would be acceptable to staff. Other options can be discussed if needed.

Provided the special exemption for the buffer waiver is granted, no landscaping is needed to satisfy that requirement.

Property Frontage:

Both 19<sup>th</sup> Street and Pioneer Avenue are developed as paved streets, with curb and gutter, and streetlights. 19<sup>th</sup> Street also has a sidewalk, but Pioneer Avenue lacks sidewalk. Public Works requests installation of sidewalk along Pioneer Avenue as part of this project, and planning staff concurs. Due to the nature of the business, proximity to residential areas, and relative proximity to other commercial areas and a school, a formal sidewalk should be built to City standards (concrete). This will slightly affect the grading, as the sidewalk cannot exceed a 2% cross slope, and the current grading plan has a 3.4% cross slope in the area south of the proposed building addition. The sidewalk will need to be built prior to paving, so that a proper joint can occur where the asphalt meets the concrete.

Access and Parking:

The property currently has a parking area off of Pioneer Avenue. That parking area will be redeveloped and expanded. In addition, a new parking area is proposed off of 19<sup>th</sup> Street. It is planned to have the entrance at the north property line, and an "exit only" onto Pioneer Avenue. The planned parking areas provide approximately 19 spaces.

As can be clearly seen on Sheet C2.0, the site plan calls for paving everything between the curb and gutter (or sidewalk) and the property line. That area is outside of the property boundaries and in City right-of-way. All private improvements in City right-of-way first require authorization from City council through the encroachment license process. We are planning to present the proposal to City council at their next meeting, if possible. The Planning and Zoning Board cannot authorize the actual encroachment, but can review the request through the site plan process.

The opinion of Public Works is heavily relied on in the encroachment license process. In this case, they are generally agreeable to the encroachment into the Pioneer Avenue right-of-way, with one exception. The area immediately south of the building between the two formal parking lots should not be paved, as it would encourage its use for additional parking, when there is not room to do so. Prohibiting access for parking in this section is within the authority of the city engineer (P.W. Director) pursuant to section 10-16-8(D) of the parking ordinance.

The proposed encroachment into the 19<sup>th</sup> Street right-of-way needs modification, but with the modification would be acceptable to Public Works. Currently, the pavement extends to the sidewalk and provides 33 feet of backup area for the parking spaces. Only 24 feet of backup area is required. Due to storm water reasons, and the expectation that the applicant will want to go with the lowest cost alternative for addressing that, it makes sense to leave the excess backup area in landscaping/storm water retention area.

Staff would recommend that these two areas be landscaped in the same manner as the area next to the front of the building, and maybe consider a couple of street trees as well.

The parking plan shows the required ADA parking space and unloading area. The sidewalk in front is at grade, so no ramp is needed. It is at grade because the ground is being elevated to the floor level of the building along the front of the building. The unloading aisle indicates a maximum 2% slope, which is the code, but the parking space must meet it as well. The ADA parking space should be painted so that the parking space is 11 feet wide (van accessible standard) with a minimum 5-foot wide unloading aisle (cross hatched area). This total width is one foot wider than currently shown. The van-accessible handicapped parking sign is shown as required.

The building code requires parking areas to have a pedestrian walkway to the entrance of the building. The current plan lacks a sidewalk connection between the east (back) parking lot and the main entrance. Add the missing sidewalk segment (4' width extending to public sidewalk would work), which will also shift the row of parking spaces four feet east and make the west space more convenient.

The application does not clearly address lighting of the parking areas. Parking area that will be used at night are required to have some lighting. Either using can lights in the soffits or mounting full cutoff fixtures near the top of the wall next to the parking areas will likely be the easiest method. The applicant will need to provide a lighting plan.

The parking ordinance also requires parking areas situated within twenty feet (20') of a neighboring residence to provide a "visual screen" (6' privacy fence) as defined in the zoning ordinance, or functionally equivalent vegetative screen, as necessary to prevent headlight glare disturbance to the occupants of the neighboring residence. This will apply along the north property line, next to the parking area. The applicant has verbally noted that this is his plan, and would also like to extend the fence to the west, into the right-of-way, if authorized (by encroachment license).

#### Exterior Lighting

As noted in the parking discussion, the site plan lacks complete exterior lighting details. In order to meet parking lot lighting requirements, some lighting will be needed. The entry door in the addition also lacks the required lights. Provide an exterior lighting plan, which should use full cutoff or recessed fixtures, or fixtures of a residential character not brighter than a 75-watt incandescent equivalent. It is recommended that staff be authorized to verify lighting fixtures and levels as part of the building permit review process, provided they meet these recommendations and are otherwise are modest in intensity.

#### Neighborhood Compatibility, Setbacks and Buffers, Fencing and Height Requirements

The buffer requirement was addressed in the special exemption process.

The site plan shows a six-foot fence along the east property line, as required. While there has been some discussion regarding that fence, it is needed. In order to address concerns of the electric division regarding the fence under the power lines and around the power pole (OSHA clearance based), the sections of fence immediately next to the power pole need to be readily removeable, so that the electric division can remove them in order to work on the power pole/lines. The "readily removeable" requirement shall extend ten feet to each side of the pole. In addition, please note that the fencing ordinance does not allow the fence to be taller than four feet for 15 feet from Pioneer Avenue (face of curb). No fence is required in that 15 feet.

#### Storm Water Plan:

Storm water calculations have been provided by a licensed engineer, and the capacity of the storm water swale indicated. Public Works is asking for modification to the storm water plan because in their view it does not account for the entire site being developed, in that it does not consider the 3,196 square feet of asphalt proposed within the City right-of-way, nor does it address the greatly reduced time of concentration (how long it takes for the runoff to leave the property). The time of concentration would be reduced from 7.7 minutes in Basin H-1 (west portion of property) and 3.9 minutes in Basin H-2 to as little as 1.3 minutes. See storm water plan for maps.

The likely solution is to tie basin D-4 and the roof area of D-2 into the swale on D-1 and install an infiltration feature in D-3 along the west side of the reduced west parking lot. Public Works is agreeable to recommending that Council allow it in the right-of-way provided it is of a swale or trench design, with the understanding that if 19<sup>th</sup> Street is widened to obliterate the infiltration feature, the property owner would have to replace it within the property (likely with underground structure below the pavement at substantially more cost).

#### Snow Storage

Snow storage areas are not shown; however, the recommended swale would work for the west parking lot and there is enough area just south of the swale on the north side of the east parking lot to accommodate snow storage.

#### Utility Services

The building will utilize domestic water, power, gas, and sewer service. The existing sewer and water services will be used. Gas will be moved to the east end of the building, near the swale. Note: The sidewalk is shown as extending to the north end of the building here. It only needs to be extended across that north doorway, which would avoid a conflict with the proposed gas meter location and save some cost.

Electrical service will be redone, and come from the pole near the southeast end of the property. As it is replacement of an existing service, work will be done by the applicant's

contractor.

The City took over electrical service for this area from Rocky Mountain Power, and apparently RMP never recorded a formal easement for this section of the electric line. A 10-foot wide easement along the east property line is requested, so that the easement is formally defined and recorded. The City will prepare the document and take care of the recording.

There are irrigation lines crossing the west, south, and east sides of the property that are not shown on the site plan. Be sure they are protected during construction.

### Signs

The applicant included a sign application form, but not complete sign details. From the rendering, it appears that the amount of wall signage may exceed the 32 square feet permitted for a D-1 property. I am comfortable with the Board authorizing up to 32 square feet of the signage shown on the rendering, with staff verifying amount once the applicant provides dimensions.

The Board also needs to interpret whether the main sign(s) can be illuminated in the manner shown (backlit). Internally illuminated signs are prohibited in the D-1 district. Applicable sections of the sign code for the discussion are quoted here:

*INTERNALLY ILLUMINATED SIGN: A sign that features artificial illumination from a light source located behind the sign face and which transmits light through the sign face or portions of the sign face to the viewer, also known as backlit illumination. Exposed neon tubing and similar lighting shall not be considered an internally illuminated sign. A light from a source concealed or contained within the sign, and which becomes visible through a translucent surface.*

*EXTERNALLY ILLUMINATED: A sign that features artificial illumination from a light source which provides light directly onto the sign face, or portions of the sign face, or its background, which light is then reflected back to the viewer.*

It appears that the lettering is opaque (no light transmission), yet in sign lingo, the lighting method is described as "backlit".

The D-1 zone also has the requirement that *"All commercial signs shall attach flush with the wall of the building."* If interpreted to apply to the lettering, little if any light would be visible in a backlit situation.

### Hydrant

The building will rely on the fire hydrant at the Wyoming Avenue intersection, or the hydrant to the east on Pioneer Avenue for fire protection.

### Garbage

There is an existing dumpster located near the southeast corner of the property, which will be adequate.

### **ATTACHMENTS:**

Application materials—site plan, floor plan, elevation drawings.

### **ALTERNATIVES:**

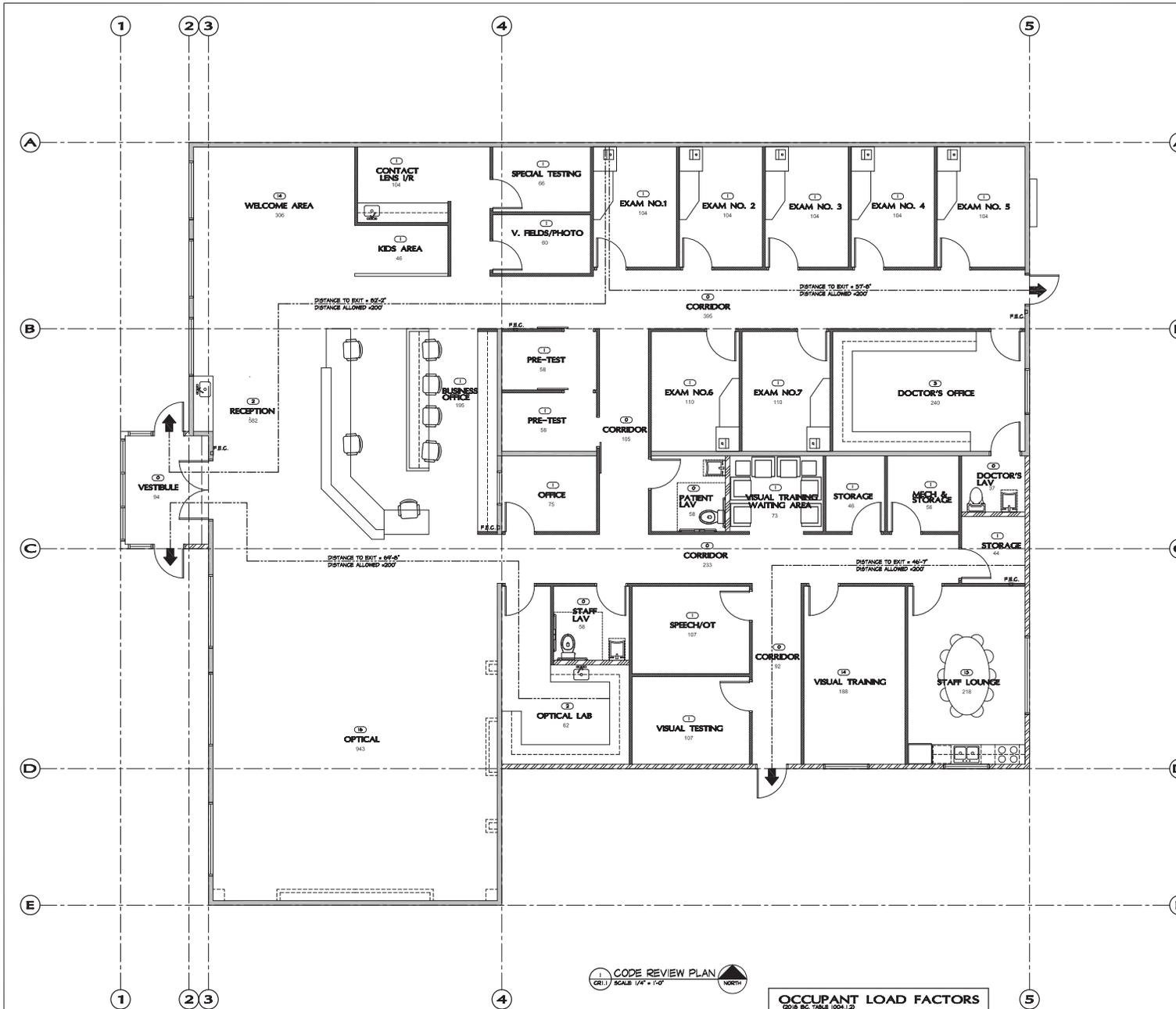
Approve or deny the site plan with or without changes.

### **RECOMMENDATION:**

Provided a plan for addressing all details is made, it is recommended that the Planning and Zoning Board approve the project subject to the following conditions. If the accompanying special exemption for the landscape buffer is not granted, a condition that it be added to the site plan would be needed.

1. Approval of the site plan is contingent on the City council authorizing the encroachments into the Pioneer Avenue and 19<sup>th</sup> Street rights-of-way.
2. Prior to issuance of a building permit, provide an updated grading plan consistent with the discussion in the staff report/meeting.
3. Prior to issuance of a building permit, submit an updated site plan that addresses all recommendations and issues identified in the staff report. Staff is authorized to approve the updated site plan provided it is consistent with the P&Z Board direction and staff report discussion.
4. Up to 32 square feet of wall signage shown in the rendering is authorized. Verify dimensions and sign code compliance with staff prior to installation. Backlighting of the sign(s) is/is not permitted.
5. Provide a 10-foot utility easement along the east property line, prior to occupancy of the building.
6. The fence along the east property line must have easily removable sections for 10 feet on each side of the power pole.
7. A street encroachment permit must be obtained for all work activity within the street right-of-way (e.g. utility work, landscaping, paving, sidewalk, and approaches).
8. Provide lighting fixture details with the building permit application, for verification of proper style and intensity.
9. The project must otherwise comply with the corrected site plan and applicable building, fire, and electrical codes.
10. A building permit must be obtained within three years or this authorization will expire.





1 CODE REVIEW PLAN  
 SCALE 1/4" = 1'-0"  
 NORTH

OCCUPANT LOAD FACTORS <small>SEE IBC TABLE 1004.1.2</small>	
CELLULATION	0
TOILETS	0
OFFICES	100
ASSEMBLY W/ SEATS	15
STORAGE/STOCK	300
MCHANICAL/ELECTRICAL	300
MERCANTILE	60
EXAM	100

### BUILDING CODE STUDY

PROJECT NUMBER: 1872 BUILDING CODE APPLICABLE: 2018 IBC

PROJECT: BASIN VISION

LOCATION: 620 19th STREET CODY, WYOMING

LOCAL ZONING: N/A

DESCRIPTION: BUILDING SITE PLANS FOR A NEW COMMERCIAL OFFICE BUILDING

---

1. OCCUPANCY: GROUP B - IBC 302 NON-RATED

2. TYPE OF CONSTRUCTION TYPE V-B - NON-SPRINKLERED (TABLE 302)

3. BUILDING AREA: 5,792 SF

---

4. HEIGHT ALLOWABLE (TABLES 504.3 & 504.4 40'-0" - 2 STORIES ACTUAL - 1 STORY (16'-0")

5. PRODUCTIONS ALLOWED: YES

A. PRODUCTION MATERIAL - TYPE V-B CONSTRUCTION - THE PRODUCTIONS CAN BE OF ANY APPROVED MATERIAL (705.2.2)

6. FIRE RESISTIVE REQUIREMENTS (TABLE 601) TYPE V-B

A. INTERIOR BEARING WALLS: 0

B. INTERIOR NON-BEARING WALLS: 0

C. EXTERIOR NON-BEARING WALLS - GREATER THAN 30': 0

D. STRUCTURAL FRAME: 0

E. PERMANENT PARTITIONS: 0

F. SHAFT ENCLOSURES: N/A

G. FLOORS / FLOOR-CEILING: 0

H. ROOF / ROOF-CEILING: 0

I. EXTERIOR DOORS & WINDOWS: 0

J. STAIRWAY CONSTRUCTION: N/A

7. OPENINGS IN EXTERIOR BEARING WALLS (IBC TABLE 705.8) N/A

A. NOT PERMITTED LESS THAN: N/A

B. WIRE GLASS OR EQUIVALENT LESS THAN: N/A

8. OCCUPANT LOAD (IBC TABLE 1004.1.2) TOTAL = 64 PEOPLE @ OCCUPANCY

9. NO. OF EXITS (IBC TABLE 1006.3.1) REQ. - 2 ACTUAL - (N/A) 3

A. WIDTH OF EXITS: COMPLES - SEE BELOW

B. ARRANGEMENT OF EXITS: COMPLES - SEE BELOW

C. DISTANCE TO EXITS (IBC TABLE 1017.2) B - 250 FT

10. WIDTH OF CORRIDORS: COMPLES - SEE BELOW

11. WIDTH OF STAIRS: COMPLES

12. STAIRWAYS: 0 HR RATED - SEE BELOW

---

### SPECIFIC CODE NOTES

REQUIREMENTS FOR GROUP B OCCUPANCIES

APPLICABLE CODE NOTES

- IBC TABLE 601 - FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE - ACTUAL - NOT RATED
- TYPE V-B CONSTRUCTION - GROUP B - 0 HR RATING REQUIRED
- IBC 705.2.2 - TYPE V CONSTRUCTION - PROTECTION FROM WALLS MAY BE OF ANY APPROVED MATERIALS.
- 888888 WIDTH PER OCCUPANT SERVED - IBC 1006.3.1 - 3 INCHES PER OCCUPANT + 64 OCCUPANTS = 17.8" ACTUAL WIDTH 64" x 2 = 128" x 1 = 128"
- IBC 1010.1.7 - THRESHOLDS - SHALL NOT EXCEED 3/8 INCHES BASED THRESHOLDS AND FLOOR LEVEL CHANGES GREATER THAN 20" AT DOORWAYS SHALL BE SERVED WITH A SLOPE NOT GREATER THAN ONE UNIT VERTICAL IN TWO UNITS HORIZONTAL (20% SLOPE)
- IBC TABLE 1006.2.1 - COMMON PATH OF BUSINESS TRAVEL - WITHOUT SPRINKLER SYSTEMS - 75 FEET
- IBC 1010.1.1 - TWO EXITS - WHERE TWO EXITS ARE REQUIRED, THE EXITS SHALL BE PLACED AT A DISTANCE APART EQUAL TO NOT LESS THAN OVER HALF THE LENGTH OF THE MAX DIAGONAL DIMENSION OF THE BUILDING. (COMPLES - SEE DIMENSIONS ON PLAN)
- EXIT SIGNS AND EMERGENCY LIGHTING ARE PROVIDED THROUGHOUT THE BUILDING
- IBC 906.1 - PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED THROUGHOUT
- EXIT DOORS SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANG HARDWARE OR FIRE EXIT HARDWARE SECTION 1010.1.2.

---

### SQUARE FOOTAGE

OVERALL BLDG SQUARE FOOTAGE: 5,792

NOTE: SQUARE FEET USED FOR DETERMINATION OF FIRE CODES IS BASED ON THE INTERIOR WALL LINES AS DESCRIBED IN 18-C SECTION 302-DEFINITIONS - 302.1 DEFINITIONS, AREA BUILDING

---

### GOVERNING AGENCIES

CITY OF CODY, WYOMING BUILDING DEPARTMENT  
 CITY OF CODY FIRE DEPARTMENT

---

### GOVERNING CODES

BUILDING: 2018 IBC  
 LIFE SAFETY: 2018 IBC  
 HVAC: 2018 IBC  
 PLUMBING: 2018 IPC  
 ELECTRICAL: 2018 NEC  
 VOLUNTARY COMPLIANCE WITH ADA ACCESSIBILITY AND A117.1

---

### LEGEND

(A) ROOM OCCUPANT LOAD

OFFICE ROOM NAME

819 ROOM SQUARE FOOTAGE

MEANS OF EGRESS

F.E.C. FIRE EXTINGUISHER, SEE 4 & 5/A2.1

E.E.L. EMERGENCY EGRESS LIGHTING

E.S. EXIT SIGN(S)/LIGHT(S)

620 19th STREET, CODY, WYOMING

# NEW BASIN VISION CENTER

plan one / architects, Cody, Wyoming

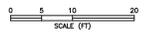
~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 devar dr., suite a, 82901 (307) 352-2954, ~ cheyenne, wyoming, 325 w. 18th street, 82001 (307) 314-4575 ~

ARCHITECTS

project: 1872  
 date: 1/17/2020  
 revisions:

## CR1.1

P:\2018\18108 - Basin Vision Site Drainage Report\A020\A020.MXD WSDM (BASE) 01-2-2018 SITE 3/22/19 KIMBERLY



**LEGEND**

- FOUND ALUMINUM CAP MONUMENT
- SUBJECT PROPERTY LINE
- OVERHEAD ELECTRICAL LINE
- BURIED TELEPHONE LINE
- BURIED POWER
- BURIED TREATED WATER LINE
- BURIED SANITARY SEWER LINE
- BURIED GAS LINE
- BURIED FIBER OPTIC
- EDGE OF ASPHALT SURFACE
- EDGE OF GRAVEL
- CHAIN LINK FENCE
- PROPOSED 6-FT SOLID WOOD FENCE
- PROPOSED TREATED WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED POWER
- PROPOSED GAS
- PROPOSED ROOF DOWN SPOT DRAIN
- PROPOSED BERM
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LAWN
- PROPOSED GRAVEL
- MAJOR & MINOR CONTOUR LINES
- PEDESTAL; TRANSFORMER
- DIRECTIONAL FLOW
- POWER POLE
- UTILITY PIPE LINE VALVES
- EX. MANHOLE AS NOTED
- OVERLOT RUNOFF



NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE TO CITY OF CODY STANDARDS AND WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
03/22/19	EDITS TO C1.0 & C2.0	KNB	RAO	TLC
02/11/19	EDITS TO C1.0 & C2.0	LPU	RAO	
01/25/19	DRAWINGS PLAN	KNB	RAO	
12/4/18	ORIGINAL DRAWING	KSM	RAO	

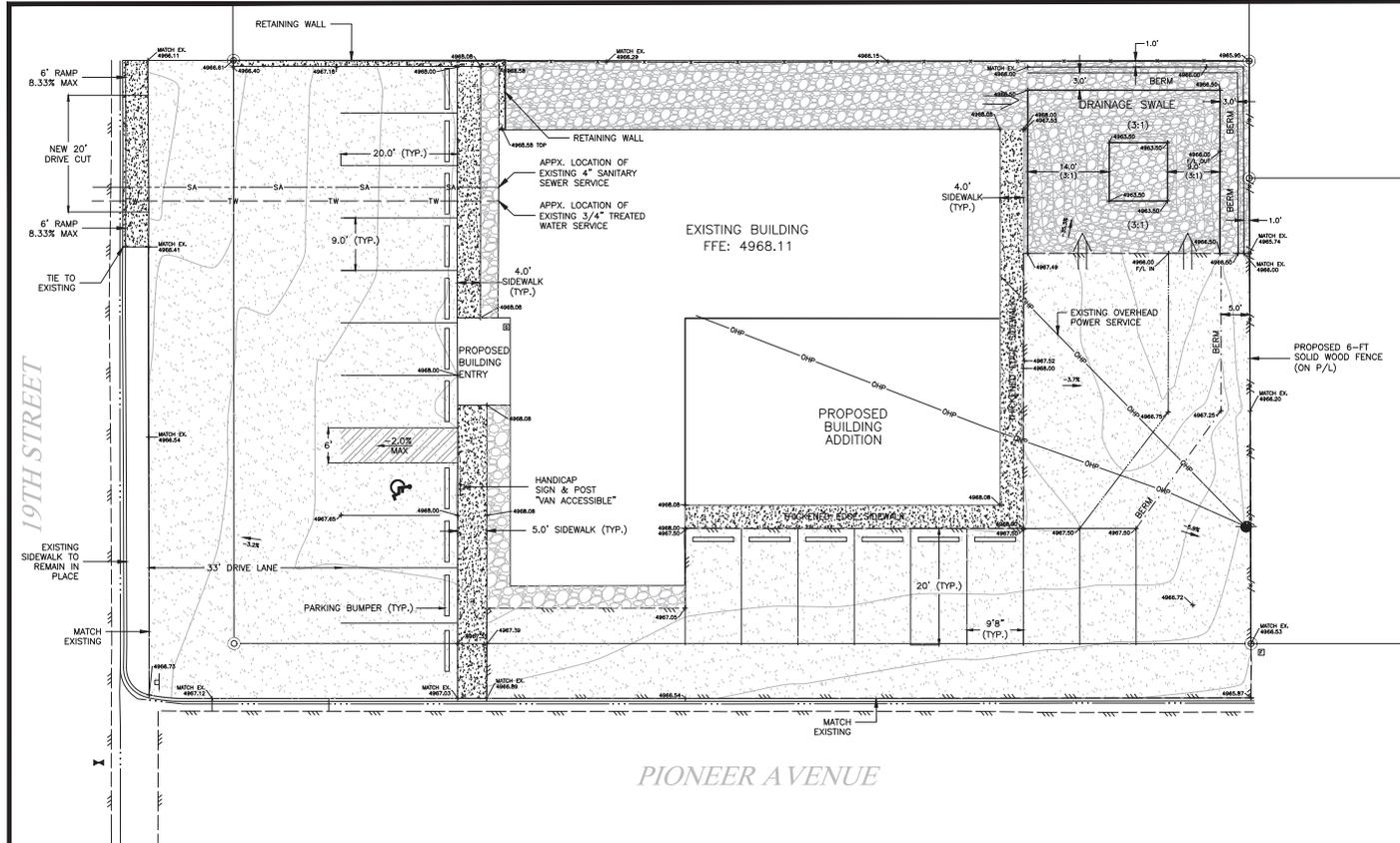
DRAWN BY: IKSM
JOB NO. 18108
FIELD BOOK NO. 411
DRAWING NO. BASE

ENGINEERING ASSOCIATES - CODY, WYOMING  
CONSULTING ENGINEERS & SURVEYORS

OWNER: BASIN VISION

PROJECT: BASIN VISION CENTER - 620 19TH ST.  
TITLE: EXISTING SITE

C1.0  
SHEET 1 OF 2



### LEGEND

	FOUND ALUMINUM CAP MONUMENT
	SUBJECT PROPERTY LINE
	OVERHEAD ELECTRICAL LINE
	BURIED TELEPHONE LINE
	BURIED POWER
	BURIED TREATED WATER LINE
	BURIED SANITARY SEWER LINE
	BURIED GAS LINE
	BURIED FIBER OPTIC
	EDGE OF ASPHALT SURFACE
	EDGE OF GRAVEL
	CHAIN LINK FENCE
	PROPOSED 6-FT SOLID WOOD FENCE
	PROPOSED TREATED WATER SERVICE
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED POWER
	PROPOSED GAS
	PROPOSED ROOF DOWN SPOT DRAIN
	PROPOSED BERM
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED LAWN
	PROPOSED GRAVEL
	MAJOR & MINOR CONTOUR LINES
	PEDESTAL; TRANSFORMER
	DIRECTIONAL FLOW
	POWER POLE
	UTILITY PIPE LINE VALVES
	EX. MANHOLE AS NOTED
	OVERLOT RUNOFF

### SITE PLAN NOTES

1. THIS SITE PLAN REFLECTS SITE FEATURES FOUND DURING A FIELD SURVEY PERFORMED ON NOVEMBER 28, 2018.
2. THIS SITE PLAN WAS PREPARED FOR BASIN VISION CENTER AS A BASE MAP FOR CONSTRUCTION OF A NEW ADDITION TO AN EXISTING BUILDING.
3. INFORMATION REGARDING UTILITIES WAS OBTAINED FROM RECORD DRAWINGS AND FROM OWNER'S REPRESENTATIVE.
4. THE CITY OF CODY HORIZONTAL DATUM OF 1996 IS THE BASIS FOR THIS DRAWING. DATUM CONTROL POINTS 55 AND 56 WERE USED WITH RTK-GPS SURVEY METHODS TO ESTABLISH PROJECT CONTROL POINTS. RELATIVE HORIZONTAL ACCURACY IS 0.05'.
5. THE CITY OF CODY VERTICAL DATUM IS THE BASIS FOR THIS DRAWING. SPOT ELEVATIONS WERE DETERMINED BY RTK-GPS SURVEY METHODS. ELEVATIONS HAVE A RELATIVE VERTICAL ACCURACY OF 0.1'.
6. NO BOUNDARY SURVEY WAS PERFORMED. NO DETERMINATION WAS MADE OF ACCURACY OF FOUND MONUMENTS. LOT LINES SHOWN ARE AS SUGGESTED FROM AVAILABLE PLATS.



PARKING:  
 9 - 9' X 20' SPACES  
 8 - 9'8" X 20' SPACES  
 1 - 8' X 20' HANDICAP SPACES  
 19 - TOTAL SPACES  
 (18 - SPACES REQUIRED)

NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH CITY OF CODY STANDARDS AND WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY:
03/22/19	EDITS TO C1.0 & C2.0	KNB	RAO	TLC	IKSM
02/11/19	EDITS TO C1.0 & C2.0	LPU	RAO		JOB NO. 18108
01/25/19	SITE AND GRADING PLAN	KNB	RAO		FIELD BOOK NO. 411
12/4/18	ORIGINAL DRAWING	IKSM	RAO		DRAWING NO. BASE

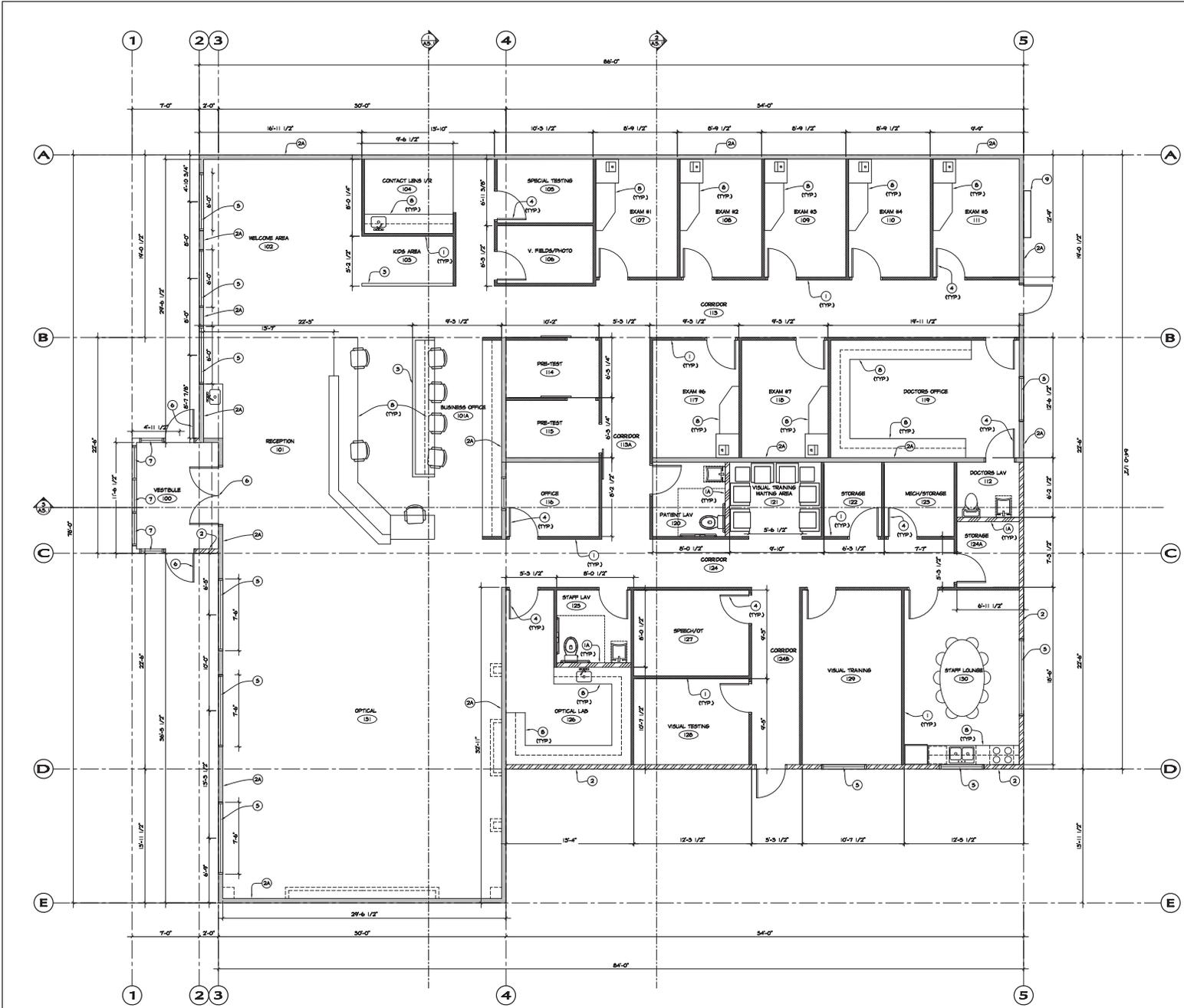
**ENGINEERING ASSOCIATES - CODY, WYOMING**  
 CONSULTING ENGINEERS & SURVEYORS

OWNER: **BASIN VISION**

PROJECT: **BASIN VISION CENTER - 620 19TH ST.**  
 TITLE: **PROPOSED SITE**

**C2.0**  
 SHEET 2 OF 2

P:\2018\18108 - Basin Vision Site Grading Report\A020\A020.MXD W:\M\BSE\eng 02-2-19\PRO SITE 3/22/19 AMBERLY



1 OVERALL FLOOR PLAN  
 A11 SCALE 1/4" = 1'-0" NORTH

**GENERAL NOTES**

- IF A CONFLICT OR DISCREPANCY OCCURS BETWEEN FLOOR PLANS OF ARCHITECTURAL & EXISTING CONDITIONS, CONTACT ARCHITECT FOR CLARIFICATION.
- VERIFY DOOR AND WINDOW ROUGH OPENINGS PRIOR TO FRAMING WALLS.
- SEE CIVIL SITE PLANS C.01 & C2.0 FOR SITE ELEMENTS AND DIMENSIONS.
- SEE SHEET A3.X SERIES FOR EXTERIOR ELEVATIONS.
- SEE A4.X SERIES FOR ROOF PLAN.
- SEE A5.X SERIES FOR BUILDING SECTIONS.
- ALL CASEWORK IS TO BE ADA COMPLIANT.
- NOT ALL KEYED NOTES ARE USED ON EACH SHEET.
- ALL MECHANICAL & ELECTRICAL DESIGN IS TO BE DESIGN-BUILD BY OWNER / CONTRACTOR.
- ALL CASEWORK DESIGN IS TO BE DESIGN-BUILD BY OWNER / CONTRACTOR.

**KEYED NOTES** NOTED THIS (1)

- NEW INTERIOR 2x4 WOOD STUD FRAMING WALL (TYP) - SEE WALL LEGEND ON SHEET A11 & BUILDING SECTIONS SHEET AS.1
- NEW INTERIOR 2x6 WOOD STUD FRAMING WALL (TYP) - SEE WALL LEGEND ON SHEET A11 & BUILDING SECTIONS SHEET AS.1
- NEW EXTERIOR WALL CONSTRUCTION - SEE WALL LEGEND ON SHEET A11 & BUILDING SECTIONS SHEET AS.1
- EXISTING EXTERIOR WALL - SEE WALL LEGEND ON SHEET A11 & BUILDING SECTIONS SHEET AS.1
- HALF WALL - SEE BUILDING SECTIONS SHEET AS.1
- 3'-0" X 7'-0" HOLLOW METAL DOOR WITH ASSOCIATED FRAMING, TRIM & FIXTURES (TYP)
- ALUMINUM GLAZED WOOD WINDOWS - SEE EXTERIOR ELEVATIONS
- ALUMINUM STOREFRONT ENTRANCE SYSTEM - SEE EXTERIOR ELEVATIONS
- ALUMINUM STOREFRONT WINDOW - SEE EXTERIOR ELEVATIONS
- CASEWORK - SEE GENERAL NOTES ON SHEET A11
- NEW GAS METER - COORDINATE WITH UTILITY COMPANY

**WALL LEGEND**

- NEW 2x4 INTERIOR STUD WALL - SEE BUILDING SECTION SHEET AS.1
- NEW 2x6 INTERIOR STUD WALL - SEE BUILDING SECTION SHEET AS.1
- NEW 2x6 EXTERIOR STUD WALL - SEE BUILDING SECTION SHEET AS.1
- EXISTING 2x6 EXTERIOR STUD WALL - SEE BUILDING SECTION SHEET AS.1

620 T 9th STREET, CODY, WYOMING  
**NEW BASIN VISION CENTER**  
 plan one / architects, Cody, Wyoming

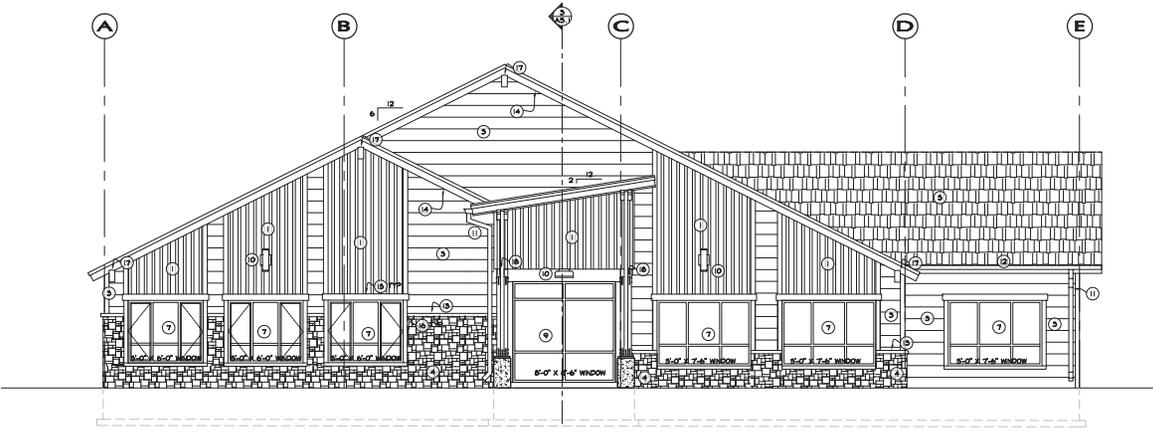


ARCHITECTS

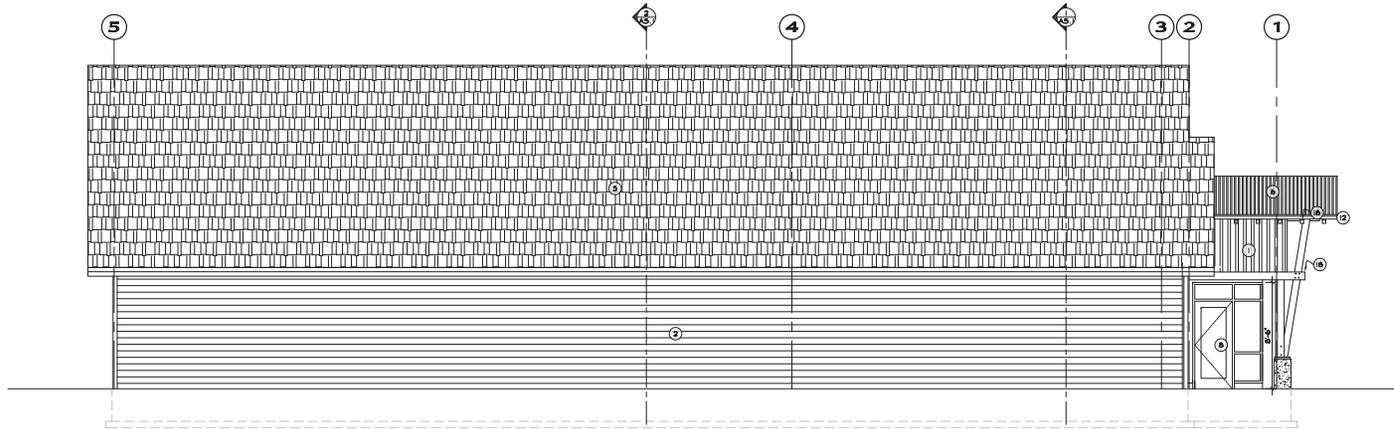


project: 1872  
 date: 1/7/2020  
 revisions:

**A1.1**



1 EXTERIOR ELEVATION - WEST  
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

1. ALL EXPOSED SHEET METAL FLASHING ARE TO BE PRE-FINISHED.
2. ALL EXPOSED MANUFACTURED STONE VENEER & PRE-CAST ARCHITECTURAL CONCRETE SURFACES ARE TO BE SEALED WITH WATER REPELLENT.
3. PROVIDE PRE-FINISHED SHEET METAL FOUNDATION FLASHING FULL PERIMETER OF BUILDING.
4. SEE A-A-X SERIES DRAWINGS FOR ROOF INFORMATION AND DETAILS.
5. CONTRACTOR TO VERIFY ROUGH OPENING OF DOORS AND WINDOWS PRIOR TO FABRICATION.
6. NOT ALL KEYED NOTES ARE USED ON EACH SHEET.

**KEYED NOTES** NOTED THIS (X)

- (1) BORED AND BATTEN SOING
- (2) HORIZONTAL LAP SOING - TYPE I
- (3) HORIZONTAL LAP SOING - TYPE II
- (4) SKALATED STONE VENEER - INSTALL PER MANUF.
- (5) ASPHALT COMPOSITION ROOFING
- (6) STANDING SEAM METAL ROOFING
- (7) ALUMINUM CLAD WOOD WINDOWS
- (8) ALUMINUM STOREFRONT ENTRANCE SYSTEM
- (9) ALUMINUM STOREFRONT WINDOW
- (10) EXTERIOR BUILDING LIGHT - SEE ELECTRICAL
- (11) EXTERIOR DOWNSPOUT
- (12) GUTTER SYSTEM
- (13) SKALATED STONE WATER TABLE/CAP - SEE SPEC
- (14) PROVIDE PRE-FINISHED METAL FLASHING @ ALL CONDITIONS WHERE ROOF MEETS WALL - TYP.
- (15) 4" WOOD TRIM HORIZONTAL TRIM
- (16) 4" WOOD TRIM VERTICAL TRIM
- (17) 6X12 TIMBER OUTLOOKER
- (18) FAUX KNEE BRACE SYSTEM WITH 4X6 WOOD TIMBERS
- (19) FAUX 4X4 WOOD PURLINS

620 19th STREET, CODY, WYOMING  
**NEW BASIN VISION CENTER**  
 plan one / architects, Cody, Wyoming



ARCHITECTS



project: 1872  
 date: 1/1/2020  
 revisions:

**A3.1**

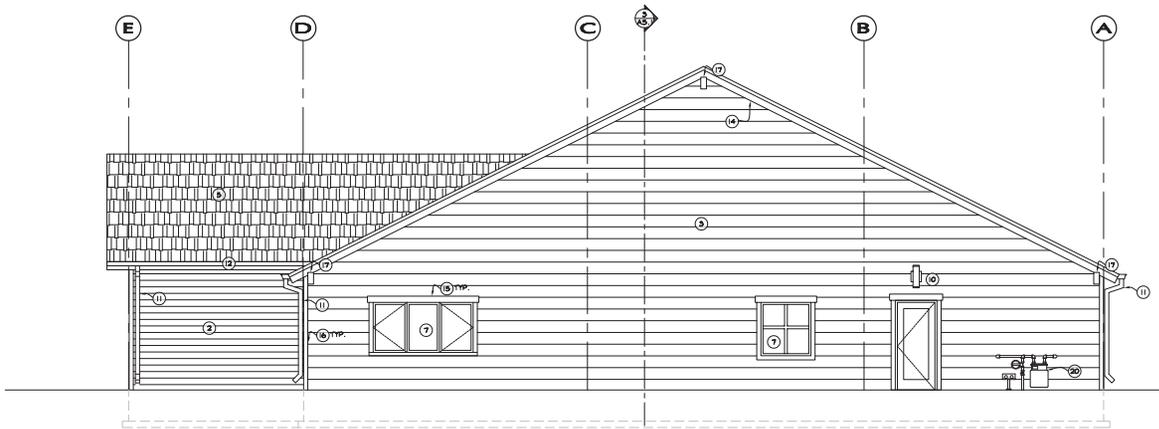
- cody, wyoming, 1001 12th st., 82414 (307) 587-8646 - rock springs, wyoming, 4020 devar dr., suite a, 82901 (307) 352-2954, - cheyenne, wyoming, 325 w. 18th street, 82001 (307) 314-4575 -

**GENERAL NOTES**

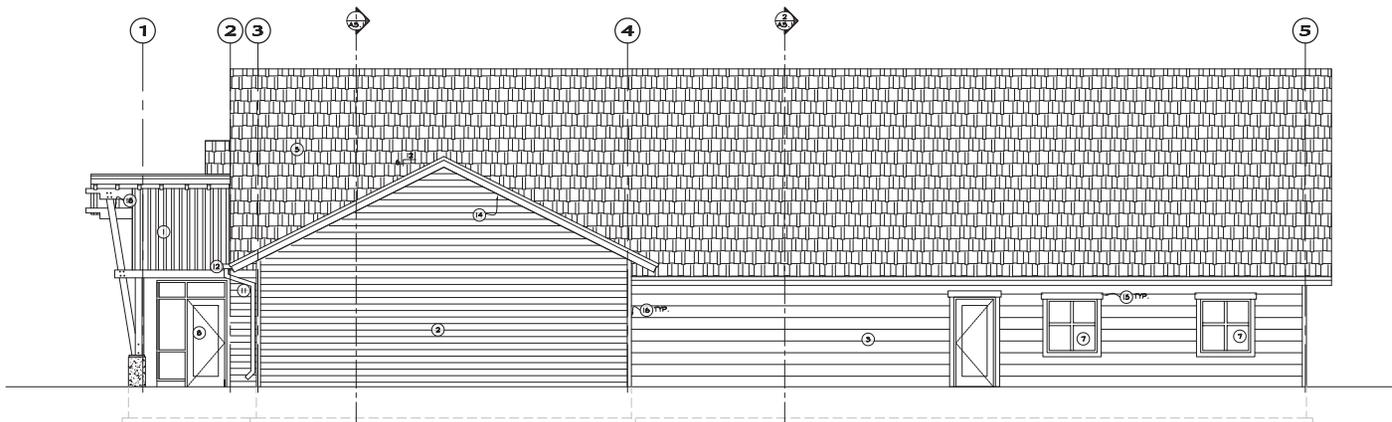
1. ALL EXPOSED SHEET METAL FLASHING ARE TO BE PRE-FINISHED.
2. ALL EXPOSED MANUFACTURED STONE VENEER & PRE-CAST ARCHITECTURAL CONCRETE SURFACES ARE TO BE SEALED WITH WATER REPELLENT.
3. PROVIDE PRE-FINISHED SHEET METAL FOUNDATION FLASHING FULL PERIMETER OF BUILDING.
4. SEE A-X SERIES DRAWINGS FOR ROOF INFORMATION AND DETAILS.
5. CONTRACTOR TO VERIFY ROUGH OPENING OF DOORS AND WINDOWS PRIOR TO FABRICATION.
6. NOT ALL KEYED NOTES ARE USED ON EACH SHEET.

**KEYED NOTES** NOTED THIS

- ① BORED AND BATTEN SOING
- ② HORIZONTAL LAP SOING - TYPE I
- ③ HORIZONTAL LAP SOING - TYPE II
- ④ SALLATED STONE VENEER - INSTALL PER MANUF.
- ⑤ ASPHALT COMPOSITION ROOFING
- ⑥ STANDING SEAM METAL ROOFING
- ⑦ ALUMINUM CLAD WOOD WINDOWS
- ⑧ ALUMINUM STOREFRONT WINDOW
- ⑨ ALUMINUM STOREFRONT ENTRANCE SYSTEM
- ⑩ EXTERIOR BUILDING LIGHT - SEE ELECTRICAL
- ⑪ EXTERIOR DOWNSPOUT
- ⑫ GUTTER SYSTEM
- ⑬ SALLATED STONE WATER TABLE/CAP - SEE SPICIS
- ⑭ PROVIDE PRE-FINISHED METAL FLASHING @ ALL CONDITIONS WHERE ROOF MEETS WALL - TYP.
- ⑮ 4" WOOD TRIM HORIZONTAL TRIM
- ⑯ 4" WOOD TRIM VERTICAL TRIM
- ⑰ 6X12 TIMBER OUTLOOKER
- ⑱ FALK KNEE BRACE SYSTEM WITH 4X6 WOOD TIMBERS
- ⑲ FALK 4X4 WOOD PURLINS
- ⑳ NEW GAS METER - COORDINATE WITH UTILITY COMPANY



1 EXTERIOR ELEVATION - EAST  
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0"

620 19th STREET, CODY, WYOMING  
**NEW BASIN VISION CENTER**  
 plan one / architects, Cody, Wyoming



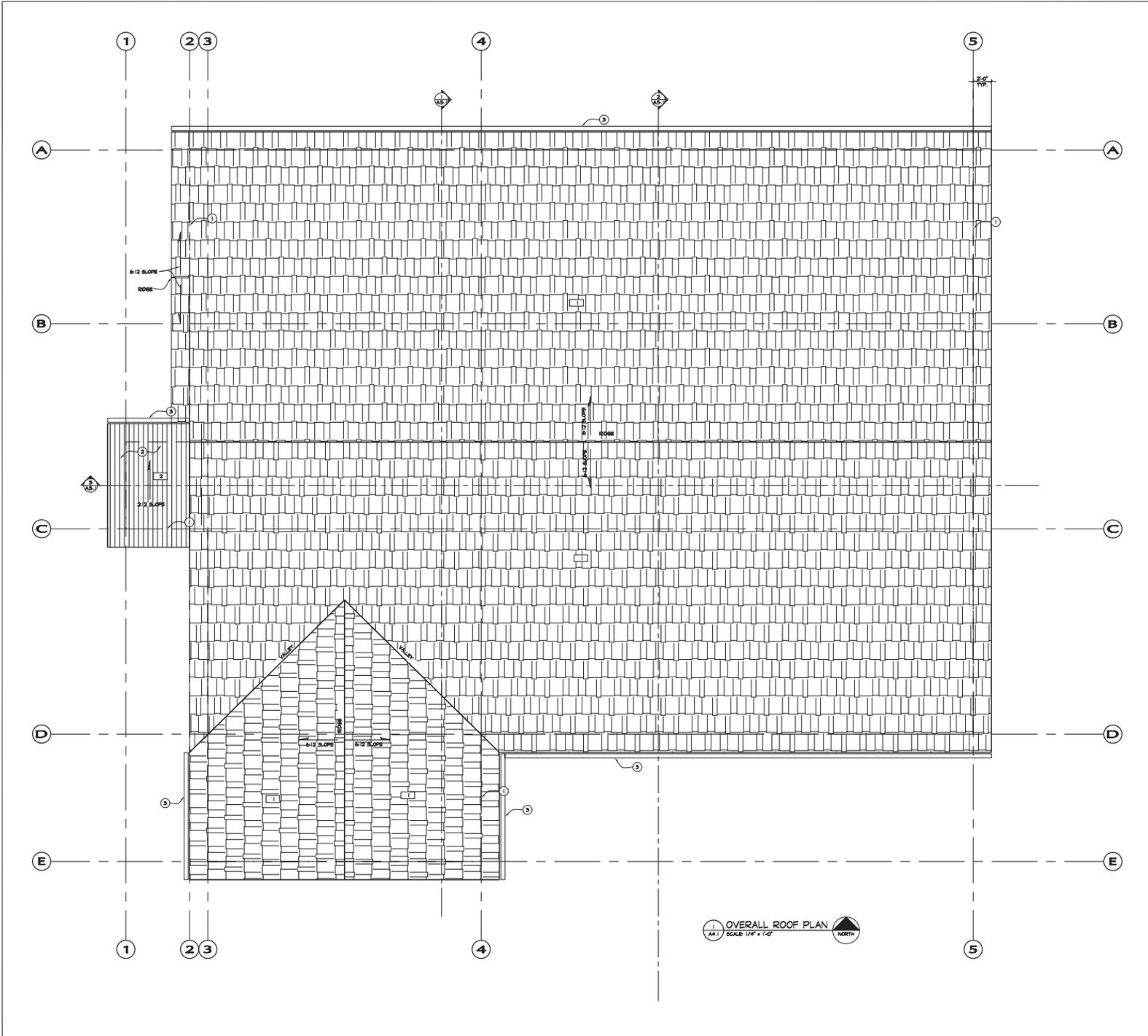
ARCHITECTS



project: 1872  
 date: 1/7/2020  
 revisions:

**A3.2**

~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82001 (307) 352-2954, ~ cheyenne, wyoming, 325 w. 18th street, 82001 (307) 314-4575 ~



**GENERAL NOTES**

1. COMPLY WITH ROOFING MANUFACTURER'S STANDARD DETAILS & V.T.R.A. HIGH CLIMS, ETC. TO OBTAIN WARRANTY.
2. PROVIDE A 90 M.P.H. WIND SPEED WARRANTY FOR ALL ROOF SYSTEMS.
3. WHERE VAPOR BARRIER IS PENETRATED AND AT PERIMETERS OF VAPOR BARRIER, ENSURE VAPOR BARRIERS ARE SEALED TIGHT.
4. ICE & WATER MEMBRANE @ ALL EAVES, VALLEYS, AND UPPER WALL & ROOF INTERSECTIONS EXTENDING UP WALL 1'-0" MIN.

**KEYED NOTES** NOTED THIS [X]

- 1 PAGE OF EXTERIOR WALL BELOW ROOF, INDICATED THIS ---
- 2 NEW ENTRANCE CANOPY - SEE A3.1
- 3 PRE-FINISHED SHEET METAL GUTTER & OPEN DOWNSPOUTS

**ROOF LEGEND**



**ROOF SYSTEMS** NOTED THIS [X]

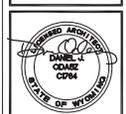
- ASPHALT SHINGLES ROOF
- ASPHALT SHINGLES OVER FELT OR ICE AND WATER SHIELD OVER ROOF FINISH (SEE STRUCTURAL DRAWINGS)
- STANDING SEAM METAL ROOFING
- STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD OVER 2"X4" A.P.A. FIRE RATED PL'WOOD OVER OVER STRUCTURE w/ 8" MIN. INSULATION (SEE STRUCTURAL DRAWINGS) & ML VAPOR BARRIER

1 OVERALL ROOF PLAN  
A4.1 SCALE 1/4" = 1'-0" NORTH

620 T 9th STREET, CODY, WYOMING  
**NEW BASIN VISION CENTER**  
 plan one / architects, Cody, Wyoming



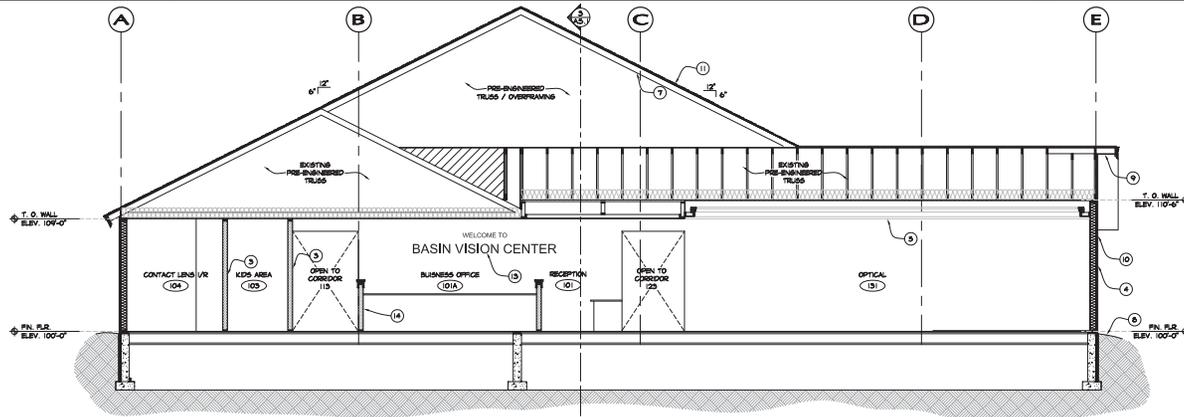
ARCHITECTS



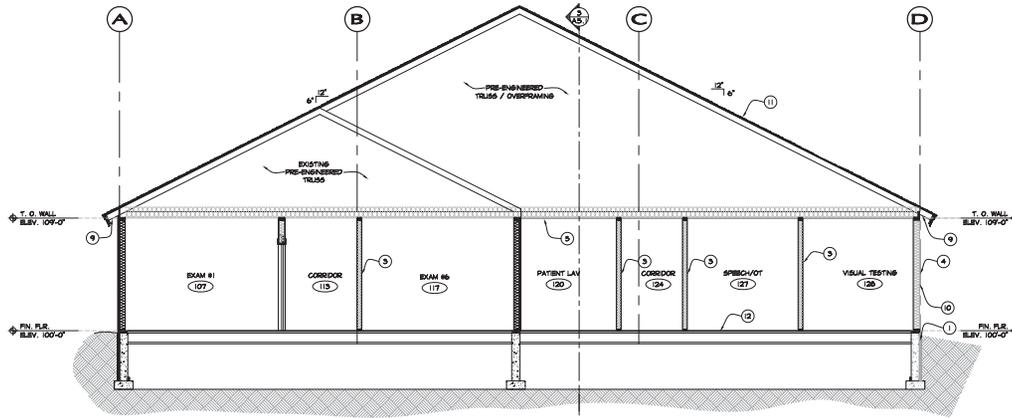
project: 1872  
 date: 1/7/2020  
 revisions:

**A4.1**

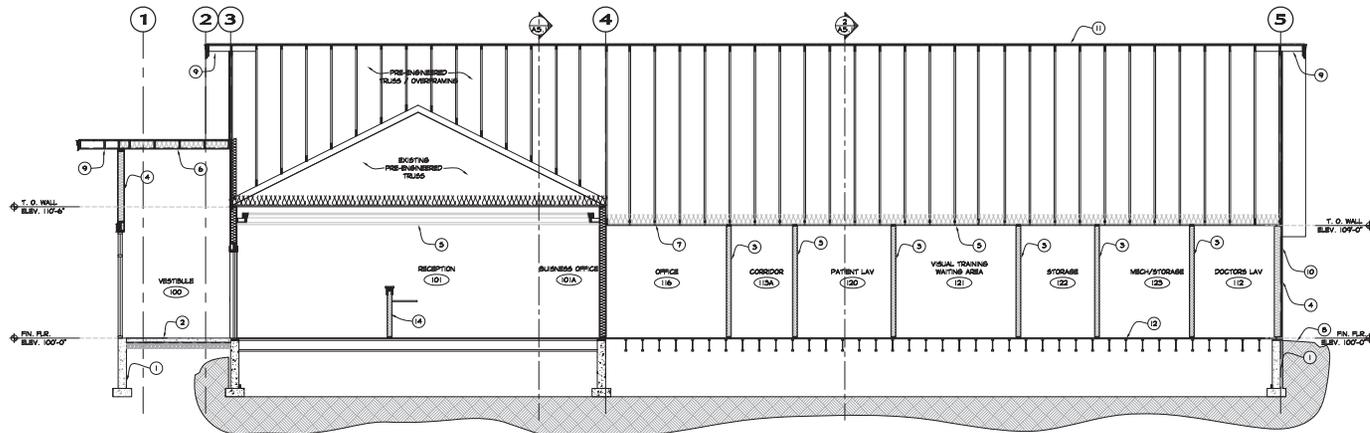
~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, ~ cheyenne, wyoming, 325 w. 18th street, 82001 (307) 314-4575 ~



1 BUILDING SECTION  
AS.1 SCALE 1/4" = 1'-0"



2 BUILDING SECTION  
AS.1 SCALE 1/4" = 1'-0"



3 BUILDING SECTION  
AS.1 SCALE 1/4" = 1'-0"

**GENERAL NOTES**

1. NOT ALL INTERIOR FINISHES AND CABINETS ARE SHOWN ON BUILDING SECTIONS.
2. SEE FLOOR PLAN SHEETS A.11 FOR TYPICAL WALL CONSTRUCTION.
3. ALL EXTERIOR FOUNDATION WALLS SHALL BE PROVIDED WITH DAMP PROOFING AND 2" INSULATION ON THE EXTERIOR FACE.
4. PROVIDE R-36 MIN. BATT INSULATION AT BOTTOM CHORD OF ROOF TRUSS. GENERAL CONTRACTOR TO PROVIDE VENTILATED ATTIC SPACE AS REQUIRED PER LOCAL BUILDING CODE.
5. ALL MECHANICAL & ELECTRICAL DESIGN IS TO BE DESIGN-BUILD BY OWNER / CONTRACTOR.
6. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION & FURNISH NOTIFY OWNER/ARCHITECT OF ANY DEVIATIONS FROM PLANS.

**KEYED NOTES**

NOTED THIS (X)

- 1 NEW CONCRETE FOUNDATION
- 2 NEW CONCRETE SLAB ON GRADE
- 3 INTERIOR WOOD STUD FRAMING WALL W/ FULL-THICKNESS SOLID BATT INSULATION
- 4 EXTERIOR WALL CONSTRUCTION 2X6 WOOD STUD FRAMING @ 16" O.C. W/ FULL-THICKNESS BATT INSULATION @ 12" MIN. WALL TO WITHIN WITH AIR IMPLICATION EXTERIOR AND VAPOR BARRIER ON INTERIOR SIDE OF WALL - SEE A5.1 FOR WALL FINISHES
- 5 GYPSUM HALOGENED CEILING - SEE A11.X SERIES
- 6 WOOD RAFTERS W/ BATT INSULATION (R-36 MIN)
- 7 PRE-ENGINEERED WOOD TRUSSES @ 24" O.C.
- 8 FINISH GRADE - 2% MIN. SLOPE AWAY FROM BUILDING - SEE CIVIL DRAWING
- 9 PRE-FINISHED METAL SOFFIT - SEE SPEC. A.
- 10 EXTERIOR SIDING - SEE A5.X SERIES FOR TYPE
- 11 NEW ASPHALT SHINGLE ROOFING
- 12 NEW 1-JOIST FLOOR FRAMING OVER CRANK SPACE
- 13 OWNER PROVIDED SIGNAGE
- 14 HALF WALL

620 19th STREET, CODY, WYOMING  
**NEW BASIN VISION CENTER**  
 plan one / architects, Cody, Wyoming



ARCHITECTS



project: 1872  
 date: 1/1/2020  
 revisions:

**A5.1**

~ cody, wyoming, 1001 12th st., 82414 (307) 582-8646 ~ rock springs, wyoming, 4020 devar dr., suite a, 82901 (307) 352-2954, ~ cheyenne, wyoming, 325 w. 18th street, 82001 (307) 314-4575 ~

**BASIN VISION SITE PLAN  
CODY, WYOMING**

**STORM DRAINAGE REPORT**

**PREPARED FOR:** 19 Pioneers, LLC.  
Jonathan Hartley  
19 Chickadee Drive  
Cody, WY 82414

**PROJECT LOCATION:** 620 19<sup>th</sup> Street  
Cody, Wyoming

**PREPARED BY:** Engineering Associates  
P.O. Box 1900  
Cody, Wyoming 82414

**JOB NO.:** 18108.00

**DATE:** March 22, 2019



**ENGINEERING ASSOCIATES**  
A Wyoming Corporation  
P.O. BOX 1900  
CODY, WYOMING  
307-587-4911

## **TABLE OF CONTENTS**

	<u>Page</u>
I. Report Summary	2
A. Introduction	2
B. Methodology	2
C. Summary	3
II. Supporting Documentation	4
A. Project Development	4
B. Historic Run-off	4
C. Developed Run-off	4
D. Summary	6
E. References	6
III. Attachments	6

## **I. REPORT SUMMARY**

### **A. Introduction**

The proposed Basin Vision office is located on the corner of 19<sup>th</sup> Street and Pioneer Avenue in Cody, Wyoming. The property is zoned D-1 commercial, and is the southern portion of Lot 11, a part of the Lowry's Small Farms subdivision, which is a part of Tract 71, in T. 53 N., R. 101 W., 6<sup>th</sup> P.M., Park County, Wyoming.

The existing building is a single-story structure which appears to have been previously used for several apartments. The parcel itself is 0.40 acres (17,425 sf) and the portions not occupied by the existing building are primarily covered with grass. The proposed site plan includes an addition to the southeastern part of the building, increasing the structure's total square footage from 4,132 sf to 5,860 sf. Historically, the site has been served by city storm sewer infrastructure along 19<sup>th</sup> Street.

This drainage report addresses historic flows from the grass-covered areas and roof of the existing structure. The developed flow conditions will consider impervious parking surfaces and additional roof area for the remodeled building. The developed conditions have been delineated into four areas, roughly dividing the property into quadrants as shown on the attached Drainage Plan. The difference between the historic drainage flow and the developed flow will be contained and re-directed into one swale/detention basin located behind the northeast corner of the building. No run-off is expected to be generated from any adjacent properties and is not considered in the foregoing calculations. The 10-year, 2-hour storm was analyzed for the calculated run-off in the design of the basin.

### **B. Methodology**

The methodology used in this report is as follows:

1. Runoff rates and volumes were determined for a 10-year frequency event (for a detention basin/swale), and the storm duration was assumed to be 2 hours, as directed in the City's Storm Water Management Policy.
2. The maximum allowable release rate for the design storm is a function of the historic (pre-developed) run-off rates. The calculated difference between the historic and developed flow conditions was found to be 0.05 cfs, which is to be retained on-site as directed in the City's Storm Water Management Policy.
3. Inflow hydrographs, outflow hydrographs, and storage-routing matrices are used to determine the required storage volumes. This procedure is based on the Rational Method of calculating peak run-off values.

**C. Summary**

A summary of the drainage information developed for this project is as follows:

1. The developed run-off rate for a 10-year, 2-hour storm discharging to the basin will be 0.05 cubic feet per second.
2. The basin was designed to infiltrate 5-minute event flows and will store considerably more than a two-hour event for the developed drainage area. The design size is 10' x 10' with 3:1 side slopes, and is over-sized to allow for storm events of greater intensity.
3. Infiltration discharge rates have been used in sizing the detention basin. The basin will handle the difference between the historic and developed 10-year storm run-off.

**II. SUPPORTING DOCUMENTATION**

**A. Project Development**

Run-off coefficients for each area were calculated by using a weighted average of corresponding coefficients attributed to surfaces present within the project area and that are defined by the City of Cody Storm Water Management Policy, shown as follows:

Cconcrete/asphalt	= 0.95
Croof	= 0.95
Chardgravel	= 0.85
Clawn	= 0.20

The averaged run-off coefficient found for each area was also multiplied by a storm coefficient ( $c_r$ ), which for this case is 1.00 because of the utilization of a 10-year storm for designing detention basins.

The time of concentration ( $t_c$ ) of run-off for each delineated area was calculated based on the Overland Time of Concentration nomograph attached to this report. The standard Rational Method as outlined in the City of Cody Storm Water Management Policy was used, as shown below.

**B. Historic Run-Off**

Surface Area "H-1":

Roof	= 0.07 acres
Asphalt/Concrete	= 0.01 acres
Hard Gravel	= 0.12 acres
Bare Soil	= <u>0.04 acres</u>
Total	= 0.25 acres

10-year, 2-hour storm Flow Rate:  
Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_r) IA = (0.84) (1.00) (0.53) (0.25) = 0.11 \text{ cfs}$

**Total Developed Run-off = 0.11 cfs**

Surface Area "H-2":

Roof	= 0.03 acres
Concrete/Asphalt	= 0.01 acres
Lawn	= <u>0.10 acres</u>
Total	= 0.15 acres

10-year, 2-hour storm Flow Rate:  
Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_r) IA = (0.35) (1.00) (0.53) (0.15) = 0.03 \text{ cfs}$

**Total Developed Run-off = 0.03 cfs**

**C. Developed Run-off**

Surface Area "D-1":

Roof	= 0.02 acres
Hard Gravel	= 0.01 acres
Concrete Sidewalk/Asphalt	= <u>0.06 acres</u>
Total	= 0.10 acres

10-year, 2-hour storm Flow Rate:  
 Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_f) IA = (0.94) (1.00) (0.53) (0.10) = 0.05 \text{ cfs}$

**Total Developed Run-off = 0.05 cfs**

Surface Area "D-2":

Roof	= 0.04 acres
Lawn	= 0.01 acres
Asphalt	= <u>0.04 acres</u>
<b>Total</b>	<b>= 0.09 acres</b>

10-year, 2-hour storm Flow Rate:  
 Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_f) IA = (0.85) (1.00) (0.53) (0.09) = 0.04 \text{ cfs}$

**Total Developed Run-off = 0.04 cfs**

Surface Area "D-3":

Roof	= 0.03 acres
Lawn	= 0.02 acres
Concrete/Asphalt	= <u>0.09 acres</u>
<b>Total</b>	<b>= 0.14 acres</b>

10-year, 2-hour storm Flow Rate:  
 Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_f) IA = (0.90) (1.00) (0.53) (0.14) = 0.07 \text{ cfs}$

**Total Developed Run-off = 0.07 cfs**

Surface Area "D-4":

Roof	= 0.044 acres
Gravel	= <u>0.023 acres</u>
<b>Total</b>	<b>= 0.07 acres</b>

10-year, 2-hour storm Flow Rate:  
 Rainfall Intensity, I = 0.53 inches/hour  
 $Q = (C_{ave})(C_f) IA = (0.92) (1.00) (0.53) (0.07) = 0.03 \text{ cfs}$

**Total Developed Run-off = 0.03 cfs**

#### D. Infiltration

An infiltration test performed on similar sites indicated that an infiltration rate of 30 minutes per inch was reasonable. This translates to 2 inches per hour of absorption into the soils. Because of the anticipation of some silting in the retention pond from run-off activity, the storage surface area was adjusted to 80% of the total to accommodate this event.

#### E. Storage Volume Required

The storage volume required is determined using the Inflow Hydrograph for the difference between Historic and Developed runoff,  $Q = 0.19 - 0.14 = 0.05$  cfs. The designed basin will handle 0.05 cfs. This hydrograph defines the rate of runoff flow into the detention basin that must be handled by the basin. It assumes maximum runoff at the Time of Concentration, maintains that volume for the duration of a 2-hour storm, then reduces the flow to zero at  $2 \times$  Time of Concentration (total Time of Retention).

The Depth vs. Storage Chart calculates the wetted surface provided by the selected basin configuration by water-depth increments. It then calculates the rate of infiltration for each wetted surface increment, based on the type of soil anticipated in the detention basin.

The Storage Routing Matrix compares the rate of runoff flow into the basin with the rate of infiltration out of the basin over time. The matrix shows how large the basin storage must reach to handle the difference between inflow and outflow (infiltration). A basin with 3:1 side slopes has been selected for this property.

The detention basin will be located immediately northeast of the existing building and is described as follows:

Dimensions = 10 ft. wide x 10 ft. long  
Depth = 1.4 ft (additional 1.1 ft freeboard)  
Side slopes = 3:1

- 10-yr Volume (see Depth vs. Storage Table attached):  
Outflow =  $277 \text{ sf} \times 2 \text{ inches per hour} \times 80\% = 36.9 \text{ cubic feet per hour}$   
 $= < 0.010 \text{ cfs}$   
Total Infiltration = 0.010 cfs, at 1.4-foot pond depth  
Swale top of bank elevation = 4966.0  
Swale bottom elevation = 4963.5  
Design depth = 2.5 ft.  
Required depth = 1.4 ft.  
Freeboard = 1.1 ft.  
Excess storage:  $((906 \text{ cf} - 316 \text{ cf})/316) = 187\%$



## H. References

City of Cody Stormwater Management Policy; 2003

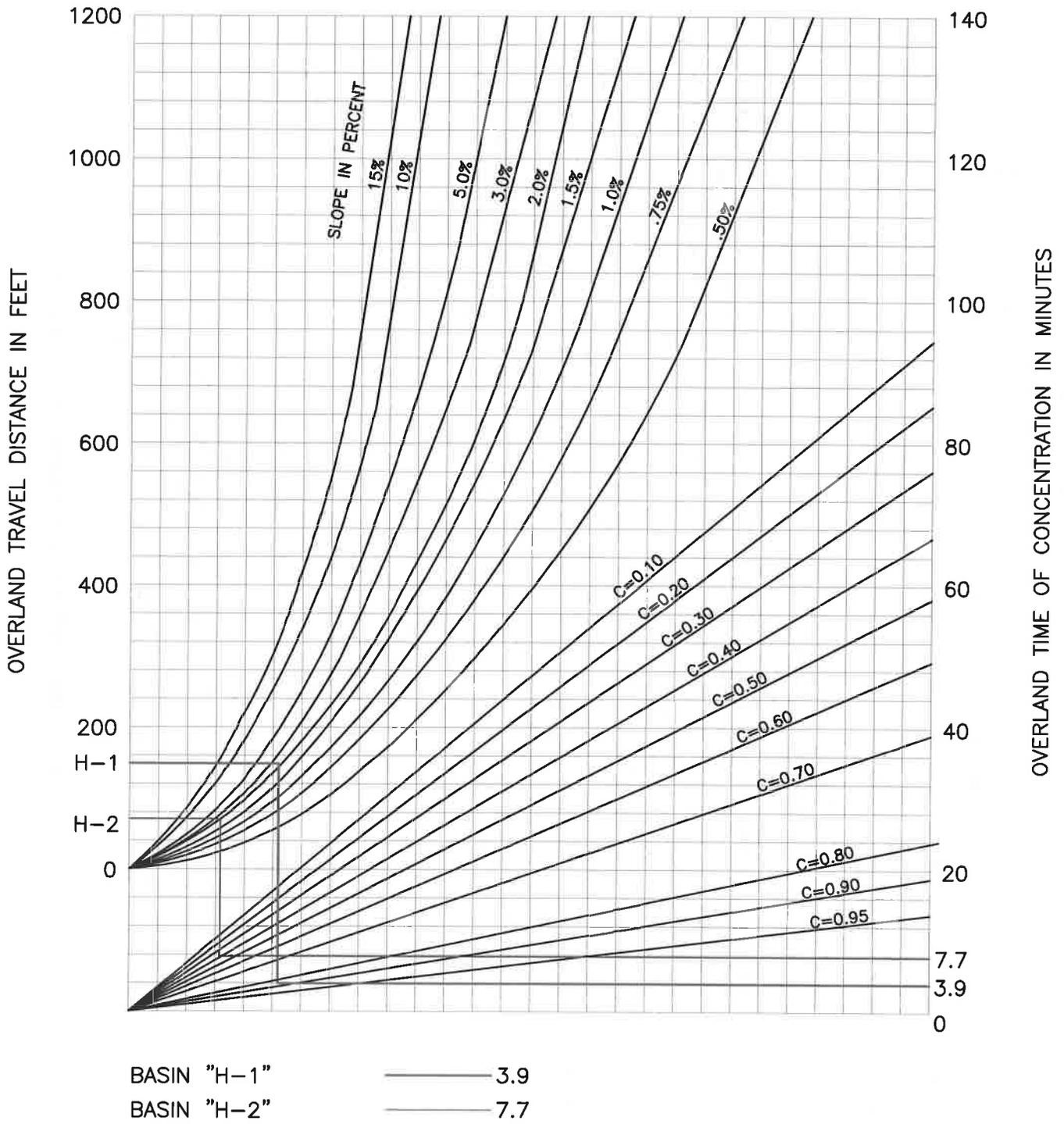
Stormwater - BMP & Detention for Water Quality, Drainage, and CSO Management; Urbonas/Stahre; 1993; Pg. 241-247

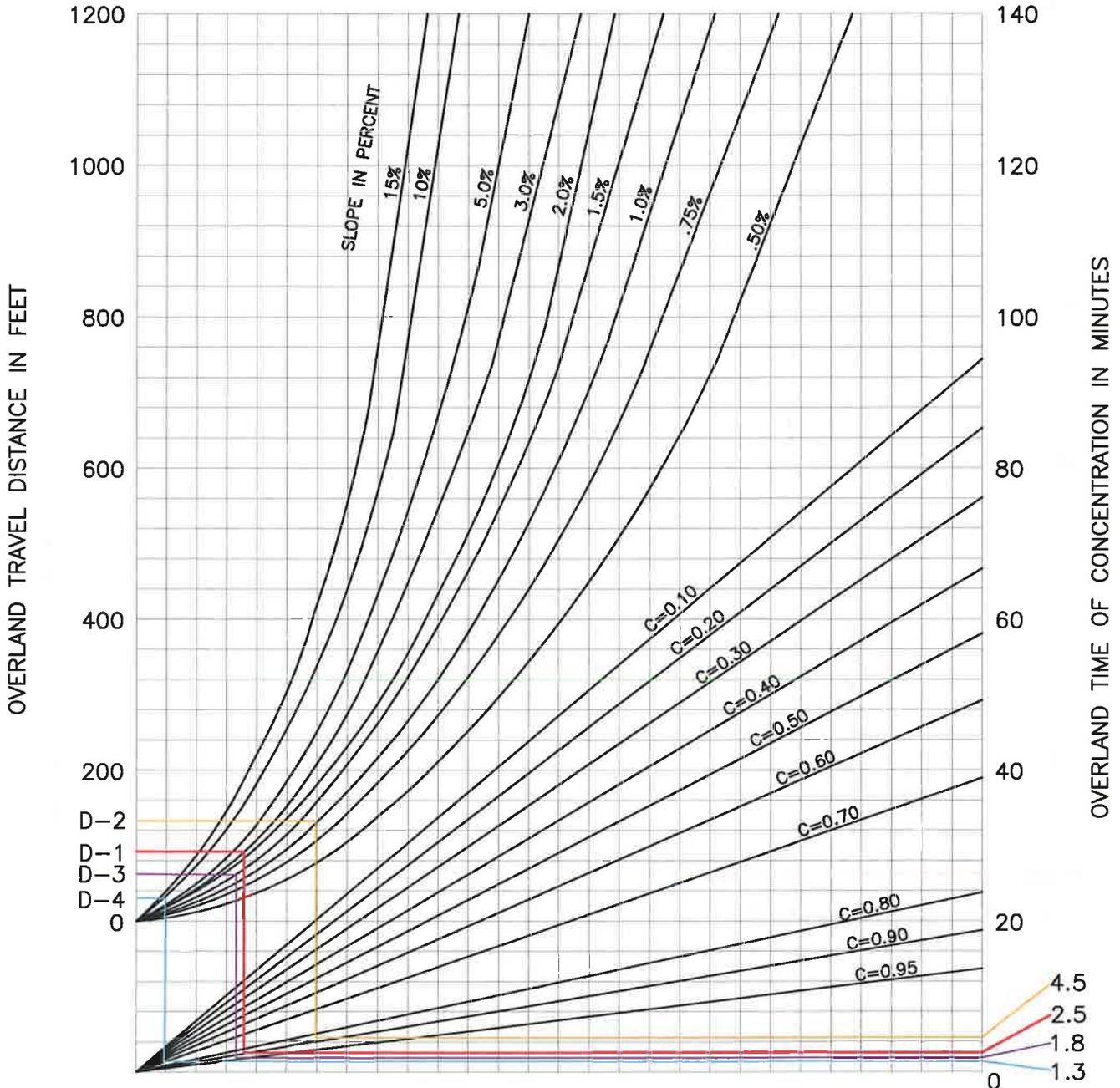
Urban Storm Drainage - Criteria Manual - Vol. 1 & 2; Denver Regional Council of Governments; Wright-McLaughlin; 2000

## III. **ATTACHMENTS**

- Cody Storm Water Management Policy  
-Precipitation/Intensity Values (NOAA ATLAS)
- Overland Time of Concentration
- Runoff Calculation Worksheets (D-1 through D-4)
- Inflow and Outflow Hydrographs; Depth vs. Storage Charts; Storage Routing Matrices
- Plan Sheets/Areas and Travel Distance Diagrams (11x17)

STORM RAINFALL DATA ANALYSIS							DATED:	7/23/1999
FOR:	CITY OF CODY							
ELEVATION:	5100		Z =	51				
PRECIPITATION / DURATION / FREQUENCY DATA								
TIME	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR		
5 MIN.	0.15	0.22	0.28	0.35	0.41	0.45		
10	0.23	0.34	0.43	0.54	0.63	0.69		
15	0.30	0.43	0.54	0.68	0.80	0.88		
30	0.41	0.59	0.75	0.95	1.11	1.22		
1 HR.	0.52	0.75	0.95	1.20	1.40	1.54	[ DATA INPUT #2 ]	
2	0.60	0.85	1.05	1.31	1.51	1.67		
3	0.67	0.94	1.14	1.41	1.61	1.78		
6	0.85	1.15	1.35	1.65	1.85	2.05	[ DATA INPUT #1 ]	
12	1.08	1.43	1.68	2.03	2.28	2.58		
24	1.30	1.70	2.00	2.40	2.70	3.10	[ DATA INPUT #1 ]	
COMMENTS:								
#1) 6-HR. & 24-HR. ARE DATA FROM THE NOAA ATLAS MAPS; FIGURES 20-31.								
#2) 1-HR.; 2-YR. & 100-YR. ARE FROM THE EQUATIONS ON PAGE 15 OF THE ATLAS.								
12-HR. DATA IS THE AVERAGE OF THE 6-HR. & 24-HR. DATA.								
1-HR.; 5-YR. THRU 50-YR. ARE FROM NOAA FIG. 6-CHART, USING THE 2-YR. AND 100-YR. DATA.								
2-HR. & 3-HR. ARE FROM NOAA EQUATIONS ON PAGE 16.								
5-MIN. THRU 30-MIN. ARE ADJUSTMENT FACTORS (TABLE 12) APPLIED TO 1-HR. DATA								
RAINFALL INTENSITY , I (INCHES/HOUR)								
TIME	2-YEAR	5-YEAR	10-YEAR	25-YEAR	50-YEAR	100-YEAR		
5 MIN.	1.81	2.61	3.31	4.18	4.87	5.36		
10	1.40	2.03	2.57	3.24	3.78	4.16		
15	1.19	1.71	2.17	2.74	3.19	3.51		
30	0.82	1.19	1.50	1.90	2.21	2.43		
1 HR.	0.52	0.75	0.95	1.20	1.40	1.54		
2	0.30	0.43	0.53	0.66	0.76	0.83		
3	0.22	0.31	0.38	0.47	0.54	0.59		
6	0.14	0.19	0.23	0.28	0.31	0.34		
12	0.09	0.12	0.14	0.17	0.19	0.21		
24	0.05	0.07	0.08	0.10	0.11	0.13		
COMMENTS:								
PRECIPITATION / DURATION = INTENSITY								





- BASIN "D-1"      2.5
- BASIN "D-2"      4.5
- BASIN "D-3"      1.8
- BASIN "D-4"      1.3

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108

PRINTED: 2/26/2019

HISTORIC RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: H-1 [H-1, H-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	3233.7	0.07	0.95	0.07
	ASPH/CONC.	190	0.01	0.95	0.01
	HARD GRVL	5238.8	0.12	0.85	0.10
	BARE SOIL	1660	0.04	0.70	0.03
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN		0.00	0.20	0.00

TOTAL AREA = 0.25 Ksum = 0.21

MAX TRAVEL DIST = 148 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4964.8 FT  
 DIFF = 3.31 FT

SLOPE = 0.02 FT/FT ----> 2.24 %

VELOCITY = 1.5 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 3.9 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.84 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.11 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108

PRINTED: 2/26/2019

HISTORIC RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: H-2 [H-1, H-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	1165.2	0.03	0.95	0.03
	ASPH/CONC.	265	0.01	0.95	0.01
	HARD GRVL		0.00	0.85	0.00
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN	4501.1	0.10	0.20	0.02
		TOTAL AREA =	0.15	Ksum =	0.05

MAX TRAVEL DIST = 70 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4966.7 FT  
 DIFF = 1.41 FT

SLOPE = 0.02 FT/FT ----> 2.01 %

VELOCITY = 0.9 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 7.7 MINUTES (pull from Appendix C - acad)

USE Tc = 10 MINUTES (round up to nearest 5 min)

Cave = 0.35 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.03 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: D-1 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	903.9	0.02	0.95	0.020
	ASPH/CONC.	2646.5	0.06	0.95	0.058
	HARD GRVL	550	0.01	0.85	0.011
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN		0.00	0.20	0.00

TOTAL AREA = 0.09 Ksum = 0.088

MAX TRAVEL DIST = 91.6 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4965.3 FT  
 DIFF = 2.81 FT

SLOPE = 0.03 FT/FT ----> 3.07 %

VELOCITY = 1.6 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 2.5 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.94 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.05 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: D-2 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	1736	0.04	0.95	0.04
	ASPH/CONC.	1756.6	0.04	0.95	0.04
	HARD GRVL		0.00	0.85	0.00
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN	543.2	0.01	0.20	0.00

TOTAL AREA = 0.09 Ksum = 0.08

MAX TRAVEL DIST = 132 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4966.66 FT  
 DIFF = 1.45 FT

SLOPE = 0.01 FT/FT ----> 1.10 %

VELOCITY = 1.8 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 4.5 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.85 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.04 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: D-3 [D-1, D-2...]

COEFFICIENTS, C:			
ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
ROOF		1370.6	0.03	0.95	0.03
ASPH/CONC.		4267.2	0.10	0.95	0.09
HARD GRVL			0.00	0.85	0.00
BARE SOIL			0.00	0.70	0.00
BARE GRVL			0.00	0.50	0.00
LT VEG/SOIL			0.00	0.40	0.00
LT VEG/GRVL			0.00	0.30	0.00
LAWN		391	0.01	0.20	0.00
TOTAL AREA =			0.14	Ksum =	0.12

MAX TRAVEL DIST = 62 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4967.2 FT  
 DIFF = 0.91 FT

SLOPE = 0.01 FT/FT ----> 1.47 %

VELOCITY = 2.1 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 1.8 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.90 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1  
 1.00 <=/ TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.07 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD  
 10-YEAR, 2-HOUR STORM

BASIN: D-4 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
ROOF		1918.4	0.044	0.95	0.04
ASPH/CONC.			0.00	0.95	0.00
HARD GRVL		1017	0.02	0.85	0.02
BARE SOIL			0.00	0.70	0.00
BARE GRVL			0.00	0.50	0.00
LT VEG/SOIL			0.00	0.40	0.00
LT VEG/GRVL			0.00	0.30	0.00
LAWN			0.000	0.20	0.000

TOTAL AREA = 0.07 Ksum = 0.06

MAX TRAVEL DIST = 30 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4965.3 FT  
 DIFF = 2.81 FT

SLOPE = 0.09 FT/FT ----> 9.37 %

VELOCITY = 3.9 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 1.3 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.92 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.53 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.03 CFS

DEV Q = 0.19  
 HIST Q = 0.14

DIFF = 0.05 RUNOFF TO REMAIN ON-SITE

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108

PRINTED: 2/26/2019

HISTORIC RUNOFF CALCULATION - RATIONAL METHOD  
 100-YEAR, 2-HOUR STORM

BASIN: H-1 [H-1, H-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	3233.7	0.07	0.95	0.07
	ASPH/CONC.	190	0.01	0.95	0.01
	HARD GRVL	5238.8	0.12	0.85	0.10
	BARE SOIL	1660	0.04	0.70	0.03
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN		0.00	0.20	0.00

TOTAL AREA = 0.25 Ksum = 0.21

MAX TRAVEL DIST = 148 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4964.8 FT  
 DIFF = 3.31 FT

SLOPE = 0.02 FT/FT ----> 2.24 %

VELOCITY = 1.5 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 3.9 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.84 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.17 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108

PRINTED: 2/26/2019

HISTORIC RUNOFF CALCULATION - RATIONAL METHOD  
 100-YEAR, 2-HOUR STORM

BASIN: H-2 [H-1, H-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	1165.2	0.03	0.95	0.03
	ASPH/CONC.	265	0.01	0.95	0.01
	HARD GRVL		0.00	0.85	0.00
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN	4501.1	0.10	0.20	0.02

TOTAL AREA = 0.15 Ksum = 0.05

MAX TRAVEL DIST = 70 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4966.7 FT  
 DIFF = 1.41 FT

SLOPE = 0.02 FT/FT ----> 2.01 %

VELOCITY = 0.9 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 7.7 MINUTES (pull from Appendix C - acad)

USE Tc = 10 MINUTES (round up to nearest 5 min)

Cave = 0.35 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.04 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD  
 100-YEAR, 2-HOUR STORM

BASIN: D-1 [D-1, D-2...]

COEFFICIENTS, C:			
ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
ROOF		903.9	0.02	0.95	0.020
ASPH/CONC.		2646.5	0.06	0.95	0.058
HARD GRVL		550	0.01	0.85	0.011
BARE SOIL			0.00	0.70	0.00
BARE GRVL			0.00	0.50	0.00
LT VEG/SOIL			0.00	0.40	0.00
LT VEG/GRVL			0.00	0.30	0.00
LAWN			0.00	0.20	0.00

TOTAL AREA = 0.09 Ksum = 0.088

MAX TRAVEL DIST = 91.6 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4965.3 FT  
 DIFF = 2.81 FT

SLOPE = 0.03 FT/FT ----> 3.07 %

VELOCITY = 1.6 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 2.5 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.94 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.07 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD

100-YEAR, 2-HOUR STORM

BASIN: D-2 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	1736	0.04	0.95	0.04
	ASPH/CONC.	1756.6	0.04	0.95	0.04
	HARD GRVL		0.00	0.85	0.00
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN	543.2	0.01	0.20	0.00

TOTAL AREA = 0.09 Ksum = 0.08

MAX TRAVEL DIST = 132 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4966.66 FT  
 DIFF = 1.45 FT

SLOPE = 0.01 FT/FT ----> 1.10 %

VELOCITY = 1.8 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 4.5 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.85 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.07 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD

100-YEAR, 2-HOUR STORM

BASIN: D-3 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
	ROOF	1370.6	0.03	0.95	0.03
	ASPH/CONC.	4267.2	0.10	0.95	0.09
	HARD GRVL		0.00	0.85	0.00
	BARE SOIL		0.00	0.70	0.00
	BARE GRVL		0.00	0.50	0.00
	LT VEG/SOIL		0.00	0.40	0.00
	LT VEG/GRVL		0.00	0.30	0.00
	LAWN	391	0.01	0.20	0.00
TOTAL AREA =			0.14	Ksum =	0.12

MAX TRAVEL DIST = 62 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4967.2 FT  
 DIFF = 0.91 FT

SLOPE = 0.01 FT/FT → 1.47 %

VELOCITY = 2.1 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 1.8 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.90 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1  
 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.10 CFS

PROJECT: Basin Vision Remodel  
 LOCATION: 620 19th Street; Cody, WY  
 JOB No.: 18108.00

PRINTED: 2/26/2019

DEVELOPED RUNOFF CALCULATION - RATIONAL METHOD

100-YEAR, 2-HOUR STORM

BASIN: D-4 [D-1, D-2...]

COEFFICIENTS, C:

ROOF	0.95	BARE GRVL	0.50
ASPH/CONC.	0.95	LT VEG/SOIL	0.40
HARD GRVL	0.85	LT VEG/GRVL	0.30
BARE SOIL	0.70	LAWN	0.20

AREA:		SQ FT	ACRES	C	K FACTOR
ROOF		1918.4	0.044	0.95	0.04
ASPH/CONC.			0.00	0.95	0.00
HARD GRVL		1017	0.02	0.85	0.02
BARE SOIL			0.00	0.70	0.00
BARE GRVL			0.00	0.50	0.00
LT VEG/SOIL			0.00	0.40	0.00
LT VEG/GRVL			0.00	0.30	0.00
LAWN			0.000	0.20	0.000

TOTAL AREA = 0.07 Ksum = 0.06

MAX TRAVEL DIST = 30 LF (measure from site plan)

ELEVATION: HP = 4968.11 FT (calc from site plan)  
 LP = 4965.3 FT  
 DIFF = 2.81 FT

SLOPE = 0.09 FT/FT ----> 9.37 %

VELOCITY = 3.9 FPS (pull from Fig. 15.2 nomograph)

CALC Tc = 1.3 MINUTES (pull from Appendix C - acad)

USE Tc = 5 MINUTES (round up to nearest 5 min)

Cave = 0.92 (calc from Ksum/area)

STORM COEFFICIENT, Cf = 1 1.00 <= TO 10-YR [SWALES/BASINS/PONDS]  
 1.25 25-YR [PERC TRENCHES]

RAINFALL INTENSITY, I = 0.83 IN/HR (pull from location Storm Rainfall Data Analysis Table)

RUNOFF, Q = Cave x I x A x Cf = 0.05 CFS

DEV Q = 0.29  
 HIST Q = 0.22

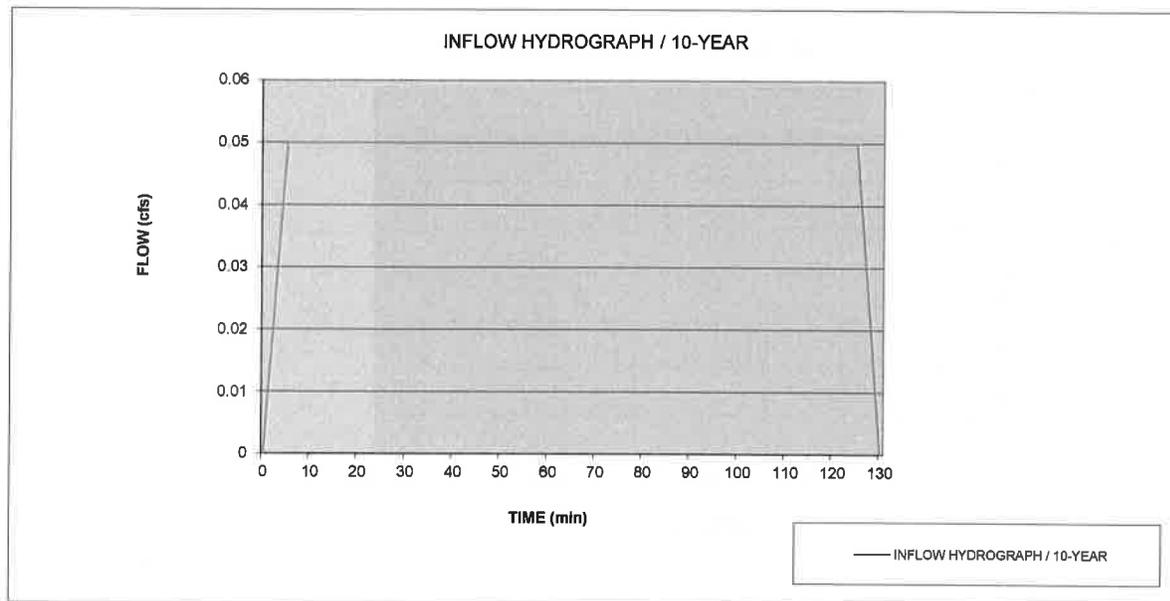
DIFF = 0.07 RUNOFF TO REMAIN ON-SITE

DEV - HIST =  
**Q(10) = 0.050 cfs**

Rational Method for hydrograph development:

Tc = 5 min. ; 2Tc = 10 min.

TIME (min)	0	1	2	3	4	5	6-125 (2 hour storm)	126	127	128	129	130
FLOW (cfs)	0.000	0.010	0.020	0.030	0.040	0.050	0.050	0.040	0.030	0.020	0.010	0.000



**VOLUME NEEDED= 360 ft³**

BASIN VISION SITE PLAN  
 Job No. 18108.00  
 Storm Drainage  
**INFLOW HYDROGRAPH / 100-YEAR**

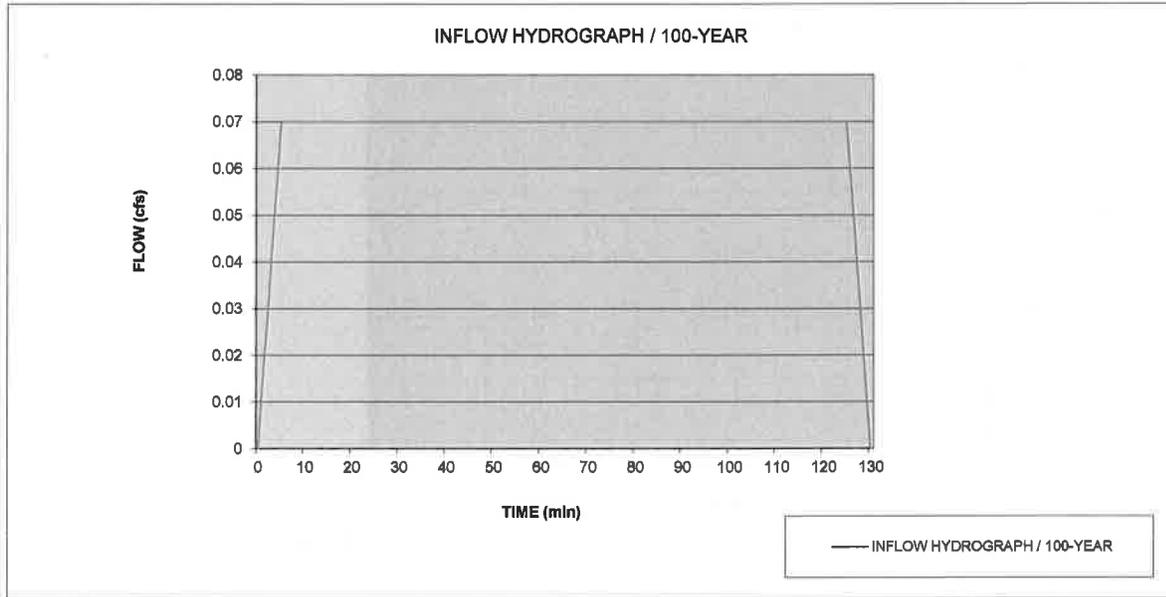
DATE: 03/22/19

DEV - HIST =  
**Q(100) = 0.070 cfs**

Rational Method for hydrograph development:

Tc = 5 min. ; 2Tc = 10 min.

TIME (min)	0	1	2	3	4	5	6-125 (2 hour storm)	126	127	128	129	130
FLOW (cfs)	0.000	0.014	0.028	0.042	0.056	0.070	0.070	0.056	0.042	0.028	0.014	0.000



**VOLUME NEEDED= 504 ft³**

BASIN VISION SITE PLAN						
Job No. 18108.00						RAO
Depth vs. Storage						Date: 03/22/19
Roof & Landscaping						
Est. Design Capacity Req'd =				360 cf. - each swale		
(without infiltration)						
Swale	RECT.	BOTTOM	BOTTOM			
		WIDTH	LENGTH			
Landscape Pond =		10	10 (FT.)			
				Design Depth =	1.5 ft.	
Side slopes = 3:1		SWALE	Freeboard =		1.0 ft.	
Depth (ft)	Wetted Surface - Bottom (sf)	Wetted Surface Perimeter (sf)	Total Wetted Surface (sf)	(2" per hr) Infiltration Rate (cfs)	Pond Vol (cf)	10-yr Design Reqmt
3.0	100.0	379.5	479.5	0.018	1326	
2.9	100.0	366.8	466.8	0.017	1234	
2.8	100.0	354.2	454.2	0.017	1146	
2.7	100.0	341.5	441.5	0.016	1062	
2.6	100.0	328.9	428.9	0.016	982	
2.5	100.0	316.2	416.2	0.015	906	FB
2.4	100.0	303.6	403.6	0.015	834	
2.3	100.0	290.9	390.9	0.014	766	
2.2	100.0	278.3	378.3	0.014	702	
2.1	100.0	265.6	365.6	0.014	641	
2.0	100.0	253.0	353.0	0.013	584	
1.9	100.0	240.3	340.3	0.013	530	
1.8	100.0	227.7	327.7	0.012	479	
1.7	100.0	215.0	315.0	0.012	432	
1.6	100.0	202.4	302.4	0.011	387	
1.5	100.0	189.7	289.7	0.011	346	
1.4	100.0	177.1	277.1	0.010	307	316
1.3	100.0	164.4	264.4	0.010	271	
1.2	100.0	151.8	251.8	0.009	238	
1.1	100.0	139.1	239.1	0.009	207	
1.0	100.0	126.5	226.5	0.008	178	
0.9	100.0	113.8	213.8	0.008	152	
0.8	100.0	101.2	201.2	0.007	128	
0.7	100.0	88.5	188.5	0.007	106	
0.6	100.0	75.9	175.9	0.007	85	
0.5	100.0	63.2	163.2	0.006	67	
0.4	100.0	50.6	150.6	0.006	51	
0.3	100.0	37.9	137.9	0.005	36	
0.2	100.0	25.3	125.3	0.005	23	
0.1	100.0	12.6	112.6	0.004	11	

<b>BASIN VISION SITE PLAN</b>						
<b>Job No. 18108.00</b>						
<b>Depth vs. Storage</b>				Date: 03/22/19		
Roof & Landscaping						
Est. Design Capacity Req'd = 504 cf. - each swale						
Swale	RECT.	BOTTOM	BOTTOM			
		WIDTH	LENGTH			
Landscape Pond =		10	10 (FT.)			
Side slopes = 3:1		SWALE	Design Depth =		1.5 ft.	
			Freeboard =		1.0 ft.	
Depth (ft)	Wetted Surface - Bottom (sf)	Wetted Surface Perimeter (sf)	Total Wetted Surface (sf)	(2" per hr) Infiltration Rate (cfs)	Pond Vol (cf)	100-yr Design Req'rmt
3.0	100.0	379.5	479.5	0.018	1326	
2.9	100.0	366.8	466.8	0.017	1234	
2.8	100.0	354.2	454.2	0.017	1146	
2.7	100.0	341.5	441.5	0.016	1062	
2.6	100.0	328.9	428.9	0.016	982	
2.5	100.0	316.2	416.2	0.015	906	FB
2.4	100.0	303.6	403.6	0.015	834	
2.3	100.0	290.9	390.9	0.014	766	
2.2	100.0	278.3	378.3	0.014	702	
2.1	100.0	265.6	365.6	0.014	641	
2.0	100.0	253.0	353.0	0.013	584	
1.9	100.0	240.3	340.3	0.013	530	
1.8	100.0	227.7	327.7	0.012	479	457
1.7	100.0	215.0	315.0	0.012	432	
1.6	100.0	202.4	302.4	0.011	387	
1.5	100.0	189.7	289.7	0.011	346	
1.4	100.0	177.1	277.1	0.010	307	
1.3	100.0	164.4	264.4	0.010	271	
1.2	100.0	151.8	251.8	0.009	238	
1.1	100.0	139.1	239.1	0.009	207	
1.0	100.0	126.5	226.5	0.008	178	
0.9	100.0	113.8	213.8	0.008	152	
0.8	100.0	101.2	201.2	0.007	128	
0.7	100.0	88.5	188.5	0.007	106	
0.6	100.0	75.9	175.9	0.007	85	
0.5	100.0	63.2	163.2	0.006	67	
0.4	100.0	50.6	150.6	0.006	51	
0.3	100.0	37.9	137.9	0.005	36	
0.2	100.0	25.3	125.3	0.005	23	
0.1	100.0	12.6	112.6	0.004	11	

**BASIN VISION - NE AREA**

STORM DRAINAGE / 10-YEAR STORM

SWALE: 10' x 10' Bottom

**ROUTING FOR STORAGE DETERMINATION w/ INFILTRATION DISCHARGE**

t (min)	t(f) - t(i) (sec)	I (cfs)	Inflow Vol	Q (cfs)	Outflow Vol	Delta S	Storage
0		0.000		0.000			0
	300		7.50		0.60	6.90	
5		0.050		0.004			7
	300		15.00		1.35	13.65	
10		0.050		0.005			21
	300		15.00		1.50	13.50	
15		0.050		0.005			34
	300		15.00		1.65	13.35	
20		0.050		0.006			47
	300		15.00		1.80	13.20	
25		0.050		0.006			61
	300		15.00		1.80	13.20	
30		0.050		0.006			74
	300		15.00		1.95	13.05	
35		0.050		0.007			87
	300		15.00		2.10	12.90	
40		0.050		0.007			100
	300		15.00		2.10	12.90	
45		0.050		0.007			113
	300		15.00		2.10	12.90	
50		0.050		0.007			126
	300		15.00		2.10	12.90	
55		0.050		0.007			138
	300		15.00		2.25	12.75	
60		0.050		0.008			151
	300		15.00		2.40	12.60	
65		0.050		0.008			164
	300		15.00		2.40	12.60	
70		0.050		0.008			176
	300		15.00		2.40	12.60	
75		0.050		0.008			189
	300		15.00		2.40	12.60	
80		0.050		0.008			202
	300		15.00		2.55	12.45	
85		0.050		0.009			214
	300		15.00		2.70	12.30	
90		0.050		0.009			226
	300		15.00		2.70	12.30	
95		0.050		0.009			239
	300		15.00		2.70	12.30	
100		0.050		0.009			251
	300		15.00		2.70	12.30	
105		0.050		0.009			263
	300		15.00		2.85	12.15	
110		0.050		0.010			275
	300		15.00		3.00	12.00	
115		0.050		0.010			287
	300		15.00		3.00	12.00	
120		0.050		0.010			299
	300		15.00		3.00	12.00	
125		0.050		0.010			311
	300		7.50		3.00	4.50	
130		0.000		0.010			316
	300		0.00		3.00	-3.00	
135		0.000		0.010			313
	300		0.00		3.00	-3.00	
140		0.000		0.010			310
	300		0.00		3.00	-3.00	
145		0.000		0.010			307
	300		0.00		3.00	-3.00	
150		0.000		0.010			304

**BASIN VISION - NE AREA**

STORM DRAINAGE / 100-YEAR STORM

SWALE: 10' x 10' Bottom

**ROUTING FOR STORAGE DETERMINATION w/ INFILTRATION DISCHARGE**

t (min)	t(f) - t(i) (sec)	I (cfs)	Inflow Vol	Q (cfs)	Outflow Vol	Delta S	Storage
0		0.000		0.000			0
5	300	0.070	10.50	0.004	0.60	9.90	10
10	300	0.070	21.00	0.005	1.35	19.65	30
15	300	0.070	21.00	0.006	1.65	19.35	49
20	300	0.070	21.00	0.006	1.80	19.20	68
25	300	0.070	21.00	0.007	1.95	19.05	87
30	300	0.070	21.00	0.007	2.10	18.90	106
35	300	0.070	21.00	0.007	2.10	18.90	125
40	300	0.070	21.00	0.007	2.10	18.90	144
45	300	0.070	21.00	0.008	2.25	18.75	163
50	300	0.070	21.00	0.008	2.40	18.60	181
55	300	0.070	21.00	0.009	2.55	18.45	200
60	300	0.070	21.00	0.009	2.70	18.30	218
65	300	0.070	21.00	0.009	2.70	18.30	236
70	300	0.070	21.00	0.009	2.70	18.30	255
75	300	0.070	21.00	0.010	2.85	18.15	273
80	300	0.070	21.00	0.010	3.00	18.00	291
85	300	0.070	21.00	0.010	3.00	18.00	309
90	300	0.070	21.00	0.010	3.00	18.00	327
95	300	0.070	21.00	0.011	3.15	17.85	345
100	300	0.070	21.00	0.011	3.30	17.70	362
105	300	0.070	21.00	0.011	3.30	17.70	380
110	300	0.070	21.00	0.011	3.30	17.70	398
115	300	0.070	21.00	0.011	3.30	17.70	415
120	300	0.070	21.00	0.012	3.45	17.55	433
125	300	0.070	21.00	0.012	3.60	17.40	450
130	300	0.000	10.50	0.012	3.60	6.90	457
135	300	0.000	0.00	0.012	3.60	-3.60	454
140	300	0.000	0.00	0.012	3.60	-3.60	450
145	300	0.000	0.00	0.012	3.60	-3.60	446
150	300	0.000	0.00	0.012	3.60	-3.60	443

# BASIN VISION SITE PLAN

## 100-YEAR EMERGENCY SPILLWAY

### ***Man-Made Channels***

CIVIL TOOLS PRO

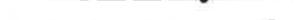
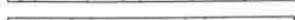
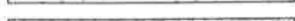
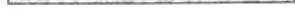
English Units

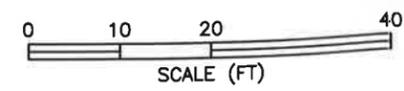
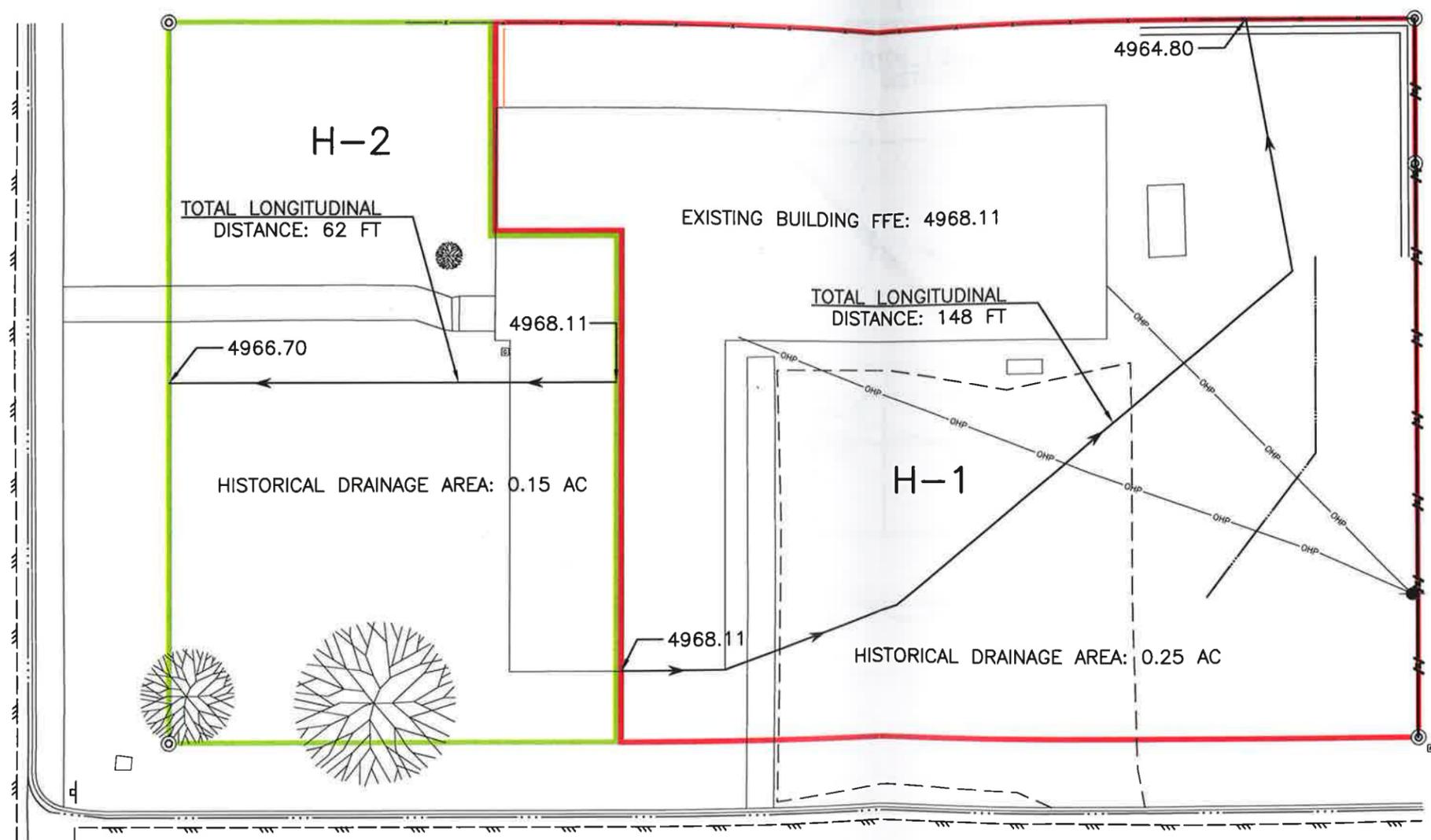
02-19-2019 13:51:04

### **Results**

Flow Depth	=	0.06 ft
Flowrate	=	0.07 cfs
Bottom Width	=	0.50 ft
Side Slope (H:V)	=	3.0000 H:V
Channel Slope (V:H)	=	0.0500 V:H
Manning's N	=	0.023
Wetted Area	=	0.04 sq ft
Wetted Perimeter	=	0.86 ft
Velocity	=	1.82 fps
Froude No.	=	1.50
Flow Regime	=	Super-Critical

**LEGEND**

-  FOUND ALUMINUM CAP MONUMENT
-  SUBJECT PROPERTY LINE
-  OVERHEAD ELECTRICAL LINE
-  BURIED TELEPHONE LINE
-  BURIED POWER
-  BURIED TREATED WATER LINE
-  BURIED SANITARY SEWER LINE
-  BURIED GAS LINE
-  BURIED FIBER OPTIC
-  EDGE OF ASPHALT SURFACE
-  EDGE OF GRAVEL
-  CHAIN LINK FENCE
-  PROPOSED 6-FT SOLID WOOD FENCE
-  PROPOSED TREATED WATER SERVICE
-  PROPOSED SANITARY SEWER SERVICE
-  PROPOSED POWER
-  PROPOSED GAS
-  PROPOSED ROOF DOWN SPOT DRAIN
-  PROPOSED BERM
-  PROPOSED ASPHALT
-  PROPOSED CONCRETE
-  PROPOSED LAWN
-  PROPOSED GRAVEL
-  MAJOR & MINOR CONTOUR LINES
-  PEDESTAL; TRANSFORMER
-  DIRECTIONAL FLOW
-  POWER POLE
-  UTILITY PIPE LINE VALVES
-  EX. MANHOLE AS NOTED
-  OVERLOT RUNOFF
-  DRAINAGE AREA H-1
-  DRAINAGE AREA H-2



NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH CITY OF CODY STANDARDS AND WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
2/19/19	EDITS			
12/27/18	DRAINAGE PLAN	KNB	RAO	
12/4/18	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM  
JOB NO. 18108  
FIELD BOOK NO. 411  
DRAWING NO. BASE



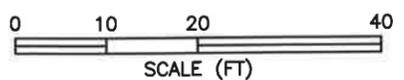
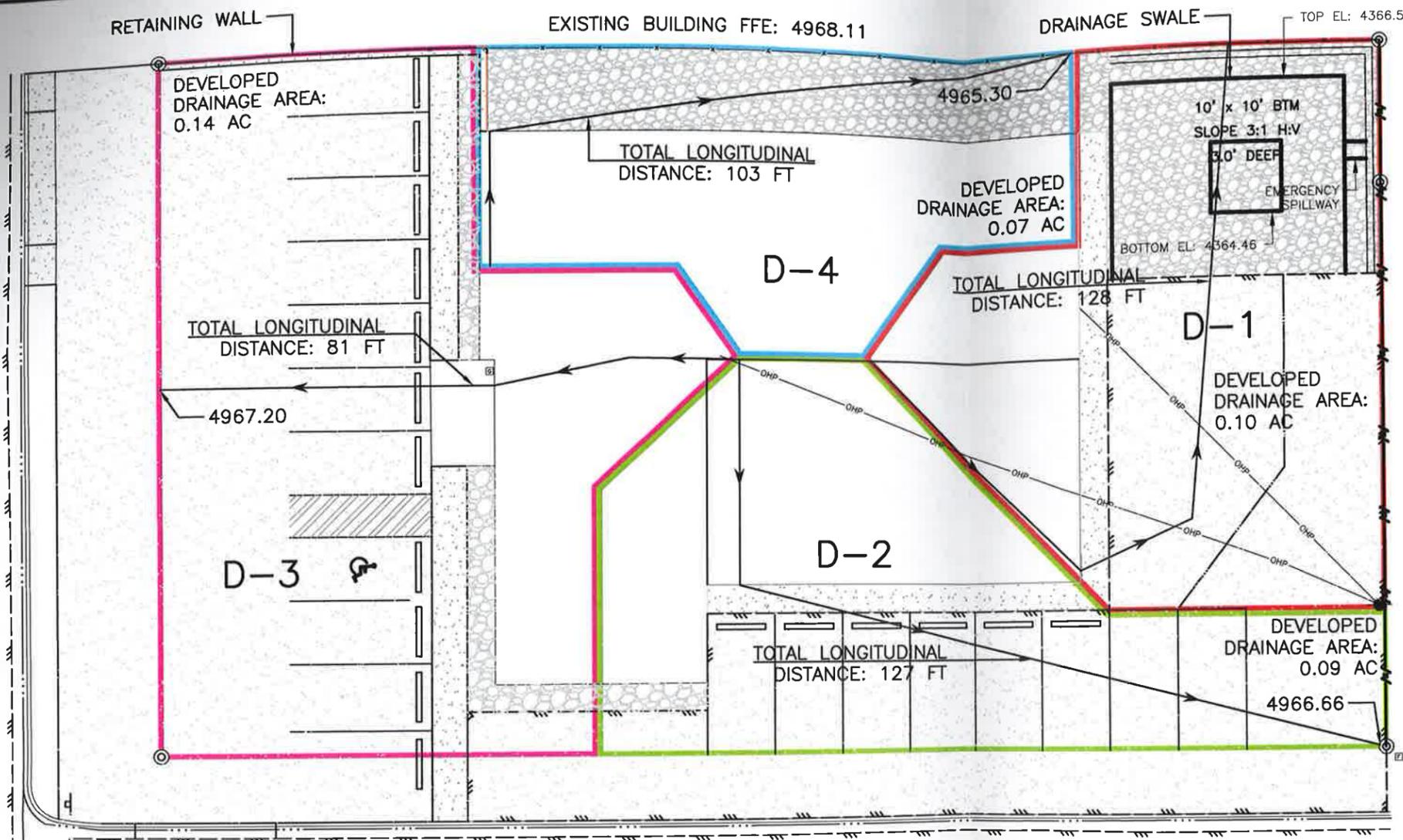
ENGINEERING ASSOCIATES - CODY, WYOMING  
CONSULTING ENGINEERS & SURVEYORS

OWNER: BASIN VISION

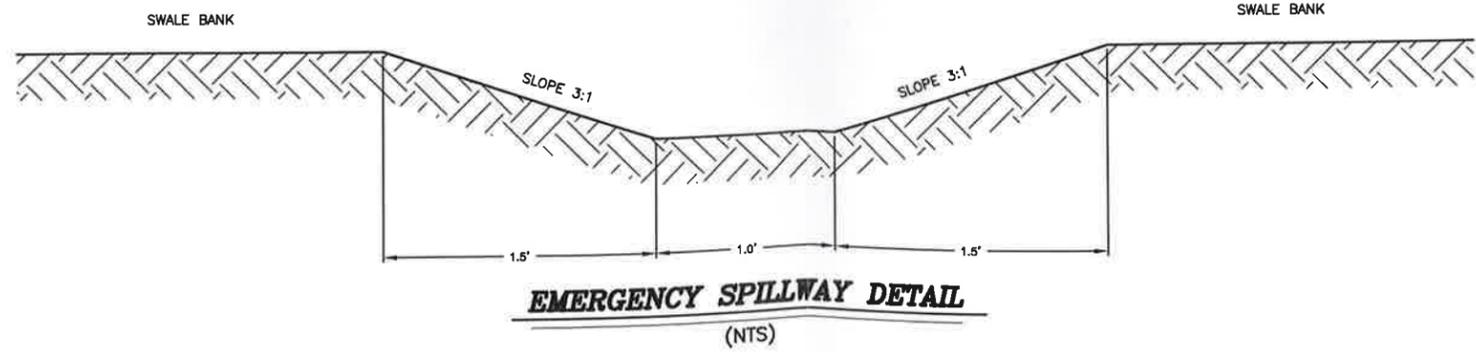
PROJECT: BASIN VISION CENTER - 620 19TH ST.  
TITLE: HISTORIC DRAINAGE

D1.0  
SHEET 1 OF 2

19TH STREET



PIONEER AVENUE



**LEGEND**

- FOUND ALUMINUM CAP MONUMENT
- SUBJECT PROPERTY LINE
- OVERHEAD ELECTRICAL LINE
- BURIED TELEPHONE LINE
- BURIED POWER
- BURIED TREATED WATER LINE
- BURIED SANITARY SEWER LINE
- BURIED GAS LINE
- BURIED FIBER OPTIC
- EDGE OF ASPHALT SURFACE
- EDGE OF GRAVEL
- CHAIN LINK FENCE
- PROPOSED 6-FT SOLID WOOD FENCE
- PROPOSED TREATED WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED POWER
- PROPOSED GAS
- PROPOSED ROOF DOWN SPOT DRAIN
- PROPOSED BERM
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LAWN
- PROPOSED GRAVEL
- MAJOR & MINOR CONTOUR LINES
- PEDESTAL; TRANSFORMER
- DIRECTIONAL FLOW
- POWER POLE
- UTILITY PIPE LINE VALVES
- EX. MANHOLE AS NOTED
- OVERLOT RUNOFF
- DRAINAGE AREA D-1
  - DRAINAGE AREA D-2
  - DRAINAGE AREA D-3
  - DRAINAGE AREA D-4

NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE WITH CITY OF CODY STANDARDS AND WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
02/28/19	EDITS	KNB	RAO	
12/27/18	DRAINAGE PLAN	KNB	RAO	
12/4/18	ORIGINAL DRAWING	IKSM	RAO	

**ENGINEERING ASSOCIATES - CODY, WYOMING**  
CONSULTING ENGINEERS & SURVEYORS

OWNER: **BASIN VISION**

PROJECT: **BASIN VISION CENTER - 620 19TH ST.**  
TITLE: **DEVELOPED DRAINAGE**

D1.1  
SHEET 2 OF 2

P:\2018\18108 - Basin Vision Site Drainage Report\MOU\BASIN VISION BASE.dwg DEVELOPED DRAINAGE 3/22/19 KIMBERLY