

CITY OF CODY
PLANNING, ZONING, AND ADJUSTMENT BOARD
TUESDAY December 17, 2019
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order.
2. Roll Call, excused members
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes of the November 26, 2019 regular meeting.
5. BUSINESS:
 - A. Review a site plan for Walmart Pickup Area, located at 321 Yellowstone Avenue.
 - B. Review the Plat Amendment for Cook Minor Subdivision, located at 1702 31st Street.
 - C. Review a site plan for Adidas/Yeezy Cody Sample Lab, located at 119 Road 2AB.
 - D. Review a site plan for Park County School District No. 6 for the Transportation Facility, located at 3825 Sheridan Avenue.
6. P & Z Board matters (announcements, comments, etc.)
7. Council Update
8. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning, and Adjustment
Board Meeting November 26, 2019

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, November 26, 2019 at 12:01 pm.

Present: Vice Chairman Erynne Selk, Richard Jones, Stan Wolz, Klay Nelson, Sandi Fisher, Deputy City Attorney Sandee Kitchen, City Planner Todd Stowell, Administrative Coordinator Bernie Butler, Council Liaison Glenn Nielson

Absent: Kayl Mitchell, Buzzy Hassrick

Erynne Selk called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Richard Jones made a motion, seconded by Klay Nelson to approve the agenda for the November 26, 2019 meeting. Vote on the motion was unanimous, motion carried.

Richard Jones made a motion, seconded by Sandi Fisher to approve the minutes from the November 12, 2019 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

A. Todd Stowell reviewed a site plan for Wyoming Legacy Meats located at 74 Road 2AB. Schmidt Realty Investments would like to construct a 1,296 square foot (36' x 36') addition to the existing building.

There was a discussion about the current agreement relating to sewer discharge from the facility.

Richard Jones made a motion seconded by Stan Wolz to approve the site plan, subject to conditions 1-7 in the staff report. Vote on the motion was unanimous, motion carried.

Todd Stowell asked the Board if moving the next Planning and Zoning meeting from December 10th to the 17th would work with their schedules. Most of the Board agreed to the date change. The next meeting will be December 17th.

Sandi Fisher made a motion, seconded by Klay Nelson to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the Board, Vice Chairman Erynne Selk adjourned the meeting at 12:14 pm.

Bernie Butler, Administrative Coordinator

CITY OF CODY PLANNING, ZONING AND ADJUSTMENT BOARD STAFF REPORT

MEETING DATE:	DECEMBER 17, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: WALMART PICKUP AREA. SPR 2019-22	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

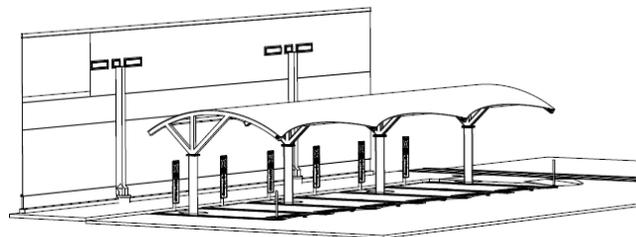
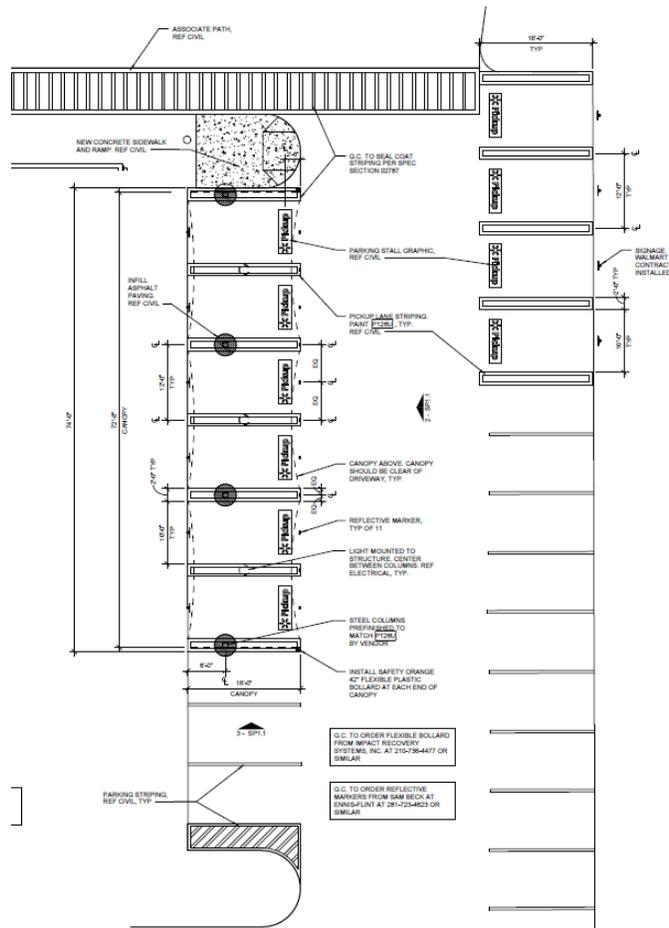
Pb2 Architecture has submitted an application on behalf of the Walmart Real Estate Business Trust to redevelop a portion of the Walmart parking lot as an area dedicated to the Walmart Online Grocery Pickup (OGP) service. The area would be located in the existing parking area directly east of the liquor store. Eight existing parking spaces immediately east of the liquor store would be restriped to provide six pickup spaces, covered by a new canopy. Five existing parking spaces to the east, across the drive aisle, would be restriped into four pickup spaces. The four east spaces would not have a canopy.

Sample of Canopy:



Photo credit: verdene.com

The architectural plan and site plan are attached.



4 CANOPY PERSPECTIVE

Existing Conditions:



REVIEW CRITERIA:

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The proposed canopy and associated signage are part of Walmart's online grocery pickup program. In effect, a customer orders and pays for the products online, after a predetermined time the customer pulls into one of the pickup spots, calls the pickup number, and the Walmart associate brings out the items to the pickup area.

Architecturally, the design is part of their national program and has an appearance that reflects modern drive-in canopies. Staff believes the design is compatible with the surrounding commercial development.

Storm Water:

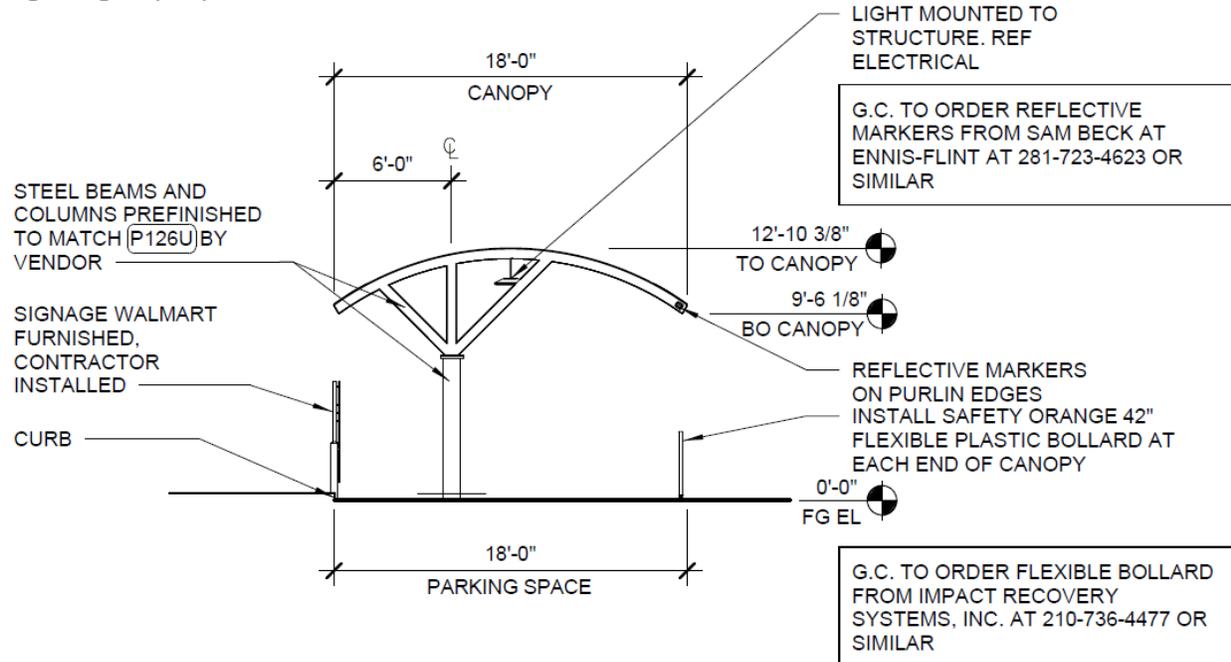
The canopy does not increase impervious surface or significantly modify drainage. The existing stormwater system is adequate to cover this project.

Parking:

Due to the widened pickup parking spaces, the number of total parking spaces will be reduced by three, from about 879 spaces to 876 spaces. The immediate area of the parking lot is popular, in that it is often full or close to full. Yet the pickup area is so heavily related to the interior store layout that for store logistical purposes, the location makes the most sense. Those accustomed to parking in that area will now simply need to park elsewhere. The parking lot appears to have sufficient capacity for peak parking demand. The Board should acknowledge whether the parking is still adequate, as the Board needs to authorize whatever amount is provided since it is less than the 950 spaces recommended by the calculations in the parking lot ordinance. The reduction to 879 spaces was authorized with the liquor store project.

Lighting:

The canopy will have three light fixtures, mounted as shown below. The fixture detail is not provided, but it appears to be a full cut-off-style fixture (pendant). No other new lighting is proposed.



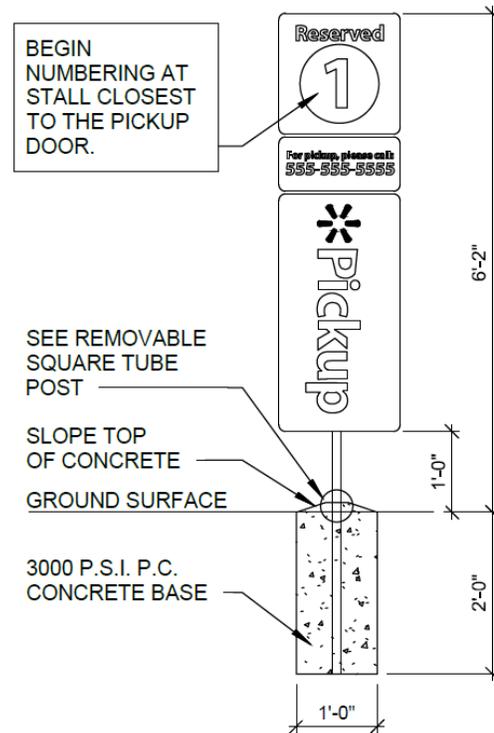
3 CANOPY END ELEVATION
1/8" = 1'-0"

Landscaping:

No changes to existing landscaping.

Signage:

The pickup spaces will each have a sign like the one below. The signs are classified as “convenience signs” and are exempt from the standard sign calculations for size, etc. since they are meant to be viewed only from within the property. The signs in the canopy spaces meet clearance requirements for the sidewalk, etc. The signs on the four east parking spaces appear to be proposed directly over the top of a 12” irrigation pipe and perhaps some TCT lines. Staff has suggested that the signs on the four east parking spaces simply be mounted on the adjacent fence, so that there are no utility conflicts with the sign installation. As of the time of the staff report, we are awaiting the applicant’s decision on placement of those signs. If they are not mounted on the fence, they will need to be installed immediately next to the fence, so that the base does not extend more than one foot from the fence.



ATTACHMENTS:

Applicable application materials.

ALTERNATIVES:

Approve or deny the plans for the proposed Walmart online grocery pickup area.

RECOMMENDATION:

Find that the existing parking lot still has a sufficient capacity with the loss of three parking spaces; and,

Approve the site plan, subject to the following modification: Install the four signs for the east pickup spaces either on the fence, or immediately next to the fence so that the base does not extend more than one foot from the fence.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	DECEMBER 17, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	PLAT AMENDMENT—COOK MINOR SUBDIVISION. SUB 2019-10	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

North Forty Investments, as the owner of both lots in the Cook Minor Subdivision, has submitted an Amended Plat application to relocate a gas line easement in the subdivision. The gas line easement currently crosses near the middle of the back lot and would be relocated to the south side of the lot. As the easement being relocated was established by the Cook Minor Subdivision, an amendment to the subdivision is the proper process to accomplish the request.



The gas line that was in the existing easement has been removed and the gas company has agreed to the new easement location. All physical work to allow the easement to be moved has already occurred, so it is simply a matter of completing the paperwork. The new gas service will be installed in the new easement in the near future. Staff has reviewed the amended plat and it meets applicable requirements.

ATTACHMENTS

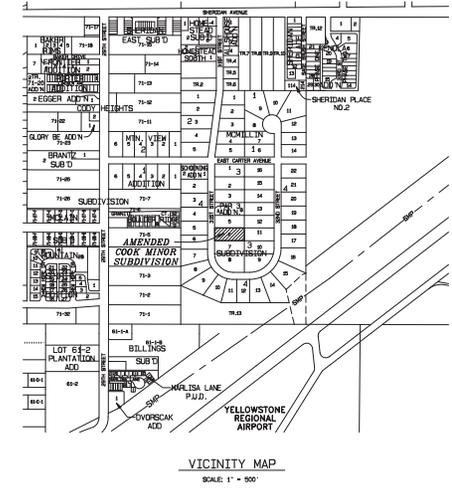
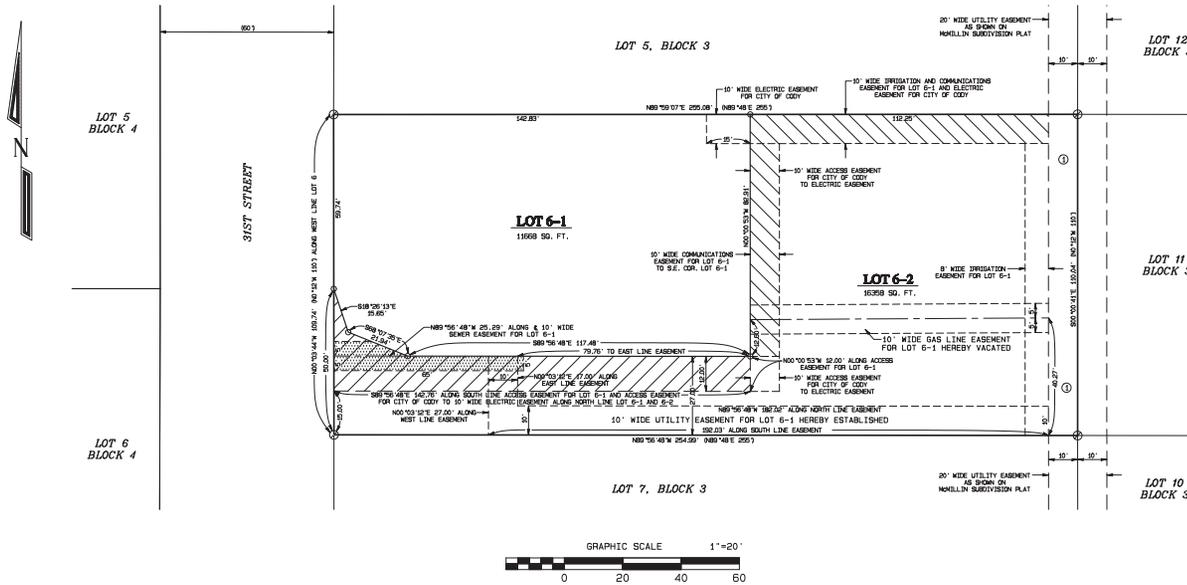
Proposed Amended Plat.

RECOMMENDATION

Recommend that the City Council approve the amendment to the Cook Minor Subdivision, which relocates the gas line easement.

T. 53 N., R. 101 W.
(RESURVEY)

T. 53 N., R. 101 W.
(RESURVEY)



EASEMENT OF RECORD

① UTILITY EASEMENT AS SHOWN ON THE PLAT OF THE McMILLIN SUBDIVISION RECORDED IN PLAT CABINET "C" AT PAGE 30 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER, 10 FEET WIDE.

NOTES

1. BEARINGS ARE BASED ON THE CITY OF CODY DATUM WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD 83/95 WEST CENTRAL ZONE.
2. TOTAL ACRES OF THE COOK MINOR SUBDIVISION IS 0.64 ACRES± (28,026 SQUARE FEET±).
3. THE DEVELOPER IS RESPONSIBLE FOR CONNECTING LOT 6-1 TO CITY SEWER PROPERLY ABANDONING THE CURRENT SEPTIC TANK AND DRAIN FIELD, PROVIDING A SEWER TAP TO LOT 6-2, AND INSTALLING A FIRE HYDRANT, PRIOR TO ISSUANCE OF ANY BUILDING PERMIT FOR DEVELOPMENT ON THESE LOTS.

CERTIFICATE OF SURVEYOR

STATE OF WYOMING } ss
COUNTY OF PARK }
I, STEVEN D. FOLLMEIER, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF WYOMING BY REGISTRATION NUMBER 3524 HEREBY CERTIFY:
THAT THE PURPOSE OF THIS PLAT IS TO VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR THE USE OF LOT 6-1 AS SHOWN ON THE PLAT OF THE "COOK MINOR SUBDIVISION" RECORDED AS DOCUMENT NO. 2017-1689 AND FILED IN PLAT CABINET M AT PAGE 149 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER AND TO DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREIN.
THAT ON OCTOBER 26, 2015 AND NOVEMBER 15, 2016, THE "COOK MINOR SUBDIVISION" SHOWN HEREON WAS SURVEYED UNDER MY DIRECTION.
THAT THE LINES SURVEYED AS CORRECTLY DESCRIBED IN THE OWNER'S CERTIFICATE OF DEDICATION, AND THIS PLAT ACCURATELY SHOWS THE CORRECT LOCATION AND DIMENSIONS OF SAID SUBDIVISION.
THAT THE REQUIREMENTS OF W.S. 36-11-101 THROUGH 36-11-110 WERE COMPLIED WITH AND MONUMENTS AND LOT CORNERS SHOWN AND DESCRIBED HEREIN WERE ACTUALLY SET;
THAT ALL ELEMENTS OF THE SURVEY CLOSE TO AN ACCURACY OF ONE PART IN FIVE THOUSAND OR BETTER AND CORRECTING ARE GIVEN IN FEET AND DECIMALS OF A FOOT, ANY SURPLUS OR DEFICIENCY IS DISTRIBUTED UNIFORMLY IN PROPORTION TO THE MEASUREMENTS SHOWN ON THIS PLAT.
THAT THE CITY OF CODY DATUM WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD 83/95 WEST CENTRAL ZONE WAS USED AS THE BASIS OF BEARINGS FOR ALL BEARINGS SURVEYED AND SHOWN ON THIS PLAT.

IN WITNESS WHEREOF I HAVE SET MY HAND AND SEAL THIS _____ DAY OF _____ A.D.

MORRISON - MATERLE
BY: STEVEN D. FOLLMEIER (AGENT)
WYOMING REGISTRATION NO. L.S. 3524



APPROVALS

CITY PLANNING AND ZONING BOARD
APPROVED AS OF THE _____ DAY OF _____ BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.
CHAIRMAN - KARY WITCHELL

CITY COUNCIL APPROVAL
APPROVED AS OF THE _____ DAY OF _____ BY THE CITY COUNCIL OF CODY, WYOMING.
MAYOR - MATT HALL

ATTEST:
CINDY BAKER
ADMINISTRATIVE SERVICES OFFICER

WAIVERS GRANTED

1. A WAIVER IS GRANTED FOR THE ALLEY REQUIREMENT ACCORDING TO MUNICIPAL CODE TITLE 11-4-2 P.
2. A WAIVER IS GRANTED FOR THE CURB, GUTTER, SIDEWALK AND PAVED STREET REQUIREMENT ACCORDING TO MUNICIPAL CODE TITLE 11-4-2 G.

RECORDER'S ACCEPTANCE

THIS PLAT WAS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CLERK, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ M., ON THE _____ DAY OF _____ A.D., AND IS DULY RECORDED UNDER DOCUMENT NUMBER _____ IN PLAT CABINET _____ AT PAGE _____
COLLEEN RENNER
PARK COUNTY CLERK
BY: _____ DEPUTY

LEGEND

- 5/8" REBAR WITH 2" ALUM. CAP SET
- 1/2" IRON PIPE FOUND - REPLACED WITH BRASS CAP SET
- McMILLIN PLAT RECORD DIMENSIONS SHOWN THUS ()
- ACCESS EASEMENT FOR LOT 6-1 AND FOR CITY OF CODY TO ELECTRIC EASEMENT
- COMMUNICATIONS EASEMENT FOR LOT 6-1
- SEWER EASEMENT FOR LOT 6-1

CERTIFICATE OF DEDICATION

STATE OF WYOMING } ss
COUNTY OF PARK }
WE, THE UNDERSIGNED, HEREBY CERTIFY THAT NORTH FORTY INVESTMENTS, LLC IS THE OWNER AND PROPRIETOR OF LOT 6, BLOCK 3 OF THE McMILLIN SUBDIVISION WITHIN THE CITY OF CODY AND LOCATED IN TRACT 70, TOWNSHIP 53 NORTH, RANGE 101 WEST OF THE SIXTH PRINCIPAL MERIDIAN, PARK COUNTY, WYOMING (RESURVEY) AS SHOWN ON THE PLAT THEREOF RECORDED IN PLAT CABINET "C" AT PAGE 30 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER.
THAT WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREON AS THE AMENDED COOK MINOR SUBDIVISION LOCATED WITHIN THE CITY OF CODY; THAT THE SUBDIVISION AS APPEARS ON THIS PLAT IS WITH THE PRIOR CONSENT AND IN ACCORDANCE WITH THE INTERESTS OF THE UNDERSIGNED OWNERS AND PROPRIETORS; AND THAT WE HEREBY DEDICATE AND SET APART 31ST STREET TO THE USE OF THE GENERAL PUBLIC FOREVER AND THAT WE HEREBY DEDICATE AND SET APART THE EASEMENTS AS SHOWN HEREON TO THE USES AND ENTITIES NOTED AND DO HEREBY VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR LOT 6-1 AS SHOWN HEREON AND DO HEREBY DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREON AND DO HEREBY AGREE THAT THE OWNERS OF LOTS 6-1 AND 6-2 SHALL PROMOTE AND PARTICIPATE IN AN IMPROVEMENT DISTRICT FOR 31ST STREET WHEN DEEMED NECESSARY BY THE CITY OF CODY, AND FURTHER THAT THIS LANGUAGE SHALL BE CONTAINED IN EACH AND ALL CONVEYANCES OF RECORD. WE HEREBY RELEASE AND RELINQUISH ALL RIGHTS OF HOMESTEAD, IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS _____ DAY OF _____

BY: ROBERT M. COOK, MANAGER NORTH FORTY INVESTMENTS, LLC ANDREA L. COOK, MANAGER NORTH FORTY INVESTMENTS, LLC

STATE OF WYOMING } ss
COUNTY OF PARK }
THE FOREGOING CERTIFICATE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY ROBERT M. COOK, MANAGER AND ANDREA L. COOK, MANAGER, THIS _____ DAY OF _____, 2016.
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

NOTE:
THE SOLE PURPOSE OF THIS AMENDED PLAT IS TO VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR THE USE OF LOT 6-1 AS SHOWN ON THE PLAT OF THE "COOK MINOR SUBDIVISION" RECORDED AS DOCUMENT NO. 2017-1689 AND FILED IN PLAT CABINET M AT PAGE 149 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER AND TO DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREON. THE FIELD SURVEY PERFORMED ON OCTOBER 26, 2015 AND NOVEMBER 15, 2016 WAS USED TO DETERMINE THE LOCATION OF THE 10 FOOT WIDE UTILITY EASEMENT HEREBY ESTABLISHED.

NORTH FORTY INVESTMENTS, LLC
POWELL, WYOMING
AMENDED PLAT SHOWING
COOK MINOR SUBDIVISION

A RESUBDIVISION OF LOT 6, BLOCK 3
OF THE McMILLIN SUBDIVISION

WITHIN THE CITY OF CODY
AND LOCATED
IN TRACT 70, T. 53 N., R. 101 W., 6TH P.M.
PARK COUNTY, WYOMING (RESURVEY)

	1462 Elmwood Avenue Cody, WY 82414 Phone: 307.557.4444 Fax: 307.557.4444	1/4 SEC. 70	TRACT 70	TOWNSHIP 53 NORTH	RANGE 101 WEST
	816 PRINCIPAL MERIDIAN (RESURVEY) PARK COUNTY, WYOMING	DATE: 10/26/2016 DRAWN BY: EBF CHECKED BY: EBF PROJECT NO.: 2773002	CLIENT: NORTH FORTY INVESTMENTS, LLC PLATTED: Dec 6, 2016	45978 Park County 31st Street Subdivision McMillin Subdivision (revised) 2773002 Amended Plat.pdf	

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	DECEMBER 17, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: ADIDAS/YEEZY CODY SAMPLE LAB. SPR 2019-23	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Groathouse Construction, representing Forward Cody (property owner), has submitted a site plan application to modify the former Cody Labs warehouse facility at 119 Road 2AB. The existing warehouse will be converted into a sample/prototype lab for Adidas/Yeezy production. A modular 24-foot by 44-foot structure is proposed west of the existing building to serve as a break room, additional office space, and restrooms. The modular building is planned to be in place for up to two years, after which it would be removed. Due to the temporary nature, the modular structure would remain on wheels and be skirted, rather than be placed on a foundation. The applicant would also like to construct an enclosed corridor to connect the modular building with the existing building. Additional parking will be provided to accommodate the anticipated number of employees.



REVIEW CRITERIA:

The property is located within the Heavy Industrial (HI) zoning district, which permits manufacturing uses and offices. Pursuant to City of Cody Code 10-10F-9, all new or expanded development in the Heavy Industrial Zoning District shall be subject to site plan review by the Planning, Zoning, and Adjustment Board prior to issuance of any building permit or establishment of such use. The Board shall review the site plan for the following:

- A. Compliance with the specific provisions of this title.
- B. General site plan conditions and layout, including access and traffic flow (as related to public safety), commercial signage, parking, landscaping, lighting, site grading, storm water facilities, and utilities. Consideration of adjacent uses shall be made in respect to the location of specific activities within the site, so as to reduce any potential conflicts from odors, dust, noise, vibration, glare, visual impacts, and storm water runoff.
- C. Assurance of compliance with applicable State and Federal safety and environmental standards pertaining to hazardous materials.

The board may specify conditions as necessary to ensure compliance with applicable standards. The issuance of a development permit shall be contingent upon the applicant receiving an affirmative vote from the majority of the board that the applicant has satisfied the above requirements.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The subject property is 6.59 acres and contains an 11,292 square foot warehouse. The proposed modular building is 24' by 44', or 1,056 square feet. The surrounding area is as follows.

	Land Use	Zoning
North	City water tank, farmland.	Heavy Industrial/ County GR-5
East	Cody Labs Production Facility (vacant)	Heavy Industrial
South	Gypsum plant, Bureau of Reclamation land	Heavy Industrial/ Industrial
West	Vacant	Heavy Industrial

Below are the specific provisions for the Heavy Industrial Zone, with staff comment.

A. Compliance with State, Federal and Local Requirements: Evidence of compliance with applicable State, Federal, and Local permitting requirements shall be provided with all applications for new or expanded intensive industrial uses...

Comment: The use does not appear to fall within the "intensive industrial use" category. Based on the information provided thus far, no state or federal air quality, storm water or hazardous waste storage/handling permits are applicable to the current project. Local permits consist of applicable building, zoning and utility permits.

B. Emergency Response Plans. All intensive industrial uses...

Comment: Not applicable, provided the use is not "intensive industrial use". The regular fire marshal inspections will identify any storage or manufacturing activity that would trigger an emergency response plan. If triggered, the plan is submitted to and reviewed by the fire marshal.

C. Sound Level: The day-night average sound level (Ldn), measured at the property line, shall not exceed...sixty five (65) decibels (dB) where the adjacent property is zoned commercial, industrial, or agricultural...

Comment: Nothing is being added that would increase sound levels above the threshold.

D. Landscaping and Screening: New uses, and existing uses which expand in building size or outdoor use area by more than fifty percent (50%), shall be provided with landscaping near the entrance to the property and/or building and along any collector or arterial street frontage, in the following manner...

Comment: The existing facility was constructed to meet this standard and almost all landscaping is still in place and healthy. It is hard to tell if the deciduous trees on the west side of the property are still alive—if not they will need to be replaced in the spring. The addition of the modular building does not trigger additional landscaping.

E. Height of Open Storage: Storage of materials outside of buildings or containers shall be no higher than eight feet (8') plus one foot (1') in height for every additional two feet (2') of setback from a property line.

Comment: No outdoor storage is identified.

F. View Obscuring Barriers: When the use of the property is a wrecking yard or similar use that stockpiles scrap or junk materials, site screening fences up to eight feet (8') tall and/or additional landscaping sufficient to form a view obscuring barrier shall be provided to screen those activities from major roads and residential areas.

Comment: No outdoor stockpiles of scrap or junk material are proposed.

GENERAL SITE PLAN CONDITIONS AND LAYOUT:

Access

No change to the existing access to Road 2AB is proposed. If the security gate will be used, coordinate Knox box/key pad access with the fire district.

Parking

The paved parking area has a capacity of approximately nine vehicles. The proposal is to add seven new spaces in the loading dock area. The area can meet applicable parking standards as shown, with a slight modification of shifting the spaces a couple of feet away from the building.



The parking ordinance ratios recommend 16 spaces, which is the number proposed, based on the ratio of 1.3 spaces per 1,000 square feet of gross floor area of manufacturing uses. If additional parking is needed, there is room for some additional parking on the west side of the paved parking lot.

Lighting

The parking areas have existing lighting fixtures in place. No new exterior lighting is shown, although an exit light will be needed at the exit for the modular building—to the north side of the modular. If oriented to the west, it should be either low intensity or full-cutoff in design.

Site grading/Storm water

The modular will be able to drain into the existing stormwater system, which has sufficient capacity for the increased impervious area. The location of the modular has been shifted to avoid disrupting an existing storm inlet.

Utilities

Upsizing of the transformer (75 kVA to 225 KVA) is needed and is being coordinated with the Electric division. Due to order lead times, the applicant should pay the electrical estimate as soon as possible.

Power for the modular building will come out of the existing service panel just to the east.

Sewer service for the modular building will tie into a 6" sewer line just to the east.

Water service for the modular is planned to tap an existing line somewhere after the existing water meter, so that an additional meter is not needed. The tie-in point will likely be just within the warehouse building. A ¾" water line will be run to the proposed modular building.

Snow Storage

Snow storage area is available in various areas of the property.

Setbacks / Buffers

Applicable zoning setbacks are met (25-foot front setback). There are no buffer requirements for the project.

Commercial signage

No new signage is proposed at this time. Any new signs will require separate application.

Hydrants/Fire Protection

The modular building will rely on a fire hydrant on the property for fire protection.

ATTACHMENTS:

Site plan and application narrative.

ALTERNATIVES:

Approve or deny the site plan application, with or without changes.

RECOMMENDATION:

Approve the site plan for the Adidas/Yeezy facility at 119 Road 2AB, subject to the following conditions.

1. If exterior lighting is installed, it should be full cut-off in style and modest in intensity. Any exterior lighting must be detailed at the time of the building permit.
2. Start the striping of the new parking spaces a few feet from the building to allow full functionality of the space closest to the building.
3. Coordinate utility connections and fees with the City—a utility permit is needed.
4. Coordinate the Knox box situation with the fire marshal.
5. Replace any dead landscaping in the spring, once weather allows.
6. The project must otherwise comply with the project description and the site plans—both the current modification to the site plan and the prior warehouse site plan as it relates to drainage, landscaping, parking, and lighting.
7. This approval includes site plan approval with or without the enclosed corridor. It is not to be construed as building permit approval for the corridor—the enclosed corridor raises several building/fire code issues that must be considered.
8. Authorization of the modular building is limited to two years, commencing on the day of occupancy, after which two years the removal of the modular structure and associated utilities and structures shall be completed within 60 days.



PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION

STAFF USE
File #: SPR2019-
P&Z Invoice:
Date Submitted:

Applicant's Name: Groathouse Construction Inc Business Name: Same
Applicant's Mailing Address: 3301 Big Horn Ave City: Cody State: WY Zip: 82414
Phone: 307 587 6610 Cell: 307 351 7387 Email: fbronnenberg@groathouse.com
Project Address: 119 Road 2AB Cody, WY Zoning: HI
Property Owner's Name: Forward Cody Phone/Cell: 307 587 3136
Property Owner's Mailing Address: 1130 Sheridan Ave Ste 200 City: Cody State: WY Zip: 82414
Description of Proposal (attach additional sheets as necessary): See Attached

Legal Description of Property (or attach copy of deed): Lot 7, CLDC Subdivision, Cody, WY 82414, Park County

Estimated Construction Start Date: December 2019

Representative Attending Planning and Zoning Meeting: Fred Bronnenberg (GC) / John Prosser

Signature of Property Owner: [Signature] CCO 12/9/19
Signature Date

APPLICATION MATERIALS:

Applicants are encouraged to arrange a pre-application meeting with staff to ensure a complete submittal. An incomplete application may result in delays in processing. The following items are to be submitted with the application.

- 1) FEE: Each application shall be accompanied by one of the following review fees. Payment may be made by cash, check, or credit card (Visa, MasterCard, Discover).
[] Site Plan Review (also includes Landscape, Architecture, and Sign Plan). Size of Building/Addition: S.F. @\$0.05 per square foot = \$250.00 minimum
[X] Landscape, Architecture and Sign Plan only. (Typically modifications to existing development.) \$100.00
[] Minor Commercial Review. (Windows, doors, awnings, building access or exterior finish only.) \$50.00

- 2) COPIES:
[] Twelve (12) paper copies* of the application materials (plans, project description, sign plan, and other required information).
[] A digital copy (PDF) of each of the application documents.
*For complex projects, or if the applicant wishes, submit only two full-size paper copies and the electronic copy for staff review and wait until staff review is complete before providing the 12 copies for the Planning and Zoning meeting. This allows for corrections and changes to the plans before the 12 copies are printed. The 12 copies and an updated PDF will need to be submitted well before the Planning and Zoning meeting, as coordinated with staff.

- 3) PLANS AND ADDITIONAL FORMS: Commercial Site Plan Review requires all of the following, whereas minor commercial reviews and landscape/architectural plans need only include items applicable to the current proposal. All plans must be dimensioned, clearly legible, and printed at a standard scale.

Please include the following Architectural and Site Plan components:

- Provide dimensioned elevation views of each building face to illustrate scale, materials, colors, and roof lines.
- Provide a site plan showing all existing and proposed buildings and structures, outdoor use areas, lot lines, setbacks, access points, driveways, sidewalks, easements, landscape areas, signs, fences, fire hydrants, wells, and drain fields, as applicable. Include a vicinity map with vicinity information describing surrounding land uses and zoning.
- Show the parking lot layout and pedestrian access details (parking lot surfacing/pavement limits, curbing, sidewalk, ADA ramps, tactile warning strips, etc.). Include details to verify compliance with the City off-street parking ordinance (Title 10, Chapter 16), and ADA accessibility requirements.
- Identify proposed fencing and retaining walls (location, height, materials).
- Provide exterior lighting details (location, size, type of fixtures, and cut sheets/photometric data). Note: Photometric plans may be required for projects with intensive exterior lighting or locations with potential lighting conflicts. Full cut-off lighting fixtures are typically required.
- Show the general grading and drainage scheme. Proposals requiring an engineered storm water plan (see below) must include construction level detail for the grading plan (elevation/slope data, gutter style, inlets/outlets, etc.)
- Identify snow storage areas.
- Identify the trash and recycling dumpster locations and any proposed screening. (City trucks are side-loading)
- Many projects require a basic floor plan of the building(s) in order to determine parking requirements, utility needs, etc. Consult with the City Planner to determine if a floor plan is needed.

Please include the following Utility components:

- Identify all existing and proposed domestic water, sanitary sewer, storm water, electrical, raw water, natural gas, and telecommunication utility lines. Be sure to include locations of necessary inlets, cleanouts, valves, hydrants, etc.
- If the project is a new, expanded, or redeveloped commercial site, submit complete grading and storm water plans and a drainage report from a WY licensed engineer, which comply with the city storm water management policy manual (no increase in runoff). Identify the location and size of all drainage facilities. A drainage report from a WY licensed engineer may not be necessary if the total amount of impervious surface is less than 4,000 sq. ft.
- Identify the size of any new water line and water meter. Provide estimated wastewater quantities if the use will generate more wastewater than a typical household (up to 5,000 gallons/month).
- If a change to electrical service is needed, complete the attached Electrical Division Review form.
- Identify the locations of existing and proposed electrical power lines, electrical equipment, and utility easements on or adjacent to the project site.

Please include the following Landscape components:

- Provide a landscape plan to illustrate the location of the landscaping, the types of plants, other landscaping materials, and groundcover. Identify the irrigation water source and route to the landscape areas. If located in an entry corridor overlay zone, see City of Cody Code 10-17.
- Provide a Landscape Bond Agreement if applicable (If want occupancy prior to the installation of landscaping).

You may include the attached Sign Plan Application:

- Complete and submit the Sign Plan Application and associated documentation. The sign application may be submitted at a later date, although an additional fee will apply.

PLANNING AND ZONING BOARD REVIEW:

Review of this application is conducted by the Planning and Zoning Board. The Board meets the 2nd and 4th Tuesday of each month at noon in the City Council Chambers (1338 Rumsey Avenue). Applications should be submitted at least one month prior to the meeting to allow review and comment by affected city departments, and any needed revisions. Incomplete and complex projects occasionally require longer. Exceptions to the one-month submittal deadline may be made when staff workload and schedules allow. NOTE: It is possible to submit for building permit review at the same time.

Desired Planning and Zoning Meeting Date: December 17, 2019

2019 Meeting Dates:

Jan. 8 & 22	Feb. 12 & 26	Mar. 12 & 26	April 9 & 23	May 14 & 28	June 11 & 25
July 9 & 23	Aug. 13 & 27	Sept. 10 & 24	Oct. 8 & 22	Nov. 12 & 26	Dec. 10

Adidas/Yeezy Cody Sample Lab

Description of Proposal

Cody, Wyoming

December 9, 2019

The purpose of this proposal request is to convert the existing warehouse facility located in Lot 7 of the CLDC Subdivision and owned by Forward Cody into a manufacturing facility. More specifically, a sample/prototype lab for Adidas/Yeezy. The request is to change occupancy, address parking, and add a temporary (up to 2 years) modular unit to provide additional restrooms, break area, and office space. The temporary modular unit will be premanufactured, left on wheels and skirted for protection from the elements and general appearance. The modular space will be connected to water, sewer, and electricity as indicated on the attached drawing. It is anticipated a walkway will be constructed (wood) from the modular unit to the west door of the existing warehouse space. Additional parking will be provided on the east side of the loading dock area directly south of the facility.

MAINTAIN REQUIRED DIMENSION FROM GENERATOR

PROPOSED 24'X44' TRAILER LOCATION

30' UTILITY EASEMENT
40' ACCESS EASEMENT

10" C900 DR25 PVC WATER SERVICE SEE SHEET 7 FOR WATER DETAILS

336 LF OF COMMON TRENCH
-GAS SERVICE
-ELECTRICAL SERVICE
-TELEPHONE SERVICE
-FIBER SERVICE
(SEE DETAIL ON SHEET 9)

--- Temporarily 200 Amp Electrical Service out of Easement Boundary
--- 3/4" Temporary Water Service
--- 4" PVC Sanitary Sewer Temporary Service

GENERATOR PAD
2" COPPER TREATED WATER SERVICE WITH CURB STOP
AIR HANDLING UNIT

PROPOSED ELECTRICAL TRANSFORMER

75 LF 6" SDR 35 PVC SEWER SERVICE @ 1.00%

SANITARY SEWER MANHOLE
RIM=4948.31
INV IN(N)=4940.23
INV OUT(S)=4940.03

12" SDR 35 PVC STORM DRAIN

12" PVC STORM DRAIN
INV OUT=4941.05

24" RCP CULVERT WITH FLARED END SECTIONS

6" SDR PVC STORM DRAIN SEE SHEET 4 FOR DETAILS

360 LF 6" @ 0.60%

UTILITY CROSSING
INV 6" SEWER SERVICE=4939.79
INV 12" STORM DRAIN=4941.40
CLEARANCE=12"

SEE SHEET 4 FOR DRAINAGE DESIGN

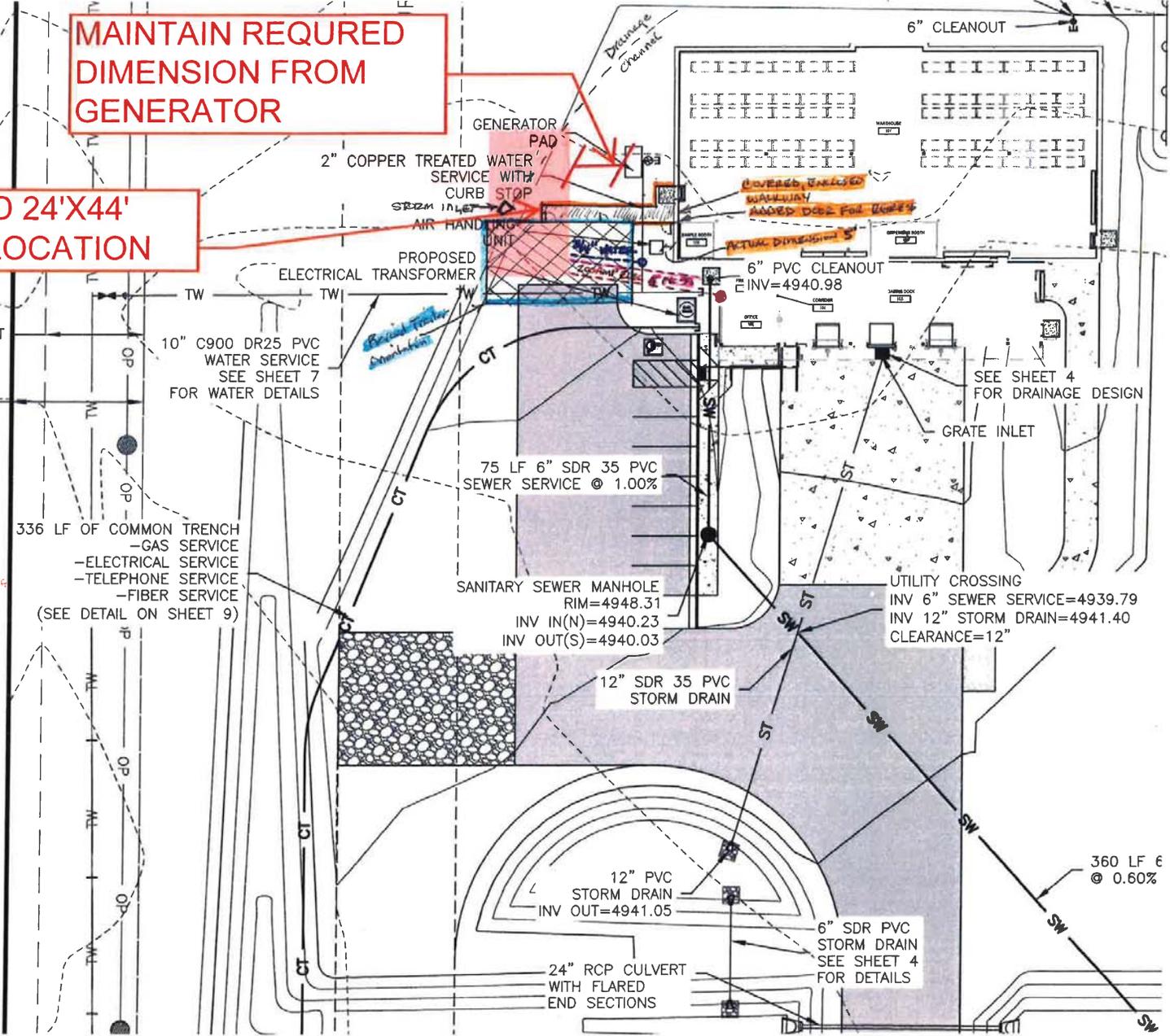
GRATE INLET

6" PVC CLEANOUT
INV=4940.98

6" CLEANOUT

OVERSIZES UNLESS OTHERWISE NOTED
ACTUAL DIMENSIONS 5'

Drainage Channel



City of Cody Electrical Division Review:

Date: 12/9/19.

Project Name: W1 WAREHOUSE (BUILDING 119)

Developer/Contractor: ACKER ELECTRIC INC.

Distribution System Information Section: This information must be provided to the City Electrical Engineer prior to estimating the distribution system cost. No equipment will be ordered until the developer pays the estimated charges for the electrical services. If changes to the electrical service are made following the date of the signature on this form, additional costs and delays in service may occur.

Project Electrical Service Requirements:

- 1) Three Phase Yes X No
- 2) Voltage Needed
 - a. 240/120 Volt Single Phase Yes No
 - b. 208Y/120 Volt Three Phase Yes No
 - c. 480Y/277 Volt Three Phase Yes X No
- 3) Service Size (check one)
 - a. 200 amp
 - b. 400 amp
 - c. 600 amp X
 - d. 800 amp
 - e. 1200 amp
 - f. Other amp
- 4) Expected peak load (not connected load) of the project in amps: 500.55 amps
- 5) Provide a copy of the project site plan showing existing electrical lines and equipment on, and adjacent to the project site.

Developer Instructions/Comments:

- 1) The developer shall provide and install electrical grade PVC schedule 40 conduit per the plans and specifications once the final plat is reviewed.
 - a. Invoices shall be provided to the City Electrical Engineer for all conduit and electrical material purchased for this project by the developer or contractor.
 - b. Any changes in the design of the electrical distribution system shall be discussed with and approved by the City of Cody Electrical Engineer.
- 2) All primary conduits (distribution voltage conduit) shall be installed at a depth of 48" and backfilled per City specifications as follows:
 - a. All primary conduits shall be schedule 40 electrical grade PVC, 4 inches in diameter.
 - b. A pull string is not required in 4" or larger primary conduit.
 - c. All conduit sweeps shall be 36" radius schedule 40 electrical grade PVC unless otherwise specified in the plan.
- 3) All secondary (service voltage) conduits shall be installed at a depth of 24" and backfilled per City specifications.

- a. All secondary conduits shall be 3" schedule 40 electrical grade PVC.
 - b. A pull string is not required in 3" secondary conduit.
 - c. All conduit sweeps shall be 36" radius schedule 40 electrical grade PVC.
- 4) All streetlight conduits shall be installed at a depth of no less than 24" and backfilled per City specifications.
- a. All streetlight conduits shall be 1-1/2" schedule 40 electrical grade PVC. A pull string shall be installed in the streetlight conduit run by the contractor.
 - b. All streetlight conduit sweeps shall be a minimum of 12" radius schedule 40 electrical grade PVC.
- 5) The City shall supply transformer box pads, sectionalizing vault ground sleeves, secondary service pedestals, ground rods with pigtails and streetlight bases to the developer's contractor to be installed by the contractor to City specifications. For further information on the placement and clearance requirements for such equipment, refer to the Electric Distribution Standards Policy available in the City of Cody Engineering Office.
- a. All transformer box pads and sectionalizing vault ground sleeves shall be installed so that the top of the pad or sleeve is at least 3" above finished grade. In addition, the City supplied ground rod and pigtail shall be installed with the pad or ground sleeve with the free end of the pigtail wrapped around the conduit sweep for access by the utility for equipment installation.
 - b. Streetlight bases shall be installed so that the top of the pre-poured base is at least 2" above finished grade. The four bolt pattern shall be aligned with the street roadway, sidewalk or curb.
- 6) The developer's labor and equipment costs to install the electrical distribution conduit, box pads, ground sleeves, ground rods, secondary pedestals and streetlight bases shall be traded for the City's labor and equipment costs to install and connect the cable, transformers, sectionalizing vaults and streetlights for the project.

Easement Requirements:

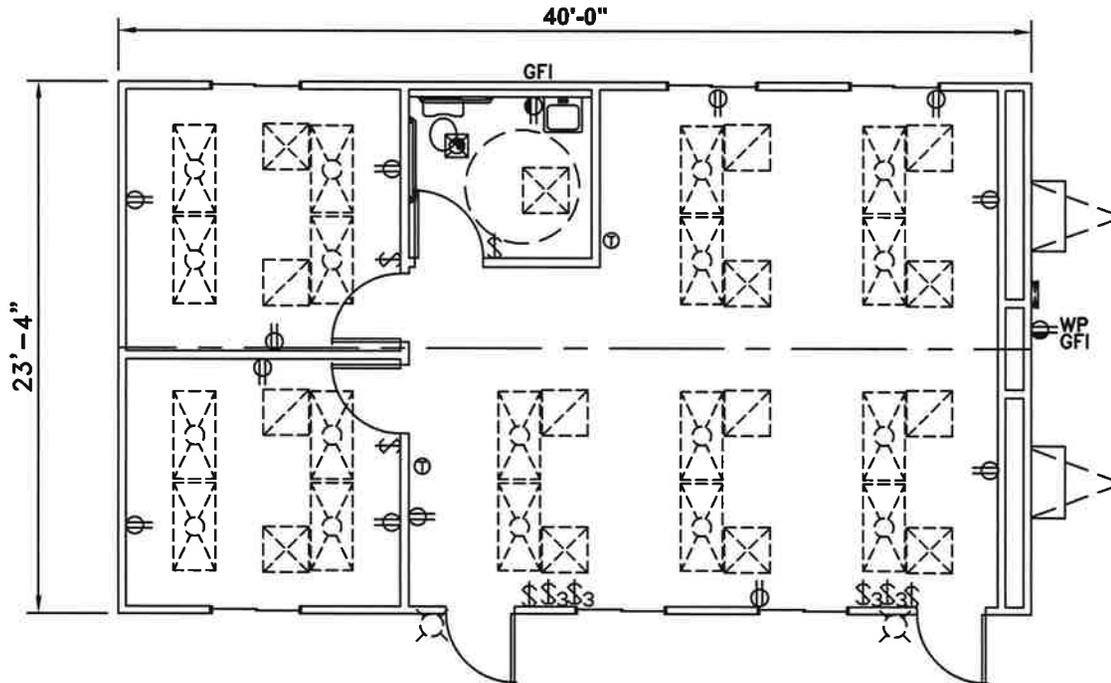
- 1) The developer shall survey, describe and provide any easements necessary for the purposes of providing distribution service to the project.
- 2) Signed easement documents shall be provided to the City of Cody Engineering Office prior to start of construction.
- 3) No permanent structures, trees or large shrubs shall be placed on the utility easement by the developer or subsequent landowners. This information shall be conveyed to the buyers by the developer.

I, as the developer of the project understand that if any of the service information provided on this form changes prior to or during construction, it can cause delays in completion and increases in cost since it may require re-ordering equipment to meet the revised service. I understand that some of the equipment required to provide electrical service can require 8 to 12 weeks from order date to delivery.

Signed: Ray A. Rogin
Developer's signature

Date: 12/9/19

** Please note William Scotsman & ModSpace are now under the same ownership*



Specifications

Size

- 44' Long (including hitch)
- 40' Box size
- 24' Wide nominal
- 8' Ceiling height nominal

Interior Finish

- Paneled walls
- Carpet floor
- T-Grid ceiling
- Private offices
- Also avail. without Restroom

Electric

- Fluorescent ceiling lights
- 120/240 volt single phase electric
- 100 AMP breaker panels

Windows/Doors

- Horizontal slider windows
- Std door commercial grade locks

Exterior Finish/Frame

- Wood siding
- I-Beam outrigger frame
- Standard drip rail gutters

Heating and Cooling

- Central A/C
- Heat in A/C unit

Additional floor plans available. Floor plans and specifications may vary from those shown and are subject to in-stock availability.

CAD FILE: WS2013-	DWG # A-1	REV# 0	REP: .	APPROVAL:
SCALE: 1/8"=1'	SERIAL#:	DATE	DWN BY:	APVL DATE:

THE USE OF THIS DRAWING FOR ANY MEANS OTHER THAN INTENDED IS STRICTLY PROHIBITED WITHOUT THE PRIOR WRITTEN CONSENT OF AN AUTHORIZED WILLIAMS SCOTSMAN REPRESENTATIVE.

 **ModSpace**
800-523-7918



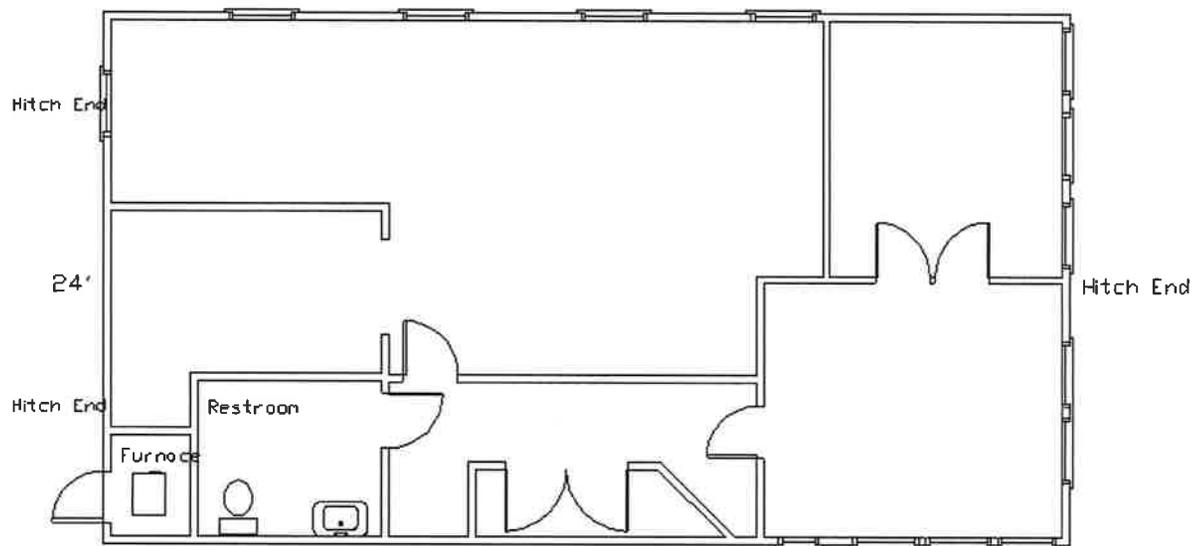
ModSpace
800-523-7918

813301



ModSpace

Unit #813301 & 813302



44'

(Floor plans may vary)

Gas Heat 50#
Colorado Seal
Ext Siding: Wood Lap
Int Wall: Vinyl
Floor: Carpet
Ceiling: TGrid
Pad A/C

Verified 8-27-2013 KB