

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	DECEMBER 17, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	PLAT AMENDMENT—COOK MINOR SUBDIVISION. SUB 2019-10	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

North Forty Investments, as the owner of both lots in the Cook Minor Subdivision, has submitted an Amended Plat application to relocate a gas line easement in the subdivision. The gas line easement currently crosses near the middle of the back lot and would be relocated to the south side of the lot. As the easement being relocated was established by the Cook Minor Subdivision, an amendment to the subdivision is the proper process to accomplish the request.



The gas line that was in the existing easement has been removed and the gas company has agreed to the new easement location. All physical work to allow the easement to be moved has already occurred, so it is simply a matter of completing the paperwork. The new gas service will be installed in the new easement in the near future. Staff has reviewed the amended plat and it meets applicable requirements.

ATTACHMENTS

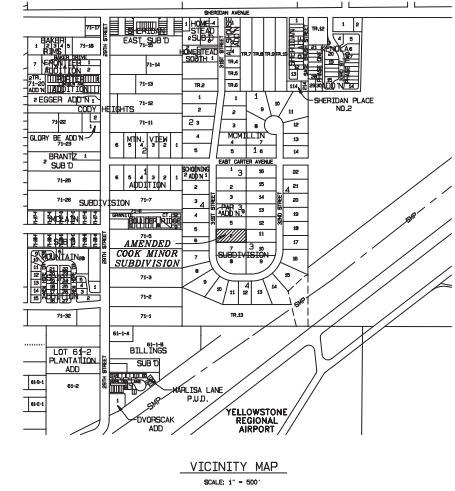
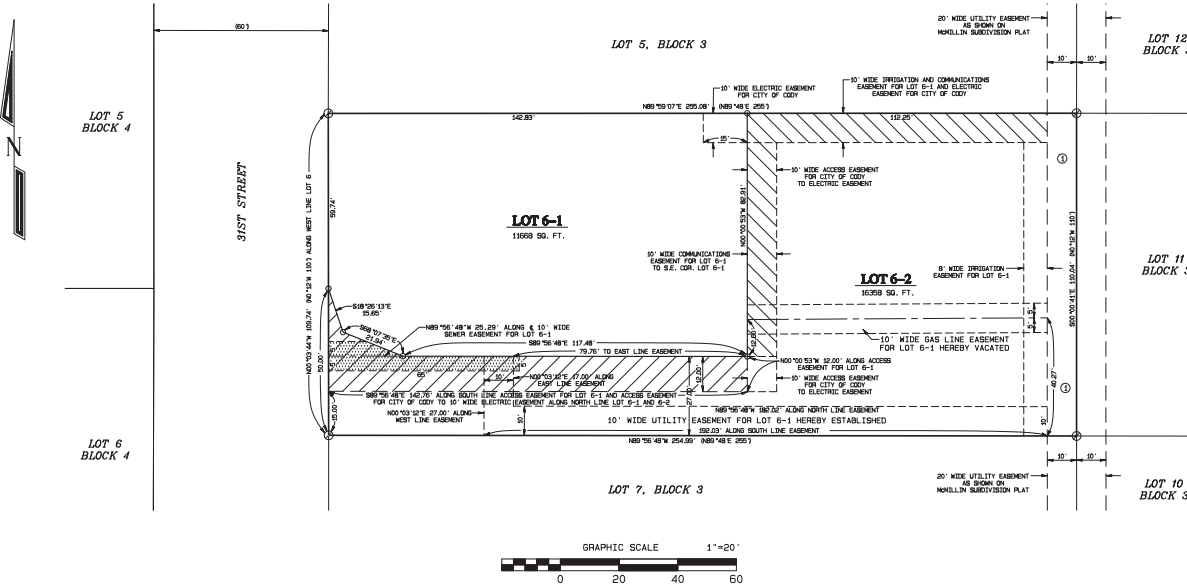
Proposed Amended Plat.

RECOMMENDATION

Recommend that the City Council approve the amendment to the Cook Minor Subdivision, which relocates the gas line easement.

T. 53 N., R. 101 W.
(RESURVEY)

T. 53 N., R. 101 W.
(RESURVEY)



EASEMENT OF RECORD

① UTILITY EASEMENT AS SHOWN ON THE PLAT OF THE MCMILLIN SUBDIVISION RECORDED IN PLAT CABINET "C" AT PAGE 30 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER, 10 FEET WIDE.

NOTES

1. BEARINGS ARE BASED ON THE CITY OF CODY DATUM WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD 83/95 WEST CENTRAL ZONE.
2. TOTAL ACRES OF THE COOK MINOR SUBDIVISION IS 0.64 ACRES± (28,026 SQUARE FEET±).
3. THE DEVELOPER IS RESPONSIBLE FOR CONNECTING LOT 6-1 TO CITY SEWER PROPERLY ABANDONING THE CURRENT SEPTIC TANK AND DRAIN FIELD, PROVIDING A SEWER TAP TO LOT 6-2, AND INSTALLING A FIRE HYDRANT, PRIOR TO ISSUANCE OF ANY BUILDING PERMIT FOR DEVELOPMENT ON THESE LOTS.

CERTIFICATE OF SURVEYOR

STATE OF WYOMING } ss
COUNTY OF PARK }
I, STEVEN D. FOLLMEIER, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF WYOMING BY REGISTRATION NUMBER 3524 HEREBY CERTIFY:
THAT THE PURPOSE OF THIS PLAT IS TO VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR THE USE OF LOT 6-1 AS SHOWN ON THE PLAT OF THE "COOK MINOR SUBDIVISION" RECORDED AS DOCUMENT NO. 2017-1689 AND FILED IN PLAT CABINET "M" AT PAGE 149 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER AND TO DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREIN.
THAT ON OCTOBER 26, 2015 AND NOVEMBER 15, 2016, THE "COOK MINOR SUBDIVISION" SHOWN HEREIN WAS SURVEYED UNDER MY DIRECTION.
THAT THE LINES SURVEYED AS CORRECTLY DESCRIBED IN THE OWNER'S CERTIFICATE OF DEDICATION, AND THIS PLAT ACCURATELY SHOWS THE CORRECT LOCATION AND DIMENSIONS OF SAID SUBDIVISION.
THAT THE REQUIREMENTS OF W.S. 36-11-101 THROUGH 36-11-110 WERE COMPLIED WITH AND MONUMENTS AND LOT CORNERS SHOWN AND DESCRIBED HEREIN WERE ACTUALLY SET;
THAT ALL ELEMENTS OF THE SURVEY CLOSE TO AN ACCURACY OF ONE PART IN FIVE THOUSAND OR BETTER AND CORRECTING ARE GIVEN IN FEET AND DECIMALS OF A FOOT, ANY SURPLUS OR DEFICIENCY IS DISTRIBUTED UNIFORMLY IN PROPORTION TO THE MEASUREMENTS SHOWN ON THIS PLAT.
THAT THE CITY OF CODY DATUM WHICH IS BASED ON THE WYOMING COORDINATE SYSTEM NAD 83/95 WEST CENTRAL ZONE WAS USED AS THE BASIS OF BEARINGS FOR ALL BEARINGS SURVEYED AND SHOWN ON THIS PLAT.

IN WITNESS WHEREOF I HAVE SET MY HAND AND SEAL THIS _____ DAY OF _____ A.D.

MORRISON - MATERLE
BY: STEVEN D. FOLLMEIER (AGENT)
WYOMING REGISTRATION NO. L.S. 3524



APPROVALS

CITY PLANNING AND ZONING BOARD
APPROVED AS OF THE _____ DAY OF _____ BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.
CHAIRMAN - KARY WITCHELL

CITY COUNCIL APPROVAL
APPROVED AS OF THE _____ DAY OF _____ BY THE CITY COUNCIL OF CODY, WYOMING.
MAYOR - MATT HALL

ATTEST:
CINDY BAKER
ADMINISTRATIVE SERVICES OFFICER

WAIVERS GRANTED

1. A WAIVER IS GRANTED FOR THE ALLEY REQUIREMENT ACCORDING TO MUNICIPAL CODE TITLE 11-4-2 P.
2. A WAIVER IS GRANTED FOR THE CURB, GUTTER, SIDEWALK AND PAVED STREET REQUIREMENT ACCORDING TO MUNICIPAL CODE TITLE 11-4-2 G.

RECORDER'S ACCEPTANCE

THIS PLAT WAS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CLERK, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ M., ON THE _____ DAY OF _____ A.D., AND IS DULY RECORDED UNDER DOCUMENT NUMBER _____ IN PLAT CABINET _____ AT PAGE _____
COLLEEN RENNER
PARK COUNTY CLERK

LEGEND

- 5/8" REBAR WITH 2" ALUM. CAP SET
- 1/2" IRON PIPE FOUND - REPLACED WITH BRASS CAP SET
- MCMILLIN PLAT RECORD DIMENSIONS SHOWN THUS ()
- ACCESS EASEMENT FOR LOT 6-1 AND FOR CITY OF CODY TO ELECTRIC EASEMENT
- COMMUNICATIONS EASEMENT FOR LOT 6-1
- SEWER EASEMENT FOR LOT 6-1

CERTIFICATE OF DEDICATION

STATE OF WYOMING } ss
COUNTY OF PARK }
WE, THE UNDERSIGNED, HEREBY CERTIFY THAT NORTH FORTY INVESTMENTS, LLC IS THE OWNER AND PROPRIETOR OF LOT 6, BLOCK 3 OF THE MCMILLIN SUBDIVISION WITHIN THE CITY OF CODY AND LOCATED IN TRACT 70, TOWNSHIP 53 NORTH, RANGE 101 WEST OF THE SIXTH PRINCIPAL MERIDIAN, PARK COUNTY, WYOMING (RESURVEY) AS SHOWN ON THE PLAT THEREOF RECORDED IN PLAT CABINET "C" AT PAGE 30 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER.
THAT WE HAVE CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED AS SHOWN HEREIN AS THE AMENDED COOK MINOR SUBDIVISION LOCATED WITHIN THE CITY OF CODY; THAT THE SUBDIVISION AS APPEARS ON THIS PLAT IS WITH THE PRIOR CONSENT AND IN ACCORDANCE WITH THE INTERESTS OF THE UNDERSIGNED OWNERS AND PROPRIETORS; AND THAT WE HEREBY DEDICATE AND SET APART 31ST STREET TO THE USE OF THE GENERAL PUBLIC FOREVER AND THAT WE HEREBY DEDICATE AND SET APART THE EASEMENTS AS SHOWN HEREON TO THE USES AND ENTITIES NOTED AND DO HEREBY VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR LOT 6-1 AS SHOWN HEREON AND DO HEREBY DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREON AND DO HEREBY AGREE THAT THE OWNERS OF LOTS 6-1 AND 6-2 SHALL PROMOTE AND PARTICIPATE IN AN IMPROVEMENT DISTRICT FOR 31ST STREET WHEN DEEMED NECESSARY BY THE CITY OF CODY, AND FURTHER THAT THIS LANGUAGE SHALL BE CONTAINED IN EACH AND ALL CONVEYANCES OF RECORD, WE HEREBY RELEASE AND RELINQUISH ALL RIGHTS OF HOMESTEAD, IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS _____ DAY OF _____

BY: ROBERT M. COOK, MANAGER NORTH FORTY INVESTMENTS, LLC ANDREA L. COOK, MANAGER NORTH FORTY INVESTMENTS, LLC
STATE OF WYOMING } ss
COUNTY OF PARK }
THE FOREGOING CERTIFICATE OF DEDICATION WAS ACKNOWLEDGED BEFORE ME BY ROBERT M. COOK, MANAGER AND ANDREA L. COOK, MANAGER, THIS _____ DAY OF _____
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

NOTE:
THE SOLE PURPOSE OF THIS AMENDED PLAT IS TO VACATE THE 10 FOOT WIDE GAS LINE EASEMENT FOR THE USE OF LOT 6-1 AS SHOWN ON THE PLAT OF THE "COOK MINOR SUBDIVISION" RECORDED AS DOCUMENT NO. 2017-1689 AND FILED IN PLAT CABINET "M" AT PAGE 149 OF THE PLAT RECORDS OF THE PARK COUNTY CLERK AND RECORDER AND TO DEDICATE TO THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS OF LOT 6-1 THE 10 FOOT WIDE UTILITY EASEMENT AS ESTABLISHED HEREON. THE FIELD SURVEY PERFORMED ON OCTOBER 26, 2015 AND NOVEMBER 15, 2016 WAS USED TO DETERMINE THE LOCATION OF THE 10 FOOT WIDE UTILITY EASEMENT HEREBY ESTABLISHED.

NORTH FORTY INVESTMENTS, LLC
POWELL, WYOMING
AMENDED PLAT SHOWING
COOK MINOR SUBDIVISION
A RESUBDIVISION OF LOT 6, BLOCK 3
OF THE MCMILLIN SUBDIVISION
WITHIN THE CITY OF CODY
AND LOCATED
IN TRACT 70, T. 53 N., R. 101 W., 6TH P.M.
PARK COUNTY, WYOMING (RESURVEY)

	1462 Elmwood Avenue Cody, WY 82416 Phone: 307.557.4444 Fax: 307.557.4444	1/4 SEC. 70	TRACT 70	TOWNSHIP 53 NORTH	RANGE 101 WEST
	816 PRINCIPAL MERIDIAN (RESURVEY) PARK COUNTY, WYOMING	FIELD WORK: JAM & BOB DRAWN BY: BOB CHECKED BY: BOB	DATE: 10/26/2016 SCALE: 1"=20' PROJ. #: 2726028	CLIENT: NORTH FORTY INVESTMENTS, LLC PLATTED: Dec 6, 2016	45978 Pub Cooks22 Minor Subdivision McMillin SubDivision(Tract70)02 Amended Plat.pdf