

CITY OF CODY  
PLANNING, ZONING, AND ADJUSTMENT BOARD  
TUESDAY SEPTEMBER 24, 2019  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order.
2. Roll Call, excused members
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes of the September 10, 2019 regular meeting.
5. BUSINESS:
  - A. Review the revised site plan for the Hampton Inn and Suites, located at 8 Southfork Road.
  - B. Review the preliminary and final plat for Benny's Place (Park County Animal Shelter) minor subdivision. Property is located 5537 Highway 14, 16, & 20.
  - C. Review the conceptual plan for the Edwards PUD (Planned Unit Development), located at 1433 29<sup>th</sup> Street.
6. P & Z Board matters (announcements, comments, etc.)
7. Council Update
8. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning, and Adjustment**  
**Board Meeting September 10, 2019**

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, September 10, 2019 at 12:00 pm.

Present: Chairman Kayl Mitchell; Erynne Selk; Richard Jones; Sandi Fisher; Stan Wolz; Klay Nelson, Deputy City Attorney Sandee Kitchen; City Planner Todd Stowell; Council Liaison Glenn Nielson; Administrative Coordinator Bernie Butler.

Absent: Buzzy Hassrick

Kayl Mitchell called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Richard Jones made a motion, seconded by Stan Wolz, to amend the order of the agenda items and add an additional item. Vote on the motion was unanimous, motion carried.

Richard Jones made a motion, seconded by Sandi Fisher to approve the minutes from the September 3, 2019 meeting. Vote on the motion was unanimous, motion carried.

**NEW BUSINESS:**

A. Todd Stowell presented an amended architectural district sign for the Cody Country Art League located at 836 Sheridan Avenue. The Art League would like to add a sign indicating “Art Gallery/Gift Shop immediately below the approved sign.

Erynne Selk made a motion, seconded by Klay Nelson to approve the amended architectural and sign plan for the Cody Country Art League. Vote on the motion was unanimous, motion passed.

B. Todd Stowell reviewed the amended preliminary plat and final plat for the Park County School District #6 Beacon Hill minor subdivision. Property is located west of Beacon Hill and north of Sheridan Avenue.

Richard Jones made a motion, seconded by Erynne Selk to recommend to City Council to approve the amended preliminary plat and final plat for the Beacon Hill minor subdivision, with variances 1-3 and conditions 1-6 in the staff report, with adding condition #7 that the Development Agreement will be recorded. Vote on the motion was unanimous, motion carried.

C. A new ATM sign at the Wells Fargo Bank was reviewed. The ATM and kiosk will be installed under the branches canopy. Klay Nelson made a motion, seconded by Sandi Fisher to approve the sign for the ATM at Wells Fargo Bank. Vote on the motion was unanimous, motion carried.

D. Todd Stowell reviewed the site plan for the Hampton Inn located at 8 Southfork Road. He went over the status of the preliminary plat conditions. There was a discussion with the board to have the applicant consider using a “warmer” light to reduce the lighting impacts on the “dark sky”. The developer John Koehler spoke to the Board and said he would consider using 3,000 Kelvin exterior lights instead of the proposed 4,000 Kelvin.

Klay Nelson made a motion, seconded by Sandi Fisher to approve the site plan for the Hampton Inn with recommendation 1-17 in the staff report. Kayl Mitchell called for a discussion on the lighting. Erynne Selk asked the applicant if he agreed to 3,000 Kelvin for the exterior lighting. John Koehler said he would agree to it. Richard Jones asked that recommendation #10 be amended to state the reduced light agreement.

Klay Nelson withdrew the motion, seconded by Sandi Fisher. Vote on the motion to withdraw was unanimous.

Klay Nelson made a motion, seconded by Sandi Fisher to approve the Hampton Inn site plan, with recommendations 1-17, and amending #10 to say “No lighting shall cause glare impacts to neighboring properties or drivers on the highways. Utilize landscaping and shielding as needed. Exterior lighting is to be changed from 4,000 Kelvin (a cool white) to 3,000 Kelvin (a warm light).” Vote on the motion was unanimous, motion passed.

Richard Jones made a motion, seconded by Erynne Selk to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the Board, Chairman Kayl Mitchell adjourned the meeting at 1:10 pm.

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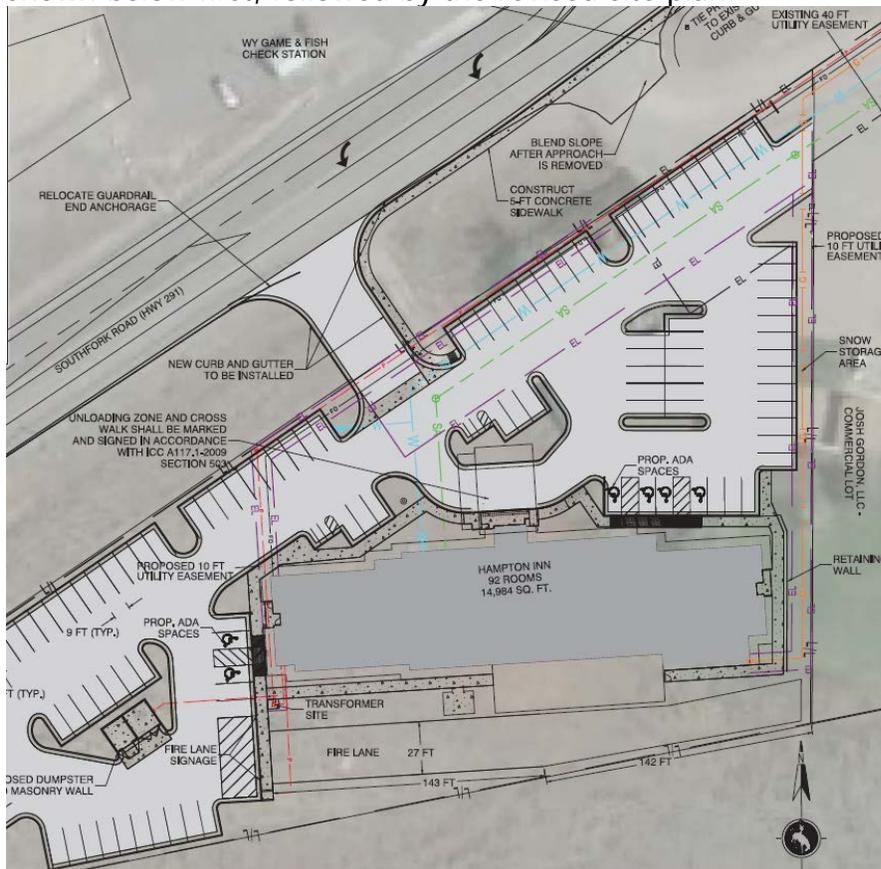
Bernie Butler, Administrative Coordinator

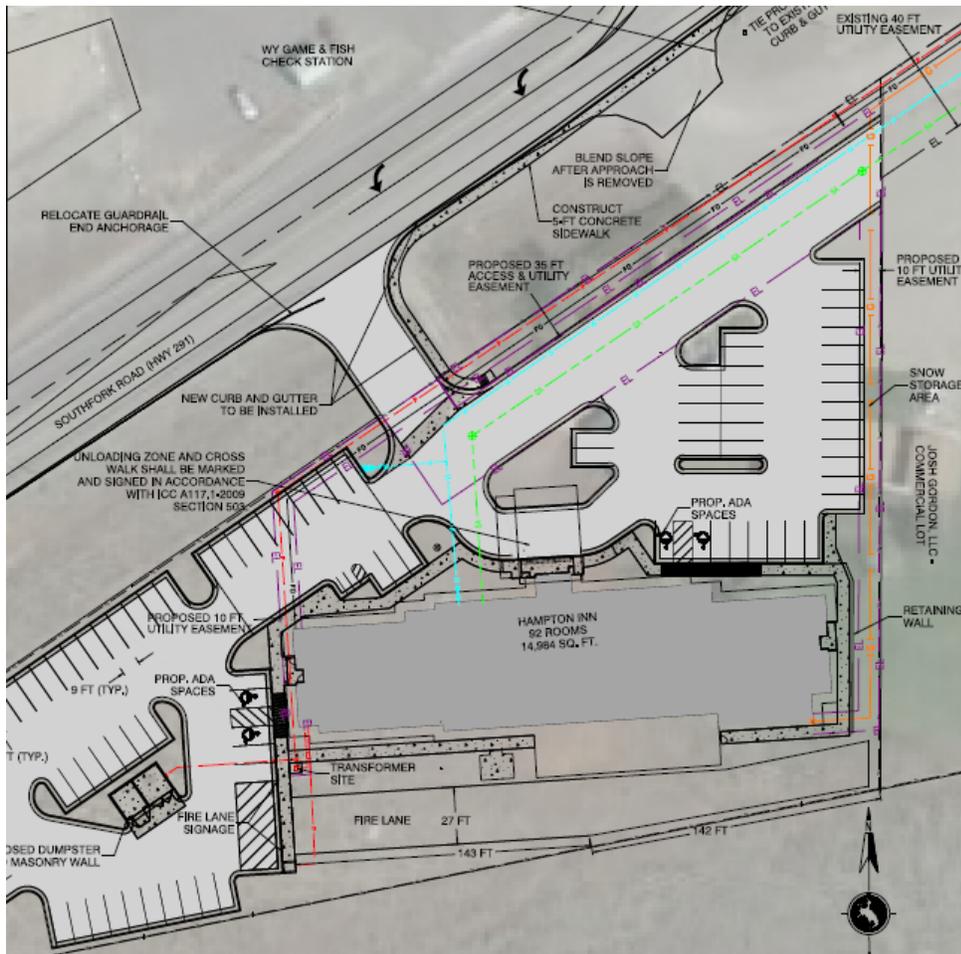
**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	SEPTEMBER 24, 2019	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: REVISED HAMPTON INN AND SUITES. SPR 2018-24	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

JPK TR Cody, LLC submitted a site plan application for construction of a 92-room Hampton Inn & Suites hotel, and associated site improvements. The Planning and Zoning Board approved the site plan at the September 10, 2019 meeting, subject to conditions. One of those conditions was that the property owner provide an updated access easement from the approved new approach to the lot to the east. The negotiations between the Hampton Inn property owner and the owner of the lot to the east have resulted in modifications to the site plan. Those modifications primarily affect the layout and number of parking spaces. Secondly they affect the location of some of the stormwater inlets, landscaping, and a parking lot light. The approved site plan is shown below first, followed by the revised site plan.





**Parking:**

The revision to the site plan removes all parking along the north boundary of the property that is east of the approach, reconfigures the parking in the island north of the hotel entrance so that no vehicles back into the easement, and due to the reduction in total spaces, reduces the number of ADA parking spaces from six to four. What was a 29-foot wide aisle through the parking lot would now be a 35-foot wide frontage road. The portion of the former parking space area not utilized by the frontage road would be landscaped.

As noted in the last review, the parking ordinance recommends that parking for hotels be provided at a ratio of 1.1 spaces per rentable room plus 1 space per hotel vehicle, and 0.75 spaces per employee on the maximum shift. That would be 107 spaces for this project.

The approved site plan has 112 standard spaces shown, six of which are ADA spaces. An additional six motorcycle spaces were also shown.

The revised site plan has 93 standard spaces, four of which are ADA spaces. Three additional motorcycle spaces are also shown. (Motorcycle spaces have not historically been counted towards the number required.)

The parking ordinances notes that, "*The minimum number of parking spaces required for a use shall be according to Table 1 of this section, unless the planning and zoning board authorizes otherwise based on reliable data, such as parking data from a highly comparable facility or a parking demand study prepared by a qualified parking consultant or engineer, which justifies use of a different parking ratio.*"

The applicant has provided a copy of the Hampton Inn franchise standards, that require only one space for each guestroom (92 rooms=92 spaces). He also mentions that at his other hotels that the 1:1 ratio is adequate (prefers slightly more, but still adequate). Staff also has experience that has led us to believe the city parking requirements for hotels is somewhat excessive.

#### 2500 - Design, Construction & Renovation

- 2501.06.B Not Applicable to this Brand
- 2501.06.C Not Applicable to this Brand
- 2501.06.D Not Applicable to this Brand
- 2501.06.E Light Levels
  - Refer to Section [2514.08](#) for minimum light level requirements.
- 2501.06.F Parking Lot
  - Surface Parking
    - 2501.06.F.1 The parking area must accommodate a minimum of one space for each guestroom.
    - 2501.06.F.2 Not Applicable to this Brand

While Planning Staff prefers the approved site plan, we are also agreeable with the proposed changes to the site plan and resulting reduction to 93 parking spaces. It is noted that the proposed modification to the site plan is due to demands from the adjacent property owner, and the Hampton Inn developer is attempting to be accommodating as a good neighbor.

#### **Resulting Modifications**

The site plan modifications also need to be reflected on the drainage plan, landscaping plan, and lighting plan. These are minor shifts of location and should have no negative effects. It is requested that staff be authorized to review and approve those modifications as part of the building permit review process.

#### **ATTACHMENTS:**

Application materials.

#### **ALTERNATIVES:**

Approve or deny the site plan, with or without changes.

#### **RECOMMENDATION:**

Staff recommends approval of the revised site plan subject to the following condition. All conditions from the September 10, 2019 approval otherwise remain in effect.

1. Provide updated drainage, landscaping, and lighting plans to reflect the modifications to the site plan. The additional landscaping shall correspond with the rest of the landscaping. Staff is authorized to review and approve the plans as part of the building permit review process.

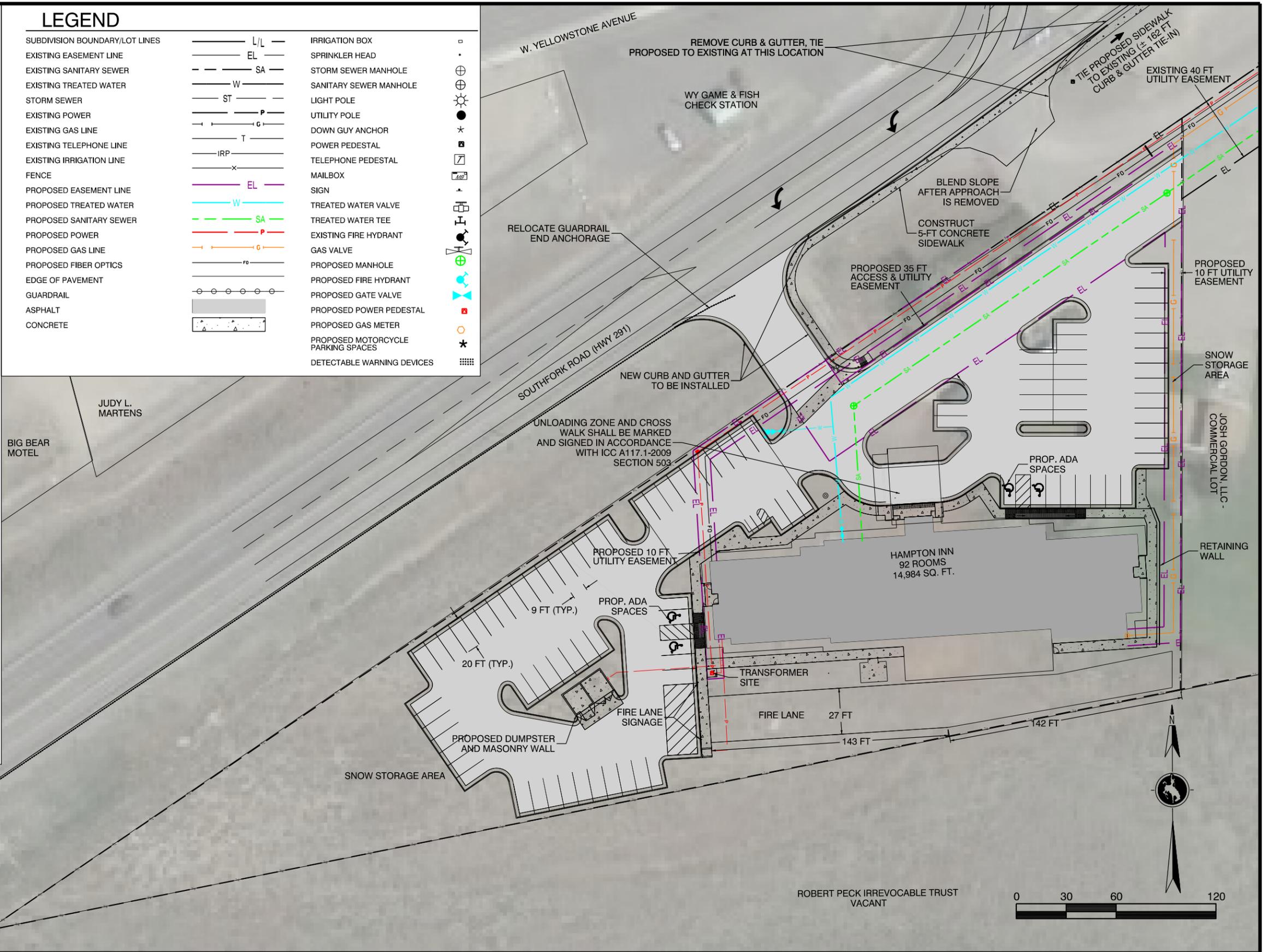
SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS OR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM SAME. SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

**SITE PLAN NOTES**

- THESE PLANS REFERENCE A SURVEY PREPARED BY:  
ENGINEERING ASSOCIATES  
P.O. BOX 1900  
CODY, WY 82414  
DATED: 8-3-2018
- COMPLETE ALL WORK WITHIN THE HIGHWAY RIGHT-OF-WAY AND ACCESS IN ACCORDANCE WITH THE APPROVED WYDOT ACCESS PERMIT. BEFORE BEGINNING WORK, CONTACT WYDOT CREW FOREMAN, CODY, 307-587-2220. PROVIDE A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH WYDOT'S "TRAFFIC CONTROL FOR ROADWAY WORK OPERATIONS" MANUAL. AFTER COMPLETION, CONTACT ABOVE PERSON FOR INSPECTION OF THE WORK.
- CONSTRUCT CURB & GUTTER IN HIGHWAY RIGHT-OF-WAY IN CONFORMANCE WITH WYDOT STANDARD PLAN 608-01A.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO SAGE CIVIL ENGINEERING'S BENCHMARK(S) AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
- CONSTRUCT ALL ADA PARKING FACILITIES TO MEET CURRENT ADA REQUIREMENTS. ENSURE DETECTABLE WARNING DEVICES CONFORM TO WYDOT STANDARD PLAN 608-01A.
- PRIOR TO STARTING CONSTRUCTION, ENSURE ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.
- PERFORM ALL WORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- FOR ADA PARKING AND STOP SIGN PANELS, USE 0.125-INCH THICK SHEET ALUMINUM MADE USING 5052-H38 OR 6061-T6 ALLOY IN ACCORDANCE WITH ASTM B 209. FOR REFLECTIVE SHEETING, USE AN ENCAPSULATED GLASS BEAD, ENCAPSULATED PRISMATIC, OR NONMETALLIC, MICROPRISMATIC REFLECTIVE MATERIAL PRECOATED WITH ADHESIVE BACKING PROTECTED BY A TREATED PLASTIC LINER AND IN ACCORDANCE WITH AASHTO M 268 (ASTM D 4956).
- USE COMMERCIAL MANUFACTURED HIGHWAY STRIPING PAINT. APPLY AT A WET-PAINT THICKNESS OF 16 MIL.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN IS A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO SAGE CIVIL ENGINEERING AT THE TIME OF PLAN PREPARATION. FIELD VERIFY EXISTING CONDITIONS AND NOTIFY SAGE CIVIL ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- VERIFY ALL DIMENSIONS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
- USE CONCRETE MEETING THE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS CLASS 4000 UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- USE CRUSHED BASE MEETING THE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS GRADING W, OR AS APPROVED BY THE OWNER.

**LEGEND**

SUBDIVISION BOUNDARY/LOT LINES	— L/L —	IRRIGATION BOX	□
EXISTING EASEMENT LINE	— EL —	SPRINKLER HEAD	•
EXISTING SANITARY SEWER	— SA —	STORM SEWER MANHOLE	⊕
EXISTING TREATED WATER	— W —	SANITARY SEWER MANHOLE	⊕
STORM SEWER	— ST —	LIGHT POLE	☀
EXISTING POWER	— P —	UTILITY POLE	⊙
EXISTING GAS LINE	— G —	DOWN GUY ANCHOR	*
EXISTING TELEPHONE LINE	— T —	POWER PEDESTAL	⊞
EXISTING IRRIGATION LINE	— IRP —	TELEPHONE PEDESTAL	⊞
FENCE	— X —	MAILBOX	Ⓜ
PROPOSED EASEMENT LINE	— EL —	SIGN	Ⓜ
PROPOSED TREATED WATER	— W —	TREATED WATER VALVE	⊞
PROPOSED SANITARY SEWER	— SA —	TREATED WATER TEE	⊞
PROPOSED POWER	— P —	EXISTING FIRE HYDRANT	⊞
PROPOSED GAS LINE	— G —	GAS VALVE	⊞
PROPOSED FIBER OPTICS	— FO —	PROPOSED MANHOLE	⊞
EDGE OF PAVEMENT	— —	PROPOSED FIRE HYDRANT	⊞
GUARDRAIL	— ○ —	PROPOSED GATE VALVE	⊞
ASPHALT	▒	PROPOSED POWER PEDESTAL	⊞
CONCRETE	▒	PROPOSED GAS METER	⊞
		PROPOSED MOTORCYCLE PARKING SPACES	⊞
		DETECTABLE WARNING DEVICES	⊞



DATE	REVISION	DESCRIPTION	JOB NO.	2017-17
9/19/2019	P&Z REVISIONS		DRAWN BY:	TSW
			CHECKED BY:	TSW
			APPROVED BY:	DRS

SITE PLAN

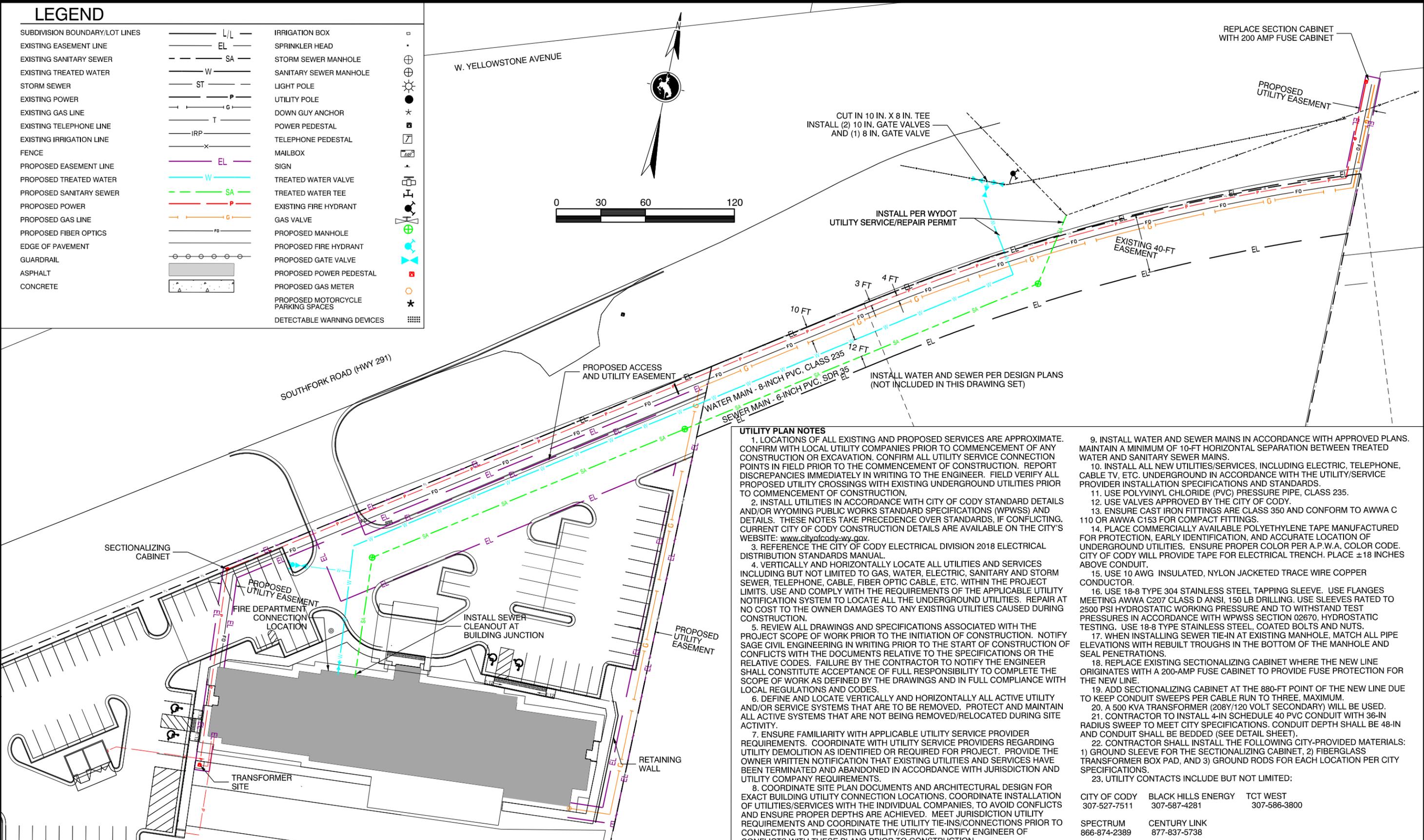
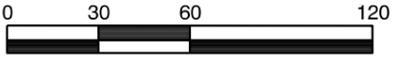
HAMPTON INN & SUITES  
JPK TR CODY, LLC

2824 BIG HORN AVE.  
CODY, WY 82414  
PHONE: (307) 527-0915  
WWW.SAGECIVILENGINEERING.COM



# LEGEND

SUBDIVISION BOUNDARY/LOT LINES	L/L	IRRIGATION BOX	□
EXISTING EASEMENT LINE	EL	SPRINKLER HEAD	•
EXISTING SANITARY SEWER	SA	STORM SEWER MANHOLE	⊕
EXISTING TREATED WATER	W	SANITARY SEWER MANHOLE	⊕
STORM SEWER	ST	LIGHT POLE	☀
EXISTING POWER	P	UTILITY POLE	•
EXISTING GAS LINE	G	DOWN GUY ANCHOR	*
EXISTING TELEPHONE LINE	T	POWER PEDESTAL	□
EXISTING IRRIGATION LINE	IRP	TELEPHONE PEDESTAL	□
FENCE	X	MAILBOX	☐
PROPOSED EASEMENT LINE	EL	SIGN	+
PROPOSED TREATED WATER	W	TREATED WATER VALVE	⊕
PROPOSED SANITARY SEWER	SA	TREATED WATER TEE	⊕
PROPOSED POWER	P	EXISTING FIRE HYDRANT	⊕
PROPOSED GAS LINE	G	GAS VALVE	⊕
PROPOSED FIBER OPTICS	FO	PROPOSED MANHOLE	⊕
EDGE OF PAVEMENT	—	PROPOSED FIRE HYDRANT	⊕
GUARDRAIL	○	PROPOSED GATE VALVE	⊕
ASPHALT	▒	PROPOSED POWER PEDESTAL	□
CONCRETE	▒	PROPOSED GAS METER	⊕
		PROPOSED MOTORCYCLE PARKING SPACES	*
		DETECTABLE WARNING DEVICES	■



### UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE. CONFIRM WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. CONFIRM ALL UTILITY SERVICE CONNECTION POINTS IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. REPORT DISCREPANCIES IMMEDIATELY IN WRITING TO THE ENGINEER. FIELD VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- INSTALL UTILITIES IN ACCORDANCE WITH CITY OF CODY STANDARD DETAILS AND/OR WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) AND DETAILS. THESE NOTES TAKE PRECEDENCE OVER STANDARDS, IF CONFLICTING, CURRENT CITY OF CODY CONSTRUCTION DETAILS ARE AVAILABLE ON THE CITY'S WEBSITE: [www.cityofcody-wy.gov](http://www.cityofcody-wy.gov).
- REFERENCE THE CITY OF CODY ELECTRICAL DIVISION 2018 ELECTRICAL DISTRIBUTION STANDARDS MANUAL.
- VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE PROJECT LIMITS. USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. REPAIR AT NO COST TO THE OWNER DAMAGES TO ANY EXISTING UTILITIES CAUSED DURING CONSTRUCTION.
- REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT SCOPE OF WORK PRIOR TO THE INITIATION OF CONSTRUCTION. NOTIFY SAGE CIVIL ENGINEERING IN WRITING PRIOR TO THE START OF CONSTRUCTION OF CONFLICTS WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- ENSURE FAMILIARITY WITH APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS. COORDINATE WITH UTILITY SERVICE PROVIDERS REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. PROVIDE THE OWNER WRITTEN NOTIFICATION THAT EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- COORDINATE SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. MEET JURISDICTION UTILITY REQUIREMENTS AND COORDINATE THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. NOTIFY ENGINEER OF CONFLICTS WITH THESE PLANS PRIOR TO CONSTRUCTION.
- INSTALL WATER AND SEWER MAINS IN ACCORDANCE WITH APPROVED PLANS. MAINTAIN A MINIMUM OF 10-FT HORIZONTAL SEPARATION BETWEEN TREATED WATER AND SANITARY SEWER MAINS.
- INSTALL ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. UNDERGROUND IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- USE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, CLASS 235.
- USE VALVES APPROVED BY THE CITY OF CODY.
- ENSURE CAST IRON FITTINGS ARE CLASS 350 AND CONFORM TO AWWA C 110 OR AWWA C153 FOR COMPACT FITTINGS.
- PLACE COMMERCIALY AVAILABLE POLYETHYLENE TAPE MANUFACTURED FOR PROTECTION, EARLY IDENTIFICATION, AND ACCURATE LOCATION OF UNDERGROUND UTILITIES. ENSURE PROPER COLOR PER A.P.W.A. COLOR CODE. CITY OF CODY WILL PROVIDE TAPE FOR ELECTRICAL TRENCH. PLACE ±18 INCHES ABOVE CONDUIT.
- USE 10 AWG INSULATED, NYLON JACKETED TRACE WIRE COPPER CONDUCTOR.
- USE 18-8 TYPE 304 STAINLESS STEEL TAPPING SLEEVE. USE FLANGES MEETING AWWA C207 CLASS D ANSI, 150 LB DRILLING. USE SLEEVES RATED TO 2500 PSI HYDROSTATIC WORKING PRESSURE AND TO WITHSTAND TEST PRESSURES IN ACCORDANCE WITH WPWSS SECTION 02670, HYDROSTATIC TESTING. USE 18-8 TYPE STAINLESS STEEL COATED BOLTS AND NUTS.
- WHEN INSTALLING SEWER TIE-IN AT EXISTING MANHOLE, MATCH ALL PIPE ELEVATIONS WITH REBUILT TROUGHS IN THE BOTTOM OF THE MANHOLE AND SEAL PENETRATIONS.
- REPLACE EXISTING SECTIONALIZING CABINET WHERE THE NEW LINE ORIGINATES WITH A 200-AMP FUSE CABINET TO PROVIDE FUSE PROTECTION FOR THE NEW LINE.
- ADD SECTIONALIZING CABINET AT THE 880-FT POINT OF THE NEW LINE DUE TO KEEP CONDUIT SWEEPS PER CABLE RUN TO THREE, MAXIMUM.
- A 500 KVA TRANSFORMER (208Y/120 VOLT SECONDARY) WILL BE USED.
- CONTRACTOR TO INSTALL 4-IN SCHEDULE 40 PVC CONDUIT WITH 36-IN RADIUS SWEEP TO MEET CITY SPECIFICATIONS. CONDUIT DEPTH SHALL BE 48-IN AND CONDUIT SHALL BE BEDDED (SEE DETAIL SHEET).
- CONTRACTOR SHALL INSTALL THE FOLLOWING CITY-PROVIDED MATERIALS: 1) GROUND SLEEVE FOR THE SECTIONALIZING CABINET, 2) FIBERGLASS TRANSFORMER BOX PAD, AND 3) GROUND RODS FOR EACH LOCATION PER CITY SPECIFICATIONS.
- UTILITY CONTACTS INCLUDE BUT NOT LIMITED:

CITY OF CODY 307-527-7511	BLACK HILLS ENERGY 307-587-4281	TCT WEST 307-586-3800
SPECTRUM 866-874-2389	CENTURY LINK 877-837-5738	

DATE	REVISION	DESCRIPTION	JOB NO.	2017-17
9/19/2019	P&Z REVISIONS		DRAWN BY:	TSW
			CHECKED BY:	TSW
			APPROVED BY:	DRS

## UTILITY PLAN

## HAMPTON INN & SUITES JPK TR CODY, LLC

2824 BIG HORN AVE.  
CODY, WY 82414  
PHONE: (307) 527-0915  
WWW.SAGECIVILENGINEERING.COM

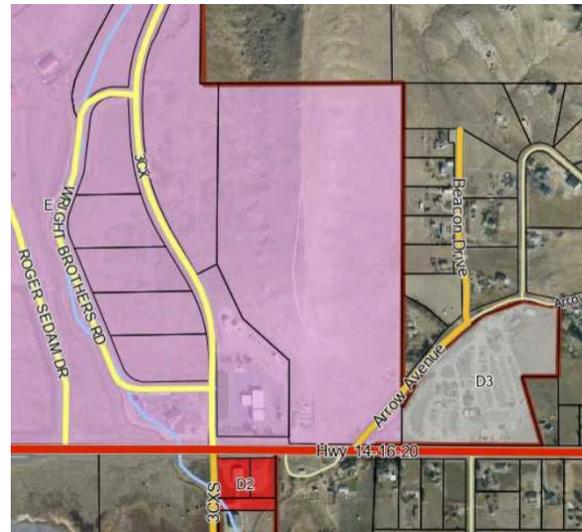


**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	SEPTEMBER 24, 2019	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	BENNY'S PLACE MINOR SUBDIVISION FOR THE CITY OF CODY. SUB 2019-08	RECOMMENDATION TO COUNCIL:	X
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT OVERVIEW**

The City of Cody and Park County Animal Shelter has worked with the Airport Board and FAA to have a portion of City airport property released from FAA jurisdiction, so that the Park County Animal Shelter can construct a new facility. This subdivision would create a lot (Lot 1) around the released property so that it can be sold. The balance of the property (Lot 2) would remain in City of Cody ownership and subject to FAA and Airport Board management. Lot 2 contains the flashing beacon on Beacon Hill and the site of a proposed water tank, scheduled to be constructed next year.



Both the preliminary plat and final plat are presented for review.

**Topics:**

**Zoning Standards:**

The property is in the Industrial (E) zoning district, which does not have any zoning standards for building setbacks, building height, minimum lot area, minimum lot width, or maximum lot coverage. The new property line will not create any building code setback violations.

**Access:**

Access to the existing animal shelter is directly from Highway 14-16-20 (Greybull Highway). Access to the new animal shelter facility and Lot 2 is planned from Arrow Avenue. The first 65 feet or so off the highway has an asphalt surface in relatively good shape. Beyond that is a combination of broken asphalt, gravel, and asphalt millings. Arrow Avenue has received limited maintenance from the County, and no

maintenance from the City. The survey revealed that Arrow Avenue is not physically aligned within the dedicated right-of-way, to the extent that a portion of the road is outside of the right-of-way, on the City airport property.

Rather than relocate Arrow Avenue, the right-of-way is proposed to be shifted. At this time, additional right-of-way can be dedicated along the east side of Lot 1, along the existing fence line. The shifting of the right-of-way on Lot 2 will require Airport Board and perhaps FAA approval. The airport intends to obtain authorization for that shift as part of their airport plan update currently underway. However, so as to not delay the subdivision, it is requested that the process to shift the right-of-way on Lot 2 be allowed to occur later, after the subdivision occurs.

Improvement of Arrow Avenue along the subdivision frontage with a paved surface (minimum 24 feet wide, which is the current width) is a subdivision requirement. Timing will be in conjunction with a building permit for the lot being developed.

#### Utilities:

The preliminary plat and this map depict the existing utility situation. The light green line is the sewer. From the "M" (manhole) on the line in front of the existing animal shelter to the west is typical gravity flow sewer. The portion to the east is a pressurized sewer line from the KOA lift station. A sewer easement is provided for Lot 2 to access the manhole, if Lot 2 is ever developed. The heavy blue line (not the parcel lines) is a City water main. If Lot 2 is ever developed, the plan would be to extend the main to the east, and along Arrow Drive, in the easement and right-of-way provided. The dark green and pink lines are power lines—the dark green line is underground power and the pink in the middle of the property above ground. The existing animal shelter (Lot 1) is fed from a transformer at the SW corner of the property. The overhead line to Lot 2 is for the beacon on Beacon Hill. If Lot 2 is further developed the power demand will determine if the existing line can be used, or if it will be necessary to run a new line from the red box next to Arrow Avenue. Easements are provided to allow either option.



#### **SUBDIVISION REGULATIONS**

Applicable subdivision ordinance requirements are as follows. Staff comments follow each requirement. When a variance from the standard is involved, it is noted.

#### 11-4-2: STREETS, ALLEYS AND EASEMENTS:

*A. Alignment: All proposed streets, alleys and easements shall align horizontally and vertically with existing streets, alleys and easements adjacent to or lying near the subdivision.*

Comment- No new public streets or alleys are proposed. The plan for the shifting of the Arrow Avenue right-of-way is described above.

*B. Conform to Master Street Plan: All streets shall conform to the city master street plan for size and approximate alignment.*

Comments- Arrow Avenue is specified as a "rural" roadway in the city master street plan, which calls for a 32-foot wide paved road with side ditches. Arrow Avenue is currently a 24-foot wide gravel road, except for the paved section off of the highway. As Arrow Avenue is maintained by the County, and they specify only a 24-foot wide gravel surface, we propose a variance be authorized to require only a 24-foot wide road, with a paved surface and side ditches.

*Items "C" through "O" are standards that relate to construction of new public streets and are not applicable to this project—the street alignment that exists meets those standards.*

*P. Alleys: Alleys shall be required in all subdivisions with the minimum width being twenty feet (20'), unless extreme conditions preclude the feasibility of alleys...*

Comment: The configuration of the subdivision does not lend itself to alleys, and the size of the lots are adequate to allow garbage collection and utilities to be located within the lots. A variance to the alley requirement is proposed.

*Q. Curb, Gutter, Sidewalk, Paved Streets: Curb, gutter, sidewalk and paved streets shall be required in all proposed subdivisions unless waived in accordance with criteria set out in subsection 11-5-2B of this title by the planning and zoning board, and the city council. ...*

Comment: The master street plan does not specify curb, gutter, sidewalk for Rural roads. There is a separated pathway identified for rural roads, but as there is no sidewalk or pathway to tie into on either the state highway or Arrow Avenue, since the City limits do not extend further north on Arrow Avenue, and the county does not require any pedestrian facilities, a variance to the sidewalk/pathway requirement is proposed.

*R. Street cross section: The minimum typical street cross section for each type of street shall be as shown on the master street plan...*

Comment: As noted above, the street cross section will be used, except it is proposed that the width of pavement be reduced from 32 feet to 24 feet, and the pathway/sidewalk not be provided.

*Items "S" through "T" are standards that relate to streets and drainage that are not applicable to this project.*

*U. Lot Requirements:*

*1. Lots shall be sited to meet the requirements of the appropriate zoning.*

Comment: Met (no minimum in Industrial "E").

*2. Every lot shall abut upon or have access to an approved street or cul-de-sac.*

Comment: Met, subject to improvement of Arrow Avenue along the lot frontages—upon development of each lot.

*3. Side lot line shall be at approximately right angles to the street line on which the lot faces.*

Comment: Met.

*4. Strip lots...will be prohibited.*

Comment: Met.

*V. Blocks:...* Comment: Met.

**Section 11-5-1, DEVELOPMENT AND IMPROVEMENT** also includes standards for construction. Applicable sections are listed below.

*F. Sanitary Sewer: ...Each lot within the proposed subdivision shall be connected to a minimum eight-inch (8") diameter sewer main by a minimum four-inch (4") diameter sewer service line. The service lines shall be extended from the sewer main to the property line according to city standards. The use of individual septic systems will not be permitted when a sanitary sewer main is available...*

Comment: Lot 1 currently has access to a sewer main. Due to the airport-related restrictions on Lot 2, it is unlikely to be developed with a use that would require sewer, unless it were released from FAA jurisdiction as occurred with the area of Lot 1. An easement is provided to allow sewer to be extended to Lot 2, but construction of a sewer line to Lot 2 would not occur until Lot 2 needed it (in conjunction with a building permit). A variance to postpone engineering of the sewer line extension until such time as that would occur is proposed.

*G. Storm Sewer...*

Comment: Minor subdivisions are exempt from the storm water policy. The City storm water policy manual will require a drainage plan for any development on the lots.

*H. Water: All water mains will be designed and constructed according to city approved specifications and the city standards. The system will connect each lot within the proposed subdivision to a minimum six inch (6") diameter main by the use of a minimum three-fourths inch (3/4") copper service line. The service lines shall be extended from the main to the property line according to city standards. ...*

Comment: Lot 1 has access to the existing water main, and fire hydrant. As with Sewer, Lot 2 is not expected to need domestic water, but if additional land on Lot

2 is released from FAA jurisdiction, the plan would be to extend the main in the easement provided, over to the easement along Arrow Avenue, and into Lot 2. That would occur when Lot 2 had the need for domestic water (in conjunction with a building permit). A variance to postpone engineering of the water line extension until such time as that would occur is proposed.

*I. Fire Hydrants...*

Comment: An existing hydrant is located at the end of the water line, in the southwest area of Lot 1. The water extension to Lot 2 would include hydrants per city and DEQ spacing standards.

*J. Open Drains, Irrigation Ditches: All open drains and irrigation ditches shall be buried or, if possible, eliminated.*

Comment: There is an open ditch across the southeast portion of Lot 2. As Lot 2 is currently restricted from most development due to the airport/FAA management, and the ditch is small and not in an urban setting, a variance to the requirement is proposed.

*K. Utilities: All utilities (electrical service, natural gas, telephone, cable TV, etc.) shall be installed underground, whenever possible, in the streets, alleys or utility easements shown on the final plat. All buried utilities will be placed before the finished surface is placed on the streets or alleys ... It will be the developer's responsibility to ensure that all utilities necessary or reasonably expected are placed within the proposed subdivision.*

Comment: Met.

*M. Street Lighting...*

Comment: Street lighting is not part of the "rural" road section.

*N. Public Use Areas: ...*

Comment: Minor subdivisions are exempt from this requirement.

**Variances**

The subdivision ordinance specifies the following regarding variances: "*If during the approval process of a proposed subdivision it can be shown that strict compliance with the requirements of this title will result in extraordinary hardship to the subdivider due to unusual topography or other similar land conditions, or where the subdivider can show that variances will make a greater contribution to the intent and purpose of this title, the commission and council may, upon written request and proper justification, grant a variance to this title so that substantial justice may be done and the public interest secured; provided, that any such variance will not have the effect of nullifying the intent and purpose of this title.*"

The stated purpose of the subdivision ordinance is: "*It is the intent and purpose of this title to promote orderly and systematic development of lands to the advantage of the subdivider, future property owners and the general population of the city. It shall establish guidelines and minimum standards to assist the subdivider and promote the development of a safe and healthy living environment.*"

**Other:**

The property apparently has no surface water rights—no Cody Canal assessment on this portion of airport per title report.

**RECOMMENDATION:**

Recommend that the City Council grant the variances noted in the staff report, which are requested primarily due to the development limitations currently found on Lot 2, to coordinate road improvements between the sections of Arrow Avenue within the subdivision and that to the north, and because the area to the north that is beyond the subdivision is not within an identified annexation area and therefore there is no plan to extend City utilities to that area. In addition, allow Lot 2 to postpone the payment of any subdivision utility fees until such time as any development occurs on Lot 2 that needs such utilities.

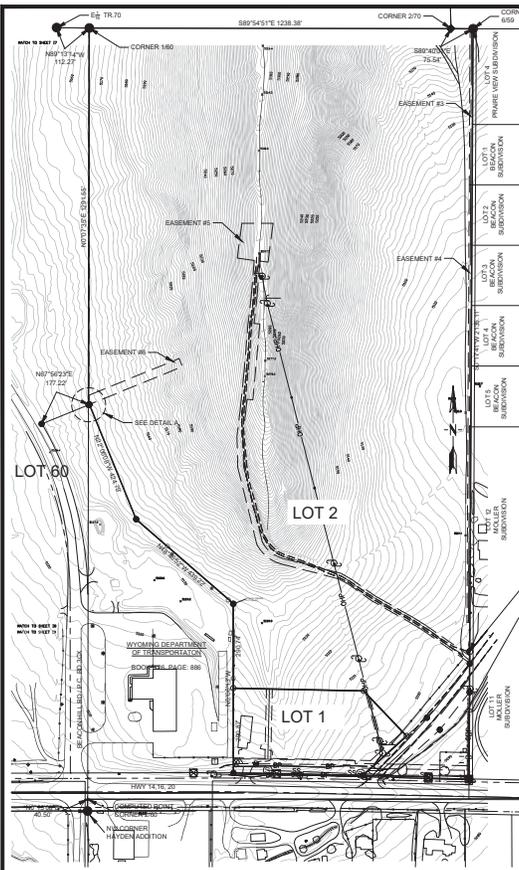
Recommend that the City Council approve the preliminary and final plat subject to the following conditions:

1. Work with staff to correct/update a few labels and notes on the preliminary and final plat. Provide corrected copies for the City council review. (Add "Lot 2" as beneficiary of sewer easement and electrical easement, Arrow Avenue name and linework, add R-W dedication language, etc.)
2. Dedicate the right-of-way for Arrow Avenue, centered on the existing alignment (30 feet from centerline), through Lot 1. Also, shift the utility easement on the east side of Lot 1 to follow the shifted right-of-way.
3. Include a note on the final plat that subdivision improvements are required in conjunction with issuance of a building permit for development on each lot—including paving of the Arrow Avenue frontage to a 24-foot width, with shoulders and side ditches. Lot 2 is responsible for extension of utilities to serve any development on the lot that needs such utilities.

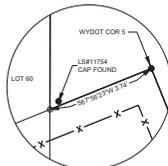
Also, recommend that the City Council authorize the vacation of an unused electrical easement (Doc. #1999-5893). The easement was used before the service to the existing animal shelter building was changed to an underground service.

**ATTACHMENTS**

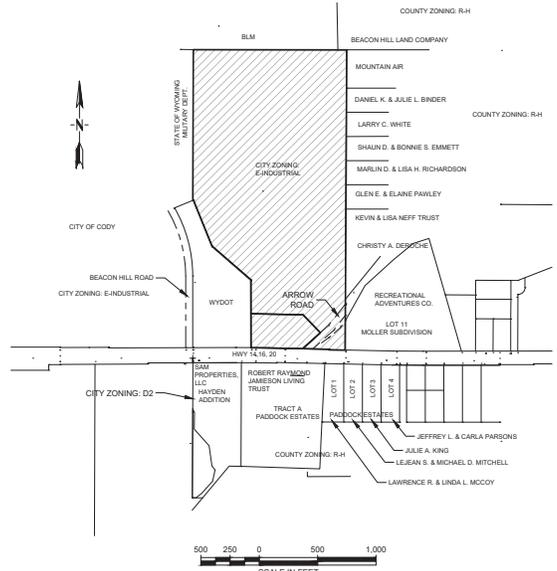
Plat drawings. Not attached, but available: Title report, FAA release for area of Lot 1.



PLAN - LOT 1 & LOT 2



DETAIL A



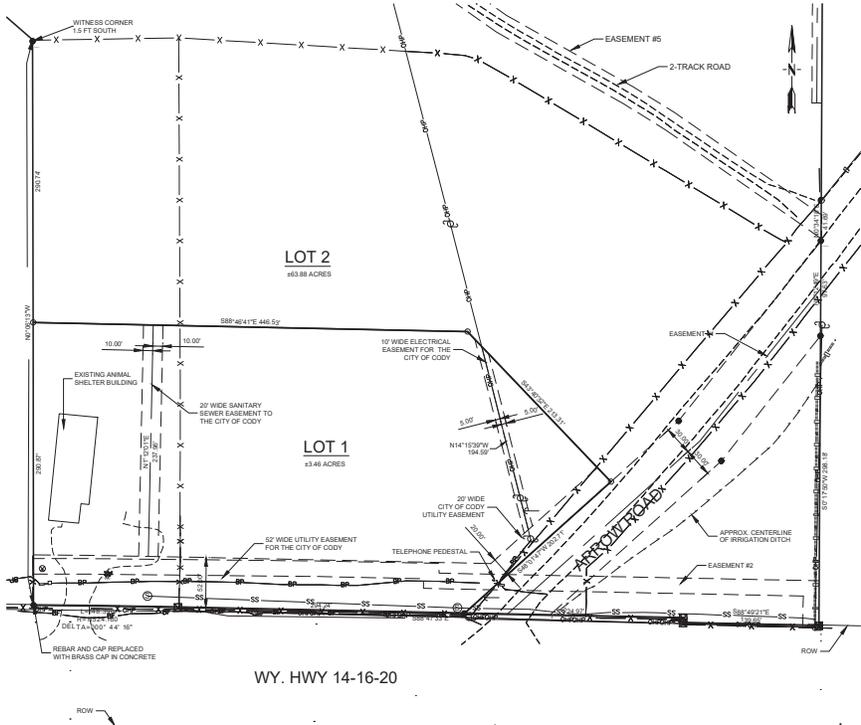
VICINITY MAP

**LEGAL DESCRIPTION OF PROPERTY TO BE SUBDIVIDED**

Lots 3 and 4, Section 4, Township 52 North, Range 101 West, 6th P.M., Park County, Wyoming.

Existing Therefrom:  
Any portion of land contained in the following Deeds recorded in Park County Office of Clerk and Recorder:

- January 15, 1969 in Book 332, Page 488
- July 18, 1978 in Book MF 31, Page 217
- July 18, 1978 in Book MF 31, Page 219
- April 02, 2008 in Book MF 508, Page 885
- July 17, 2003 as Doc #2003-8415



WY. HWY 14-16-20

**LEGEND**

- HIGHWAY MONUMENT FOUND
- REBAR & ALLUM. CAP FOUND
- REBAR WITH 2" CAP SET
- 1" IRON PIPE
- BRASS CAP FOUND
- EDGE OF GRAVEL
- POWER POLE
- WATER VALVE
- MH - SANITARY SEWER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- SANITARY SEWER LINE
- BURIED POWER
- OVERHEAD POWER
- WATER LINE
- WOOD FENCE
- BARBED WIRE FENCE
- FENCE - MISC.
- EASEMENT



SCALE IN FEET

**NOTES**

- NOT ALL UTILITIES WERE LOCATED NOR SHOWN ON THIS PLAT.
- THIS DRAWING IS NOT INTENDED TO SHOW ALL RIGHTS OF WAY, EASEMENTS, PUBLIC OR PRIVATE UTILITIES, IRRIGATION FACILITIES, OTHER IMPROVEMENTS OR FLOOD PLAN AREAS UPON THE PARCEL OR PARCELS DELINEATED HEREON. THIS SURVEYOR DID NOT CONDUCT A COMPLETE TITLE SEARCH, ABSTRACT STUDY OR HAZARD INQUIRY FOR THE LANDS SHOWN HEREON. BASIS OF BEARINGS IS BASED ON CITY OF CODY DATUM.
- 

**CERTIFICATE OF SURVEYOR**

STATE OF WYOMING  
COUNTY OF PARK

I, EDWARD C. REED ON BEHALF OF MORRISON MAIERLE OF CODY, WYOMING DO HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM FIELD NOTES TAKEN DURING AN ACTUAL SURVEY MADE BY ME ON AUGUST 10 THROUGH 13, 2019. THAT THIS MAP CORRECTLY SHOWS THE RESULTS OF SAID SURVEY AND THAT THE MONUMENTS FOUND OR SET ARE AS SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WYOMING L.S. REGISTRATION NO. 14635  
MORRISON MAIERLE  
BY EDWARD REED (AGENT)



**EASEMENTS REPORTED WITHIN TITLE POLICY**

EASEMENTS WITHIN LOT 3 AND 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M. (RESURVEY) AS LISTED IN TITLE INSURANCE POLICY FROM PARK COUNTY TITLE DATED JUNE 11, 2019

PLAT LOCATION	TITLE PAGE #	GRANTED TO	BOOK/PAGE OR DOC #
1	27	COUNTY OF PARK, STATE OF WYOMING 60' WIDE ROAD EASEMENT (ARROW)	BOOK 387 PAGE 227
(UNPLOTTABLE)	29	CODY GAS COMPANY, A DIVISION OF COASTAL STATE GAS CORP., BLANKET EASEMENT WITH STATE GAS CORP. BLANKET EASEMENT WITH NO WIDTH	BOOK 32 PAGE 958
2	30	THE MOUNTAIN STATE TELEPHONE AND TELEGRAPH COMPANY, 10' WIDE TELEPHONE LINE EASEMENT	BOOK MF 33 PAGE 602
3	31	PACIFIC POWER & LIGHT COMPANY, 10' WIDE POWERLINE EASEMENT	BOOK MF 152 PAGE 482
4	32	PACIFIC POWER & LIGHT COMPANY, 10' WIDE POWERLINE EASEMENT	BOOK MF 158 PAGE 941
(UNPLOTTABLE)	34	PACIFIC POWERLINE EASEMENT, MOST LIKELY FROM EXISTING POLE #04701 TO EXISTING ANIMAL SHELTER BUILDING, TO BE VACATED.	1999-5803
5	40	CITY OF CODY, WY, VARIABLE WIDTH EASEMENT TO SERVICE AIRPORT BEACON	2019-864
6	41	CITY OF CODY, WY, 30' WIDE EASEMENT TO ACCESS WATER TANK AREA	2019-865

**APPROVALS**

CITY PLANNING AND ZONING BOARD

APPROVED AS OF THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHAIRMAN

CITY COUNCIL APPROVAL

APPROVED AS OF THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL

ATTEST: CINDY BAKER  
ADMINISTRATIVE SERVICES OFFICER

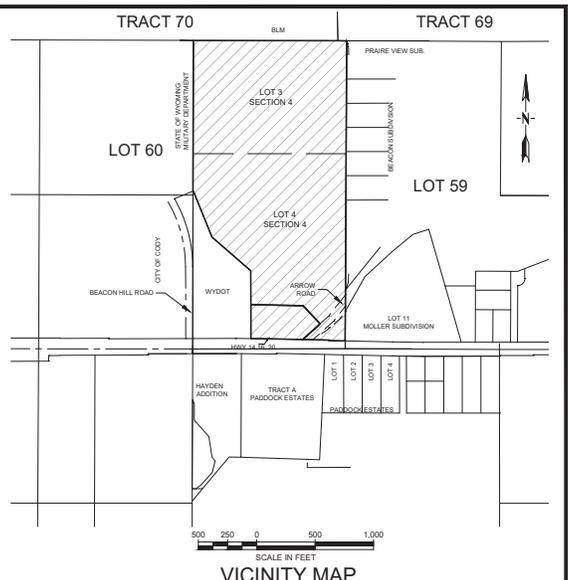
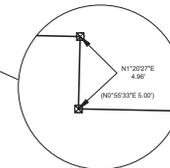
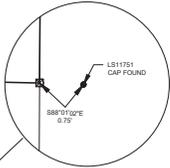
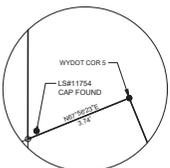
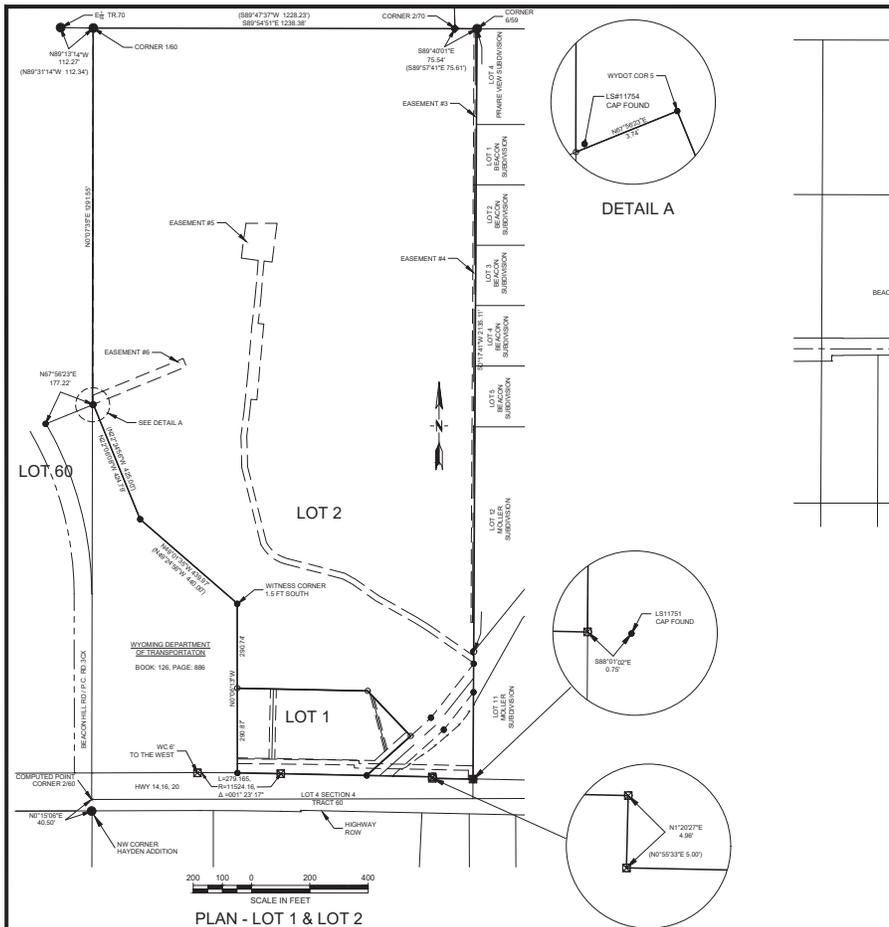
**CITY OF CODY**

**PRELIMINARY PLAT SHOWING**

**BENNY'S PLACE MINOR SUBDIVISION**

A SUBDIVISION OF LOT 3 & 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M. (RESURVEY), WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING

	1450 Riverside Avenue Cody, WY 82414 Phone: 307.587.6281 www.morrisonmaierle.com	1/4 SEC. _____ SECTION _____ TOWNSHIP _____ RANGE _____ S. _____ T. _____
	FIELD WORK: ECR, MAS DATE: 08-04-2019 DRAWN BY: ECR SCALE: SEE DRAWING CHECKED BY: RBB PROJ. #: 5177.001	DATE: 08-04-2019 PLOTTED DATE: Sep/12/2019 CLIENT: CITY OF CODY



**LEGAL DESCRIPTION OF PROPERTY TO BE SUBDIVIDED:**

**Lots 3 and 4, Section 4, Township 52 North, Range 101 West, 6th P.M., Park County, Wyoming.**

Excepting Therefrom:  
 Any portion of land contained in the following Deeds recorded in Park County office of Clerk and Recorder:  
 January 15, 1959 in Book 833, Page 488  
 July 18, 1978 in Book MF 31, Page 217  
 July 18, 1978 in Book MF 31, Page 219  
 April 22, 1988 in Book MF 126, Page 889  
 July 17, 2003 as Doc #2003-6415

**CERTIFICATE OF OWNER**

STATE OF WYOMING } ss  
 COUNTY OF PARK }  
 I, THE UNDERSIGNED, DO HEREBY CERTIFY THAT AS LEGAL REPRESENTATIVE FOR THE CITY OF CODY DESCRIBED LANDS WITHIN DEED RECORDED AS BOOK 228, PAGE 571 OF THE DEED RECORDS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER AND DESCRIBED AS FOLLOWS:  
 LOTS 3 AND 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M., (RESURVEY)

EXCEPTING THEREFROM:  
 BOOK 332, PAGE 488  
 BOOK 31, PAGE 217-219  
 BOOK 126, PAGE 888  
 DOC # 2003-6415

AND WE HEREBY CERTIFY:  
 THAT WE ACKNOWLEDGE AND AGREE TO THE MINOR SUBDIVISION SURVEY SHOWN HEREON;  
 THAT THE PURPOSE OF THIS MINOR SUBDIVISION SURVEY IS TO CREATE TWO LOTS KNOWN AS LOT 1 AND LOT 2 OF BENNY'S PLACE MINOR SUBDIVISION;  
 THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON; THAT THE LOT LINES AS THEY APPEAR ON THIS PLAT IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE HEREBY DEDICATE EASEMENTS LABELED HEREON TO THE USES NOTED AND EASEMENT RECORDED AS DOCUMENT 1999-689 AS LISTED TO BE WAIVED UPON PLAT RECORDATION; THAT SAID LANDS ARE SUBJECT TO EASEMENTS, RIGHT-OF-WAY, AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE SOLE PURPOSE OF CREATING THIS MINOR SUBDIVISION IS TO CREATE THESE LOTS AS SHOWN HEREON; AND THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

IN WITNESS WHEREOF, THE SAID OWNER, BENNY'S PLACE MINOR SUBDIVISION, HAVE CAUSED THEIR NAMES TO BE HEREON SUBSCRIBED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019.

MATT HALL (MAYOR OF CITY OF CODY)

**ACKNOWLEDGMENT**

STATE OF WYOMING } ss  
 COUNTY OF PARK }  
 THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY \_\_\_\_\_  
 WITNESS MY HAND AND OFFICIAL SEAL:

NOTARY PUBLIC  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**EASEMENTS REPORTED WITHIN TITLE POLICY**

EASEMENTS WITHIN LOT 3 AND 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M., (RESURVEY) AS LISTED IN TITLE INSURANCE POLICY FROM PARK COUNTY TITLE DATED JUNE 15<sup>TH</sup>, 2019

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4	32	PACIFIC POWER & LIGHT COMPANY; 12' WIDE POWERLINE EASEMENT	BOOK MF 158 PAGE 641
(UNPLOTTABLE)	34	PACIFIC POWERLINE EASEMENT; MOST LIKELY LOCATED FROM EXISTING POLE#42931 TO ANIMAL SHELTER BUILDING, TO BE VACATED	1999-6893
5	40	CITY OF CODY, WY; VARIABLE WIDTH EASEMENT TO SERVICE AIRPORT BEACON	2019-894
6	41	CITY OF CODY, WY; 30' WIDE EASEMENT TO ACCESS WATER TANK AREA	2019-865

**CITY OF CODY**

**FINAL PLAT SHOWING**

**BENNY'S PLACE MINOR SUBDIVISION**

A SUBDIVISION OF LOT 3 & 4, SECTION 4, TOWNSHIP 52 NORTH, RANGE 101 WEST, 6TH P.M., (RESURVEY), WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING

**LEGEND**

- HIGHWAY MONUMENT FOUND
- REBAR & ALUM. CAP FOUND
- REBAR WITH 2" CAP SET
- IRON PIPE
- BRASS CAP FOUND
- EDGE OF PAVEMENT
- EASEMENT
- ( ) RECORD DIMENSION

**APPROVALS**

CITY PLANNING AND ZONING BOARD  
 APPROVED AS OF THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

CHARMAN  
 \_\_\_\_\_

CITY COUNCIL APPROVAL  
 APPROVED AS OF THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2019 BY THE CITY COUNCIL OF CODY, WYOMING.

MAYOR - MATT HALL  
 \_\_\_\_\_

ATTEST:  
 CINDY BAKER  
 ADMINISTRATIVE SERVICES OFFICER

**NOTES:**

1. NOT ALL UTILITIES WERE LOCATED NOR SHOWN ON THIS PLAT.
2. THIS DRAWING IS NOT INTENDED TO SHOW ALL RIGHTS OF WAY, EASEMENTS, PUBLIC OR PRIVATE UTILITIES, IRRIGATION FACILITIES, OTHER IMPROVEMENTS OR FLOOD PLAN AREAS UPON THE PARCEL OR PARCELS DELINEATED HEREON. THIS SURVEYOR DID NOT CONDUCT A COMPLETE TITLE SEARCH, ABSTRACT STUDY OR HAZARD INQUIRY FOR THE LANDS SHOWN HEREON. BASIS OF BEARINGS IS BASED ON CITY OF CODY DATUM.
- 3.

**CERTIFICATE OF SURVEYOR**

STATE OF WYOMING } ss  
 COUNTY OF PARK }  
 I, EDWARD C. REED ON BEHALF OF MORRISON MAERLE OF CODY, WYOMING DO HEREBY CERTIFY THAT THIS MAP WAS PREPARED FROM FIELD NOTES TAKEN BY ME OR BY A LICENSED SURVEYOR ON AUGUST 10 THROUGH 13, 2019; THAT THIS MAP CORRECTLY SHOWS THE RESULTS OF SAID SURVEY AND THAT THE MONUMENTS FOUND OR SET ARE AS SHOWN TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
 WYOMING L.S. REGISTRATION NO. 14635  
 MORRISON MAERLE  
 BY EDWARD REED (AGENT)



**Morrison Maerle**  
 452 Delaware Avenue  
 Cody, WY 82401  
 Phone: 307.527.6281  
 www.morrisonmaerle.com

1/4 SEC. SECTION TOWNSHIP RANGE  
 4 4 S20 121W

8TH PRINCIPLE MERIDIAN  
 PARK COUNTY, WYOMING

FIELD WORK: ECR, MAS DATE: 08-04-2019  
 DRAWN BY: ECR SCALE: SEE DRAWING  
 CHECKED BY: RBB PROJ. #: 5177.001  
 PLOTTED DATE: Sep/12/2019  
 CLIENT: CITY OF CODY SHEET 1 OF 1

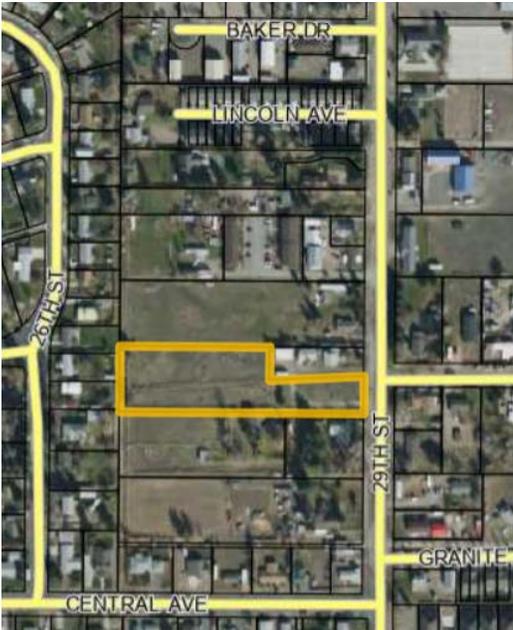
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**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	SEPTEMBER 24, 2019	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	CONCEPT PLAN REVIEW OF THE CODY LEGACY ESTATES PLANNED UNIT DEVELOPMENT. PUD 2019-01	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	X

**PROJECT OVERVIEW**

We have received an application from Bryan Edward of the Cody Legacy Inn, LLC for a planned unit development. The 1.9-acre property is located on the west side of 29<sup>th</sup> Street, just south of the East Carter Avenue intersection. It is currently vacant, located in the R-3 Residential zoning district and proposed to be developed with three 4-plexes and three duplexes.



“Planned Unit Development” (PUD) is a designation by the City, which if granted, allows the developer to propose their own development standards and density. The P&Z Board and Council reviews the PUD proposal and determines if the development plan is acceptable, based on the review criteria in the subdivision ordinance. The PUD ordinance is found in Title 11, Chapter 7 of the City code. Please note that if the Board believes that something needs changed (based on the review criteria of they ordinance), they can withhold granting the PUD unless they are satisfied.

The first step in the review process is the “Concept Plan Review and Obtaining PUD Designation”. The language of the 11-7-9(A) is:  
*“This is an opportunity for applicants to discuss requirements, standards and policies that apply to the proposed development and to identify major problems so that they can be resolved before a formal application is made. An initial discussion shall take place with the applicant, the public works director, and other appropriate city department representatives regarding the applicant’s conceptual proposal and any requirements, standards or policies that may apply. The general concept of the proposed PUD, presented as graphic sketch plans, shall be submitted by the applicant for review... Applicants are required to present conceptual plans to the planning, zoning*

*and adjustment board. The planning, zoning and adjustment board must designate the proposed subdivision as a PUD before being reviewed under this section."*

The applicant's representative met with the City Planner and Public Works Director, and later with the Fire marshal. They have now provided the attached application package for Board review.

In order to accommodate the applicant's desired schedule, staff is forwarding the materials to the Board without a complete written synopsis. Provided it is understood that the materials are presented for discussion only, so that any a major issue can be identified and discussed, staff is okay proceeding and verbally talking through the components of the application.

It also needs to be understood that the future review process includes neighbor notice and a public hearing. The language of the ordinance seems to indicate that the PUD designation must be granted before that occurs (at the concept plan review), yet doing so would exclude the public comment from being considered in that action. As such, staff would suggest that if the Board is agreeable in concept that they voice that, but not commit 100% to any specific development standard, such as setbacks from neighbors, until the time of preliminary plat review when the public hearing is held. The materials submitted exceed that of the Concept Plan Review, and staff does not want to give the impression that the entire package is "approved" at this stage of review.

Staff is planning to use the applicant's package as the framework for the discussion with the Board. Ideally the Board members will review that and Chapter 11-7 of the City Code in preparation for the meeting.

As a "heads up" on specific topics that will be brought up, here is a list. They are noted not to be critical of the project, but with the intent that the development be a success to the developer and be a good neighbor to existing and future neighboring development.

1. Are the uses in the common areas situated in the best manner to allow use by all of the residents? (Put drainage basin on both sides of the road near 29th Street and use the area east of the duplexes for a landscaped or play area?)
2. Is the developer committing to follow all standards of the R-3 zone that are not specifically outlined in the application? (home occupations, lot coverage, etc.)
3. Is a more detailed landscape plan needed?
4. Should the landscaping standards found in the supplemental standards for multi-family development (10-8-2(M)) be used as a guideline for landscaping on the individual lots?
5. Should a 5-foot rear setback be allowed on the back side of the duplexes? (across entire lot or only a portion?)

6. Talk through placement of utility boxes and services—units with side access not as much of an issue, but middle units would end up with everything on the front of the building if not planned otherwise.
7. Are the parking dimensions, placement of sidewalk, etc. adequate to avoid vehicles blocking the sidewalk? (Can buildings be shifted further north? Would require reduction of standard 15-foot rear setback on north units.)
8. Is a rock-lined detention facility really the intent of the common area requirement? —technically only roads, parking, and private yards are excluded. Options for grass? Buried infiltration trench?
9. What do they really mean by “dryscaped” common area? (No common area is proposed to be irrigated.)

### **ATTACHMENTS**

Application packet.



PLANNING, ZONING AND ADJUSTMENT BOARD  
PLANNED UNIT DEVELOPMENT APPLICATION

STAFF USE  
File: PUD2019 \_\_\_\_\_  
P&Z Invoice: \_\_\_\_\_

Owner or Applicant's Name: Bryan Edwards - Cody Legacy Inn LLC

Mailing Address: PO Box 2035, Cody, WY Zip: 82414

Phone: \_\_\_\_\_ Cell: 307.250.2253 Fax: \_\_\_\_\_ Email: bryanedwards71@yahoo.com

Project Address: West side of 29th Street at Carter Ave. Zone: R3

Legal Description: BRANTZ SUB. LOT 2 (EX. A SMALL PARC. ALONG THE S. LINE OF LOT 1) - (ALSO SHOWN AS LOT 102 ON BOUNDARY LINE ADJUSTMENT PLAT K-35) (1.92 AC.)

Description of Proposal and Proposed Use of Project: Develop vacant residential land. PUD application for Multi-family

Estimated Construction Start Date: Spring 2020

Representative Attending P&Z Meeting: Owner Bryan Edwards and Engineer Frank Page, PE, Morrison-Maierle

Signature of Property Owner: \_\_\_\_\_  
*Signature* *Date*

**REMEMBER:** **Submit a total of twelve (12) copies** of the application, plans, and any other information noted.  
**One (1) full size (24"x36")** scalable set of plans for staff review and  
**Eleven (11) reduced size (11"x17")** to be distributed to the Planning and Zoning Board  
**Submit a digital file** containing PDFs of each document submitted.

The deadline for submitting the application is by **4:00 PM.**

Please see attached meeting, submittal date and fee schedule.

**A. The Conceptual Plan should include:**

A description of the proposed PUD must be submitted and shall contain:

- A written explanation of the objectives to be achieved by the PUD.
- A written statement of the scope of the proposed development to include:
  - Architectural theme.
  - Uses of single-family and multi-family dwellings, townhouses, condominiums, commercial structures, and other proposed uses.
  - Approximate size and number of lots.
  - Availability of adequate or provision of adequate utilities, including raw water.
  - Availability of adequate or provision of adequate new streets.
  - Statement of compatibility of proposed PUD with adjacent land uses.
  - A graphic Conceptual plan describing the land uses to be permitted with each area.
  - A common area landscaping concept graphically illustrating the location and character of common area, recreational amenities, pathways, and other proposed site improvements.
  - A proposed phasing plan.

**B. The Preliminary Plan should include: (Included with this phase is a Public Hearing)**

- A list of abutting landowners of record and their addresses from the county assessor's office
- A description of uses and activities proposed within each area, including the following:
  - The type, sizes, and mixture of dwelling units.
  - The acreage or square footage of each use, including parking, roadways, easements, rights-of-way, and recreational areas.
  - The number of off-street parking spaces.

- Any other applicable restrictions such as building setbacks, structural height limits, access, grades, or widths of roads.
- The overall density for the entire PUD, as well as the ratio of common area in areas to be developed, stated on a percentage basis, including the number of square feet.
- A written statement by a registered professional engineer, which shall describe the following:
  - The proposed method and arrangement for connection to the municipal water system, and the projected usage and needs.
  - The proposed method and arrangement for connecting to the municipal sewer system, and the projected usage and needs.
  - The soil, geological, and ground water conditions of the site and the manner in which storm drainage will be handled.
  - The manner in which raw water or irrigation water will be provided.
- If the PUD is to be developed in phases, a description of each phase and an estimated date of completion for each phase. Any substantial change or alteration in the design of the PUD or completion schedule will require the owner to submit an amended plan in compliance with the most current rules and regulations adopted by the City of Cody.
- The applicant shall provide an estimate of water consumption and amount of sanitary sewer discharge based on the proposed land use plan.
- Appendices:    **Appendix 1 (Site Plans Check List) See Attached**  
                           **Appendix 2 (Traffic Impact Analysis Check List) See Attached**  
                           **Appendix 3 (Landscape and Common Area Plan Check List) See Attached**  
                           **Appendix 4 (Master Utility plan Check List) See Attached**  
                           **Appendix 5 (Drainage Study and Site Detention Plan Check List) See Attached**  
                           **Appendix 6 (Common Area Maintenance Plan Check List) See Attached**  
                           **Appendix 7 (PUD Design Objectives Review Forms) See Attached**
- Primary Contact.
- Scale not less than 1" = 100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Location/Boundaries tied to official government survey.
- Names and address of subdivider, designer of PUD, licensed PE or LS.
- Date of preparation.
- North Arrow.
- Exact bearings/distance dimensions.
- Total acreage.
- All proposed subdivided lands.
- All lands and owners adjacent to proposed lands within 200ft.
- Location/dimensions and names of proposed streets, typical cross-sections, alleys, easements, lot lines.
- Contour lines.
- Designated flood areas.
- Lot designated/lot size.
- Names of adjacent subdivisions.
- Existing Utilities including: location within subdivision, size, grade, type of material, approx. depth of bury, service locations.
- Existing Utilities including: location adjacent to subdivision, size grade, type of material, approx. bury depth.
- Proposed Utilities (conforming to city master plan) including: location within PUD, size, grade, type of material, approx. depth of bury, service locations.

- Drainage plan.
- Proposed Street and Traffic Signs.

**Supplemental Materials**

- Warranty Deed
- Copies of easements/rights of ways.
- Written requests for variances to regulations.
- Proposed Utilities systems.
- Water line design.
- Surface improvements.
- Any additional preliminary information pertaining to utility systems.
- Agreement for transfer of water rights to the city.
- Common Area
- CD containing digital files of all maps and drawings submitted for this application.
- Application fees due upon submittal to City of Cody.

**C. The Final Plan/Plat should include:**

- Scale of not less than 1"=100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Date of preparation.
- North arrow.
- Legal description of property to be divided.
- Primary control points.
- Tract boundary lines, right-of-ways lines (streets & easements), lot lines with accurate dimensions, bearings or angles.
- Curve data (spirals not permitted).
- Right-of-way widths for each street, alley or other right-of-way.

**Supplemental Materials**

- Statement from the state engineers office regarding water rights.
- Utility company statements.
- Covenants.
- Three sets of approved plans and specifications for improvements to be installed with appropriate signatures of federal agencies, local agencies and companies affected by development (ie. **DEQ Approval**).
- Deed for open space land to city or cash in lieu of open space received.
- Special requirements by P&Z or Council.
- Utility fees paid.
- Application fees due upon submittal to City of Cody.

**After Final Plat Approval by P&Z & Council**

- 2 Mylar copies of signed/sealed and filed final plat.
- Electronic copy of subdivision providing the following data:  
Prior to recordation of the Final Plat, electronic media shall be provided in AutoCad.dwg or AutoCad.dxf format, which contains the physical features of the survey for this development. The drawings shall be referenced to a known coordinate system. A Project (PRJ) file should be submitted. If not, include a text file with all the parameters describing the datum, projection and coordinate system used for the project. The drawings shall include either a data dictionary to explain the layers, or a self-explanatory layering system.

## Appendix 1. (Site Plans)

### A. Submittal Requirements

The site plan is a plot plan of the entire area to be developed, which shows location and size of buildings, the size and area of the land under consideration, street names and widths, parking area size, and all other items required on the following site plan checklist. A site plan is required for all PUDs, and must be prepared by an architect, a civil engineer, a land surveyor, or a planner and must comply with the standards and requirements set forth in this Appendix. A complete site plan application consists of:

- The site plan application form.
- Vicinity map (8 ½"x 11" or if less than one acre, a scale of 1":200')
- 12 copies of a site plan and site plan checklist.
- Drainage Study and Site Detention Plan, see appendix number 5.
- Traffic Impact Analysis; see appendix number 2.
- Master Utility Plan, see appendix number 4.
- Landscape Common Area Common area Plan; see appendix number 3.

#### Objectives:

- To insure compliance with Subdivision Regulations, and all drainage, safety, utilities, natural hazard, traffic, and easement provisions required by City rules, regulations, and plans.
- To provide a smooth transition between adjoining properties.
- To facilitate the review of new developments by appropriate departments of the City.
- To streamline the development application, review, and approval process.

### B. Site plan check list

All items on the following checklist must be addressed on a site plan. All proposed items addressed on the checklist must be included in the finished physical development as designated on the approved site plan.

- Legal description and common address of the proposed site.
- Title block stating names of project, name, address, and telephone number of owner and designer.
- Names and addresses of all abutting property owners and assessor's parcel number.
- Surrounding land uses and zoning on all abutting sides, including those lands separated from the site by a street, alley, or other roadway.
- Current zoning of the land under consideration and proposed zoning, if applicable.
- North arrow, scale of site plan to be 1"=10' or a multiple thereof, date site plan was prepared.
- Land area dimensions.
- Dimensions of all setbacks and heights of all proposed structures.
- Location and dimensions of all proposed off-street loading dock areas, including street access and traffic flow to these areas.
- Location of all trash receptacles.
- Dimensions and locations of all advertising signs and fences.
- Location of existing and proposed exterior lighting, heights of poles, and size and number of fixtures.
- Names and widths of all adjacent streets; dimensions and locations of all public and private roadways, streets, or driveways, both paved and unpaved, including rights-of-way, pavement width, and proposed uses of rights-of-way.
- Location and dimensions of existing and proposed curb cuts and sidewalks.
- Off-street parking spaces, locations and dimensions, layout, traffic control, compact and handicapped parking spaces, including all surface markings such as directional arrows.
- Types of ground or yard surfacing throughout, grass, paving, gravel, etc.
- Existing and proposed easements.
- Vicinity map at a scale of 1"=600' clearly indicating the location of the site.

**General notes that summarize:**

- Total land area in acres or square feet.
- Total building area in square feet (building footprint and total floor area).
- Percentage of land covered by buildings.
- Number and type (single family, duplex, etc.) of housing units.
- Structure height(s).
- Number of stories and square footage per story of leasable space.
- Total number of parking spaces.
- Square footage of parking area(s).
- Square footage of all landscaped areas and common areas.
- Percentage of site covered by landscaping.
- Existing and proposed contours in intervals acceptable to the City Engineer.
- Finish Floor Elevations and Architectural Elevations of the buildings(s) to be constructed (front, rear, side).
- Surface drainage plan for all sites.
- Pavement design report for parking areas.
- Traffic study, as required by City Engineer.

**Appendix 2. (Traffic Impact Analysis)**

**A. The traffic impact analysis shall include:**

- Land Use and Trip Generation
  - A table of each type of land use, the number of units or square footage, as appropriate.
  - Trip rates used (daily and peak hour) and resulting trip generation.
- Traffic graphics showing AM and PM peak and total site generated traffic.
- AM and PM Capacity Analysis
  - An AM and PM peak hour capacity analysis shall be provided for all major drive accesses that intersect collector or arterial streets and all arterial-arterial, collector-collector, and arterial-collector intersections within one mile of the site, or as directed by the Public Works Director.
- Location of approaches
- Circulation and channelization patterns
- Location and type of traffic-control devices
- Pedestrian systems
- Bicycle systems
- Projected turning movements
- Impact on surrounding existing street intersections
- Proposed actions to mitigate traffic impacts related to the proposed development.

**B. Report format shall be:**

- Trip Generation – using Institute of Transportation Engineers Trip Generation Manual.
- Trip Distribution
- Traffic Assignment
- Capacity Analysis
- Evaluation
- Recommended Access Plan, including access points, modifications and any mitigation techniques.

**C. Summary Analysis explaining:**

- The proposed access points for the project, their location, and the rationale for their placement in terms of circulation.
- Future off-site road improvements for the access, which roads they will be, the projected time frame for their

completion and who is responsible for their completion.

- ADT and level of service changes to all streets.
- How the PUD will minimize traffic impacts to existing streets.
- Describe bicycle and pedestrian pathways within the development, if used.

### **Appendix 3. (Landscape and Commons Area Plan)**

#### **Landscape and Common area Plan Check List**

All items on the following checklist must be addressed on a landscape and commons area plan. All proposed items addressed on the checklist must be included in the finished physical development as designated on the approved landscape and commons area plan.

- Scale:  $\frac{1}{4}'' = 1'-0''$  to  $1'' = 40'$
- Property lines, easements, and public rights-of-way, including clear vision triangles.
- All existing and proposed buildings or structures.
- Drive approaches, parking spaces, light standards, circulation and pedestrian walkways.
- Location and spacing of proposed plant materials.
- Location of existing trees or landscaping to be preserved or eliminated.
- Types and locations of new vegetation identified by botanical and common names and listed on a plant schedule.
- Size of materials to be used.
- Quantity of each planting material to be used.
- Types and location of inorganic landscaping material.
- Locations of walls, fences, and refuse storage areas.
- Methods of protecting the landscaped areas.
- Proposed treatment of all ground surfaces (concrete or asphalt paving, pavers, turf or gravel).
- For areas requiring watering or irrigation, specify the means this is to be accomplished, i.e., automatic lawn sprinkler system, and source of water.
- A performance bond or letter of credit for one hundred fifty (150) percent of the landscaping materials and labor cost shall be posted with the City of Cody to ensure complete and timely installation of the specified landscaping.

### **Appendix 4 (Master Utility Plan)**

#### **A. The utility plan shall include:**

- Title of development.
- Label "Master Utility Plan".
- Plans must be prepared in a format to drafting standards approved by the Planning Department at a scale between  $1''=20'$  and  $1''=50'$ .
- Existing and proposed street names labeled.
- Location of all proposed and existing lot lines.
- "Ties" to control points shall be indicated with the township, section and range indicated.
- Block and lot numbers.
- City of Cody Datum and Benchmark.
- Vicinity map ( $8 \frac{1}{2}'' \times 11''$ ) indicating site and adjacent streets. If site is less than one acre, map must be drawn at a minimum of  $1'' : 200'$ .
- Location of all proposed and existing easements and/or rights-of-way appropriately dimensioned.
- Topography indicated using 2-foot vertical contour lines on City of Cody datum.
- Scale and north arrow.
- Existing and proposed utilities (separation between utilities must be indicated).

- Pipe material, size, and class for all existing and proposed lines.
- Existing and proposed service lines (each proposed unit is to have separate sewer and water service).
- Location of service meters for water, gas, and electric.
- Angles at alignment changes.
- Test hole locations when applicable.

**B. Sewer System Plan Components**

- Locate and number all existing and proposed manholes.
- Dimensioned distances between manholes.
- Flowline elevations at all manholes.
- Field verification of all existing sanitary sewer service lines.

**C. Water System Plan Components**

- Show looping system or prove looping requirements not applicable.
- Existing and proposed fire hydrant locations.
- Dimensioned distances of all main line runs.
- Locate proposed new water taps.
- Raw water system, if applicable.

**Appendix 5. (Drainage Study and Site Detention Plan)**

For all sites, within a PUD, a drainage study and site detention plan shall be submitted to the Public Works Director. These documents shall comply with the City's Master Storm Drainage Plan and provide for surface drainage and present the effect surface drainage will have on the area under consideration and all abutting areas.

**Appendix 6 (Common Area Maintenance Plan)**

The developer shall submit a legal instrument to the Community Development Department setting forth a plan providing for the permanent care and maintenance of common areas, recreational areas, private streets, communally owned facilities, and parking lots. The City of Cody will submit same to the City Attorney and it shall not be accepted by the City of Cody until approved as to legal form and effect.

If the common area is deeded to a landowner's association, the applicant shall file the proposed documents governing the association. Such documents shall meet the following requirements:

- The landowners' association must be established before any residences are sold.
- Membership in the association must be mandatory for each owner.
- Common area restrictions must be permanent and not for a period of years.
- The landowners' association must be made responsible for liability insurance, taxes, and maintenance of recreational and other facilities.
- The association must have the power to levy assessments that can become a lien on individual premises for the purpose of paying the cost of operating and maintaining common facilities.
- The governing board of any such association shall consist of at least five (5) members who shall be owners of property in the PUD.

**Appendix 7 (PUD Design Objective Review Forms - FILL OUT)**

- Form 1 – All Development**
- Form 2 – Residential Development**
- Form 3 – Commercial Development**
- Form 4 – Industrial Development**

## PROCESS

1. Owner or representative submits all the required information as outlined within this application to the Community Development Department and pays fees listed below.

<b>P&amp;Z Development/Application Fees</b> - Fees Listed Below:		
<b>Per Ordinance 2015-01 – Enacted January 20, 2015 – P&amp;Z Development/Application Fees – Due at the time of Submittal.</b>		
<b>Conceptual Plat</b>	<b>\$250.00</b>	✓
<b>Preliminary Plat</b>	<b>\$250.00</b>	
<b>Minor Adjustment</b>	<b>\$100.00</b>	
<b>Major Adjustment</b>	<b>\$200.00</b>	
<b>Final Plat</b>	<b>\$225 + \$21.00 per lot</b>	
<ul style="list-style-type: none"><li>• <b>Applications WILL NOT BE REVIEWED until application/development fees have been paid. It is the responsibility of the customer to present receipt of payment or inform Planning Department staff of payment.</b></li><li>• <b>A fee will be charged for each re-submittal of a plan.</b></li></ul>		

2. The Community Development Department staff distributes your application to all divisions for review (electric, water, wastewater, sanitation, street, building and engineering). There is a 4 week review period for all extensive site development plans submitted. Please use calendar below to determine the meeting date where your item will be presented before the Planning & Zoning Board.
3. The Community Development Department will provide a response to your request within 4 weeks of your submittal. Each phase of development (i.e. conceptual plans, preliminary plans and final plans/plats) is reviewed in the same manner.
4. If necessary, a meeting can be arranged between the owner/applicant with appropriate city staff to review the project and address any questions or concerns.
5. Your item is added to a Planning, Zoning and Adjustment Board meeting agenda. The Board will then review your proposal and make a recommendation to City Council for each phase of development review.
6. Your application is presented to City Council for review, approval or denial for each phase of development.
7. After final plat has been approved, applicant has 100 days to file the plat at the courthouse to make it public record and begin selling parcels in said subdivision.

# 7a CODY PUD REVIEW – ALL DEVELOPMENT

## Application

All land uses within a proposed Planned Unit Development shall be reviewed against, and comply with, the applicable objectives and criteria of the mandatory "All Development" group. If answers are other than "yes" or "no," provide supporting information.

REQUIRED CRITERIA:

### NEIGHBORHOOD COMPATIBILITY

1. Is the development compatible with, and sensitive to the immediate environment of the site and the adjacent neighborhoods relative to building bulk and height, neighborhood identity, landscaping, historical character, orientation of buildings on the site and visual character?
2. Is the project designed so that additional traffic generation beyond what may be approved for underlying permitted uses does not have a significant adverse impact on adjacent and surrounding development?
3. Is the development in accordance with the adopted elements of the Cody Master Plan?

### PUBLIC FACILITIES, SERVICES AND TRANSPORTATION

1. Does the development comply with all City design standards, requirements and specifications for the following services?

- |                    |                        |
|--------------------|------------------------|
| Cable Television   | Storm Drainage         |
| Electricity        | Streets                |
| Fire Protection    | Telephone              |
| Flood Hazard Areas | Trails/Walks/Bikeways  |
| Natural Gas        | Water Supply           |
| Sanitary Supply    | Solid Waste Collection |
| Raw Water          |                        |

2. Will the sewage generated by the development exceed the sanitary sewer system line and treatment capacity?
3. Will an adequate water supply exist to serve the development?
4. Will an adequate electrical power supply exist to serve the development?
5. Will the City street system be capable of handling the development's traffic generation?
6. Does the development provide adequate access for emergency service?
7. Are all vehicular use areas and exterior building areas provided with adequate security lighting?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
✓		
✓		
✓		
<u>YES</u>	<u>NO</u>	<u>N/A</u>
✓		
	✓	
✓		
✓		
✓		
✓		
✓		

**NATURAL RESOURCES**

1. Have precautions been taken to minimize hazards to life or property due to any natural resources or conditions?
2. Have known areas of natural or geological hazard (e.g. unstable or potentially unstable slopes, faulting, landslides, rockfalls, flood and wildfire, etc.) or soil conditions unfavorable to urban development had special engineering precautions taken to overcome natural constraints, or have these areas been set aside from development?
3. Does the project preserve or replace existing natural vegetation?
4. Have special precautions been taken to preserve existing wildlife habitats, natural wildlife food sources, or are these areas being preserved?
5. If the proposed project is located within a locally designated Historical District or includes a locally designated landmark structure, is the project in conformance with the applicable regulations and/or ordinances?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
		✓
		✓
✓		
		✓
		✓

**ENVIRONMENTAL STANDARDS**

1. Will the project conform to applicable local, state and federal air quality standards, including, but not limited to: odor, dust, fumes or gases which are noxious, toxic or corrosive, suspended solid or liquid particles, or any air contaminant which may obscure an observer’s vision or impair breathing?
2. Will the project conform to applicable local, state and federal water quality standards, including, but not limited to: erosion and sedimentation, runoff control, discharge of solid wastes, and discharge of hazardous substances?
3. Can the proposed land uses and activities be conducted so that noise generated shall not disrupt neighboring land uses? Detailed plans for the elimination of objectionable noises are required before the issuance of a building permit.
4. If the proposed activities produce glare or heat, whether direct or reflected, is the operation conducted within an enclosed building or with other effective screening in such a manner as to make such glare or heat completely imperceptible from any point along the property line? Detailed plans for the elimination of glare or heat are required before issuance of a building permit.
5. Is the exterior lighting, except for warning, emergency or traffic signals, installed in such a manner that the light source is shielded to prevent excessive glare on public streets and walkways or into any residential area? The installation or erection of any lighting, which may be confused with warning signals or traffic signals, shall not be permitted.
6. Will all sewerage and industrial wastes be treated and disposed of in such a manner as to comply with applicable local, state and federal standards? Detailed plans for waste disposal are required before issuance of a building permit.

<u>YES</u>	<u>NO</u>	<u>N/A</u>
✓		
✓		
✓		
		✓
✓		
✓		

**SITE DESIGN**

1. Are the elements of the site plan (e.g. buildings, circulation open space and landscaping, etc.) arranged on the site so that the activities are integrated with the organizational scheme of the community and neighborhood?
2. Are the elements of the site plan (e.g. buildings, circulation, open space and landscaping, etc.) designed and arranged to produce an efficient functionally organized and cohesive Planned Unit Development?
3. Is the design and arrangement of elements of the site plan (e.g. buildings, circulation, open space and landscaping, etc.) in harmony with the existing natural topography, natural water bodies and watercourses, existing vegetation, and other related factors?
4. Does the design and arrangement of elements of the site plan (e.g. building construction, orientation and placement, transportation networks, selection and placement of landscape materials) contribute to the overall reduction of energy use by the project?
5. Are the elements of the site plan (e.g. buildings, circulation, common area and landscaping, etc.) designed and arranged to maximize the privacy by the residents of the project?
6. Does the design and arrangement of buildings, streets, signs and common areas contribute to the overall aesthetic quality of the site configuration, and provide the required minimum common area?
7. Does the street and parking system provide for the smooth, safe and convenient movement of vehicles both on and off the site?
8. Does the development satisfy the parking capacity requirements of the City of Cody and provide adequate space suited to the loading and unloading of persons, materials and goods from vehicles?
9. Is the active recreational area suitably located and accessible to the residential units it is intended to serve and is adequate screening provided to ensure privacy and quiet for neighboring residential uses?
10. Is the pedestrian circulation system designed to assure that pedestrians can move safely and easily both within the site and between properties and activities within the neighborhood?
11. Is the development being properly integrated into development and circulation patterns of adjacent and nearby neighborhoods?
12. Does the pedestrian circulation system incorporate design features to enhance convenience, safety and amenity across parking lots and streets, including, but not limited to, paving patterns, grade differences, landscaping and lighting?
13. Does the pedestrian and bicycle trail system adequately connect to the systems in adjacent developments?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
✓		
✓		
✓		
		✓
✓		
✓		
✓		
✓		
✓		
✓		
✓		
✓		
		✓

- 14. Does the landscape plan enhance the appearance of vehicular use, open space and pedestrian areas which contribute to their usage and visual appearance?
- 15. Does the landscaping plan enhance the appearance of the buildings?
- 16. Does the landscape plan screen utility boxes, parking areas, loading areas, trash containers, outside storage areas, blank walls or fences and other areas of low visual interest from roadways, pedestrian areas and public view?
- 17. If the development is adjacent to an existing or approved public park or public open space area, have provisions been made in the site plan to avoid interfering with public access to that area?
- 18. Will all signs in the project be in compliance with the provisions of the City of Cody sign code?
- 19. Will all signs in the project be compatible in scale and character to neighboring development?

✓		
✓		
✓		
		✓
✓		
✓		

## 7b CODY PUD REVIEW – RESIDENTIAL DEVELOPMENT

### Application

Planned Unit Developments in residential areas may include a variety of housing types, designed to enhance the natural environment, conserve energy, recognize and, to the extent possible, preserve and promote the unique character of neighborhoods with provisions for a mix of limited commercial development. Commercial development must be sited and designed such that the activities present will not detrimentally affect the adjacent residential neighborhood.

#### REQUIRED CRITERIA:

1. On a gross acreage basis, is the average density in the project at least three (3) dwelling units per acre (calculated for residential portion of the site only)?
2. Does the project provide for outdoor areas (e.g. private yards, patios and balconies, etc.) for use by the residents of the project, which are sufficient in size and have adequate light, sun, ventilation, privacy and convenient access to the household unit they are intended to serve?
3. Does the project provide for outdoor areas for use by the residents as recreational, active or passive, activities?
4. Does the project encourage a mix of land uses?
5. Is the project within one (1) miles of an existing or approved public school, child care center, major employment center, or public neighborhood or community park?
6. Is the project within two (2) miles of an existing or approved community/shopping center?
7. Is the project within one-half (1/2) mile of an existing collector or arterial street?
8. If offices or commercial development are proposed within the project, is less than twenty percent (20%) of the PUD designated to be used for offices or commercial activities?
9. If the project contains commercial development, is the project located at the intersection of arterial streets or arterial and collector streets?
10. In a mixed-use project containing commercial development, has the project been sited and designed such that the commercial activities present will not negatively affect the adjacent on-site residential uses and has the commercial area been developed at a scale compatible with residential development?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
✓		
✓		
✓		
		✓
✓		
✓		
✓		
		✓
		✓
✓		

## 7c CODY PUD REVIEW – COMMERCIAL DEVELOPMENT

### Application

Planned Unit Developments in commercial areas may include commercial and/or multi-family development, however, adequate but controlled access to arterial streets is essential. Activities would include a broad range of retail and service establishments designed to serve consumer demands to the City of Cody and adjacent areas.

#### REQUIRED CRITERIA

1. Are all refuse storage facilities planned to take place within an enclosed structure or completely screened from off-site view?
2. Is the project contiguous to an arterial street?
3. Does the project contain at least one acre of land?
4. Does the project contain two or more significant uses (for instance, retail, office, residential, hotel/motel and recreation)?
5. Is there direct vehicular and pedestrian access to on-site parking areas?
6. Does the project encourage infill with at least ¼ of its property boundary contiguous to existing development?
7. If the project includes residential development, have exceptional or unique design methods been incorporated to mitigate the impacts of conflicting land uses (i.e. landscape and architectural design, extensive open space, recreation center(s), maximum traffic efficiency, screening of residential parking)?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
		✓
		✓
		✓
		✓
		✓
		✓
		✓

## 7d CODY PUD REVIEW – INDUSTRIAL DEVELOPMENT

### APPLICATION

Planned Unit Developments in industrial areas may include employment, wholesaling, manufacturing and utility centers for the community, the particular type of uses will be determined based upon its potential impact upon adjacent land uses and the intensity of development.

*REQUIRED CRITERIA:*

Each of the following criteria must be answered “yes” and implemented within the development plan.

1. Have all the necessary precautions been taken to prevent all lubricants, hazardous materials and fuel oil substances, which are stored on the site, from leaking or draining into the groundwater system, streams, creeks, or other water bodies?
2. Are all repair, painting and body work activities, including the storage of refused and vehicular parts planned to take place within an enclosed structure or completely screened from off-site view?
3. Is the project located adjacent to an arterial or collector street that provides adequate access to the site?
4. Is the project developed such that the least intense uses will be located along arterial streets, where visibility to the public is likely; and more intense uses such as heavy industrial uses and warehousing activities will be located away from the arterial streets, buffered by the other uses?
5. Does the project utilize a landscaping theme that will tie adjacent uses or projects together?
6. Is the project visually compatible with neighboring uses?

<u>YES</u>	<u>NO</u>	<u>N/A</u>
		✓
		✓
		✓
		✓
		✓
		✓
		✓

**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

**EDWARDS 29<sup>TH</sup> STREET  
PLANNED UNIT DEVELOPMENT APPLICATION  
EXHIBIT A  
SUPPLEMENTAL INFORMATION**

**1. OBJECTIVES**

This proposed Plan Unit Development is located on the West side of 29<sup>th</sup> street just south of the intersection with Carter Avenue. The development anticipates it will provide 12 residential family units in the form of 3 fourplex buildings, initially. The fourplexes will offer a low maintenance exterior combined with a quality 3-bedroom, 2-bath and a single car garage. The second phase to be developed after the fourplexes are complete, include three duplexes that would provide an additional six residential family units with 2-bedrooms, 2- baths and a single car garage.

**2. SCOPE**

1.01 **ARCHITECTURAL THEME**

The proposed architectural for the initial phases will be two story craftsman style town houses with single car garages, and full unfinished basements featuring front porches with river rock accented columns. As shown in Exhibit C, the facade will include vertical and horizontal siding with rustic accents, using earth tone colors.

1.02 **USES**

The proposed development includes, the initial phase includes two (2) - fourplex multi-family units, on the northwest portion of the property.

- Single car garage
- 4 Bedrooms
- 3 1/2 Bathrooms
- Full unfinished basement

2<sup>nd</sup> Phase will include, the third fourplex multi-family unit.

- Single car garage
- 4 Bedrooms
- 3 1/2 Bathrooms
- Full unfinished basement

After the fourplexes are constructed and sold, the proposal is for three (3) additional, duplex multi-family units, on the southwest portion of the property. The duplexes have not been designed at this time. The site plan shows the proposed, maximum size building envelope.

- Single car garage
- 2 Bedrooms
- 2 Bathrooms
- Full unfinished basement

## **CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

The remainder of the property, will be used for roads, drainage facilities, landscaping and common areas.

A sidewalk will be provided along the southside of the access road for pedestrian access from the residential area to 29<sup>th</sup> Street.

Multifamily dwellings will be exclusively used on this location. Fourplex's will be utilized on the Northside of the access road and will be built first. Duplexes will be built on the southside of the road and will be constructed at some point in the future after the completion of the fourplexes.

### **1.03 APPROXIMATE SIZE AND NUMBER OF LOTS**

This subdivision will consist of 18 lots of varying sizes as indicated on Exhibit B, Sheet C-1. The north lots of the subdivision will be comprised of 12 individual lots across 3 fourplex buildings. The lot line will between individual residential units will be along the center wall (common wall) of the fourplex. The building end lots will be 27 feet in width and the interior building lots will be 22' in width. All of the north lots will be roughly 93 feet in length and approximately 2520 square feet and 2050 square feet respectively.

The southern lots will be composed of 6 individual lots across 3 fourplex buildings. All of the lots will be 38.81 feet in width and roughly 70 feet in length. The duplex lots will be roughly 2,750 square feet.

The total lot size to be developed is 1.96 acres total. 18 units are planned on the site for a total density of 9.18 units per acre in the development.

### **1.04 AVAILABILITY OF ADEQUATE OR PROVISION OF ADEQUATE UTILITIES INCLUDING RAW WATER**

Proposed utilities are shown on Exhibit B Sheet C-3.

**Water** - Treated water is available from a 6" treated water line in 29<sup>th</sup> street and will run along the northside of the access road though the subdivision ending at the south end of the "hammer head" turn around. Park County Fire District #2 (Cody Fire) requires a maximum spacing of fire hydrants to not exceed 600 Feet. The new 8" water line will have to cross a second 10" water main, a 6-inch gas main and communication lines located in the 29<sup>th</sup> Street right-of- way.

The closest, existing fire hydrant is located at the intersection of 29<sup>th</sup> Street and Central Avenue approximately 495 feet south of the proposed access road to the development. Three new hydrants are proposed and will be connected to the new water line to provide adequate fire suppression for the structures. One hydrant will be placed along the west side of the 29<sup>th</sup> Street right-of-way. A second fire hydrant will be located on the northside of the access road, prior to the first new residential structure, near the middle of the development. A third fire hydrant will be

## **CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

placed at the south end of the “Hammer Head” turn around to provide a flushing point for the dead in line.

The Developer’s contractor will coordinate with the City for the residential unit connection. The Developer’s contractor will provide all labor, materials and equipment for the individual residential water service connections.

**Sewer-** Sanitary sewer is available on the east side of 29<sup>th</sup> street running from south to north. The existing sanitary sewer main is a 10 inch sewer main. The new 8” sanitary sewer line will run along the southside of the access road into the subdivision.

The treated water and sanitary sewer will be spaced 10 feet apart pre WYDEQ regulations and to allow for one cut to be made into 29<sup>th</sup> Street and minimize the disturbance area on 29<sup>th</sup> street. This will also minimize the road closure time on 29<sup>th</sup> street due to construction.

The Developer’s contractor will coordinate with the City for the residential unit connection. The Developer’s contractor will provide all labor, materials and equipment for the individual residential sewer service connections.

**Electric –** City of Cody electric power is available at two locations on the site. The primary power source the City would prefer to use is the power pole located on the southwest corner of the lot.

The City has expressed interest in running power from the western lot line to the eastern lot line along 29<sup>th</sup> street to improve looping in the City’s power grid.

The City has mentioned cost sharing on connecting the power lines the additional distance from the west line lot line to the east lot line which would be desirable and beneficial to all parties involved. City electric will provide a proposed electric layout and cost estimate for the underground electric system. The City will provide electrical wire and equipment to the developer at City cost. The City will provide installation of the electric infrastructure to the City system and the Developer will reimburse the City, for the City’s costs. The Developer’s electrical contractor will coordinate with the City for the residential unit connection. The Developer’s electrical contractor will provide all labor, materials and equipment for the individual residential electric service connections.

All street lighting and exterior residential lighting will comply with existing developmental standards. All luminaires will be a full cut off and dark sky design and compliant.

**Raw Water -** A City raw water line (unknown) is located along the west edge of the property and is available for use. The City has expressed interest in extending the raw water line to run from the west edge of the lot to the eastern edge along 29<sup>th</sup> street, with the possibility for cost sharing with the City.

The Developer’s contractor will coordinate with the City for the residential raw water connection. The Developer’s contractor will provide all labor, materials and equipment for the individual residential raw water service connections.

## **CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

**Communications** – Private fiber optic lines run along the western edge of the 29<sup>th</sup> street right-of-way and are available to provide communication to the development. Extending the fiber optics and communication lines to the individual residential units will be coordinated during the design and construction of the public improvements.

**Natural Gas** - A 6-inch Black Hills Energy line runs along the western edge of 29<sup>th</sup> street. Black Hills Energy has been contacted by the Developer who is coordinating the connection to this line. Extending the gas lines to the individual residential units will be coordinated during the design and construction of the public improvements.

**Storm Water** – The City has no storm sewer infrastructure located in the area of the site. All of the storm water from the site will be routed via surface flow towards the southeast corner of the site where it will be collected in a detention pond. A formal drainage report that includes sizing of the detention pond, will be prepared as part of the preliminary plans. The site grading, drainage and detention facility will be prepared in compliance with the City of Cody Stormwater Management Plan, latest edition.

Exhibit B, Sheet C-2 shows a preliminary drainage concept with proposed overland flow routing, and a proposed storm water detention area.

### 1.05 **AVAILABILITY OF ADEQUATE OR PROVISION OF ADEQUATE NEW STREETS**

The City has indicated that traffic volume and existing level of service on 29<sup>th</sup> Street is adequate to handle the additional traffic from the proposed development. A formal traffic study has not been requested due to the traffic volumes, location and the number of lots.

The proposed access road will not line up with Carter Avenue to the east of the site due to existing site constraints, and property ownership. While the offset intersection is not preferred, the traffic volume, 30 MPH residential speed limit, and adequate and clear sight distance along 29<sup>th</sup> Street, and installation of an MUTCD compliant Stop sign will provide for an adequate and safe street access point.

Proposed Street names have been submitted to the City/County Street Naming committee for consideration. The street names presented for consideration are Louisa Lane, Louisa's Way and Legacy Lane.

The City and Park County Fire District #2 have preliminarily approved the alignment, conceptual design and layout of the access road. The use and configuration of the "Hammer Head" turn around, which meets Park County Fire District #2 and International Fire Code requirements has been accepted.

**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

**1.06 PARKING CODE REQUIREMENTS**

Phase 1 – Two Fourplexes

Code requirement 3 & 4 Bedroom Units is 2 ½ spaces per unit. For two 2 - Fourplex's

8 Units at 2 ½ spaces per unit =	20 spaces
Garage space	8 spaces
<u>Drive way space</u>	<u>8 spaces</u>
Additional spaces required	4 spaces

Phase 2 – One Fourplex

Code requirement 3 & 4 Bedroom Units is 2 ½ spaces per unit. For one - Fourplex

4 Units at 2 ½ spaces per unit =	10 spaces
Garage space	4 spaces
<u>Drive way space</u>	<u>4 spaces</u>
Additional spaces required	2 spaces

Phase 3 – Two duplexes

Code requirement 1 & 2 Bedroom Units is 2 spaces per unit. For two - Duplexes

4 Units at 2 spaces per unit =	8 spaces
Garage space	4 spaces
<u>Drive way space</u>	<u>4 spaces</u>
Additional spaces required	0 spaces

The additional number of parking spaces required for the ultimate development is a total of six spaces, that will be located at the east end of phase 1 as indicated on Exhibit B Sheet C-1.

**1.07 COMPATIBILITY OF PROPOSED PUD WITH ADJACENT LAND USES.**

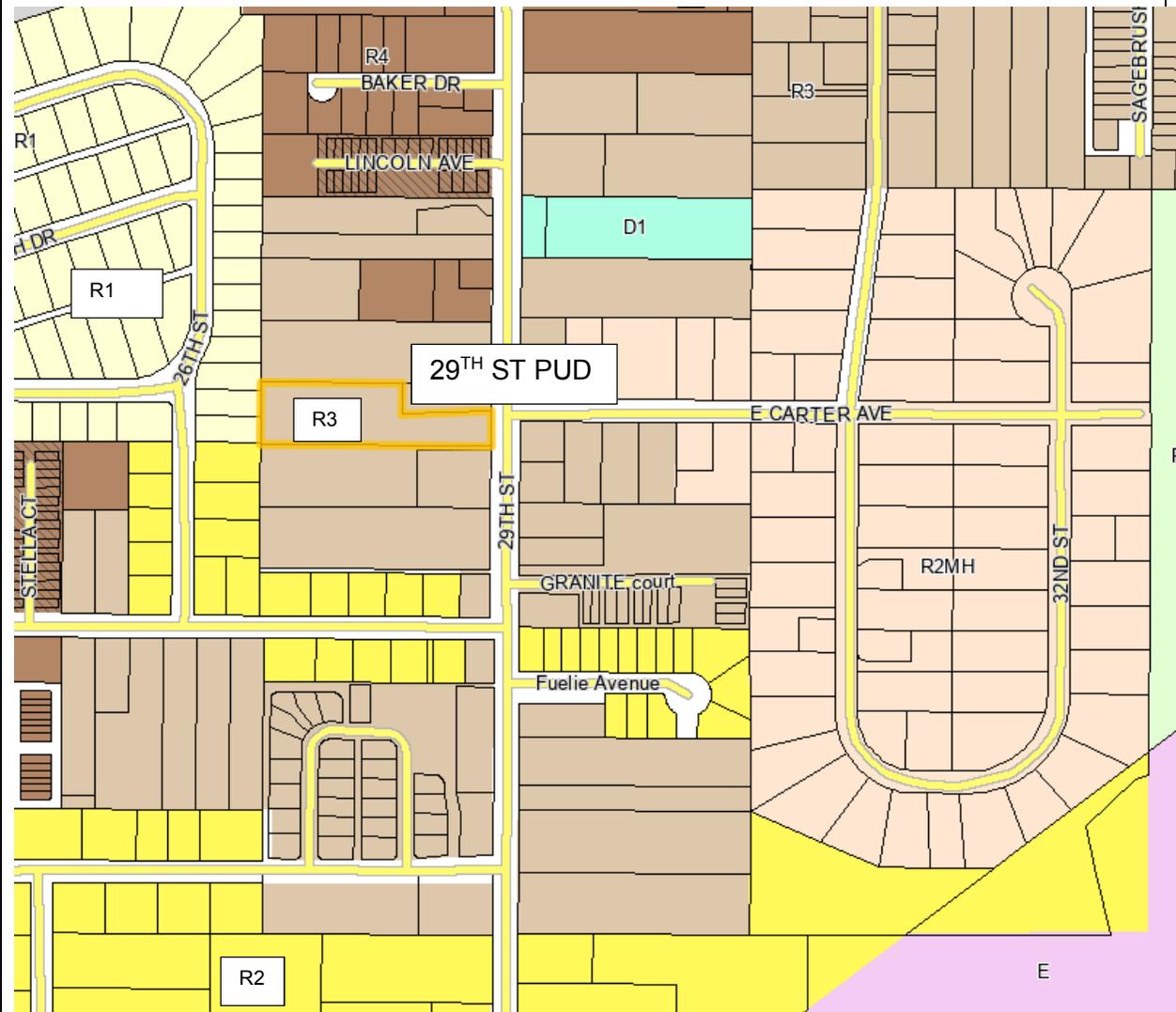
The existing parcel is in City Zoning R-3 Medium-High Density Residential. The adjacent land uses as indicated in Figure 1 below. The adjacent uses are:

- North R3 Medium-High Density Residential
- East R3 Medium-High Density Residential
- South R3 Medium-High Density Residential
- West R1 Single Family Residential

Further away from the immediate area include R2-Medium-Low Density Residential, R4-High Density Residential, D1-Limited Business and E- Industrial (Airport property)

The adjacent zoning and land uses are all residential low to medium-high density. The proposed PUD development is and will be compatible with the adjacent land uses.

**FIGURE 1 – ADJACENT LAND USES**



**LEGEND**

- |    |                                 |    |                  |
|----|---------------------------------|----|------------------|
| R1 | Single Family Residential       | D1 | Limited Business |
| R2 | Medium-Low Density Residential  | E  | Industrial       |
| R3 | Medium-High Density Residential |    |                  |
| R4 | High Density Residential        |    |                  |

Source: Park County Mapper

**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

**1.08 CONCEPTUAL PLAN**

The Conceptual Site Plan is attached as Exhibit B and consists of the following plan sheets:

- A. Cover Sheet with Vicinity Map
- B. C-1 Site Plan
- C. C-2 Site Grading & Drainage Plan
- D. C-3 Site Utilities

**1.09 LANDSCAPING PLAN**

A common area landscaping concept will be simple, clean and maintainable. The backyards of the residential units will lawn with trees and shrubs, maintained by the property owner. The remaining open space, common areas and drainage facilities will be dryscaped area, with river rock trees and shrubs to be maintained by the HOA. graphically illustrating the location and character of common area, recreational amenities, pathways.

The common area along the access road will be lined with evergreen trees spaced every 10 to 20 feet as recommended by the landscape contractor.

**1.10 PROPOSED PHASING PLAN**

The required public improvements, utilities and site grading will be constricted as soon as all necessary approvals and permits are in place. This includes the following key facilities:

1. Water System, including residential service stub-outs
2. Sanitary Sewer System, including residential service stub-outs
3. Raw Water stub outs
4. Site Grading and Drainage Facilities
5. Gas, Electric and Communication Facilities, including residential service stub-outs

Concurrent with the public infrastructure construction, and once building permits are obtained, the first two fourplexes on the northern side will be constructed. Once the public improvements and the two fourplexes are completed and sold the final fourplex will be constructed.

The fourplexes and infrastructure will be constructed first with the duplexes constructed at a later date.

**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT A**

1.11 **PUD EXCEPTIONS**

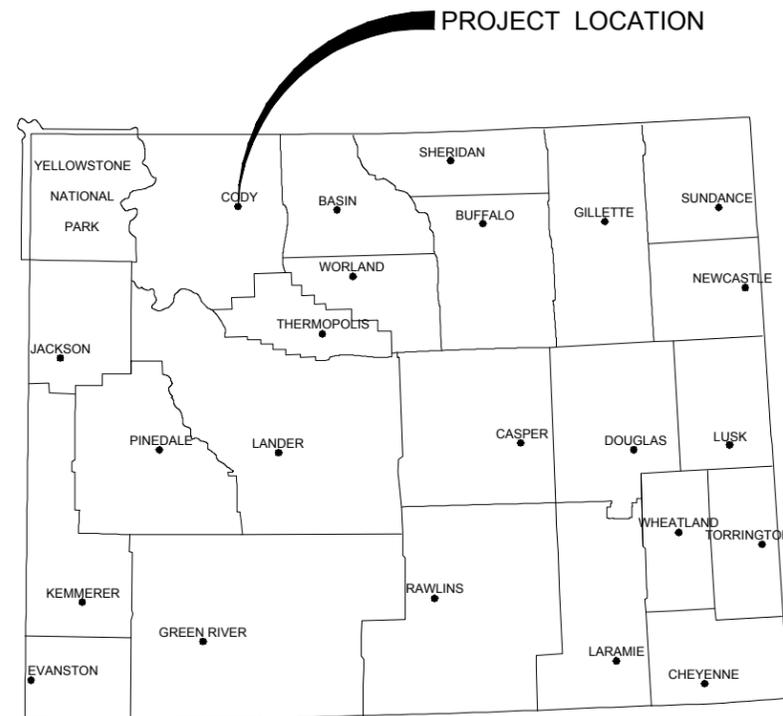
At this point the following variance to standards have been identified:

1. 10-foot set back on the south lot line needs to be 5' to maintain 25 feet parking stall length.
2. Garage front set back needs to be 25 feet for full size pickup parking.
3. Setback at hammerhead to building was identified and found to be acceptable by Todd
4. Common Areas are to be a minimum of 20% total area and are all areas that are not hardscaped. The drainage area does not count towards the common areas requirement.
5. Public Use area SF required can be paid by the developer as a fee to the city instead of provided in the development based on County Assessor valuation.
6. There may be others as the site plan progresses.

**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT B**

# EXHIBIT B CODY LEGACY ESTATES 29TH STREET P.U.D. - CONCEPTUAL PLAN CODY, WYOMING SEPTEMBER 2019

PREPARED BY:  
  
 engineers ■ surveyors ■ planners ■ scientists  
 1402 Stampede Avenue, Cody, WY 82414  
 307.587.6281 www.m-m.net



**LOCATION MAP**  
NOT TO SCALE

SHEET INDEX		
SHT. NO.	DWG. NO.	TITLE
0	G-0	TITLE SHEET
1	C-1	SITE PLAN
2	C-2	GRADING AND DRAINAGE PLAN
3	C-3	SITE UTILITIES

**PRELIMINARY PLANS**  
SEPTEMBER 2019



**VICINITY MAP**  
SCALE: 1" = 300'



APPROVED BY: FRANK PAGE, P.E.  
PROJECT MANAGER NAME  
Project Manager

APPROVED BY: BRYAN EDWARDS, CODY LEGACY LLC.  
CLIENTS NAME  
CLIENTS POSITION

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VERIFY COLOR!  
THIS SHEET IS INTENDED TO BE IN COLOR. RED, GREEN AND BLUE WILL BE VISIBLE IF REPRODUCED CORRECTLY.



SET NO. \_\_\_\_\_

MORRISON-MAIERLE PROJECT NO. 6357.002.01

**LEGEND**

-  PROPOSED BUILDING FOOTPRINT
-  PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK
-  PROPOSED ASPHALT
-  PROPOSED CONCRETE PAVEMENT

WILLIAM D. KRAMP JR.  
PARK COUNTY DOC #: 2013-5341

PATTI D. SMITH  
PARK COUNTY DOC #: 2019-3506

JAMES I. & JEANETTE McMANHILL  
PARK COUNTY DOC #: 0029 CONV. 00912

FREDRICK A. & JULIE ANN SNELSON,  
PARK COUNTY DOC #: 2019-2846

NOLAN, GERALD C. TRUSTEE  
PARK COUNTY DOC #: 2015-6709

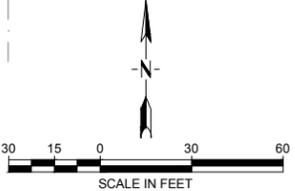
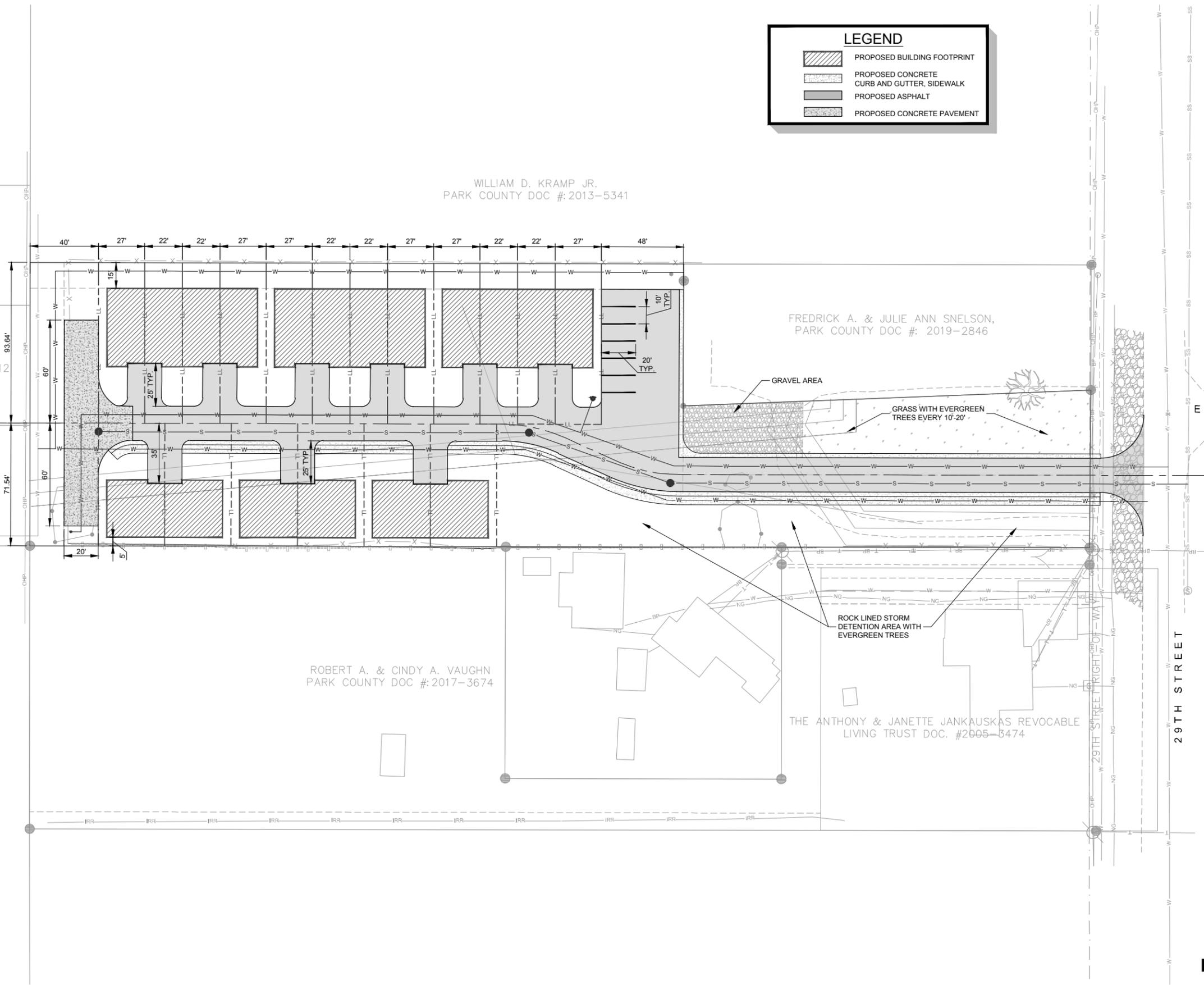
JOSEPH AND SARA BECKER  
PARK COUNTY DOC #: 2018-1207

ROBERT A. & CINDY A. VAUGHN  
PARK COUNTY DOC #: 2017-3674

THE ANTHONY & JANETTE JANKAUSKAS REVOCABLE  
LIVING TRUST DOC. #2005-5474

E. CARTER AVE.

29TH STREET



**PRELIMINARY PLANS**  
SEPTEMBER 2019

REVISIONS				
NO.	DESCRIPTION	BY	DATE	

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DSGN BY: JMK  
APPR BY: FP  
DATE: 09/2019  
Q.C. REVIEW BY:    
DATE:  

**BRYAN EDWARDS  
CODY LEGACY ESTATES**

**CODY**

**WYOMING**

**SITE PLAN**

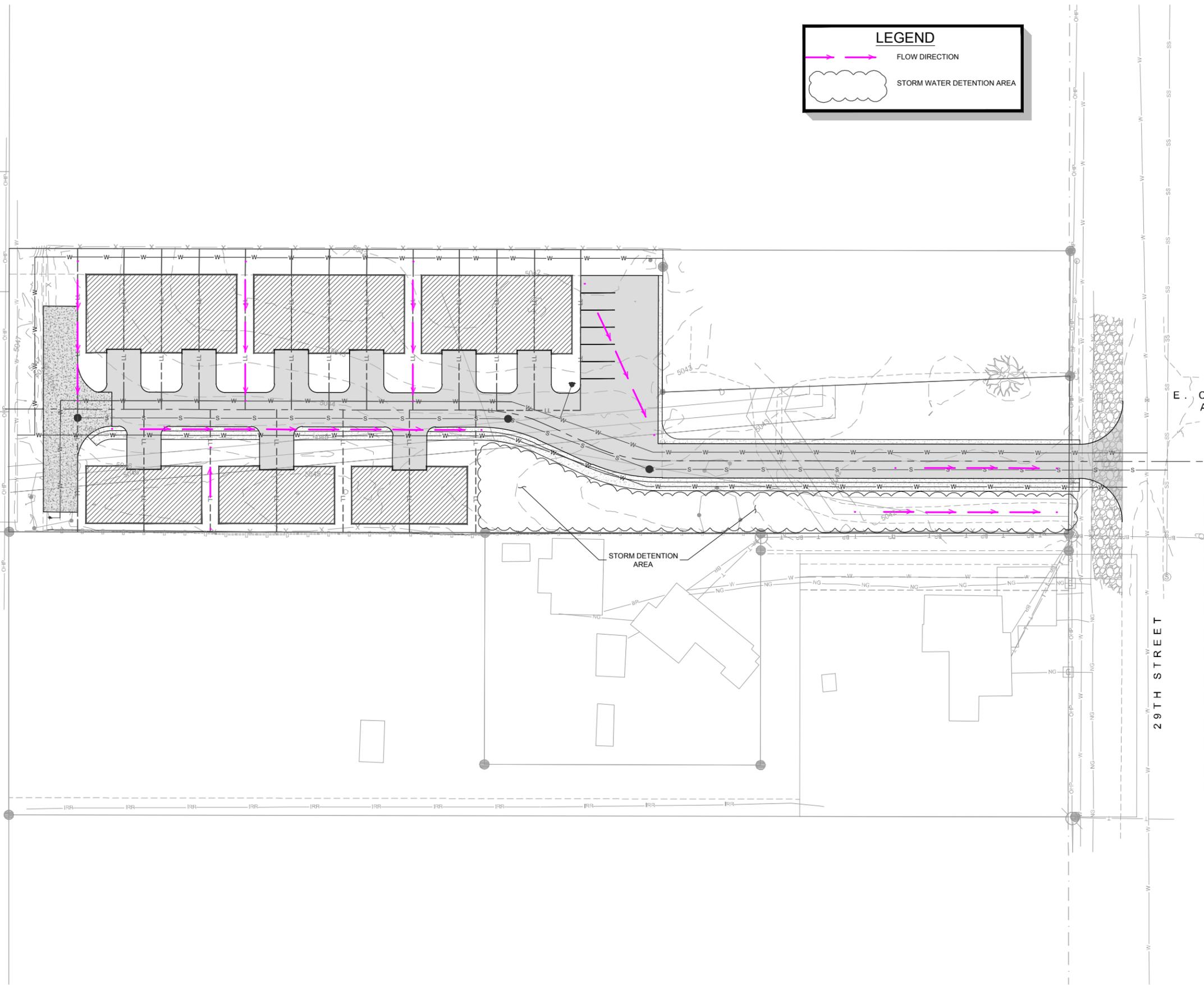
PROJECT NUMBER  
6357.002.01  
SHEET NUMBER  
1  
DRAWING NUMBER  
**C-1**

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**LEGEND**

→ FLOW DIRECTION

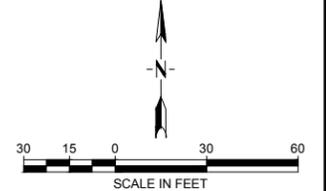
☁ STORM WATER DETENTION AREA



E. CARTER AVE.

29TH STREET

STORM DETENTION AREA



**PRELIMINARY PLANS**  
SEPTEMBER 2019

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DATE: 09/2019  
Q.C. REVIEW  
BY:  
DATE:

**CODY**

BRYAN EDWARDS  
CODY LEGACY ESTATES

WYOMING

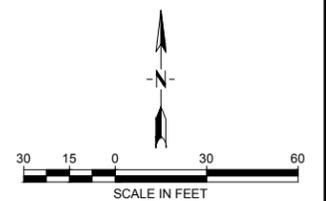
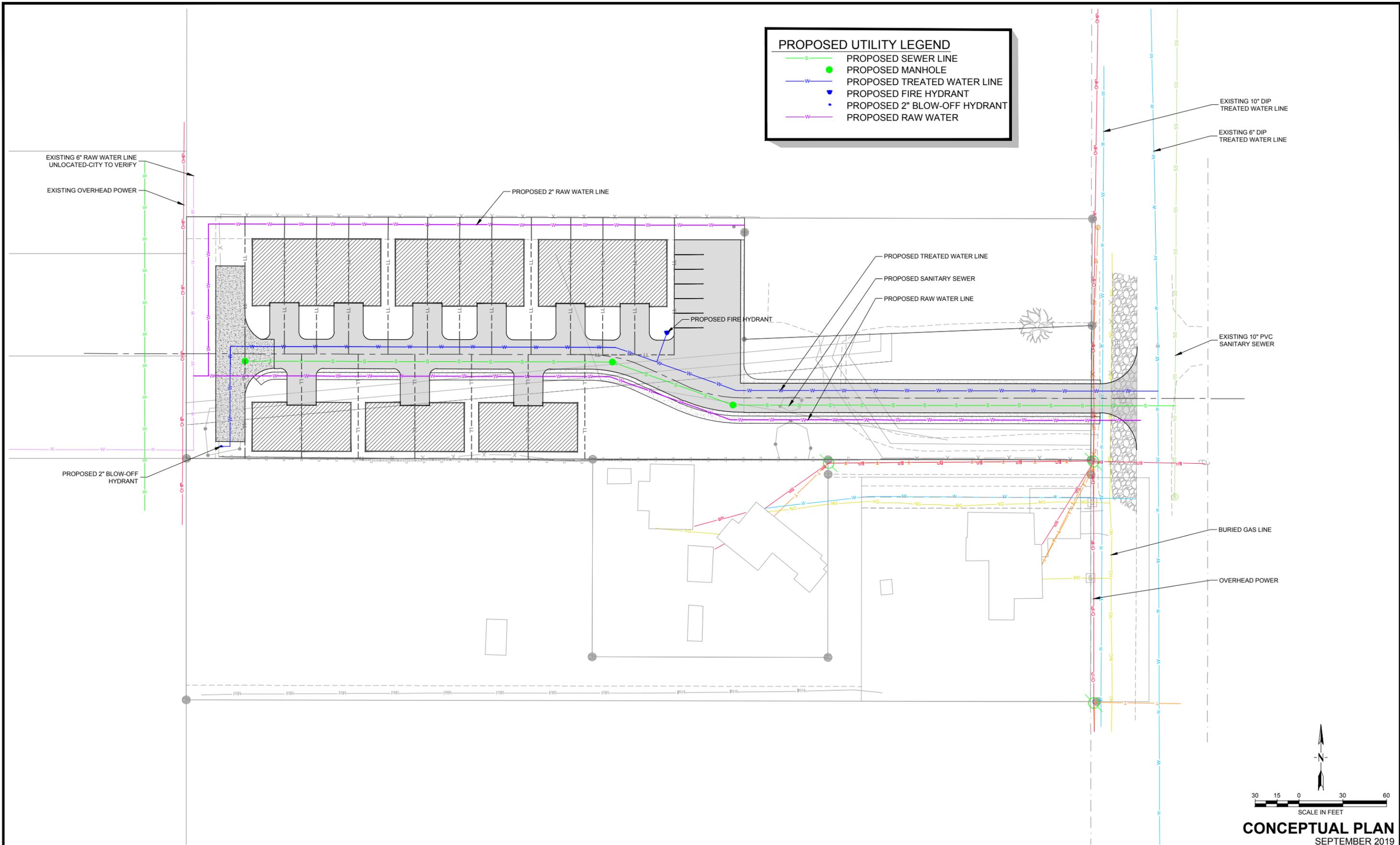
SITE GRADING AND DRAINAGE PLAN

PROJECT NUMBER  
6357.002.01  
SHEET NUMBER  
2  
DRAWING NUMBER  
**C-2**

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**PROPOSED UTILITY LEGEND**

- PROPOSED SEWER LINE
- PROPOSED MANHOLE
- PROPOSED TREATED WATER LINE
- ▼ PROPOSED FIRE HYDRANT
- PROPOSED 2" BLOW-OFF HYDRANT
- PROPOSED RAW WATER



**CONCEPTUAL PLAN**  
SEPTEMBER 2019

REVISIONS		NO.	DESCRIPTION	BY	DATE
<p>VERIFY SCALE! THESE PRINTS MAY BE REDUCED. LINE BELOW MEASURES ONE INCH ON ORIGINAL DRAWING.</p> <p>————— MODIFY SCALE ACCORDINGLY!</p>					

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APPR. BY: FP	
DATE: 09/2019	
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DATE: _____	

BRYAN EDWARDS CODY LEGACY ESTATES		WYOMING
PROJECT NUMBER 6357.002.01		SHEET NUMBER 3
DRAWING NUMBER <b>C-3</b>		

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**CODY LEGACY ESTATES - 29<sup>TH</sup> STREET PUD APPLICATION - EXHIBIT C**





PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.6227 | 307.272.5709

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MEMBER IBA No. 1271

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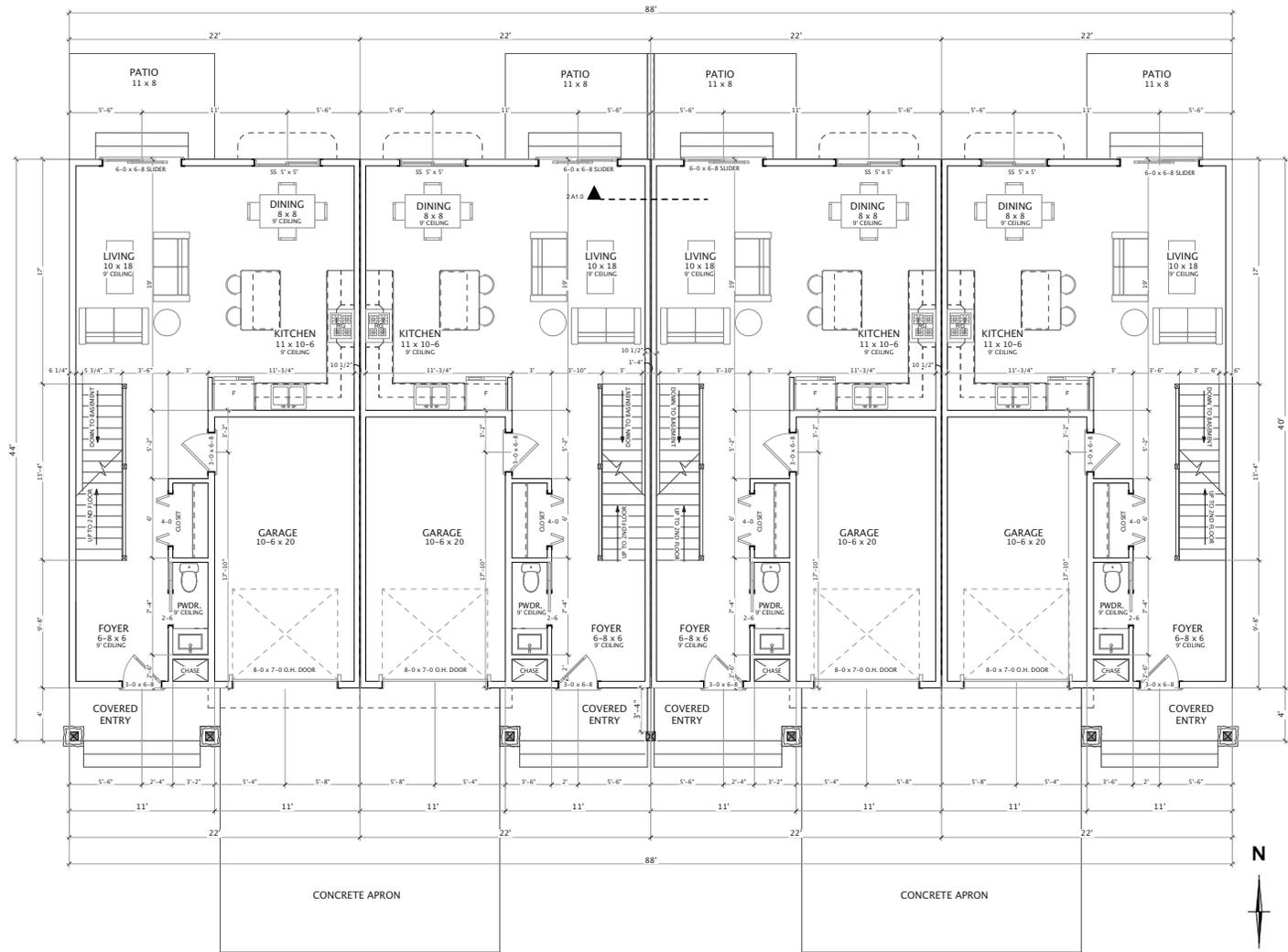
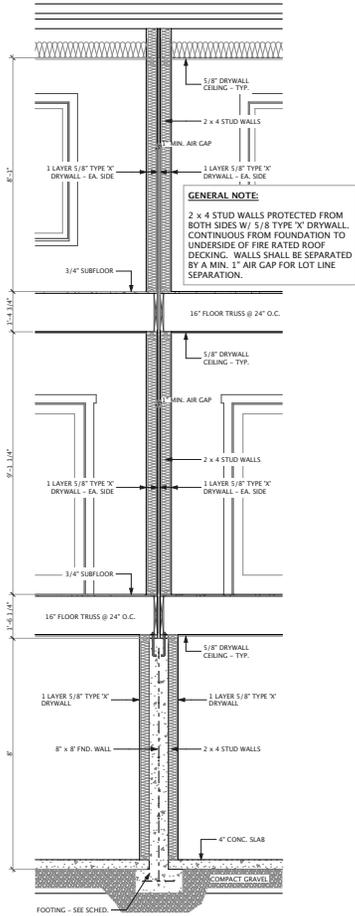
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BID SET  
08.12.2019

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DATE: 08.12.2019  
REVISION: 4

PROJECT NO.  
1632

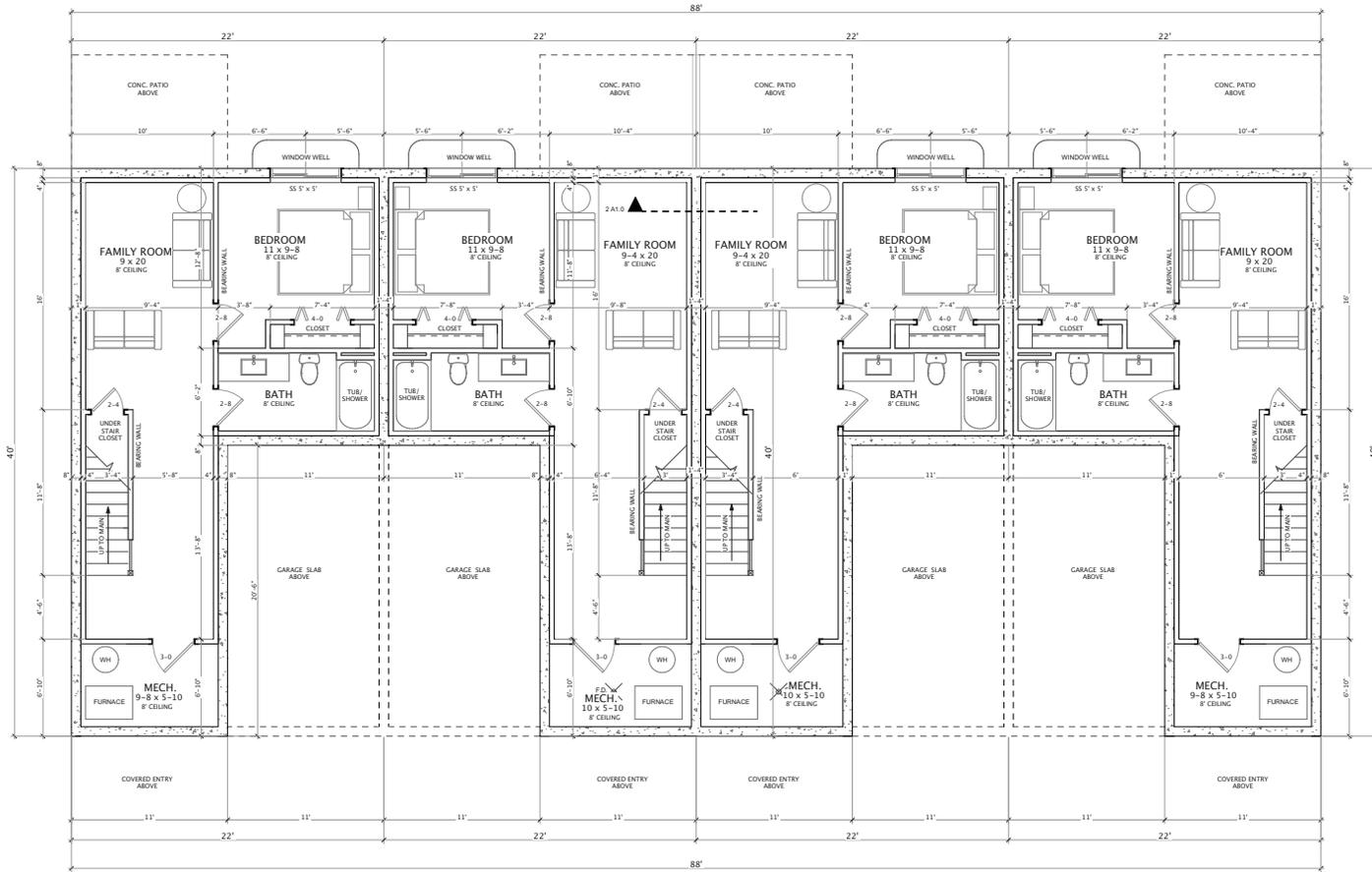
SHEET #  
A1.0  
MAIN FLOOR



2 COMMON WALL SECTION  
SCALE: 1/2" = 1'-0"

1 MAIN FLOOR= 654 SF EA.  
SCALE: 1/4" = 1'-0"





1  
A1.1

**BASEMENT PLAN = 654 SF EA.**

SCALE: 1/4" = 1'-0"



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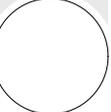
307.587.8227 | 307.272.5709

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MEMBER FLBA No. 1271

PROJECT LOCATION  
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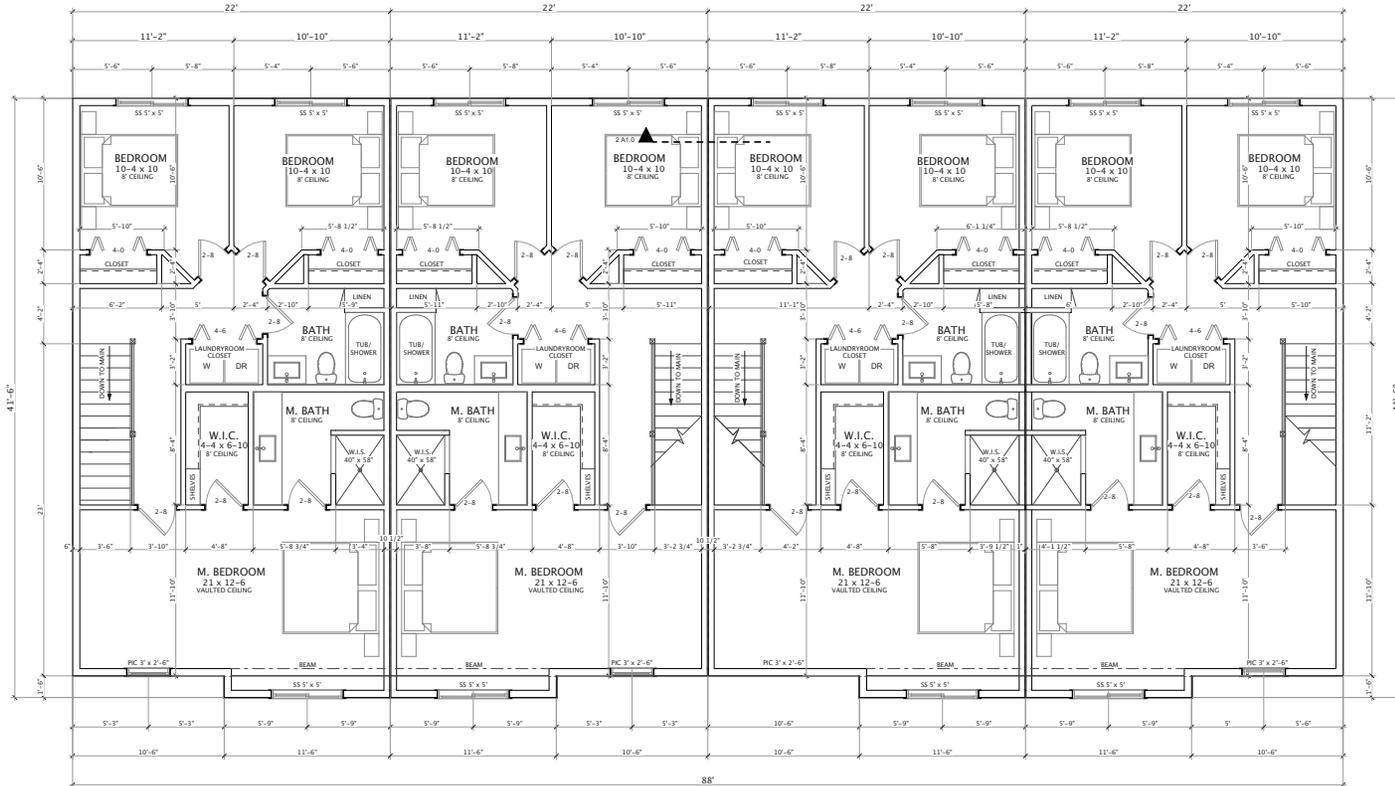
**REVISED  
BID SET  
08.12.2019**

**NOTE:** ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 08.12.2019  
REVISION: 4

PROJECT NO.  
**1632**

SHEET #  
**A1.1**  
BASEMENT



1  
A1.2 2ND FLOOR PLAN= 880 SF EA.  
SCALE: 1/4" = 1'-0"



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A CUSTOM PLAN SERVICE

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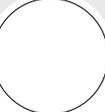
307.987.6227 | 307.272.5709

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PROJECT LOCATION  
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REVISED  
BID SET  
08.12.2019

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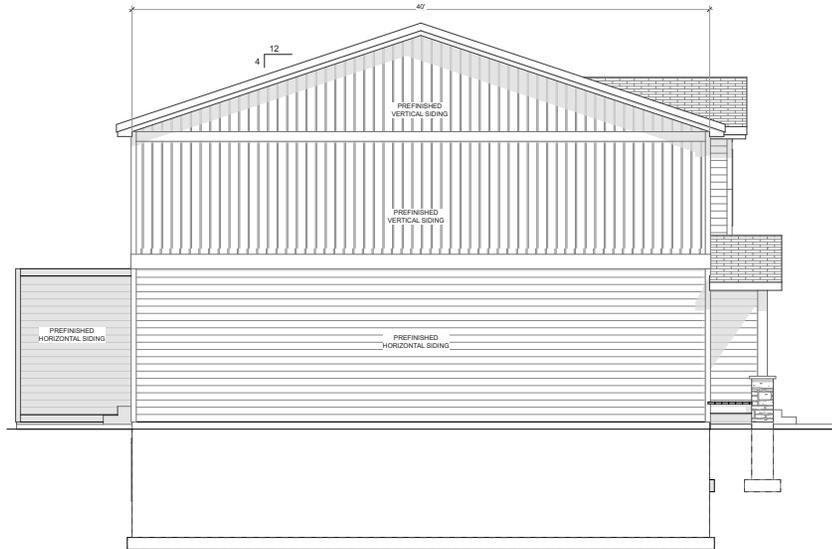
DATE: 08.12.2019  
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PROJECT NO.  
1632

SHEET #  
A1.2  
2ND FLOOR



1 SOUTH ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



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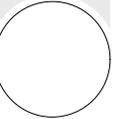
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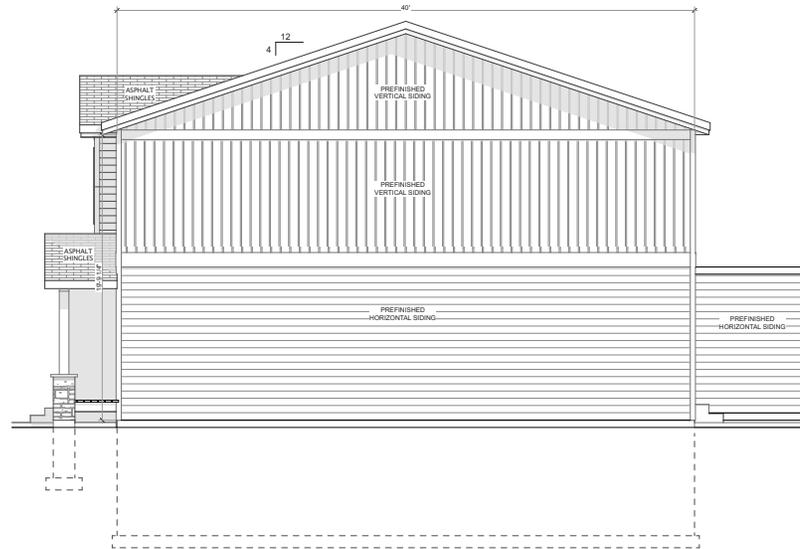
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REVISION: 4

PROJECT NO.  
1632

SHEET #  
A2.0  
EXT. ELEV.



1  
A2.1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A2.1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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SHEET #  
A2.1  
EXT. ELEV.



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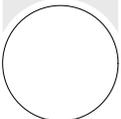
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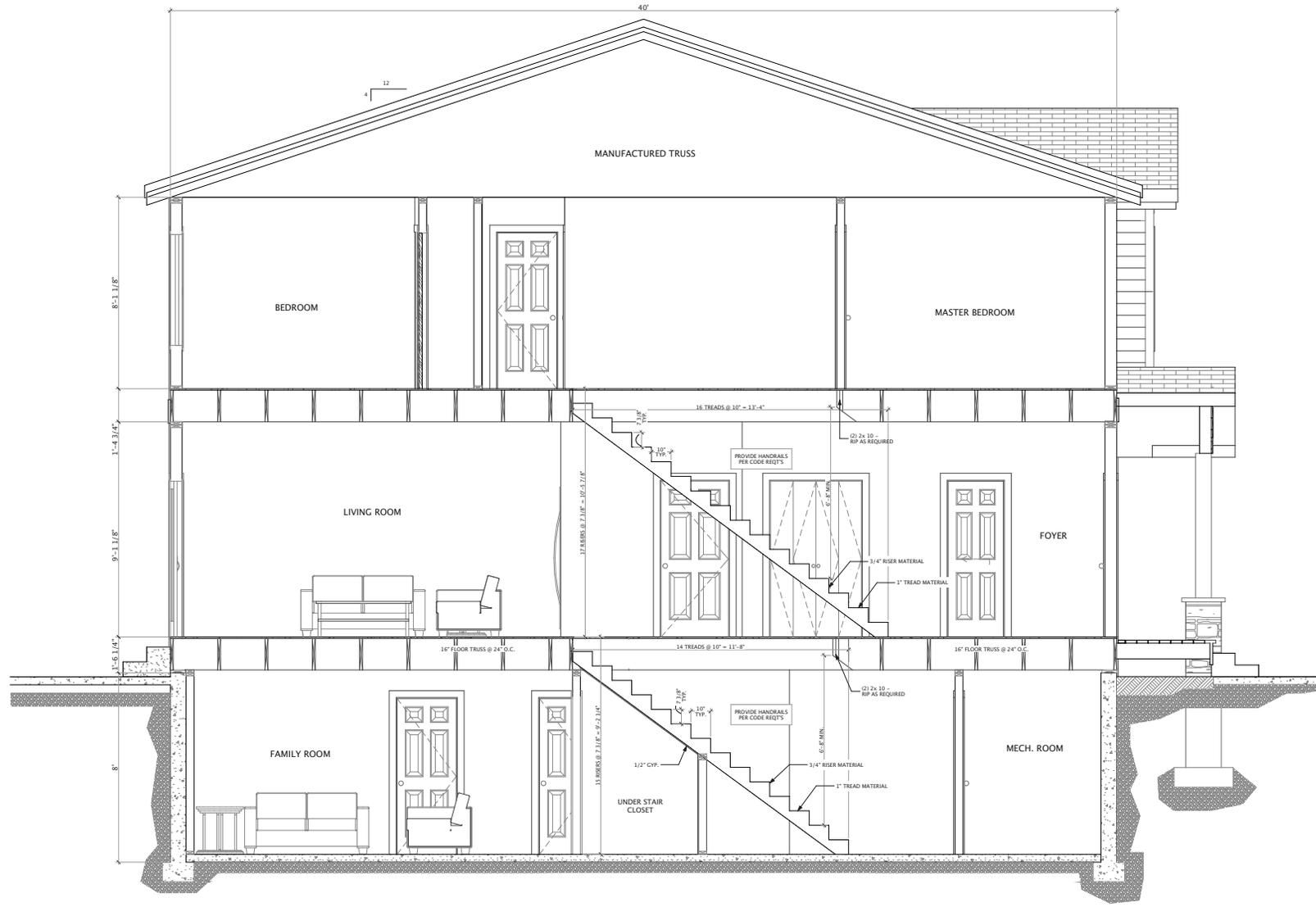
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SHEET #  
A3.0  
EXT. ELEV.



1 BUILDING SECTION  
A3.0 SCALE: 1/2" = 1'-0"





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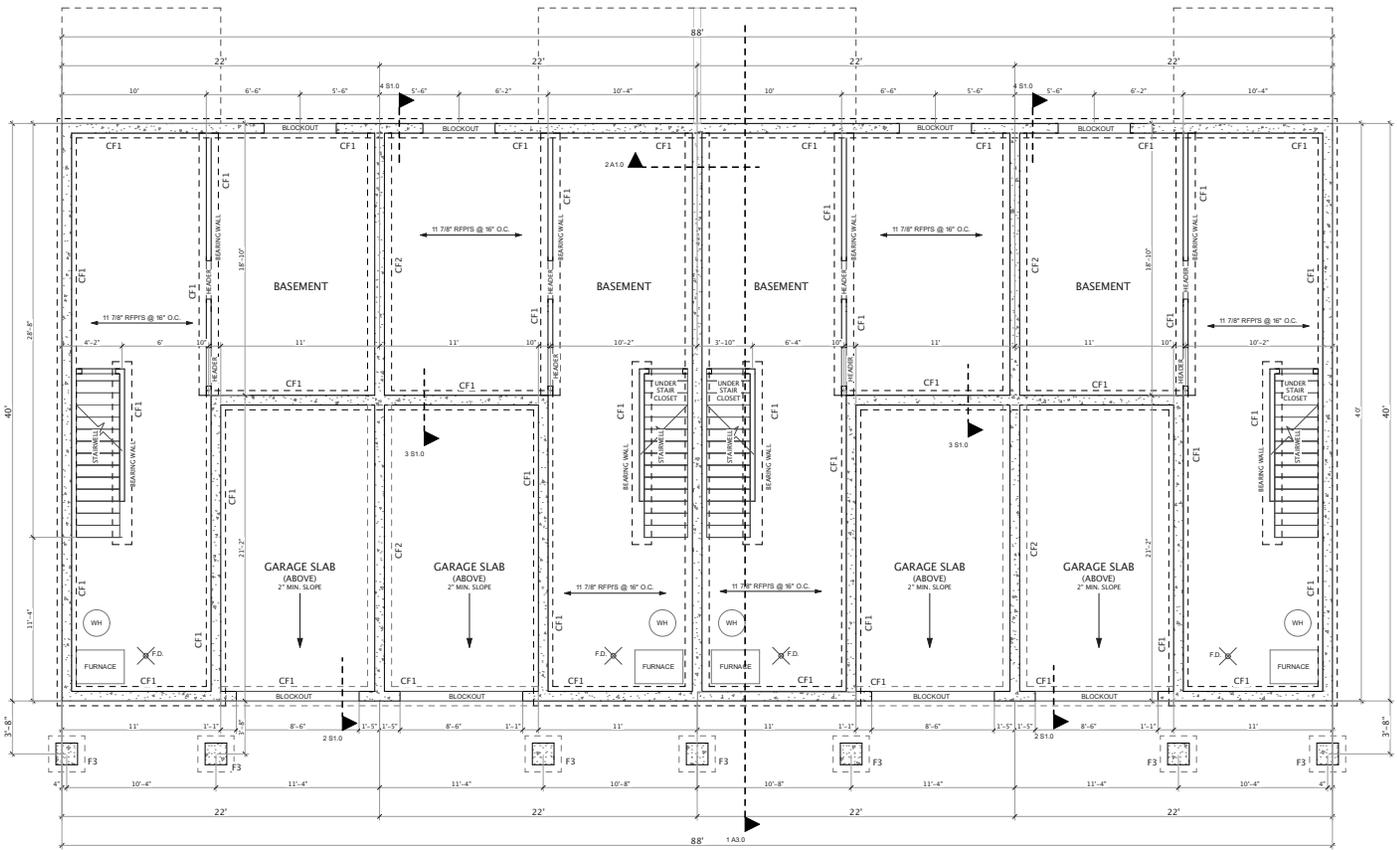
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PROJECT NO.  
1632

SHEET #  
S1.1  
FND. DETAILS



1 S1.0 BASEMENT / FOUNDATION PLAN (2)  
SCALE: 1/4" = 1'-0"

FOOTING SCHEDULE:				
SYMBOL	SIZE	THICKNESS	REINFORCING	ANCHOR
CF1	16" STRIP FOOTING	10"	2 # 4 CONT.	# 4 REBAR @ 48" O.C.
CF2	20" STRIP FOOTING	10"	2 # 4 CONT.	# 4 REBAR @ 48" O.C.
F3	24" x 24"	10"	3 # 4 EA. WAY	

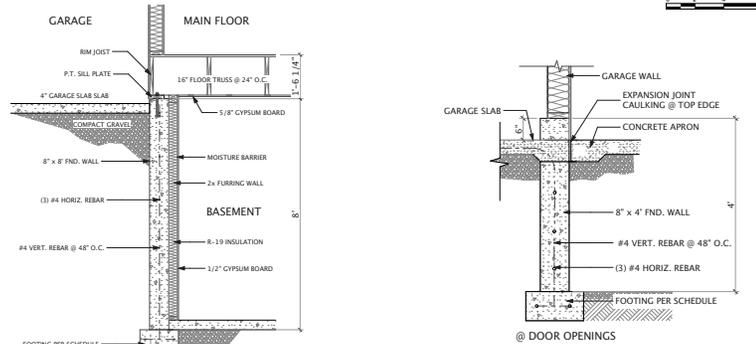
NOTE:  
FOUNDATION NOT ENGINEERED. ALL SIZES SUBJECT TO CHANGE PER ACTUAL SOIL BEARING CAPACITIES AND LOCAL CODES.  
ALL CONCRETE WALLS TO HAVE STANDARD 1/2" ANCHOR BOLTS 12" FROM ALL CORNERS AND OPENINGS THEN 4" ON CENTER BETWEEN.

CONCRETE:  
4% - 6% AIR ENTRAINMENT FOR ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES MECHANICALLY VIBRATE ALL CONCRETE DURING PLACEMENT ALL GRADE 40 REBAR COMPLY WITH ACI 318 AND ALL APPLICABLE LOCAL CODES AND STANDARDS.

CONCRETE - FOOTINGS AND FOUNDATIONS:  
MINIMUM 3 #3 @ 28 DAY YIELD STRENGTH  
MIN. 5 1/2 SACK / CY TYPE II CEMENT  
SLUMP: 3" - 5"

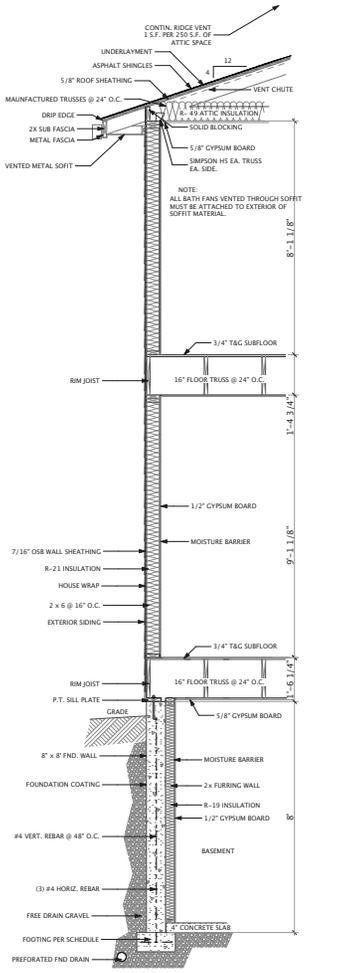
CONCRETE - SLABS:  
MINIMUM 4 #3 @ 28 DAY YIELD STRENGTH  
MIN. 6 SACK / CY TYPE II CEMENT  
SLUMP: 3" - 5"

NOTES:  
1. NO VERIFICATION OR INSPECTION HAS BEEN MADE REGARDING ACTUAL SOIL BEARING CAPACITIES OR GROUND WATER CONDITIONS AT THE BUILDING SITE. MIN. ALLOWABLE SOIL BEARING PRESUMED OF 2000 psf.  
2. ALL CONCRETE TO BEAR ON FIRM, NATURAL, UNDISTURBED, AND OR COMPACTED SOIL.  
3. FOOTINGS TO MEET LOCAL FROST LINE DEPTH REQUIREMENTS. SEE PER SCHEDULE.  
4. SLOPE GRADE AWAY FROM THE FOUNDATION WALL TO FALL A MIN. 6" WITHIN THE FIRST 10'.  
5. FOUNDATION TO HAVE VENTS PER LOCAL CODE.  
6. CHECK WITH PLUMBING CONTR. FOR BLOCK OUTS CHECK WITH ELECTRICAL CONTR. FOR BLOCK OUTS  
7. ALL FOUNDATION WALLS TO HAVE VERT. / HOR. REINFORCEMENT TO MEET CODE.  
8. ALL DECK & PORCH FOOTINGS PER SCHEDULE.



3 S1.0 FND. DETAIL @ Garage Slab/Wall (2)  
SCALE: 1/2" = 1'-0"

2 S1.0 FND. DETAIL @ Garage Opening  
SCALE: 3/4" = 1'-0"



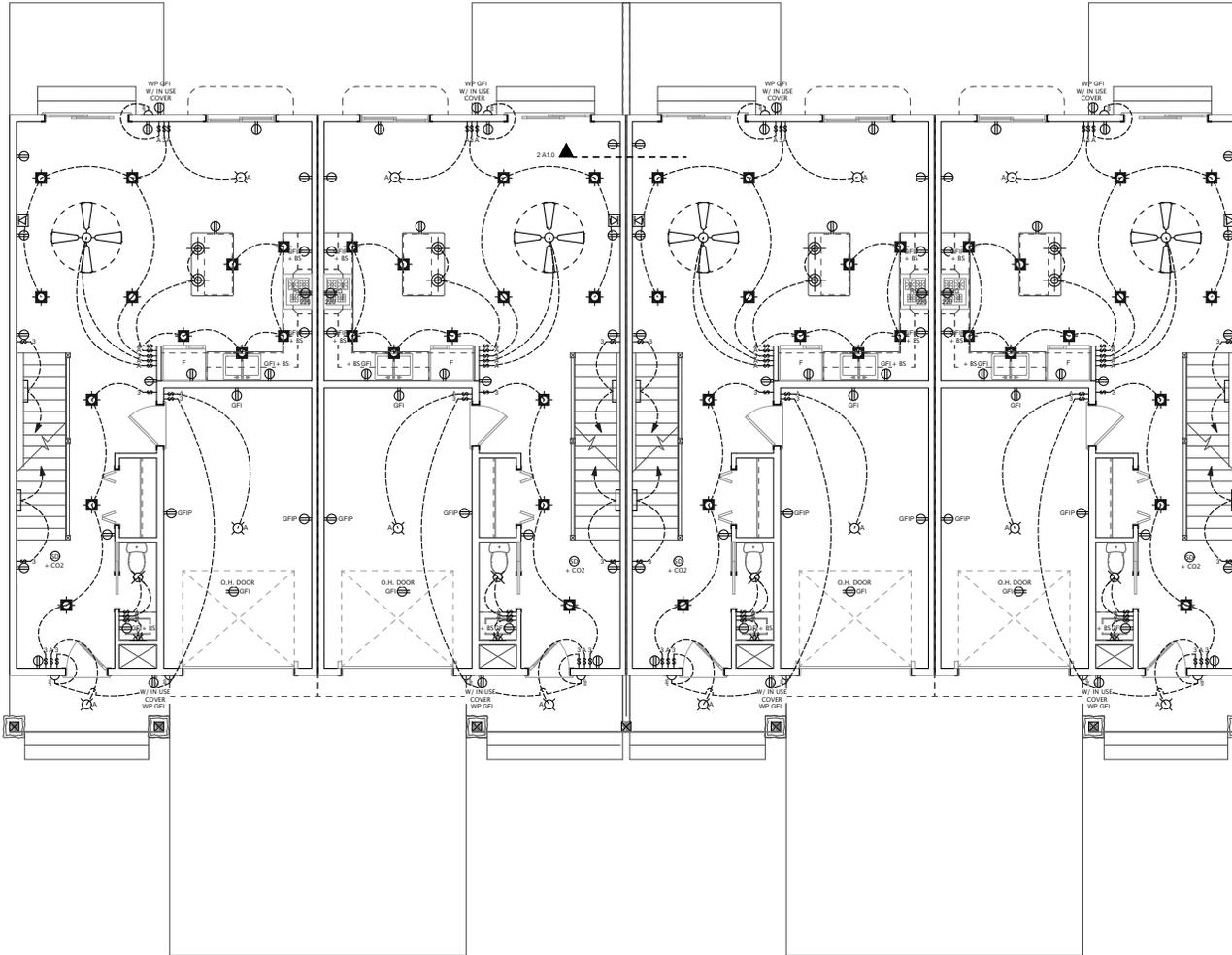
4 S1.0 TYP. WALL SECTION  
SCALE: 1/2" = 1'-0"

**ELECTRICAL NOTES:**

- 1.) ALL STANDARD OUTLETS MUST BE AFCI FAULT BREAKER PROTECTED.
- 2.) MAX SPACING FOR OUTLETS 12' @ KITCHEN MAX. SPACE 4' IN USE COVER.
- 3.) ALL EXTERIOR OUTLETS 12' @ KITCHEN MAX. SPACE 4' IN USE COVER.
- 4.) CO2 DETECTOR, ONE REQUIRED EACH FLOOR.
- 5.) 2 APPLIANCE BRANCH CIRCUITS REQUIRED IN KITCHEN.

**SYMBOL LIST**

SWITCH DOUBLE POLE	☒ TELEPHONE / TV / DATA
SWITCH SINGLE POLE	⊕ RECEPT SW TRIPLE
SWITCH 3 WAY	⊕ FAN
SWITCH 4 WAY	⊕ FAN WITH LIGHT
SWITCH DIMMER	⊕ DIRECT LIGHTING (WASH)
SMOKE DETECTOR	⊕ CEILING FIXTURE
RECEPT POLE FLOOR OUTLET	⊕ VANITY LIGHT / WALL MOUNTED
RECEPTACLE 220v.	⊕ RECESSED CAN LIGHTING
GROUND FAULT CIRCUIT INTERRUPTER	⊕ WP SOFFIT LIGHTING
RECEPTACLE DUPLEX OUTLET	⊕ THERMOSTAT
GROUND FAULT CIRCUIT PROTECTED	⊕ TASK LIGHTING
WALL SCONCE	⊕ MOTION SENSOR
WALL FIXTURE EXTERIOR	⊕ 4' FLUORESCENT LIGHT
CEILING FAN WITH LIGHT	⊕ LOW VOLTAGE LIGHTING
	⊕ PENDANT LIGHTING



**1 MAIN FLOOR ELECTRICAL**  
E1.0

SCALE: 1/4" = 1'-0"



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SHEET #  
**E1.0**  
MAIN ELEC.



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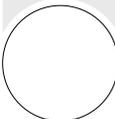
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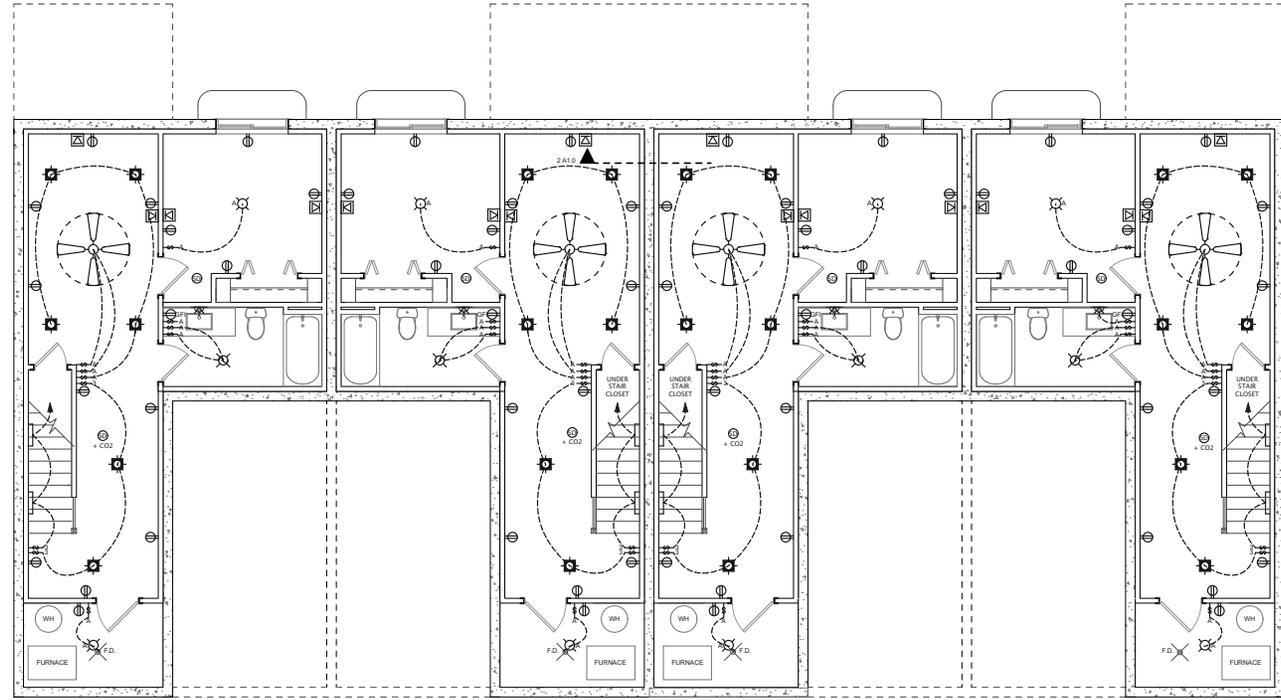
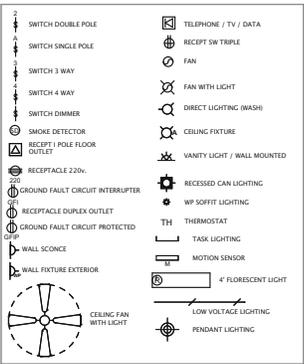
PROJECT NO.  
1632

SHEET #  
E1.1  
BASEMENT  
ELEC.

ELECTRICAL NOTES:

- 1.) ALL STANDARD OUTLETS MUST BE ARC FAULT BREAKER PROTECTED.
- 2.) MAX SPACING FOR OUTLETS 12' @ KITCHEN MAX. SPACE 4'
- 3.) ALL EXTERIOR OUTLETS MUST BE WEATHER PROOF WITH WEATHER PROOF IN USE COVER.
- 4.) CO2 DETECTOR, ONE REQUIRED EACH FLOOR.
- 5.) 2 APPLIANCE BRANCH CIRCUITS REQUIRED IN KITCHEN.

SYMBOL LIST



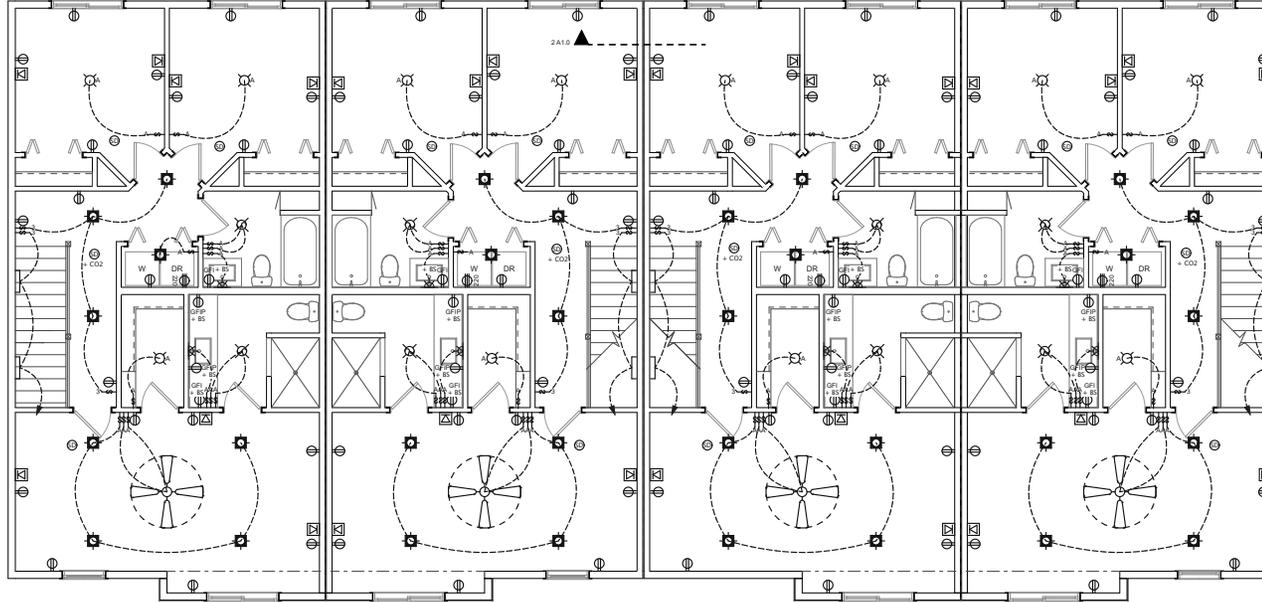
1 BASEMENT ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



**ELECTRICAL NOTES:**

- 1.) ALL STANDARD OUTLETS MUST BE ARC FAULT BREAKER PROTECTED.
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**SYMBOL LIST**



**1**  
**E1.2** **2ND FLOOR PLAN=880 SF (2)**  
SCALE: 1/4" = 1'-0"



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ELEC.