

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, AUGUST 14, 2012
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairperson Kim Borer
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes for the July 24, 2012 - Regular Meeting
6. NEW BUSINESS:
 - A. Site Plan Application —McClure Custom Builders at 177 Blackburn Street
Proposed construction of a shop and warehouse submitted by John and Robin McClure
 - B. Architectural and Sign Plan Review —Pat O'Hara Brewing Co. at 1019 15th Street
Proposed sign and exterior modification submitted by Dr. Leonard Moore
 - C. Site Plan Review —Geysers On The Terrace at 525 West Yellowstone Avenue
Proposed addition and remodel submitted by Karl & Lynn Lampe
 - D. Site Plan Review —Cody Laboratories at 601 Yellowstone Avenue
Proposed addition to house air-handler submitted by Austin Allen of Groathouse Construction
 - E. Downtown Architectural District Review —Central Wyoming Neurosurgery at 1008 13th Street
Proposed sign submitted by Starla Atkinson
 - F. Site Plan Review —Joe's Auto at 3328 Big Horn Avenue
Proposed construction of auto repair shop submitted by Joe Boydston and Andrew Cowan of Tundra General Contractors
 - G. Nonconforming Ordinance—Review and Recommendation to City Council.
7. Approved Sign Applications
 - A. Sprague Roofing -502 Blackburn Street
 - B. Little Explorers Preschool -825 Simpson Avenue
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, July 24, 2012

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, July 24, 2012 at 12:00 PM

Present: Rick Brasher, Vice Chairperson; Jacob Ivanoff; Justin Lundvall; Kim Borer, Chairperson; Mark Musser; Bud McDonald; Bob Senitte; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant;

Excused Absence: None

Chairperson Kim Borer called the meeting to order at 12:01 PM, followed by the pledge of allegiance.

Bud McDonald made a motion seconded by Bob Senitte to approve the agenda. Vote on the motion was unanimous, motion carried.

Justin Lundvall made a motion seconded by Mark Musser to approve the minutes of the July 10, 2012 regular meeting. Vote on the motion was unanimous, motion carried.

PUBLIC HEARING

Chairperson Kim Borer opened a public hearing at 12:02 PM to determine if it is in the public interest to grant a special exemption from the front setback requirements at 614 6th Street for the construction of a 26-foot wide by 30-foot deep garage as requested by Darin Samuels.

Upon calling for comments three times and there being none, Chairperson Kim Borer closed the public hearing at 12:02 PM.

PRESENTATION OF COMMUNICATIONS:

Todd Stowell presented the staff report describing the application by Darin Samuels for a six-foot reduction in the front setback requirement in order to construct a garage on the home at 614 6th Street. Notice was published in the newspaper and notification letters were mailed to the neighborhood. No letters of objection were received.

Darin Samuels spoke regarding his effort to improve the property.

Mark Musser made a motion seconded by Bob Senitte to approve the special exemption request submitted by Darin Samuels for a reduced front setback requirement to nineteen feet to allow construction of a garage at 614 6th Street, as presented upon finding the following:

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties as no neighbors objected.
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood as the neighboring property owners did not object and use is similar;

- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use as the setback exemption is the minimum necessary to allow for the garage;
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use as no services are proposed or needed; and
- f. The special exemption is consistent with the goals and policies of the master plan as the proposed use is continued residential.

With the condition that the exemption applies only to the garage. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the 5-lot preliminary plat proposed by Ryan and Erynne Selk for property at 240 Robert Street and reviewed the requested variances.

Jack Morely of Meinecke Engineering and Ryan Selk addressed questions from the board.

Justin Lundvall made a motion seconded by Jacob Ivanoff to approve the preliminary plat for Zoe Subdivision submitted by Ryan and Erynne Selk for property located at 240 Robert Street finding that the proposal qualifies as a minor subdivision, as no new public improvements are required and with the following variances:

- a. From dedication of additional right-of-way for Robert Street. (Provide 10' utility easement instead.)
- b. From construction of curb, gutter, and sidewalk along Robert Street and Kent Avenue frontages. (Agree to participate in future improvement district.)
- c. From the alley requirement.
- d. From covering (piping) of irrigation ditch along north property line.

And with the following conditions:

1. The existing shop on Lot 2 must be removed prior to final plat approval. Alternatively, the lot line between Lots 1 and 2 could be moved north so that a minimum 5-foot setback is provided for both the existing home on Lot 1 and the shop on Lot 2.
2. Individual gas and electric services are to be provided to each lot from the conduits installed under Robert Street to Lot 4—as opposed to excavating into Robert Street. Payment for the four new water connections and the electrical service fees is to occur prior to final plat approval. Payment of the sewer connection fees is not required until the time of the building permit.
3. Access for Lot 5 shall be from Kent Avenue, at least 50 feet from the edge of the Robert Street pavement. A note to this effect must be included on the final plat.
4. With the final plat application, provide evidence of compliance with City Code 11-3-3(B)(1), relating to transfer of the Cody Canal water rights.
5. Note the variances granted on the final plat.
6. Include the following in the dedication certificate on the final plat: “And do hereby agree to promote and participate in an improvement district for curb, gutter, and sidewalk on Robert Street when deemed necessary by the City of Cody. And further, that this language shall be contained in each and all conveyances of record.”

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report concerning the site plan application submitted by Todd Reno for an addition to Reno Collision Center located at 2221 Lt. Childers Street.

Todd Reno, owner of Reno Collision Center, spoke regarding his plan to improve the property and business.

Bud McDonald made a motion seconded by Rick Brasher to approve the site plan application submitted by Reno Collision Center for property located at 2221 Lt. Childers Street subject to the following conditions:

1. That the ADA parking space be modified to meet current dimensional standards.
2. That the size and connection details for the oil/water separator be provided with the building permit application.
3. That all storm water facilities be inspected and certified by the applicant's engineer.
4. That an encroachment permit be obtained for the work within the public right-of-way.
5. That verification of completion of the lot line adjustment be submitted with, or prior to, the building permit.
6. That the business obtain and maintain the proposed parking agreement for the Forward Cody property unless and until it is demonstrated that the parking is no longer needed, as determined by the Planning and Zoning Board.
7. That the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

Vote on the motion was unanimous, motion carried.

Todd Stowell spoke regarding the proposal submitted by Basin Mechanical for the construction of a 30-foot by 30-foot metal storage building/shop at their facility on 3429 Cottonwood Avenue. The addition is planned to match the existing facility.

Jim Neeley, representative of Basin Mechanical, agreed to the staff recommendation for the exterior light fixture.

Bud McDonald made a motion seconded by Bob Senitte to approve the site plan application submitted by Basin Mechanical for property located at 3429 Cottonwood Avenue subject to the following conditions:

1. The drywell(s) or percolation trench must be sized to meet Appendix G of the storm water manual and must be inspected by the City engineer prior to cover.
2. Any exterior light fixture is to be a down-lit, or cut-off style.
3. A building permit is to be obtained for the building.

Vote on the motion was unanimous, motion carried.

Todd Stowell reviewed the draft nonconforming code and answered board questions.

Meeting adjourned at 12:52 PM.

Jolene Y. Osborne
Engineering Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 14, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: SHOP AND WAREHOUSE FOR McCLURE CUSTOM BUILDERS. SPR 2012-30	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

John and Robin McClure of McClure Custom Builders have submitted an application for a 5,000 square foot shop/warehouse and a 25-foot by 100-foot fenced outdoor material and equipment storage area for their contracting company. Refer to the enclosed site plan. The site is Lot 8 of the Blackburn PUD, which is in the Open Business/Light Industrial (D-3) Zoning district.

Existing Conditions (looking to NW across lot):



REVIEW CRITERIA:

The property is in the "D-3" Light Industrial zoning district. Section 10-10C-5 of the zoning ordinance states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the

application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

This proposal is the first development in the new Blackburn PUD, which was developed by Ed Higbie. The final plat was recorded in January, although the final walk-through by the City to inspect and accept final grading and public improvements has yet to be completed. Additional work, such as installation of streetlights, is needed. Full acceptance of the PUD will need to occur prior to issuance of any building permits. However, the zoning review can proceed.

Architecture:

The building is proposed to be of steel construction and measure 50 feet by 100 feet, with 16-foot side walls and a 2:12 pitched roof. The color of the sheet metal is proposed as "Lightstone" for the walls, "Polar White" for the Roof, and "Evergreen" for the trim (see attached brochure).

Each end of the building would have a 12-foot wide by 14-foot tall overhead door, and a three-foot walk-through door. Door colors are not indicated. No windows are shown on the plans.

The architecture is strictly functional. Due to the Light Industrial zoning and the property being relatively visibly-isolated, a high level of architectural detail or design is not expected.

The Board can give the applicant any direction relating to the architecture that they deem necessary.

Storage Area:

The outdoor 25' by 100' material and equipment storage area is proposed to be enclosed with a 6-foot tall chain link fence for security reasons. No screening is proposed. With the current City nuisance ordinance, so long as the materials and equipment in this area are "kept, maintained, secured and stored in an orderly manner" there is no specific requirement to screen the area. If the Board determines screening is necessary to mitigate some impact, they have authority to require it.

Landscaping:

The application indicates four individual landscape islands along the streets, each containing a locust tree and bark ground cover. A drip irrigation system would be provided to each tree. No landscaping is proposed up against the building, which the applicant may want to consider for aesthetic and energy conservation purposes.

The installation of street trees is appreciated. Their placement may need to be adjusted, such that they are at least 3 feet from any sidewalk and curb, and five feet from any underground utility line (City Code 7-4, for medium trees). This may cause the trees to be located outside of the utility easements if separation requirements cannot be met. Without utility locates, it is difficult to determine if the trees would be able to fit in the easement. The property line is approximately 4.5 feet behind the curb, so the area may not be as restricted as it appears.

Parking:

The parking ordinance recommends that parking be provided based on the number of employees and customers at the facility at any one time. Eleven spaces are shown, and additional spaces could be added if needed. However, parking demand is not expected to exceed the eleven spaces shown.

The parking lot is proposed to be gravel, which is acceptable except for the ADA space and loading area and ADA access to the building, which must be hard surfaced and improved to ADA specifications (slope, truncated domes, etc.). There is a 5-foot sidewalk shown on the south side of the building, although it is not labeled. If the sidewalk has a curb, other than at the ADA access point, then it is okay as is, otherwise bumper stops should be added to help protect the building from damage.

The site plan shows five parallel parking spaces just north of the 10-foot utility easement along the south property line. Parking can occur on the utility easement at any organized angle, as there is sufficient back up area to meet the requirements for any angle.

Access:

The streets were constructed with a rollover curb, allowing access to be established where desired, without the need to cut the curb. Access is proposed from two approaches. If the Board is concerned with uncontrolled access, they may wish to discuss with the applicant how to better define the access points, such as installing a decorative fence or boulders where access is not desired.

The relatively low amount of traffic is not expected to result in much "track out" of gravel or dirt onto the private streets, so paving of the entrances is not a significant issue.

Storm Water Plan:

The storm water facilities for the subdivision were designed to accommodate on each lot the equivalent of 10,000 square feet of building, and the balance of the lot covered with gravel. Only a little over 5,500 square feet of impervious area is planned, between the building and sidewalk.

While the storm water facilities are sized for the project, the application lacks sufficient drainage information to confirm that the storm water will flow to the storm water facilities without flowing across other lots. (Avoidance of this issue is emphasized in the private covenants for the property—Section 4.6) The property currently slopes slightly to the northwest, so based on the elevations shown on the site plan, some fill for the building will be needed.

The site plan does indicate that the building would be six inches higher in elevation than the outside edge of the parking area, yet with building code grade requirements of 6" of fall within the first 10 feet from the building, the parking area would be flat. Elevating the building slightly more than shown would allow much of the drainage to be directed to the streets, where it would flow to the subdivision storm water facilities.

Related to the storm water plan is the snow storage. The snow storage areas are immediately adjacent to the north property line and the ground slopes to the north, which would cause the melting snow to potentially run onto the adjacent lots. If the snow storage areas are immediately next to the property line, a small berm or other drainage control feature would be a needed to prevent runoff. Alternatively, the snow storage could be located on the south side of the lot.

Any roof drainage, such as that from the north half of the building will also need to be controlled from flowing onto the property to the north.

It is suggested that a detailed drainage plan for the site be required to address the flow issues.

The applicant should also be prepared to provide to the building official soil compaction tests/soil reports for the structural fill on which the building will be located. Discuss with the Building Official as needed.

Lighting:

Exterior lighting locations are limited to the outside walls of the building, near the doorways. Down-lit type fixtures should be used.

Buffer:

No buffer is required.

Signage:

A 4' by 8' sign is proposed on the east wall of the building. The size and location of the sign comply with the requirements of the sign code. The design of the sign is the logo used by the company, as shown on the attached sheet.

Utilities:

The location of the proposed water, sewer, and power services to the building are shown

on the site plan and will be installed per City standards. (Water service is shown in two places—it is actually just in the northeast corner of the lot.) A ¾" water service is available, which should be sufficient provided no fire sprinkler requirements are triggered.

It should be noted that the sewer system is a pressurized, private system. A grinder pump system will need to be sized and installed based on the engineering specifications for the subdivision and needs of the building. Details will be needed with the building permit application.

Other:

ADA Parking: The space is shown as required, yet the dimensions are not clearly indicated and may need to be slightly altered to meet the City's current code (8' wide minimum, 11' wide loading area). Also, what is shown, but not clearly labeled as a 5-foot wide sidewalk along the south side of the building will need to be extended around the east side to the customer entrance door.

Sidewalk: Sidewalk requirements were waived as part of the subdivision review.

ATTACHMENTS:

Site Plans.

ALTERNATIVES:

Approve, deny, or require modifications to the site plans.

RECOMMENDATION:

Approve the proposal, subject to the following conditions and modifications:

1. Submit a final site plan with the building permit that includes the following corrections and additions: Add labels and specifications for: the sidewalk, ADA space and loading area, ADA ramp, sidewalk extension to customer entrance, ADA sign, water stop location, electrical service location, and _____(others determined by Board).
2. Submit a more detailed grading plan that clearly shows how storm water will be directed to the streets or otherwise into the subdivision storm water facilities. The City engineer and planner are authorized to approve the final grading plan.
3. That the snow storage areas either be moved to the south side of the lot, or that they be bermed or otherwise graded to prevent runoff from flowing onto the adjacent lots.
4. The lighting fixtures on the outside of the building must be of a down-lit style.

5. That a landscape bond, letter of credit, cash, or other surety acceptable to the City be provided to guarantee installation of the required landscaping with the building permit.
6. (Any other conditions specified by the Board—landscaping, access restriction methods, etc.)
7. Except for the tree locations and the snow storage areas, which may be adjusted as discussed, that the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.



July 5, 2012

Wyoming Building Solutions
2501 Ina Ave
Cody, Wy 82414

Project Name: Wyoming BldgSolutions
Buildings: A->50'-0"x100'-0"x16'-0"(RCG,2.0:12)

Attn.: John McClure
Project Location: Cody, Wy 82414
NBS Project #: U1208111A

This Letter of Design Certification ensures that the materials furnished by the metal building supplier are designed in accordance with the information specified to the metal building supplier on the order documents and summarized by the loading information listed below. The Project Engineer of Record (not the metal building supplier) is responsible for verifying that the building code and design loads meet any and all applicable local requirements.

The Professional Engineer whose seal appears on this Letter of Certification is employed by the metal building manufacturer and does not serve as or represent the Engineer of Record for this project and shall not be construed as such. -

DESIGN LOAD CRITERIA:

Structural Loads Applied in General Accordance with: IBC 2006
MBMA Occupancy Importance Classification: II - Standard Buildings

PROJECT-WIDE LOADING INFORMATION:

Ground Snow Load: 20.0 psf Snow Exposure Factor, Ce: 1.00 Snow Imp. Factor, Is: 1.00
Roof Live Load: 20.0 psf Not Reducible Per Code.
Wind Velocity: 90 mph Wind Exposure: C
Is Roof to meet UL 90 Requirements?: No Wind Importance Factor, Iw: 1.00
Seismic Criteria: Ss: 0.252 S1: 0.076 • No ground snow included in seismic calculations.
Design Sds / Sd1: 0.269/0.122 Analysis Procedure: Equiv. Lat. Force Procedure
Seis. Imp. Factor, Ie: 1.00 Basic SFRS: Not Detailed for Seismic
Seis. Design Category: B Site Class: D

BUILDING-SPECIFIC LOADING INFORMATION:

Bldg	Roof Dead (psf)*	Collateral Dead		Snow			Wind		Seismic		
		Pri (psf)	Sec (psf)	Ct	Cs	Ps (psf)	Enclosure	GCpi	R	Cs	V (kips)
A	3.0	1.0	1.0	1.1	1.00	15.40	Enclosed	± 0.18	3.00	0.090	3.81

Mezzanine Information:

Floor Dead Load: N/A Floor Collateral Load: N/A Floor Live Load: N/A

*Primary Structural Not Included

Crane Information:

No cranes on building.

Roof-Top Unit Information

No roof-top units on building.



The design of structural members supporting roof gravity loads is controlled by the more critical effect of roof live load or roof snow applied in accordance with the governing building code.

DESIGN STANDARDS REFERENCED:

- AISC Specification for Structural Steel Buildings - Steel Construction Manual, 13th Edition, © 2005.
- AISI North-American Specification for the Design of Cold-Formed Steel Structures, Latest Edition.
- MBMA Low Rise Building Systems Manual, Latest Edition.
- IBC codes are designed using the latest version of ASCE 7.
- No hazard structural components provided on this project

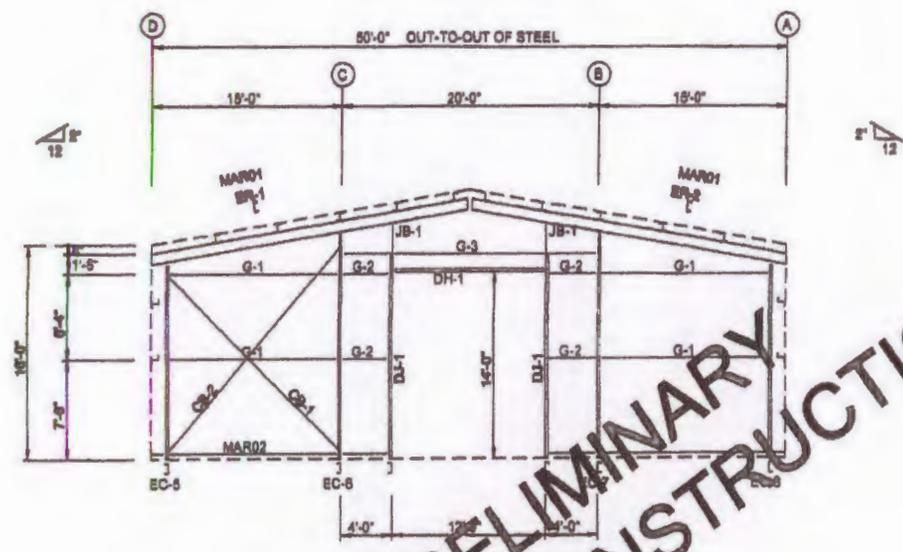
Design Engineer:

Trevor Black

• AWS Latest Edition of Structural Welding Code.

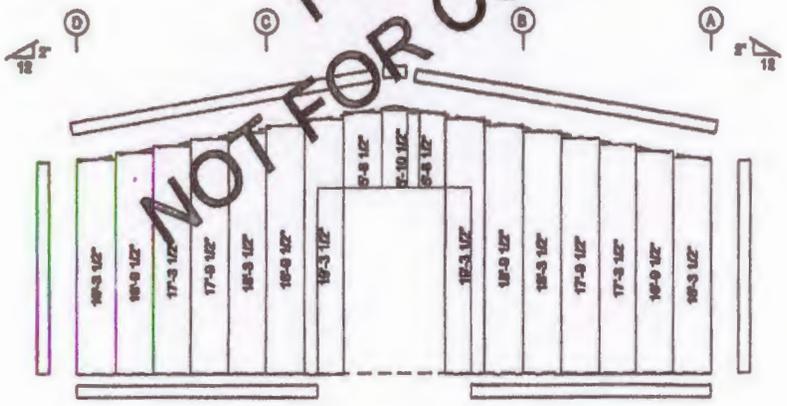
Signature: _____ X
 Date: _____ X

BOLT TABLE				
FRAME LINE 5				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	4	A325	1/2"	2"
Column/Ref	6	A325	1/2"	2"



ENDWALL FRAMING: FRAME LINE 5

ORT LOCATIONS SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE BASED ON FINAL DESIGN



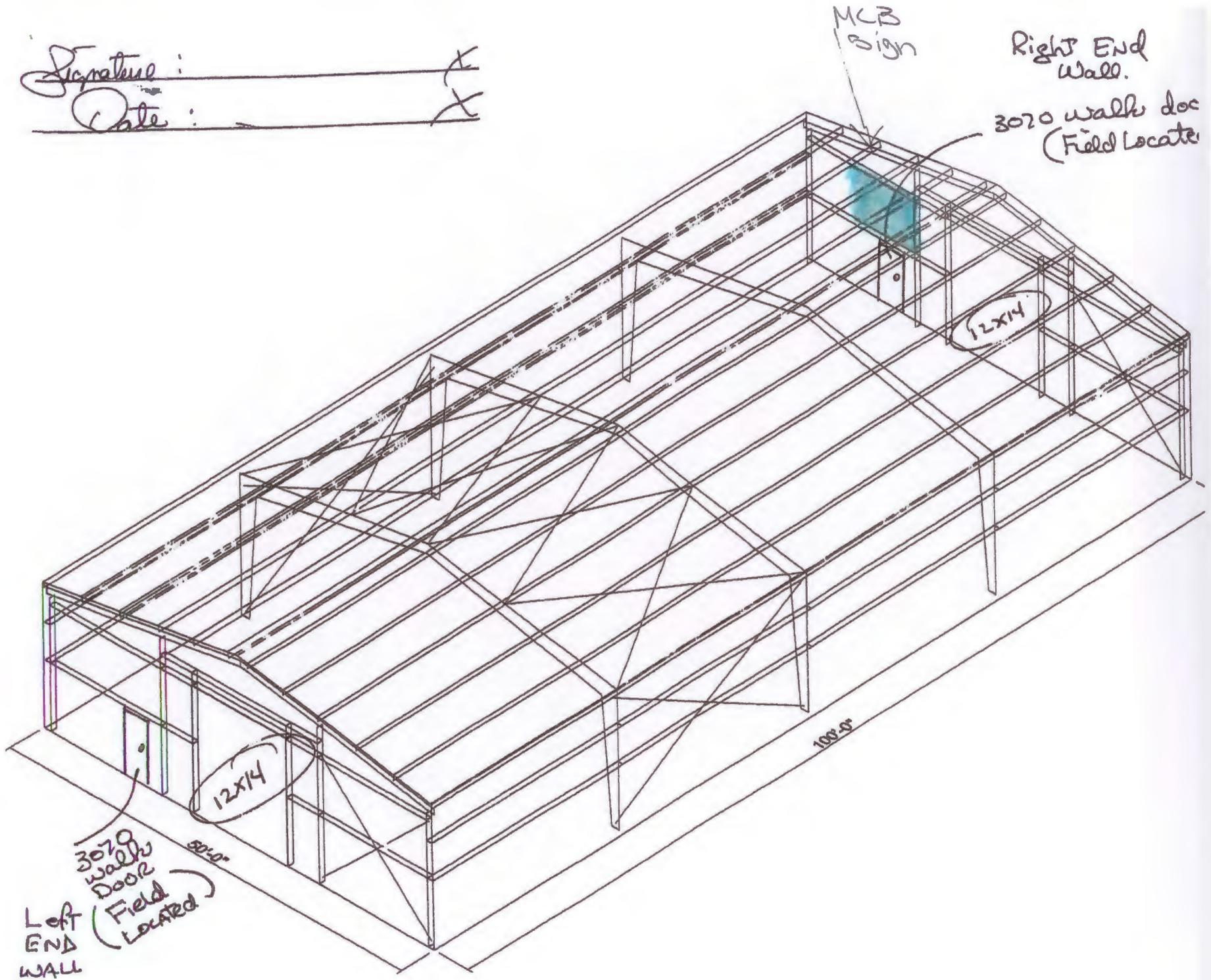
ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Ga. CW - Lightstone SP

Rhino Steel Building Systems
 3-4-12a
 Wyoming Building Solutions
 John McClure
 2501 1st Ave
 Cody, WY 82414

NOT FOR CONSTRUCTION

Signature: _____
Date: _____





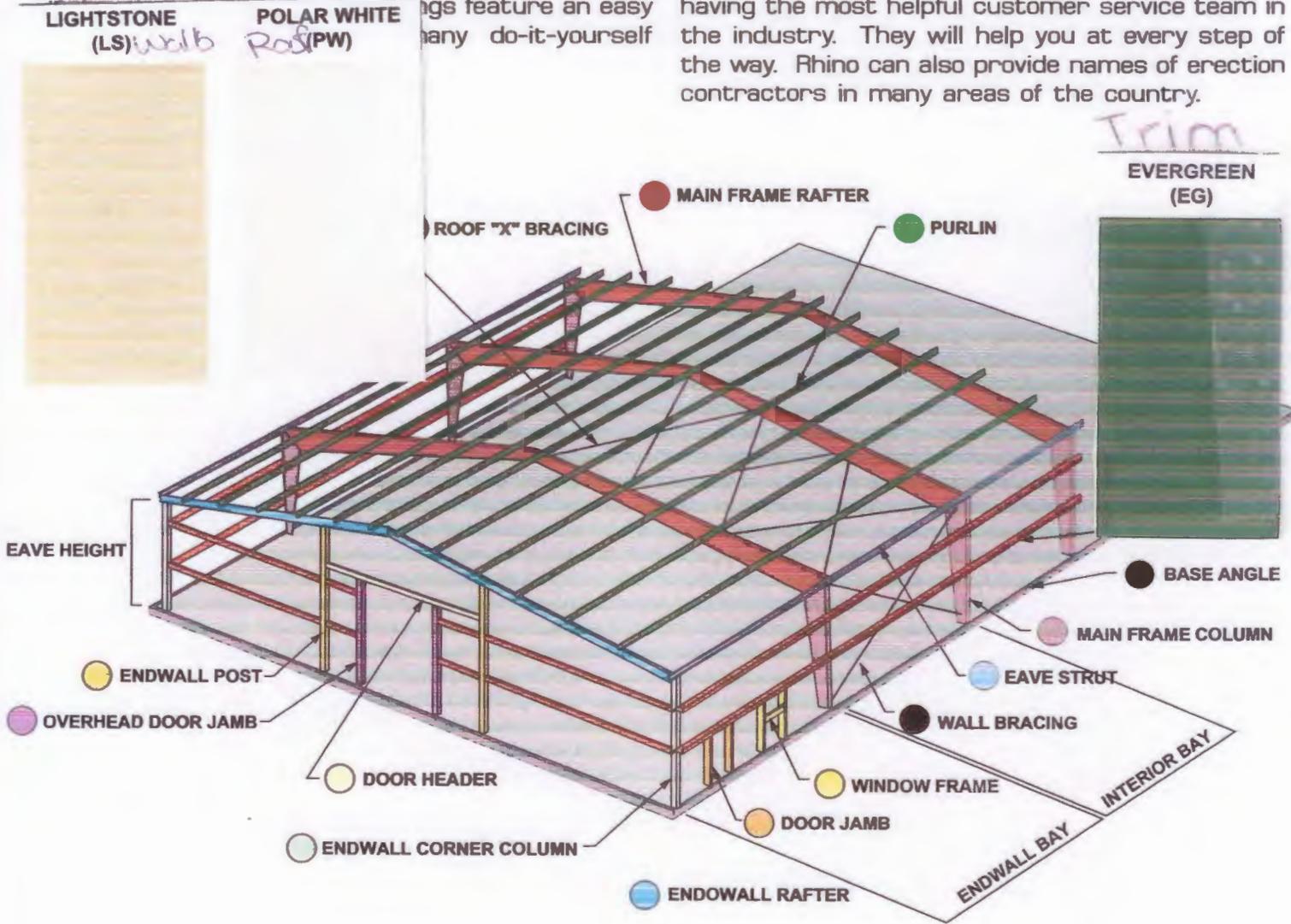
Hobby/Storage



STRUCTURAL DESIGN

Along with your building materials and blueprints, all customers receive a construction manual and many do-it-yourself

Rhino's all bolt together design ensures these buildings fit the right way. Rhino is well known as having the most helpful customer service team in the industry. They will help you at every step of the way. Rhino can also provide names of erection contractors in many areas of the country.





McCLURE SHOP

CODY, WYOMING

ARCHITECT:
POINT ARCHITECTS

RICHARD CHILDRESS
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rich@pointarchitects.com

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www.pointarchitects.com

GENERAL CONTRACTOR:
McCLURE CUSTOM BUILDERS

JOHN McCLURE
721 15th Street
Suite C
Cody, WY 82414

p. 307-527-9985
jrmclure@mcclurecustombuilders.com

www.mcclurecustombuilders.com

PROJECT ADDRESS:

LOT #8, BLACKBURN PUD
CODY, WY 82414

AREA TABULATION:

MAIN FLOOR SQUARE FOOT: 2,500 sq. ft.
TOTAL SQUARE FOOTAGE: 2,500 sq. ft.

SHEET INDEX:

A0.0 COVER
A1.0 SITE PLAN

CODE ANALYSIS:

ZONE: D-3, OPEN BUSINESS, LIGHT INDUSTRIAL
OCCUPANCY GROUP: ASSEMBLY GROUP A-2
OCCUPANT LOAD:
FACTORY GROUP - 1 = 5,000 sq. ft. / 200 = 25 OCCUPANTS
STORAGE/MECHANICAL 50 sq. ft. / 300 = 1 OCCUPANTS

TOTAL OCCUPANTS = 25

TOTAL NUMBER OF EXITS = 2

PLUMBING FIXTURES:
ASSEMBLY (RESTAURANT)
76 OCCUPANTS / 40 = 1 WATER CLOSETS
76 OCCUPANTS / 200 = 1 LAVATORIES

AREA TABULATION:
LOT SIZE: .71 ACRES
BUILDING SQUARE FOOT: 5,000 sq. ft.

LOCAL MAP



REGIONAL MAP



GENERAL NOTES:

1. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF POINT ARCHITECTS OR OWNER PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
4. CONTRACTOR SHALL ADHERE TO ALL WRITTEN DIMENSIONS. ANY QUESTIONS ABOUT DIMENSIONS NOT PROVIDED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING THE AFFECTED WORK.
5. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO EXCAVATION.
6. WATER HEATER, DRYER, KITCHEN AND BATHROOM FANS TO VENT TO EXTERIOR.
7. ALL PATIO & SHOWER DOORS & ANY GLASS WITHIN 24" HORIZONTAL DISTANCE OF ANY DOOR OR WITHIN 18" ABOVE ANY WALKING SURFACE TO BE OF APPROVED SAFETY GLASS.
8. UTILITY SERVICES, PANELS, METERS, ETC. TO BE PROVIDED & LOCATED AS REQUIRED BY SITE, CODE AND UTILITY COMPANIES - VERIFY.
9. THE CONTRACTOR SHALL SECURE & PAY FOR ALL BUILDING PERMITS & HOOK UP FEES.

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POINT
ARCHITECTS

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Garden City, Idaho
83714
208-284-2999
www.pointarchitects.com

DATE REV.



DATE 7/18/2012
SCALE
FILE McClure Site.pln
BY KM

A0.0



PROJECT NUMBER: U1208111A
 PROJECT NAME: Wyoming BldgSolutions
 PROJECT LOCATION: Cody, Wy
 CUSTOMER: Wyoming Building Solutions

FOR CONSTRUCTION
 JUL 06 2012

NOTES AND SPECIFICATIONS

BUILDING ERECTION NOTES

1) THE GENERAL CONTRACTOR AND/OR ERECTOR IS RESPONSIBLE TO SAFELY AND PROPERLY ERECT THE METAL BUILDING SYSTEM IN CONFORMANCE WITH THESE DRAWINGS, OSHA REQUIREMENTS, AND MBMA STANDARDS PERTAINING TO PROPER ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CORRECT USE OF TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL AND SECONDARY FRAMING. SECONDARY WALL FRAMING MEMBERS (GIRTS OR BAR JOISTS) ARE NOT DESIGNED TO FUNCTION AS A WORK PLATFORM OR PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS. SECONDARY ROOF FRAMING MEMBERS (PURLINS OR BAR JOISTS) ARE NOT DESIGNED TO PROVIDE SAFETY TIE OFF ATTACHMENT IN ACCORDANCE WITH OSHA REQUIREMENTS.

2) ALL HIGH STRENGTH BOLTS ARE TYPE ASTM A325 AND ARE TO BE INSTALLED TO THE "SNUG-TIGHT" CONDITION AS DEFINED BY THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS 2004 EDITION, SECTION 8.1, UNLESS NOTED OTHERWISE. ALSO, NOTE THAT BOLTS IN STANDARD HOLES DO NOT REQUIRE WASHERS PER THE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS, SECTION 6.

3) ALL A307 MACHINE BOLTS ARE TO BE BROUGHT TO A "SNUG TIGHT" CONDITION TO ENSURE THAT THE MATERIALS IN THE JOINT ARE BROUGHT INTO GOOD CONTACT WITH EACH OTHER.

4) WASHERS ARE REQUIRED AT ALL SLOTTED CONNECTIONS AS FOLLOWS: =HOLE TO SLOT CONNECTION, ONE WASHER REQUIRED ON SLOTTED SIDE. =SLOT TO SLOT CONNECTION, TWO WASHERS REQUIRED, ONE ON EACH SIDE OF THE CONNECTION. HOWEVER AT LAPPED ZEE MEMBERS, WHETHER PURLINS OR GIRTS, NO WASHERS ARE REQUIRED IN THE 8-BOLT LAPPED REGION.

5) THE METAL BUILDING SUPPLIER SHALL BE NOTIFIED PRIOR TO ANY FIELD MODIFICATIONS. MODIFICATIONS SHALL BE APPROVED BY THE METAL BUILDING SUPPLIER BEFORE WORK IS UNDERTAKEN.

6) ALL WELDING MUST BE PERFORMED BY AWS QUALIFIED WELDERS FOR THE WELDING PROCESSES AND POSITIONS INDICATED. ALL WORK MUST BE COMPLETED AND INSPECTED IN ACCORDANCE WITH THE APPLICABLE AWS SPECIFICATIONS. WELD ELECTRODES USED FOR THE SMAW (OR STICK) WELD PROCESS MUST BE 70 KSI STEEL AND LOW HYDROGEN CONTENT.

7) COMMON ABBREVIATIONS:

a) TYP UNO-TYPICAL UNLESS NOTED OTHERWISE	f) SIM-SIMILAR
b) SLV-SHORT LEG VERTICAL	g) NIC-NOT IN CONTRACT
c) LLV-LONG LEG VERTICAL	h) SL-STEEL LINE
d) NS & FS-NEAR SIDE AND FAR SIDE	i) N/A-NOT APPLICABLE
e) O.A.L-OVERALL LENGTH	j) MBS-METAL BUILDING SUPPLIER

8) CONSTRUCTION LOADS SHALL NOT BE PLACED ON ANY STRUCTURAL STEEL FRAMEWORK UNLESS SUCH FRAMEWORK IS SAFELY BOLTED, WELDED, OR OTHERWISE ADEQUATELY SECURED.

9) PURLINS AND GIRTS SHALL NOT BE USED AS AN ANCHORAGE POINT FOR A FALL ARREST SYSTEM UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE METAL BUILDING SUPPLIER.

10) PURLINS MAY ONLY BE USED AS A WALKING/WORKING SURFACE WHEN INSTALLING SAFETY SYSTEMS, AFTER ALL PERMANENT BRIDGING HAS BEEN INSTALLED AND FALL PROTECTION IS PROVIDED.

11) CONSTRUCTION LOADS MAY BE PLACED ONLY WITHIN A ZONE THAT IS WITHIN 8 FEET OF THE CENTER-LINE OF THE PRIMARY SUPPORT MEMBER. CFR BUNDLES SHOULD BE PLACED DIRECTLY OVER THE RIGID FRAMES.

12) ALL LIFTING DEVICES MUST MEET OSHA OR MSHA STANDARDS AND IN NO CASE IS IT ACCEPTABLE TO USE STRUCTURAL MEMBERS SUPPLIED BY THE MBS AS A SPREADER BAR OR LIFTING DEVICE.

GENERAL DESIGN NOTES AND MATERIAL SPECIFICATIONS

1) ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS ARE DESIGNED IN ACCORDANCE WITH THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS-ALLOWABLE STRESS DESIGN", NINTH EDITION, OR THE AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS", THIRTEENTH EDITION, AS REQUIRED BY THE SPECIFIED BUILDING CODE.

2) ALL WELDING OF STRUCTURAL STEEL IS BASED ON AWS D1.1 "STRUCTURAL WELDING CODE", LATEST EDITION.

3) ALL COLD FORMED MEMBERS ARE DESIGNED IN ACCORDANCE WITH AISI "SPECIFICATIONS FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.

4) ALL WELDING OF COLD FORMED STEEL IS BASED ON AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL", LATEST EDITION.

5) IF JOISTS ARE INCLUDED WITH THIS PROJECT, THEY ARE SUPPLIED AS A PART OF THE SYSTEMS-ENGINEERED METAL BUILDING AND ARE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1928.758 OF THE OSHA SAFETY STANDARD FOR STEEL ERECTION, DATED JANUARY 18, 2001.

6) MATERIAL SPECIFICATIONS:

PLATE AND FLANGE MATERIAL:
 5"-12" WIDE & THRU 1" THICK _____ A529, GRADE 55
 OTHERS _____ A36

BUILT-UP STRUCTURAL WEB MATERIAL _____ A1011 SS (OR HSLAS CL1) OR 55
 HOT-ROLLED STRUCTURAL _____ A36 OR A572 GRADE 50 OR A992 GRADE 50
 STRUCTURAL TUBE _____ A500 GRADE B (46 KSI)
 STRUCTURAL PIPE _____ A500 GRADE B (42 KSI)
 COLD-FORMED STRUCTURAL _____ A1011 OR A1039 SS (OR HSLAS CL1) OR 55
 RPB ROOF PANELS _____ A792 GRADE 80
 STANDING SEAM ROOF PANELS _____ A792 GRADE 50, CLASS 1
 R-PANEL AND A-PANEL SIDING _____ A653 GRADE 80, CLASS 1 OR A792 GRADE 80, CLASS 1
 ROD BRACING _____ A529 GRADE 50
 CABLE BRACING _____ A475 COATING CLASS A, GRADE EHS, 7-WIRE
 WELDS _____ AWS D1.1 LATEST EDITION
 HIGH-STRENGTH BOLTS _____ A325 TYPE 1 HEAVY HEX OR A490 TYPE 1 HEAVY HEX
 MACHINE BOLTS _____ A-307 GRADE A HEX

PRIMARY AND SECONDARY STEEL PRIMER COLOR: RED

ROOF SHEETING, TYPE: CR 26 GAGE, FINISH: Polar White SP

ROOF PANEL CLIP TYPE: N/A TALL SHORT UTILITY FIXED FLOATING

THERMAL BLOCKS: YES NO EPS FOAM SPACER: YES NO

SEAMING METHOD (FOR CFR ONLY): ROLL LOCK™ WISE LOCK™ WISE LOCK 360™

COMPOSITE CFR DECK, TYPE: N/A GAGE, FINISH: _____

ROOF LINE TRIM, PAINTED: Evergreen SP NOTE: GUTTER HANGERS AND CRICH STRAPS PROVIDED IN GALVANIZED COLOR ONLY.

EXTERIOR WALL SHEETING, TYPE: CW 26 GAGE, FINISH: Lightstone SP

EXTERIOR WALL CORNER TRIM FINISH: Evergreen SP

EXTERIOR BASE TRIM, PAINTED: Lightstone SP

FRAMED OPENING TRIM, PAINTED: Evergreen SP

WALL FRAMED OPENING, SIZES: FSW none
 BSW none
 LEW (1) 12'-0" x 14'-0"
 REW (1) 12'-0" x 14'-0"

INTERIOR WALL SHEETING, TYPE: _____ GAGE, FINISH: _____

INTERIOR CEILING LINER, TYPE: _____ GAGE, FINISH: _____

INTERIOR WALL TRIM, PAINTED: _____

YES | NO

DOWNSPOUTS PAINTED: _____ GUTTERS PAINTED: _____

WALKDOORS, QUANTITY: (2) 3070 PAINTED: WHITE

WINDOWS: _____ PAINTED: _____

INSULATION (NOT BY MBS), ROOF: 4 INCH WALLS: 4 INCH

CRANES (SEE CRANE PLAN FOR ADDITIONAL CRANE INFORMATION)

MEZZANINE (SEE MEZZANINE PLAN FOR ADDITIONAL MEZZANINE INFO)

WALL TRANSLUCENT PANELS: _____

ROOF TRANSLUCENT PANELS: _____

INSULATED PANELS YES NO

PIPE JACKS, SIZE: _____ QUANTITY: _____

ROOF FRAMED OPENINGS, SEE ROOF FRAMING PLAN FOR SIZES

RIDGE VENTS, 10'-0" LONG X 9" THROAT. QUANTITY: _____

YES | NO

FASCIA, PROJECTION: _____ TOP OF FASCIA HEIGHT: _____

FACE PANEL, TYPE: _____ GAGE, FINISH: _____

BACK PANEL, TYPE: _____ GAGE, FINISH: _____

CAP TRIM PAINTED: _____ BASE TRIM PAINTED: _____

CLOSED SYSTEM, CLEAR UNDER SOFFIT TRIM:

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

OPEN SYSTEM, (NO SOFFIT PANEL PROVIDED)

CLEAR UNDER FASCIA: _____

PARAPET SYSTEM

STRUCTURAL PARAPET NON-STRUCTURAL PARAPET

TOP OF PARAPET HEIGHT: _____

BACKER PANEL, TYPE: _____ GAGE, FINISH: _____

CANOPY (EXPOSED BEAM), PROJECTION: _____

AT EAVE LINE BELOW EAVE

ROOF PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

CLEAR UNDER CANOPY BEAM: _____

EAVE EXTENSION (CONCEALED BEAM), PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

RAKE EXTENSION, PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

PARTITION WALL SHEETING

PANEL TYPE: _____ GAGE, FINISH: _____

PARTITION WALL TRIM COLOR: _____

ERECTOR NOTE:
 ALTERNATE FASTENERS HAVE BEEN SUBSTITUTED ON THIS BUILDING. WHERE THE DRAWINGS INDICATE AN H1040 STRUCTURAL FASTENER, H1030 FASTENERS WITH WASHERS HAVE BEEN SUPPLIED. WHERE THE DRAWINGS INDICATE AN H1060 TRIM FASTENER, H1050 FASTENERS WITH WASHERS HAVE BEEN SUPPLIED.

BUILDING LOADS

DESIGN CODE: IBC 06

ROOF LIVE LOAD: 20.00 PSF MBMA OCC. CLASS: II

LIVE LOAD REDUCIBLE No

GROUND SNOW LOAD: 20.0 PSF SNOW EXP. FACTOR, Ce: 1.00

SNOW IMPORTANCE FACTOR, Is: 1.00

WIND: 90 mph WIND IMPORTANCE FACTOR, Iw: 1.00

EXPOSURE: C

UL 90 No

Classic Roof-Const. No. 161; Classic Roof w/ Translucent Panel-Const. No. 167
 CFR Roof-Const. No. 552; CFR Roof w/ Translucent Panel-Const. No. 590;
 Composite CFR Roof-Const. No. 552A; VR16 II Roof-Const. No. 332.

SEISMIC INFORMATION Ss: 0.252 S1: 0.076

Design Sds/Sd1: 0.268 / 0.122 Site Class: D

Seismic Imp. Factor: 1.00 Seismic Design Category: B

Analysis Procedure: Equivalent Lateral Force Method

Basic SFRS: Not Detailed for Seismic

NOTES:
 1) COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILING, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 200 POUNDS, OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.

2) THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.

BUILDING

ROOF DEAD (PSF):	3.00
PRI. COL (PSF):	1
SEC. COL (PSF):	1
SNOW CL:	1.10
SNOW CS:	1.00
ROOF SNOW (PSF):	15.4
WIND ENCLOSURE:	Closed
GCo:	1-0.18
SEISMIC R:	3
SEISMIC CS:	0.09
BASE SHEAR (KIPS):	3.81

ERECTION MANUALS REQUIRED
 (ERECTION MANUALS ARE SHIPPED WITH THE BUILDING IN A WAREHOUSE PACKING CRATE)

CFR ROOF H9600 OR H8250 SINGLE CURB (H9850)

CLASSIC ROOF H9420 OR H8201 DOUBLE CURB (H9800)

WALL SHEETING H9430 OR H8300 VR16 II (H9925)

DRAWING INDEX

COVERSHEET	<u>C1</u>
ANCHOR BOLT DRAWINGS	<u>F1, F2</u>
COLUMN BASE REACTIONS	<u>F2</u>
STRUCTURAL/SHEETING DRAWINGS	<u>-</u>
DETAILS	<u>-</u>

DATE	7/5/12
P.E.	
ENG	
CHK	
DWN	
MBS	
CONSTRUCTION ANCHOR BOLTS	
ISSUE	

RHINO STEEL BUILDING SYSTEMS

3305 L-35 NORTH DENTON, TX 76207

PHONE: (940) 383-9566 (888) 320-7466 FAX: (940) 484-6746

PROJECT NAME: **WYOMING BLDGSOLUTIONS**

CODY, WY

CUSTOMER: **WYOMING BUILDING SOLUTIONS**

CODY, WY

JOB NUMBER: U1208111A

SHEET NO: C1 of 1



THIS SEAL PERTAINS ONLY TO THE MATERIALS DESIGNED AND SUPPLIED BY THE METAL BUILDING MANUFACTURER. THE DRAWINGS AND THE METAL BUILDING WHICH THEY REPRESENT ARE THE PRODUCT OF THE METAL BUILDING MANUFACTURER. THE REGISTERED PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS EMPLOYED BY THE METAL BUILDING MANUFACTURER AND DOES NOT SERVE AS OR REPRESENT THE PROJECT ENGINEER OF RECORD AND SHALL NOT BE CONSTRUED AS SUCH.

DATE	7/5/12
ENG	1
CHK	
DWN	
ISSUE	
CONSTRUCTION ANCHOR BOLTS	

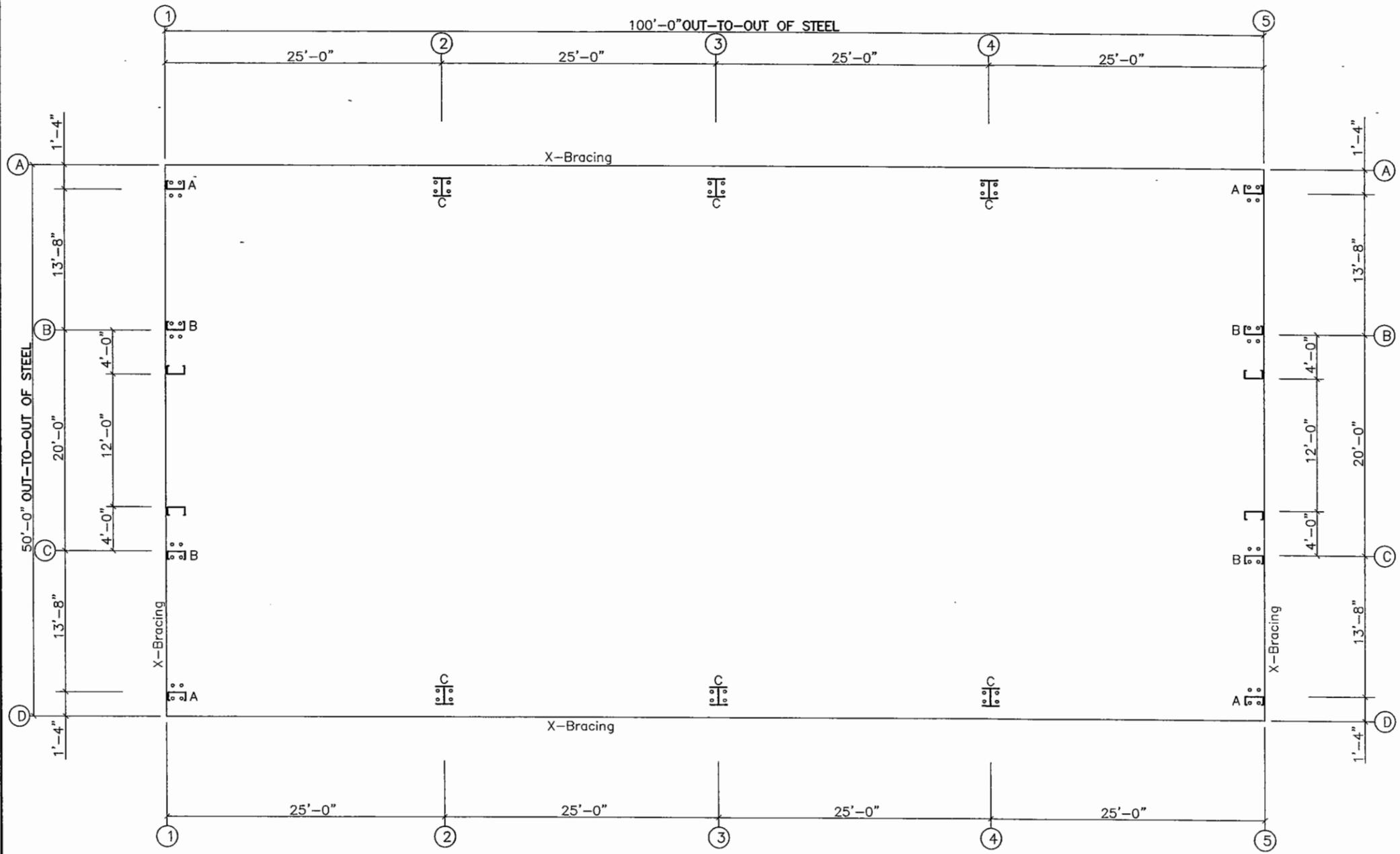
ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type	Proj (in)
32	Endwall	3/4"	F1554	3.00
24	Frame	3/4"	F1554	3.00

ANCHOR BOLT PLAN

GENERAL NOTES

1. THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ALL ANCHOR RODS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AS WELL AS ALL CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY METAL BUILDING MANUFACTURER.
4. THIS DRAWING IS NOT TO SCALE.
5. FINISHED FLOOR ELEVATION = 100'-0" UNLESS NOTED OTHERWISE.
6. "SINGLE" CEE COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS NOTED OTHERWISE.
7. ANCHOR RODS ARE REQUIRED ONLY IN THE QUANTITIES SPECIFIED. BASEPLATES MAY BE FABRICATED WITH MORE HOLES THAN NEEDED FOR THIS PROJECT.
8. THE ANCHOR BOLT LOCATIONS PROVIDED BY METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. PLEASE NOTE THAT THESE REQUIREMENTS MAY NOT SATISFY ALL ANCHOR BOLT CONCRETE EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF THE FOUNDATION DESIGN. BECAUSE FOUNDATION DESIGN IS NOT WITHIN THE METAL BUILDING MANUFACTURER'S SCOPE OF WORK, IT IS THE RESPONSIBILITY OF THE QUALIFIED PROFESSIONAL DESIGNING THE FOUNDATION TO MAKE CERTAIN THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED FOR THE ANCHOR BOLTS IN THE DETAILS OF THE FOUNDATION DESIGN.



ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)

o Dia= 3/4"

RHINO
STEEL BUILDING SYSTEMS

4305 I-35 NORTH
DENTON, TX 76207

PHONE: (840) 383-9566
(888) 320-7466
FAX: (840) 484-6746

PROJECT NAME: WYOMING BLDGSOLUTIONS

CODY, WY

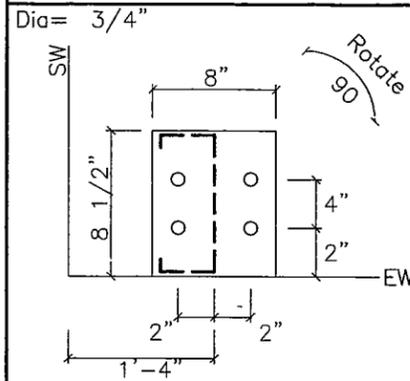
CUSTOMER: WYOMING BUILDING SOLUTIONS

CODY, WY

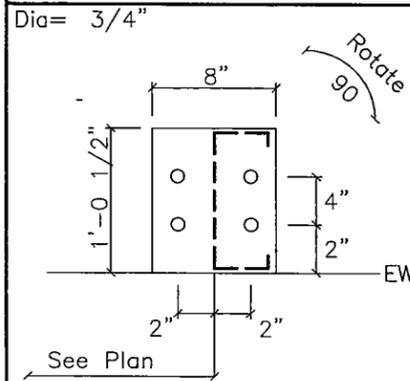
JOB NUMBER: U1208111A

SHEET NO: F1 of 2

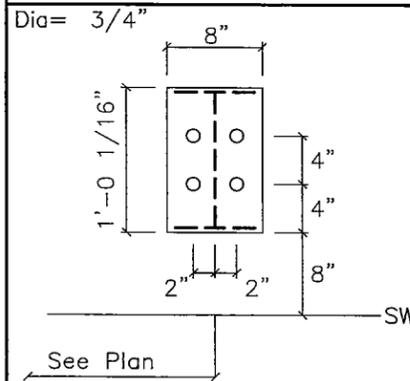
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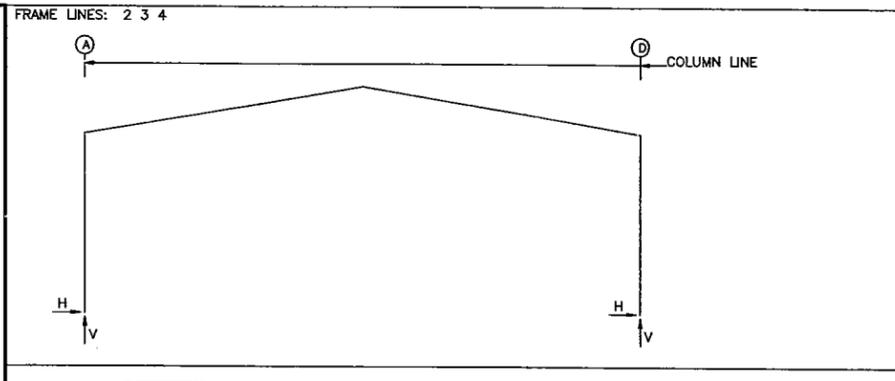
DETAIL A



DETAIL B



DETAIL C



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Bolt Qty	Anc. Bolt Dia	Base Plate (in) Width	Base Plate (in) Length	Base Plate (in) Thick	Elev. (in)
2*	A	4	0.750	8.000	12.06	0.375	0.0
2*	D	4	0.750	8.000	12.06	0.375	0.0

2* Frame lines: 2 3 4

ENDWALL COLUMN: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Bolt Qty	Anc. Bolt Dia	Base Plate (in) Width	Base Plate (in) Length	Base Plate (in) Thick	Elev. (in)
1	A	4	0.750	8.000	8.500	0.380	0.0
1	B	4	0.750	8.000	12.50	0.380	0.0
1	C	4	0.750	8.000	12.50	0.380	0.0
1	D	4	0.750	8.000	8.500	0.380	0.0
5	D	4	0.750	8.000	8.500	0.380	0.0
5	C	4	0.750	8.000	12.50	0.380	0.0
5	B	4	0.750	8.000	12.50	0.380	0.0
5	A	4	0.750	8.000	8.500	0.380	0.0

GENERAL NOTES

- ALL LOADING CONDITIONS ARE EXAMINED AND ONLY MAXIMUM/MINIMUM H OR V AND THE CORRESPONDING H OR V ARE REPORTED.
- REACTIONS ARE PROVIDED BY LOAD CASE IN ORDER TO AID THE FOUNDATION ENGINEER IN DETERMINING THE APPROPRIATE LOAD FACTORS AND COMBINATION TO BE USED WITH EITHER WORKING STRESS OR ULTIMATE STRENGTH DESIGN METHODS. WIND LOAD CASES ARE GIVEN FOR EACH PRIMARY WIND DIRECTION.
- FOR ASCE7-10 BASED BUILDING CODES THE UNFACTORED LOAD CASE REACTIONS DUE TO WIND ARE GENERATED USING ULTIMATE DESIGN WIND SPEEDS (V_{ult}).
- POSITIVE REACTIONS ARE AS SHOWN IN THE SKETCH. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
- BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE H POINTING AWAY FROM THE BRACED BAY. THE VERTICAL REACTION IS DOWNWARD.

***** RIGID FRAME LOAD CASE ABBREVIATIONS: *****
 Wind_L1/Wind_R1: LATERAL WIND FROM THE LEFT/RIGHT, CASE 1
 Wind_L2/Wind_R2: LATERAL WIND FROM THE LEFT/RIGHT, CASE 2
 Wind_Ln1/Wind_Ln2: LONGITUDINAL WIND, CASE 1/2
 Seismic_L/Seismic_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
 LWIND#_L/E/LWIND#_R/E: LONGITUDINAL WIND EDGE ZONES
 F#UNB_SL_L/F#UNB_SL_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
 F#PAT_LL #/F#PAT_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

***** ENDWALL COLUMN LOAD CASE ABBREVIATIONS: *****
 Collat: COLLATERAL LOAD
 Rafter Wind_L/Rafter Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Brace Wind_L/Brace Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Wind_P/Wind_S: LONGITUDINAL WIND PRESSURE/SUCTION ON COLUMNS
 Wind_Ln: LONGITUDINAL WIND SUCTION ON ROOF
 Seis_L/Seis_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
 E#UNB_SL_L/E#UNB_SL_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
 E#PAT_LL #/E#PAT_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead	Collat	Live	Snow	Rafter	Rafter	Brace	Brace	Wind_P	Wind_S	LnWind1	LnWind2
Line	Line	Horz	Vert	Horz	Vert	Horz	Vert	Wind_L	Wind_R	Horz	Vert	Horz	Vert
2*	A	1.0	2.7	0.3	0.7	5.4	13.1	4.2	10.1	-5.1	-8.7	0.2	-5.7
2*	D	-1.0	2.7	-0.3	0.7	-5.4	13.1	-4.2	10.1	-0.2	-5.7	5.1	-8.7

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

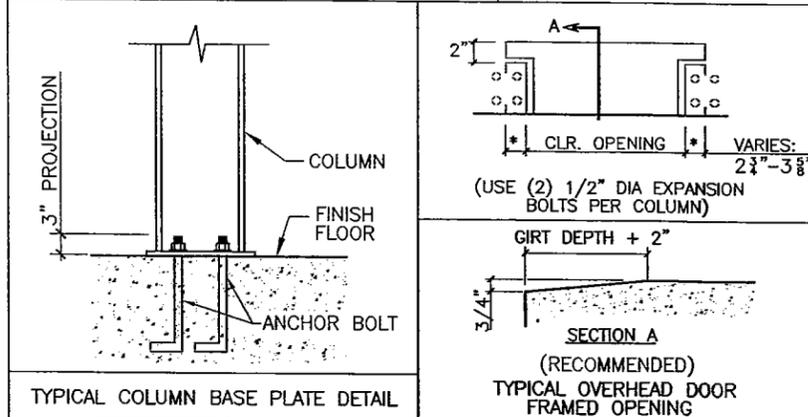
Frm Line	Col Line	Dead	Collat	Live	Snow	Rafter	Rafter	Brace	Brace	Wind_P	Wind_S	LnWind1	LnWind2
Line	Line	Horz	Vert	Horz	Vert	Horz	Vert	Wind_L	Wind_R	Horz	Vert	Horz	Vert
1	A	0.3	0.1	1.1	0.9	-1.2	-0.6	-1.2	-0.6	-0.8	1.0	-0.8	-0.5
1	B	1.1	0.3	5.5	4.3	-4.3	-3.0	-4.4	-3.0	-2.1	2.3	-3.6	-2.1
1	C	1.1	0.3	5.5	4.3	-3.0	-4.4	-3.0	-4.4	-2.1	2.3	-3.6	-2.1
1	D	0.3	0.1	1.1	0.9	-0.6	-1.1	-0.6	-1.1	-0.8	1.0	-0.8	-0.5

BUILDING BRACING REACTIONS

Wall Loc	Col Line	± Reactions (k)	Panel Shear (lb/ft)		
Line	Line	Wind	Seismic		
Line	Line	Horz	Vert		
L_EW	1	2.0	2.2	0.6	0.7
F_SW	D	2.3	3.0	1.7	2.0
R_EW	5	2.0	2.2	0.6	0.7
B_SW	A	3.2	3.0	1.7	2.0

FOUNDATION DESIGN NOTE:

THE ORIENTATION OF THE ANCHOR BOLT DETAILS SHOWN ON THIS PAGE MAY NOT COINCIDE WITH THE ACTUAL COLUMN ORIENTATION SHOWN ON PAGE F1. PLEASE REFERENCE THE SIDEWALL (SW) AND ENDWALL (EW) STEEL LINES SHOWN ON THE ANCHOR BOLT DETAILS WITH THE ANCHOR BOLT PLAN ON PAGE F1 DURING LAYOUT OF COLUMN AND ANCHOR BOLT LOCATIONS.



DATE	P.E.	ENG	CHK	DWN	ISSUE
7/5/12					CONSTRUCTION ANCHOR BOLTS

RHINO STEEL BUILDING SYSTEMS

4305 I-35 NORTH
DENTON, TX 76207
PHONE: (940) 383-9866
(888) 320-7466
FAX: (940) 484-6746

PROJECT NAME: WYOMING BLDGSOLUTIONS
 CODY, WY
 CUSTOMER: WYOMING BUILDING SOLUTIONS
 CODY, WY

JOB NUMBER: U1208111A

SHEET NO: F2 of 2

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**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 14, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	PAT O'HARA BREWING CO., DOWNTOWN ARCHITECTURAL DISTRICT REVIEW SPR 2012-31	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Kane Morris of Point Architects, on behalf of the Charles Stump Family Trust as owner and Leonard Moore, as Lessee, has submitted an application for architectural and sign changes to the building at 1019 15th Street. The location is proposed as a brewery/pub. This review includes the addition of a doorway and sign to the building.

The project is within the downtown parking exempt area, so review of the parking is not required.

Existing Conditions:



REVIEW CRITERIA:

The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein*

described and shall make recommendations and suggestions to the applicants, property owners or occupants.

STAFF COMMENTS:

While several interior changes to the building are proposed, only the exterior changes need review by the Planning and Zoning Board.

A double doorway will replace an existing window location, as shown on the attached plans, in order to meet building/fire code exit requirements. Details of the new doorway are not included in the application materials, but have been verbally described as a commercial, full-glass, double-entry door. They will also attempt to use existing brick to extend the brick trim down to the bottom threshold of the doorway to maintain architectural integrity.

Also, the existing door at the south end of the front of the building will be changed to swing out instead of into the building. The existing door will be used.

Sign:

A rendering of the proposed sign is attached. The applicant indicates it is approximately 45 square feet in size. The downtown business sign district, in which the property is located, allows one attached wall sign per store front, at a rate of 1.5 square feet per lineal foot of street frontage. This proposal meets those requirements.

ATTACHMENTS:

Application.

ALTERNATIVES:

Approve the architectural and sign components as presented, or make recommendations for modifications.

PAT O'HARA BREWING CO.

CODY, WYOMING

ARCHITECT:
POINT ARCHITECTS

RICHARD CHILDRESS
417 Remington #3
Garden City, ID 83714
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f. 208-246-5173
rich@pointarchitects.com

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kane@pointarchitects.com

www.pointarchitects.com

GENERAL CONTRACTOR:
McCLURE CUSTOM BUILDERS

JOHN McCLURE
721 15th Street
Suite C
Cody, WY 82414

p. 307-527-9985
jrmcclore@mcclurecustombuilders.com

www.mcclurecustombuilders.com

PROJECT ADDRESS:
1019 15th STREET
CODY, WY 82414

AREA TABULATION:

MAIN FLOOR SQUARE FOOT: 2,500 sq. ft.
TOTAL SQUARE FOOTAGE: 2,500 sq. ft.

SHEET INDEX:

A0.0 COVER
A1.0 SITE PLAN / SIGN ELEVATION
A2.0 EXISTING PLAN / NEW PLAN

CODE ANALYSIS:

ZONE: D-2, GENERAL BUSINESS
OCCUPANCY GROUP: ASSEMBLY GROUP A-2
OCCUPANT LOAD:
ASSEMBLY GROUP A = 1,105 sq. ft. / 15 = 74 OCCUPANTS
KITCHEN AREA = 1,173 sq. ft. / 200 = 6 OCCUPANTS
STORAGE/MECHANICAL 75 sq. ft. / 300 = 1 OCCUPANTS

TOTAL OCCUPANTS = 81

TOTAL NUMBER OF EXITS = 2

PLUMBING FIXTURES:
ASSEMBLY (RESTAURANT)
81 OCCUPANTS / 75 = 1 WATER CLOSETS
81 OCCUPANTS / 200 = 1 LAVATORIES

AREA TABULATION:
LOT SIZE: 2,500 SQUARE FEET
BUILDING SQUARE FOOT: 2,500 sq. ft.

LOCAL MAP



PROJECT SITE

REGIONAL MAP



GENERAL NOTES:

1. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF POINT ARCHITECTS OR OWNER PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
4. CONTRACTOR SHALL ADHERE TO ALL WRITTEN DIMENSIONS. ANY QUESTIONS ABOUT DIMENSIONS NOT PROVIDED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING THE AFFECTED WORK.
5. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO EXCAVATION.
6. WATER HEATER, DRYER, KITCHEN AND BATHROOM FANS TO VENT TO EXTERIOR.
7. ALL PATIO & SHOWER DOORS & ANY GLASS WITHIN 24" HORIZONTAL DISTANCE OF ANY DOOR OR WITHIN 18" ABOVE ANY WALKING SURFACE TO BE OF APPROVED SAFETY GLASS.
8. UTILITY SERVICES, PANELS, METERS, ETC. TO BE PROVIDED & LOCATED AS REQUIRED BY SITE, CODE AND UTILITY COMPANIES - VERIFY.
9. THE CONTRACTOR SHALL SECURE & PAY FOR ALL BUILDING PERMITS & HOOK UP FEES.

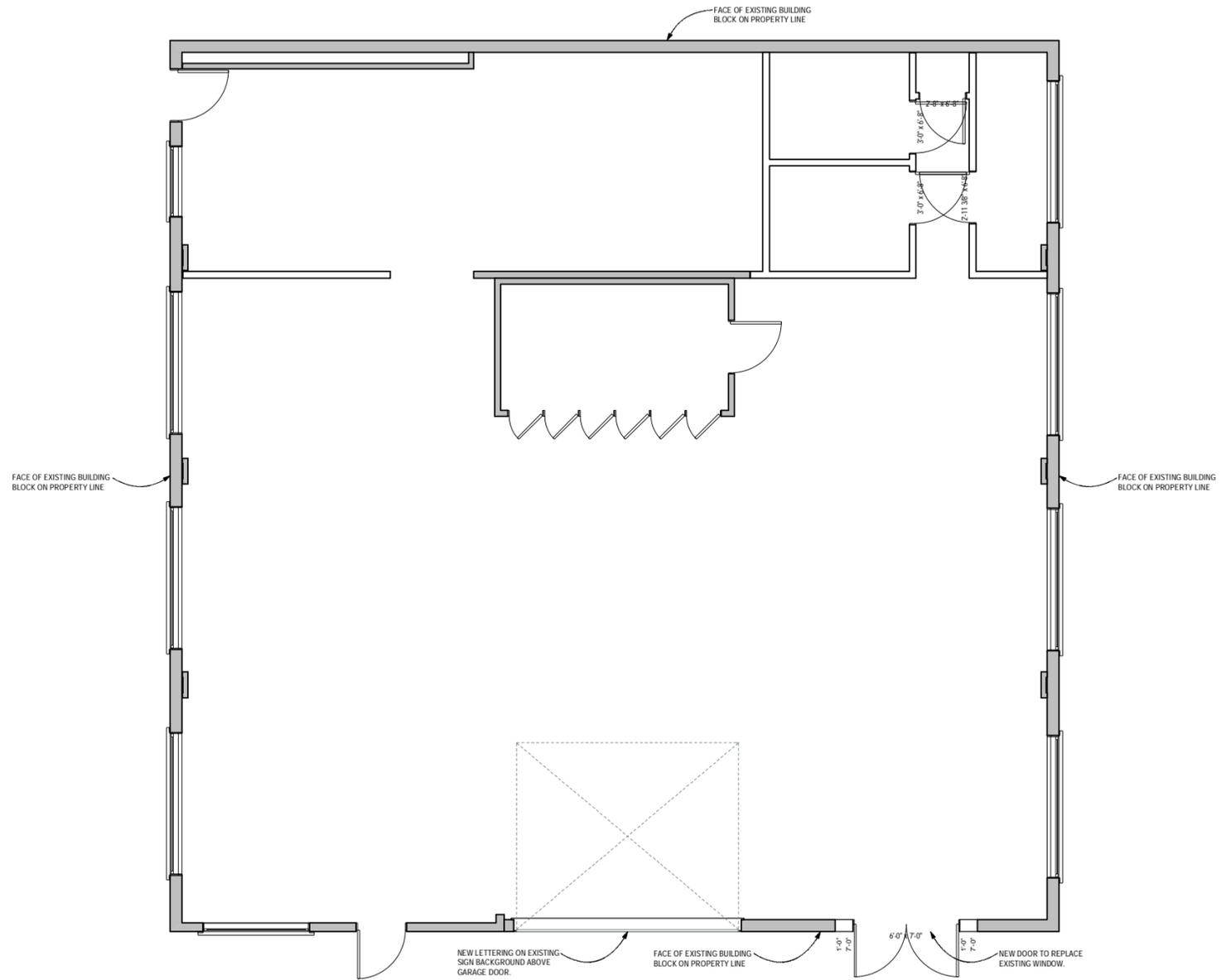
SIGN NOTES:

1. ATTACHING LETTERS (10"-12") TO EXISTING WHITE BACKGROUND ON BUILDING W/ SCREWS OR ADHESIVE.
2. ESTIMATED TOTAL AREA OF EXISTING SIGN = 40 Sq Ft.
3. THE HEIGHT OF EXISTING WHITE BACKGROUND AT THE BOTTOM IS 14'-0".



SIGN ELEVATION

N.T.S.



SITE PLAN

1"=1/8"



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POINT

ARCHITECTS

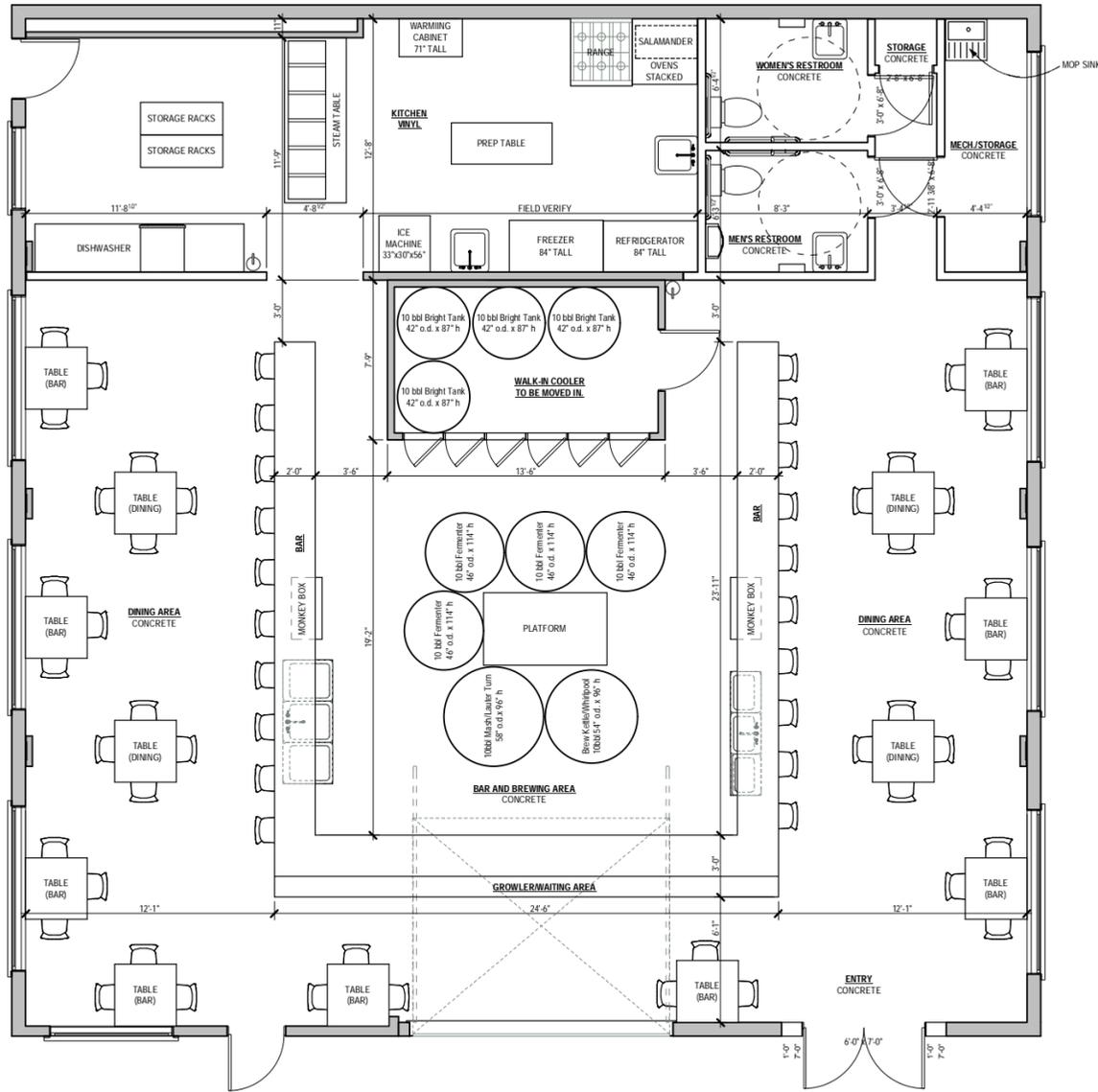
P.O. Box 4001
Cody, Wyoming
82414
307-272-4006

417 Remington
Suite
Garden City, Idaho
83714
208-284-2999
www.pointarchitects.com

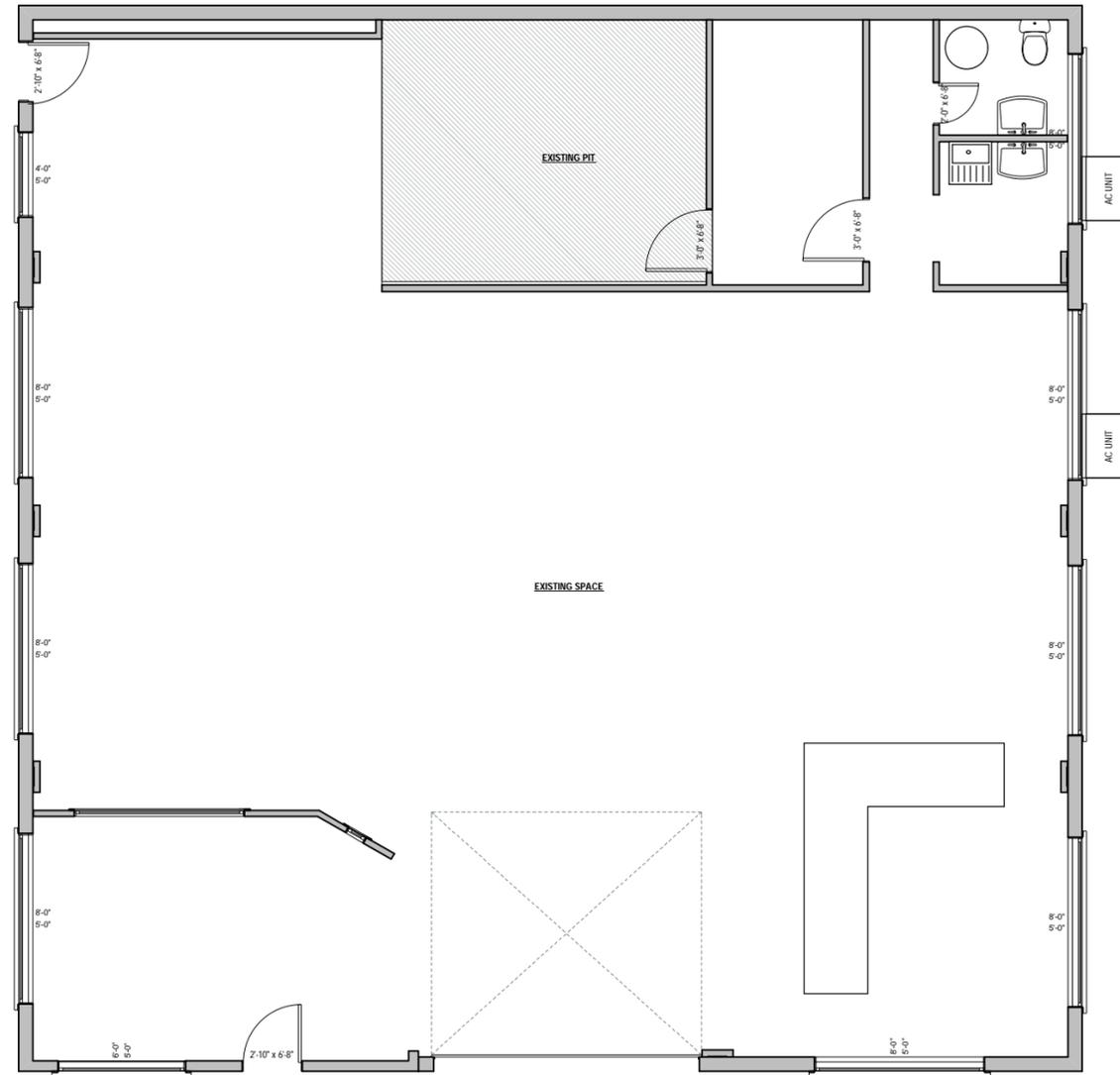
DATE	REV.
	▲
	▲
	▲
	▲
	▲

DATE: 7/24/2012
SCALE: Cody Brewpub.pln
BY: KM

A1.0



NEW FLOOR PLAN
1/8"=1'-0"



EXISTING PLAN
1/8"=1'-0"

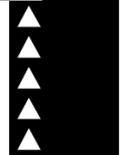
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POINT

ARCHITECTS

P.O. Box 1001
Cody, Wyoming 82414
307-232-4006
417 Remington
Suite
Garden City, Idaho 83714
208-284-2399
www.pointarchitects.com

DATE REV



DATE 7/24/2012
SCALE
FILE Cody Brewpub.pln
BY KM

A2.0

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 7, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	ARCHITECTURAL/SITE PLAN REVIEW: THE TERRACE RESTAURANT ADDITIONS, WIND WALL, AND FENCE SPR 2012-20 AND VAR 2012-01	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Karl and Lynne Lampe, as owners of the Geysers on the Terrace Restaurant and Bar, have submitted an application for the following improvements to the facility:

- Addition of a 14' 4" by 18' 3" cooler/fermenting room on the north side of the building.
- Addition of a 13' by 19' 8" storage room on the west side of the building.
- Installation of a 10-foot high "wind wall" parallel and six feet out from the west wall of the building, along the kitchen area.
- Installation of a rail fence along the front property line, from the building to the driveway entrance.

Each of the additions and the wind wall are proposed to be constructed of the same material, and of the same color, as the adjacent walls. It is an insulated, plastic polymer, pre-built form that is filled with concrete and has no additional covering.

North End of Existing Building:



West Side, Area of Wind Wall and Addition:



View from Driveway Entrance:



The additions are to accommodate a small-scale beer brewing operation and re-arrangement of some interior working spaces. The wind wall is to help prevent back-drafting into the kitchen exhaust fans during high wind events. The fence is to prevent vehicles from driving in and out of the facility at locations other than the approved entrance.

The property is located in the D-2 Open Business/Light Industrial zoning district, which allows the operations identified.

REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Shoshone River canyon	County, GR-5
East	Ira Fellows property-old fitness center	D-3
South	Vacant	County, Commercial
West	1.8 acre vacant parcel	D-3

Architecture:

As far as the architectural compatibility, the use of the same type and color of building materials as the adjacent part of the building will help the additions blend in visually with the rest of the structure. The locations of the additions to the north and northwest will also help de-emphasize them from the primary architecture of the main building.

The P&Z Board will need to determine if the proposed materials, colors, and other architectural features are suitable.

Landscaping:

No landscaping is proposed. No formal landscaping exists on the site, although the highway frontage contains some natural grass.

The use of the rough-cut stone supports for the rail fence does provide some decoration.

It is noted that the total additions are only about 500 square feet. If the additions were much larger there would be more justification to consider additional landscaping.

Storm Water Plan:

No storm water plan has been submitted at this time. Refer to the applicant's letter for his request to avoid installation of any storm water control features. While the City has no facilities directly affected, runoff onto adjoining property cannot be increased in volume or velocity without permission of the affected property owner. There is a private property owner between this property and the river. Either written permission from that property owner is needed, or compliance with the storm water manual should be required.

Parking:

The additions or rearrangement of the work spaces inside the existing building do not trigger any additional parking. Parking is based on the size of the eating and bar areas.

Lighting

Details of the exterior lighting have not been provided. So long as any exterior light fixtures are a down-lit style, there should be no issues.

The applicant's intent of lighting the U.S. flag should be acceptable, provided the light is of an appropriate intensity and of a spot-light style.

Fence:

The site plan is not sufficiently clear to indicate that the proposed fence will be entirely on the property or in any utility easement. The design of the fence, with no in-ground components, is apparently due to its placement within a utility easement. The fence cannot encroach into the highway right of way.

Wind Wall:

According to section 10-12-1 of the zoning ordinance, it could be interpreted that the wind wall falls within the definition of a fence. In the zoning code, any fence over six feet in height must be approved by the Planning and Zoning, and Adjustment Board.

The Board should clearly authorize the wall to be over six feet in height, if they approve the proposal.

ATTACHMENTS:

Application.

Site Plan and elevations.

ALTERNATIVES:

Approve or deny the proposal, with or without changes.

RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the site plan application and 10-foot high wind wall, it is recommended that it be subject to following.

1. Either submit plans and construct storm water control facilities per the city storm water manual, or obtain written permission from the affected property owner accepting the increased runoff. Any plans must be approved by the City Engineer. If storm water facilities are installed, they must be inspected and certified by the engineer, in writing, that they were built as designed.
2. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit and fence permit are required.
3. The brewing operation shall maintain compliance with applicable state and federal license requirements.

Geysers on the Terrace
525 West Yellowstone Ave
Cody, WY 82414
Owner Karl & Lynn Lampe
307 213 0321/899 5755

Planning and Zoning Board

Geysers on The Terrace wishes to add the capability to brew beer. The permits have been applied for and we are awaiting the approval. The current facility has sufficient unused area to produce the quantity of product (10 gal per batch), but the proposed fermenting facility and storage area would be desirable. The wind wall as part of the storage area would correct the wind issue we encounter on occasion. The fence/barrier on the street side of the parking lot would correct the problem we encounter with patrons that choose to depart thru the ditch. Adding a light to fly our country's flag is also on the list of improvements.

No additional electrical requirements will be needed. Extra capacity was incorporated in the initial construction with partial conduits already in place for the minimal lighting and cooler equipment needed for the additional facilities. Will be utilizing the same construction materials and colors to match the current building. No changes to the parking lot or lighting is proposed.

One concern is the requirement for a Storm Water system. Our property is a rock formation with a slight slope to the river. Carving a trench 10' x 11' x 2' deep would just make a rock pool. The big concern is destabilizing the formation in the digging of this trench. There is extensive instability just over our property line on the north side where this storm water trench would be located. With the drainage already sloped to the river, this storm water requirement seems counter productive in this application.

The possibility of placing an antique water tower in the proposed location is not being pursued at this time.

The fence/barrier would not be anchored so that any need to move for easement access could be easily accommodated.

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The building system is comprised of four standard product types. Each consists of a number of components such as boxes, panels, joiners, corners, and starters, and a variety of accessories such as jambs, casings and crown moldings.

- CF4 (4" - 100 mm) - 4" concrete wall; retaining walls and light commercial (e.g. car washes). The CF4 is generally designed as a load bearing wall.
- CF4 - foam-filled walls and roof, reinforced with steel, are used for telecommunication buildings.
- CF6 (6" - 150 mm) - 6" concrete wall; used for large scale projects, commercial, industrial, institutional and agricultural applications. The CF6 can be designed as a load bearing or non-load bearing wall.
- CF8 (8" - 200 mm) - 8" concrete wall; used for commercial, industrial, institutional and agricultural applications. The CF8 can be designed as a load bearing or non-load bearing wall. The CF8 is generally used where walls with higher load capacity are required.
- CF8i (8" - 200 mm) - 6" concrete wall, with 2" factory installed polyurethane insulation; used for commercial, industrial, institutional and agricultural applications where thermal efficiency is a requirement. The CF8i can be designed as a load bearing or non-load bearing wall.

Efficiency

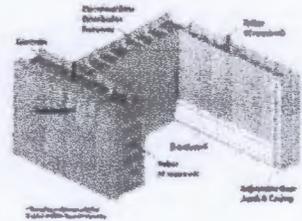
Buildings built with CF walls benefit from both the thermal mass of concrete and the air tight characteristics of the CF wall system.

CF4, CF6, and CF8 walls, when insulated with 2 ½" (64 mm) of rigid insulation on the exterior, have a minimum R-value of 22 (RSI 3.82). The CF8i wall assembly has a minimum effective R-value of 22 (RSI 3.82), in cold climates. Thermal performance, when insulated with 3 ½" (89 mm) of rigid insulation on the exterior, can exceed an R-value of 45 (RSI 7.93) in hot climates.

Earthquake Tornado and Hurricane Resistance

NuForm Building Technologies Inc.™ products have undergone rigorous laboratory testing and survived real-life disasters around the world.
 Earthquake:

Hover Over Image To Enlarge



- Proven test performance under extreme seismic conditions.
- Structures remain safe during earthquake as concrete is encased in a polymer shell.
- RBS survived the Kobe Earthquake in 1995, and was used to rebuild structures following devastating earthquakes in the Sakhalin Islands (Russia), Mexico, Turkey and India.

Hurricane, Typhoon & Tornado:

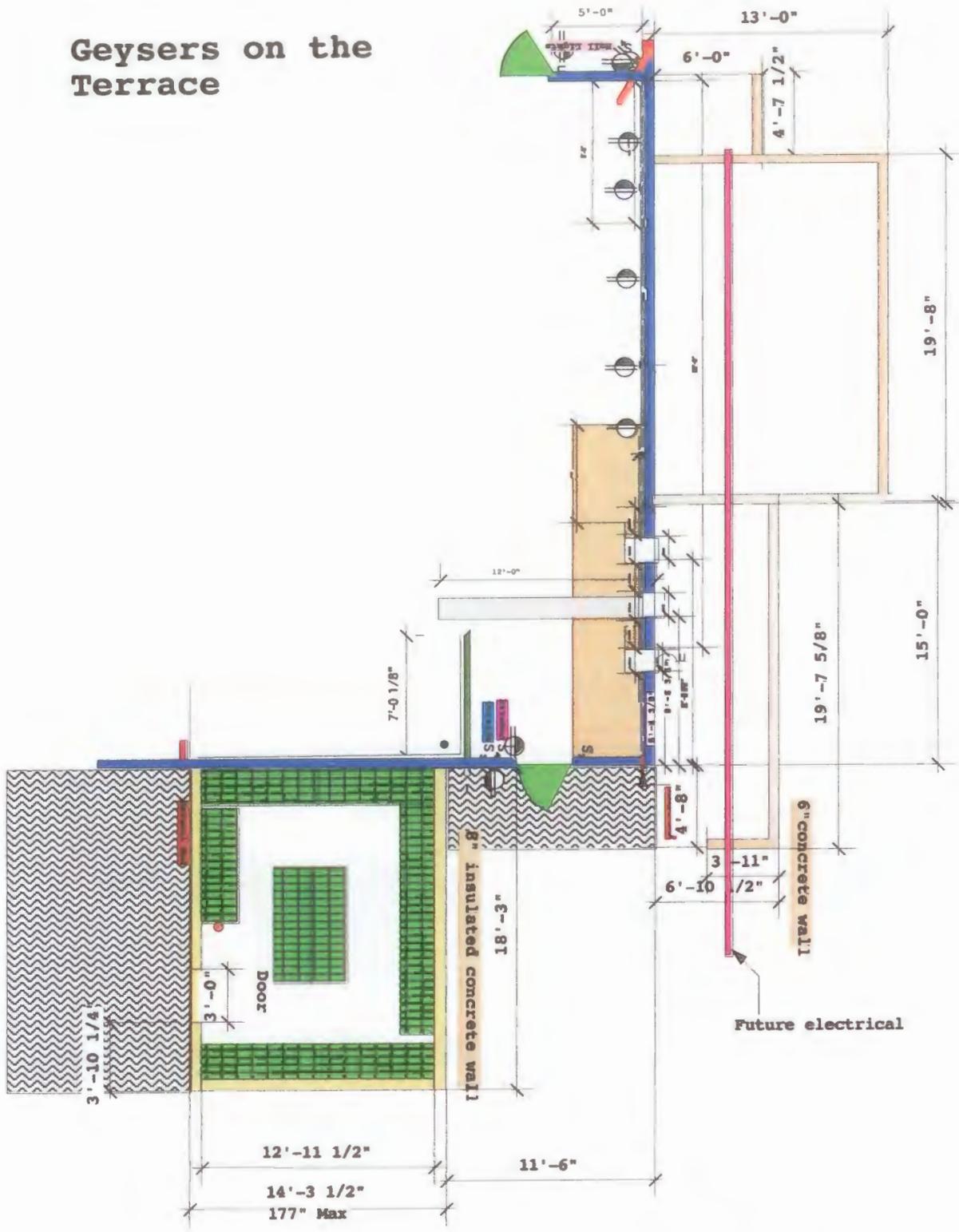
- Concrete filled walls provide a shelter against flying debris.
- System can be designed to suit any wind loading conditions.
- System has been used for "safe rooms" in tornado alley in Oklahoma
- System has withstood hurricanes in the Caribbean (e.g. Luis) and typhoons in the South Pacific (e.g. Paka)

(above quoted from nuformdirect.com)

Box 51 Sioux Rapids, Iowa 50585-0051
Phone: (712) 283-2541 Fax: (712) 283-2387
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Geysers on the Terrace



Terrace Proposed Additions

NORTH

Geysers on the Terrace

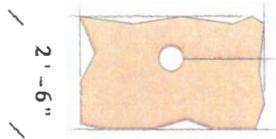
525 West Yellowstone Ave

Cody, WY 82414

Owner Karl & Lynn Lampe

4'-2"

307 213 0321/899 5755



1'-7"

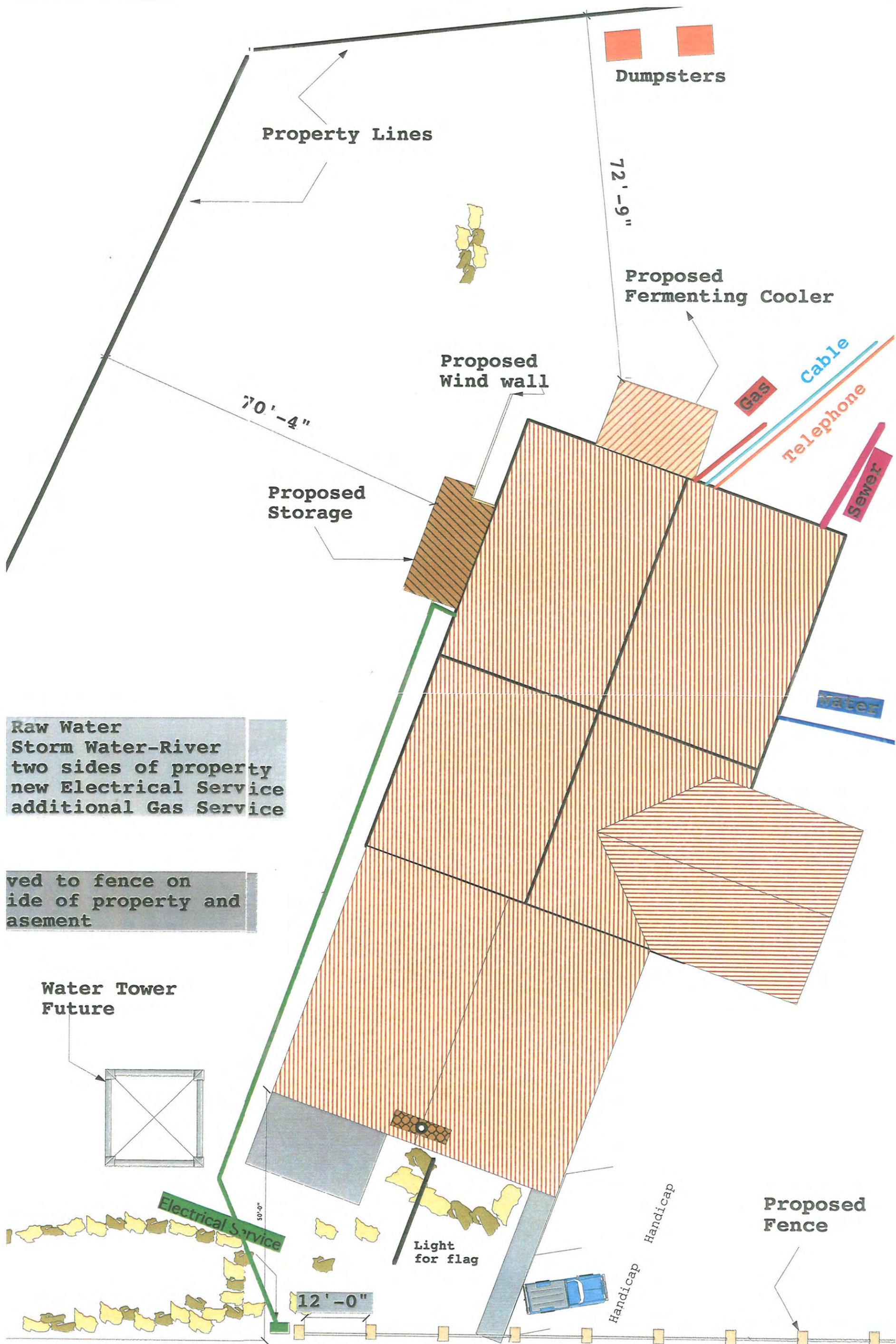
12'-0"

1'-8"

Stone supports

Steel 3-6" rails

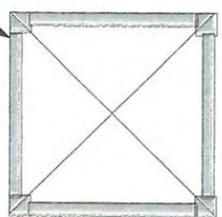




Raw Water
 Storm Water-River
 two sides of property
 new Electrical Service
 additional Gas Service

ved to fence on
 ide of property and
 asement

Water Tower
 Future



Electrical Service

12'-0"

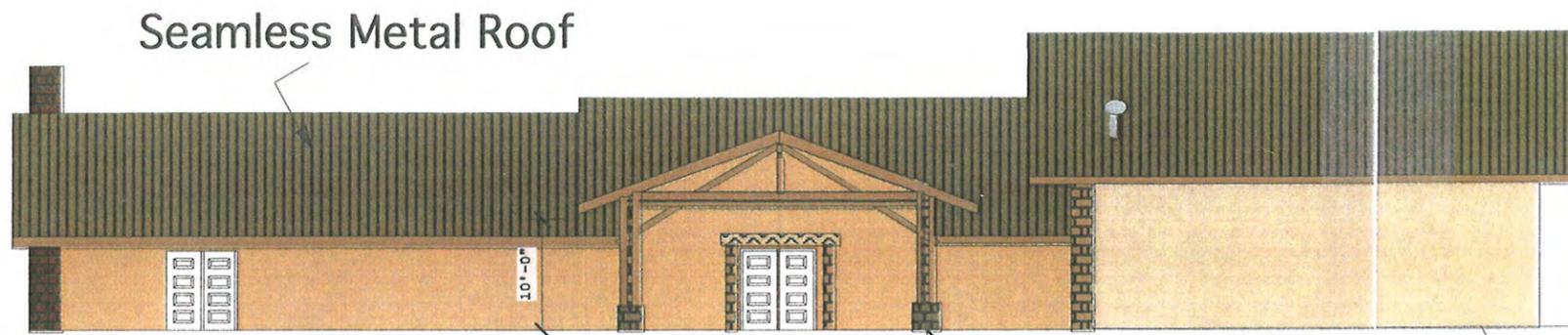
Light
 for flag

Handicap
 Handicap

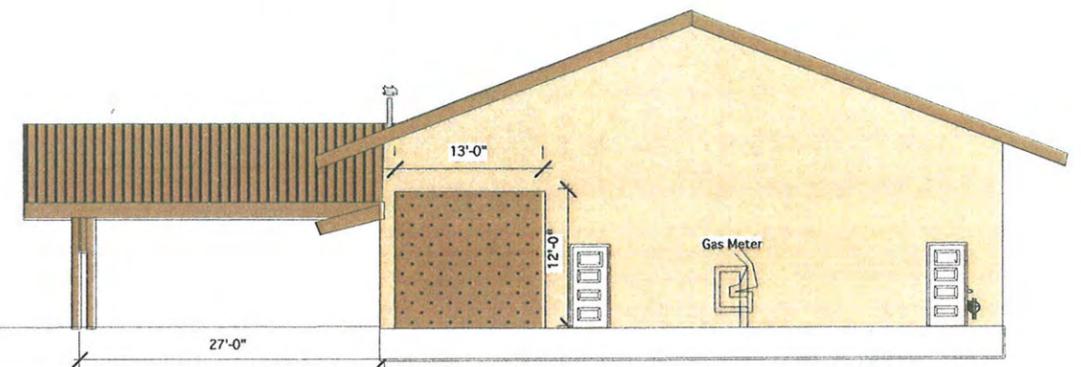
Proposed
 Fence

Geysers on the Terrace
525 West Yellowstone Ave
Cody, WY 82414
Owner Karl & Lynn Lampe
307 213 0321/899 5755

East Side

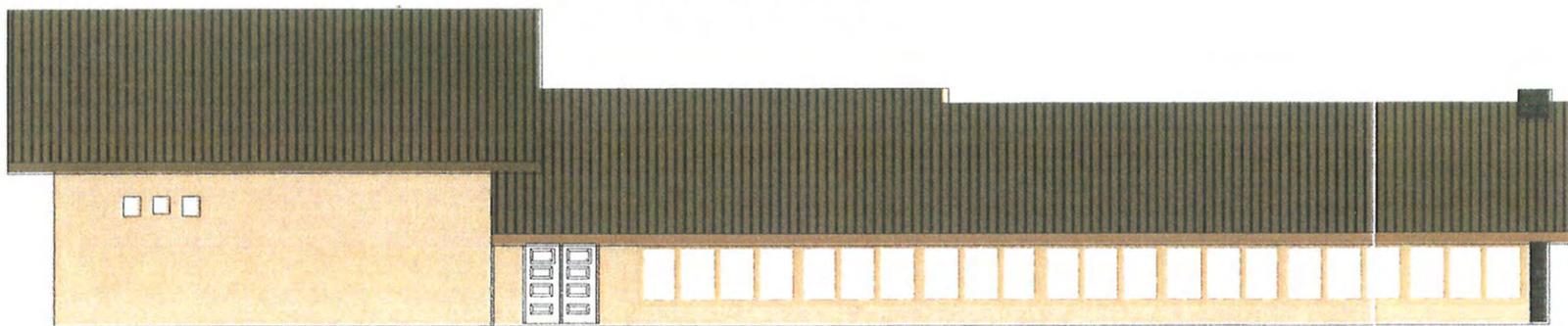


North Face

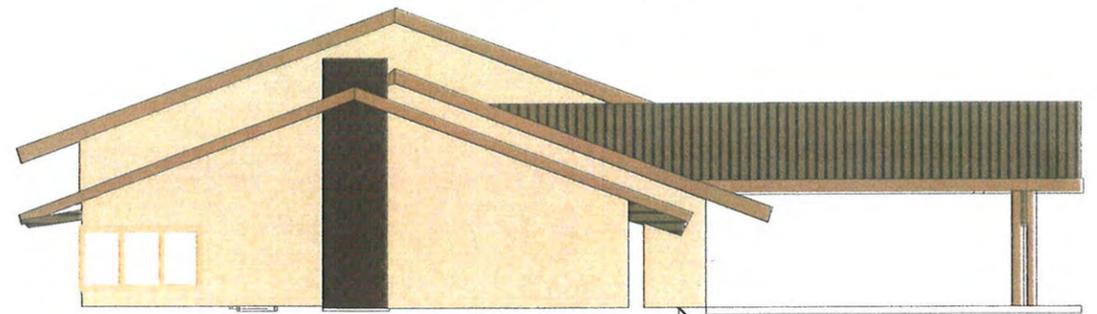


Tan Stucco

West Side

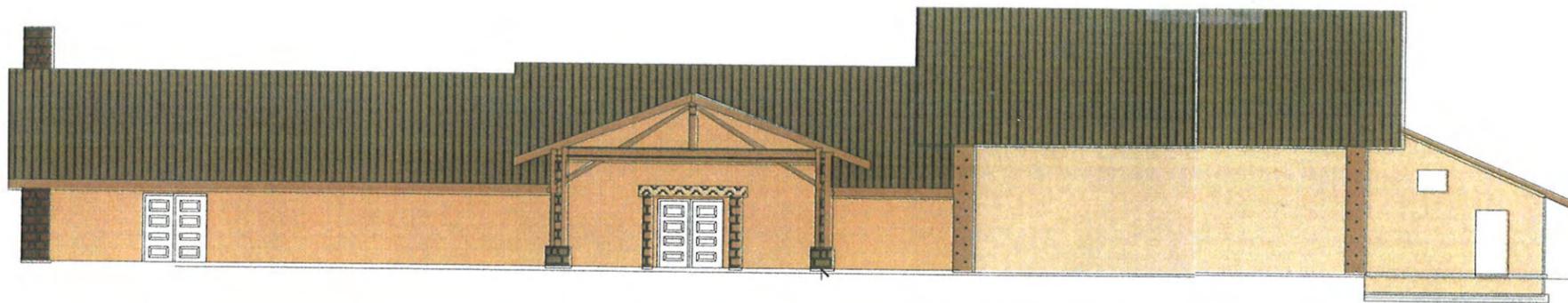


South Face

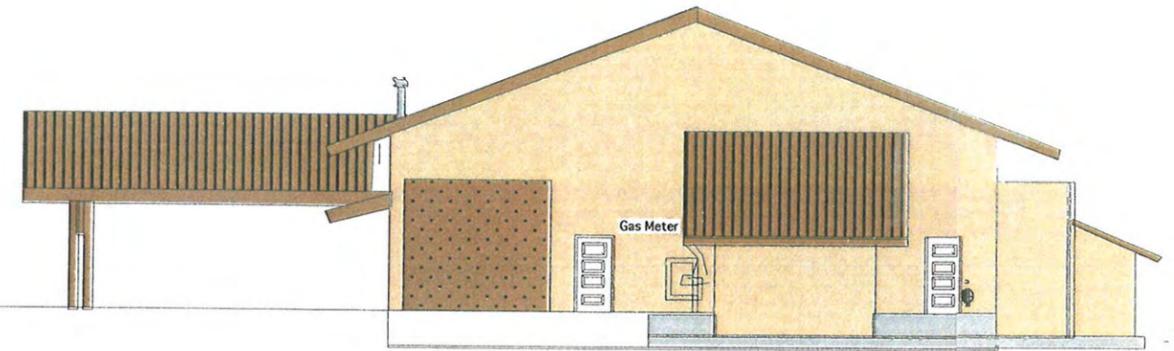


Geysers on the Terrace
525 West Yellowstone Ave
Cody, WY 82414
Owner Karl & Lynn Lampe
307 213 0321/899 5755

East Side



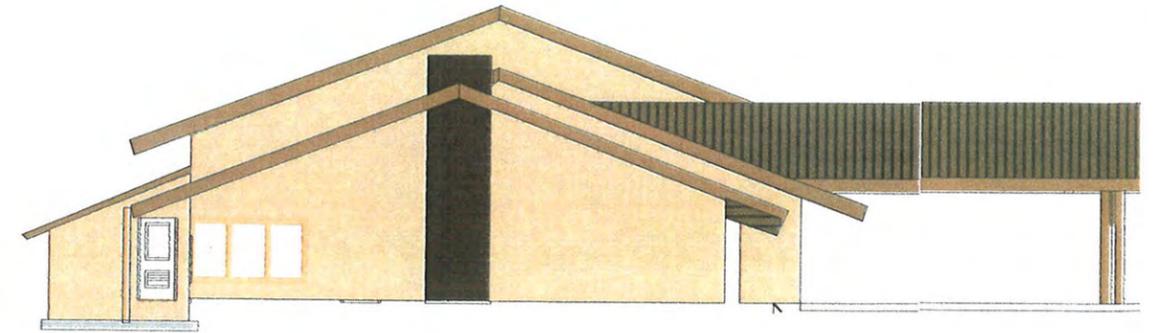
North Face



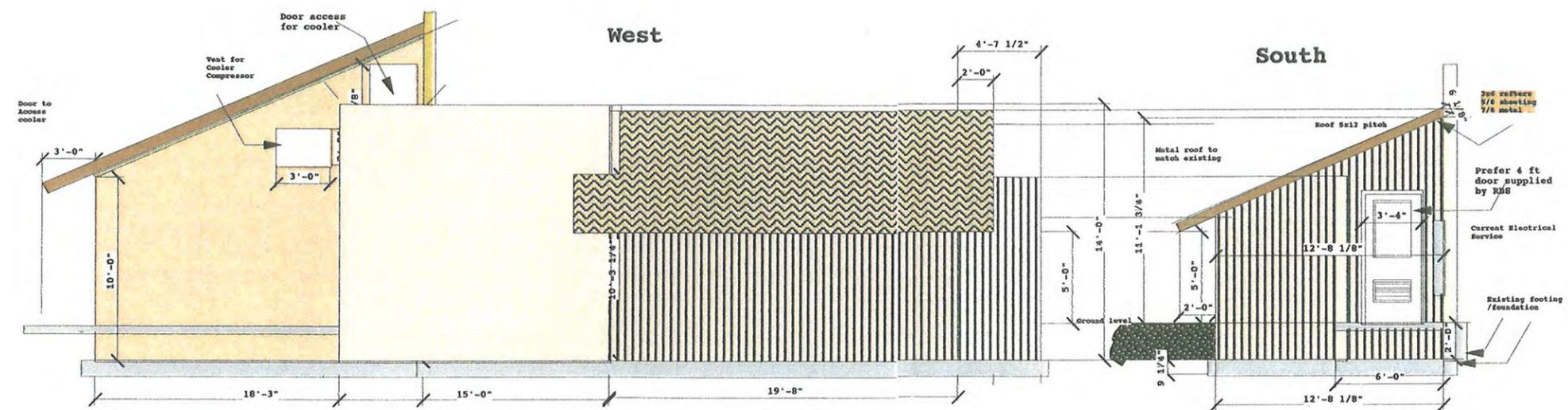
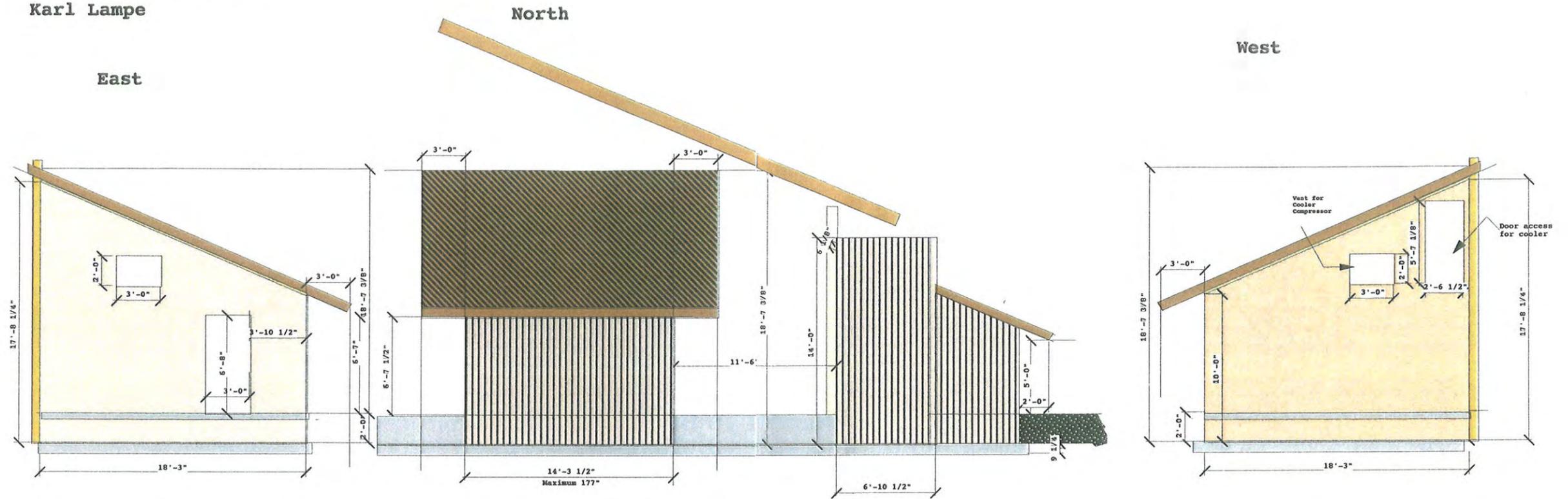
West Side



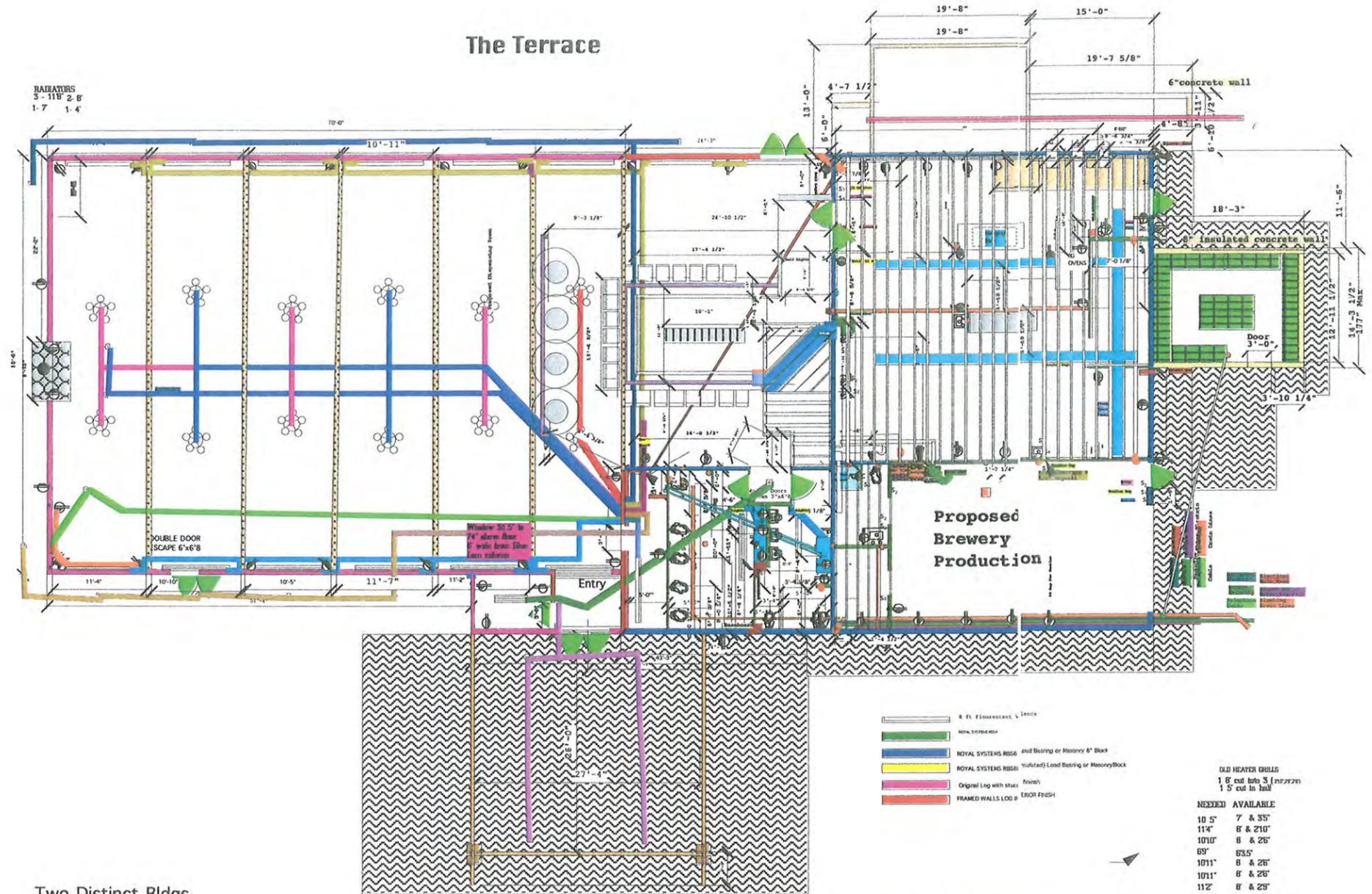
South Face



Geysers on the Terrace
 307 213 0321
 Karl Lampe



The Terrace



Two Distinct Bldgs

Hall Bldg (57 x94)-(51'4\"X7)=4998.7Sq Ft
 SEATING AREA 4998.7-((18'2\"X7)+(24'7\"X20\"))=4379.9SQ FT
 TOTAL SEATING 4379.9SQ FT/15 SQ FT/Person =292 TOTAL CAPACITY
 Russ Taylor Engr Powell 7544 7015
 Russ Wenke 587 2947

Contractor M & K Custom Wood

Geysers on the Terrace
525 West Yellowstone Ave
Cody, WY 82414
Owner Karl & Lynn Lampe
307 213 0321/899 5755

- 8 Ft. Fluorescent Light
- NON EXTERIOR
- ROYAL SYSTEMS ROSS Anti Barring or Heavy 6\" Black
- ROYAL SYSTEMS ROSS Insulated Load Bearing or Masonry/Block
- Original log with stain finish
- FRAMED WALLS LOG 8\" EXTERIOR FINISH

OLD HEATER GRILLS
 1 6' cut into 3 (2x2x2x)
 1 5' cut in half

NEEDED	AVAILABLE
10 5'	7 & 35'
11 4'	8 & 210'
10 10'	8 & 26'
6 9'	6 3 5'
10 11'	8 & 26'
10 11'	8 & 26'
11 2'	8 & 29'
11 2'	8 & 28'
11 4'	8

New needed

14'	8 & 5'
11 7'	8 & 5'

End plates 2 2x2
 Cornices 1
 Cornices 10
 Check number of connectors
 Support brackets 25
 Top hangers

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 7, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	ARCHITECTURAL/SITE PLAN REVIEW: CODY LABS AIR HANDLER ENCLOSURE SPR 2012-33	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

On December 13, 2011, the Planning, Zoning and Adjustment Board approved a proposal by Cody Laboratories, Inc. to relocate a fence to enclose a new area for additional HVAC units and storage containers. The proposal has been slightly modified, in that they now propose to enclose the HVAC/air handler units within a metal sided building. This review is an Architectural/Site Plan review for the 25-foot by 50-foot air handler building addition. Enclosing the air handler units is intended to provide some sound reduction and security. Refer to the attached architectural drawings.

Area of Proposed Addition:



REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Residential Development	Residential A
East	Undeveloped Cody Labs property.	D-3
South	Car wash	D-3
West	Cemetery	D-3

Architecture:

The existing building is painted masonry block, in a light grey color. The addition will be a metal building, with blue sheet-metal and an overhead door. The blue color is intended to match the Wal-Mart blue color on the front of the existing building.

The P&Z Board will need to determine if the proposed materials, colors, and other architectural features are suitable.

Landscaping:

No landscaping is proposed. See comments below about the need for maintenance and possible replacement of existing landscaping.

Storm Water Plan:

The storm water plan was reviewed and approved with the previous proposal. There is no proposed change to the storm water improvements.

Parking:

The air handler addition does not trigger any additional parking.

Lighting

No lighting is shown on the plans. If lighting is installed, it should be of a down-lit style.

SIDE COMMENTS:

It is noted that the storage container in the southwest portion of the fenced area was not previously approved by the Board. The contractor indicates that it is temporary, until the new warehouse is constructed next year, and that no additional storage containers will be added. This being the case, the Board could authorize it to remain on a temporary basis. If it were to remain long-term, staff would suggest additional vegetation along the perimeter of the fenced compound.

During the site view, staff noted that the vegetation at the facility does not appear to be irrigated or maintained. Several trees are dead or severely stressed. We mentioned this to the contractor, who will discover what is going on and report to the Board.

Dead and stressed trees at facility:



ATTACHMENTS:

Submittal letter, site plan and elevations.

ALTERNATIVES:

Approve or deny the proposal, with or without changes.

RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the architectural/site plan application, it is recommended that it be subject to following.

1. The temporary placement of the storage container labeled HMSB-22 on the site plan is authorized until the intended warehouse addition is completed, or 18 months, whichever is less.
2. (Any condition related to landscaping)
3. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit is required.



1050 N 3rd Street, Ste. A
Laramie, WY 82072
307.745.4119 office
307.742.7124 fax

3440 Bypass Blvd.
Casper, WY 82604
307.237.7171 office
307.237.7181 fax

3304 Big Horn Ave.
Cody, WY 82414
307.587.6610 office
307.587.6613 fax

www.groathouse.com

July 31, 2012

Mr. Todd Stowell, AICP
City Planner
City of Cody, Wyoming

RE: Cody Laboratories

Dear Mr. Stowell:

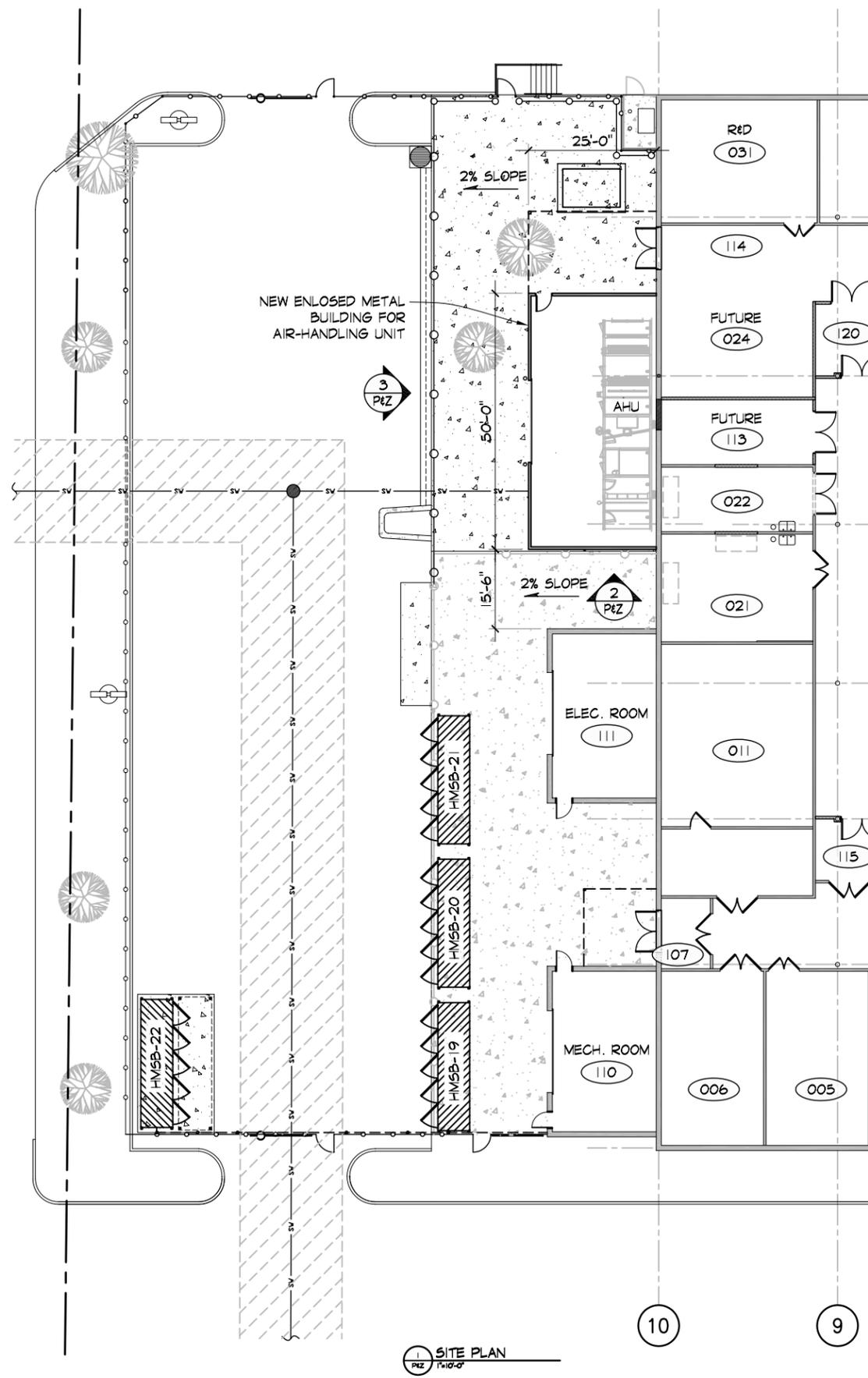
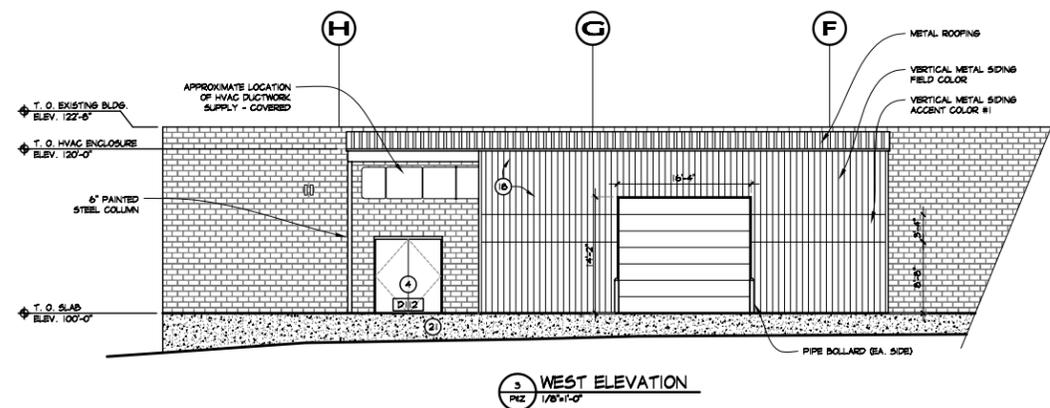
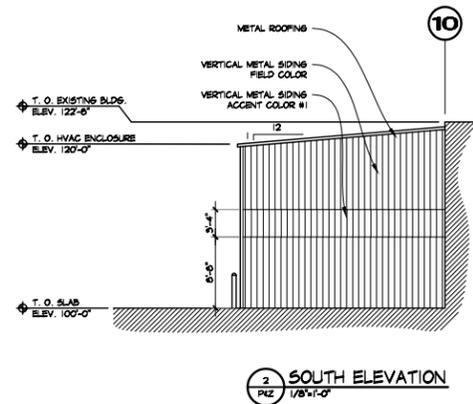
Please see the attached revision to the improvements that were previously passed by Planning and Zoning for the west side of the Cody Laboratories. Previously, a hazardous chemical container was going to be housed on the west side of the building, and a large exposed steel structure was going to be placed above it to hold a new mechanical air handler and exhaust stacks. The new design has been simplified and no longer includes the large steel structure or exhaust stack. Instead, we will now house the air handler in a small addition that will be less visible to the residents on Conifer Lane and from traffic on Yellowstone Highway. Should you have any questions please contact me at 307-587-6610.

Sincerely yours,
GROATHOUSE CONSTRUCTION, INC.

A handwritten signature in blue ink that reads "Fred A. Bronnenberg". The signature is fluid and cursive, with a large loop at the end.

Fred Bronnenberg

President



CODY LABORATORIES

CODY LABORATORIES REVISED AIR-HANDLING UNIT RESUBMITTAL - 7.27.12

CODY LABORATORIES
11M3 - Solvent Storage, Sampling, & Dispensing
Plan one / architects



ARCHITECTS



The professional services of the architect and engineer are provided on the basis of the contract documents. The contractor is responsible for the construction of the project and for obtaining all necessary permits.

project: 1167

date: 2/10/2012

revisions:



~ cody, wyoming, 1001 12th st., 82414 (307) 587-8646 ~ rock springs, wyoming, 4020 devar dr., suite a, 82901 (307) 352-2954, ~ driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 ~

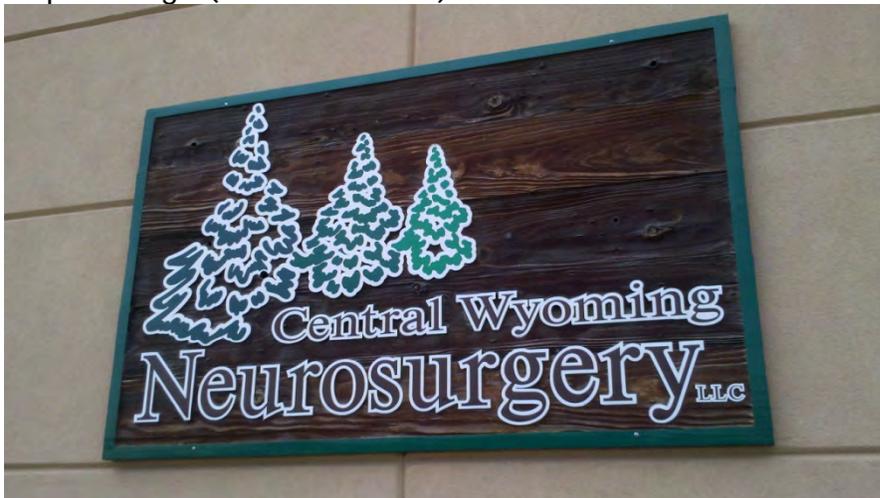
**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 14, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	CENTRAL WYOMING NEUROSURGERY SIGN, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW—SGN 2012-11	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Starla Atkinson of Central Wyoming Neurosurgery LLC has submitted an application to install a 72" wide by 44" tall wooden sign on the outside wall of the Nichol Mall space that she rents from the City (1008 Rumsey).

Proposed sign (Former location):



The location of the sign would be on the wood above the awning shown here:



REVIEW CRITERIA:

The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

The size of the sign complies with the sign code. The downtown sign district allows one wall sign per store front at a rate of 1.5 square feet per lineal foot of street frontage. The business has 25 feet of street frontage, allowing 37.5 square feet of sign. The proposed sign is 22 square feet in size.

In addition, because the City owns the property on which the sign is proposed, the sign must also be authorized by the City Council, per city code 10-15-6(B)(9). The matter has been placed on the Council's agenda for August 7, 2012. We will report on the result at the Planning and Zoning Board meeting.

STAFF COMMENTS:

The fact that the sign is professionally constructed, that it is wooden and blends well with the existing wood background, and that the colors are complimentary to the existing brick and wood façade are all factors that help the architectural compatibility of the sign.

ATTACHMENTS:

Application.

ALTERNATIVES:

Approve as presented, or recommend changes.

RECOMMENDATION:

Provided Council approval has been received, approve the sign application as requested.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 14, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: JOE'S AUTO SPR 2012-34	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Joe Boydston as property owner and Andrew Cowan of Tundra General Contractors, LLC as representative (contractor), has submitted an application for an auto repair shop on Lot 2 of Becky's Addition, located at 3328 Big Horn Avenue. The proposal includes a 4,800 square foot shop and 525 to 612 square feet of customer, office and storage area (they have two configurations shown). Refer to the attached site plan and floor plan.

Existing Conditions:

Entrance:



At NW corner of property, looking south:



At Bighorn, looking south down drive:



At SE corner of Property Looking North:



REVIEW CRITERIA:

The property is located within the General Commercial/Light Industrial "D-3" zoning district, which permits automobile repair shops.

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant metal building in subdivision, Retail commercial across Big Horn.	D-3
East	Existing Joe's Auto facility.	D-3
South	Vacant immediately adjacent, residence 200' to south.	D-3
West	GC Cody Subdivision, residence.	D-3

Architecture:

The building elevations are attached. It is a metal building with sheet metal siding and roofing. The walls are 14 feet tall and are proposed to be "charcoal gray". The roof would be "rustic red". A brick wainscot is proposed on the front of the office, and 10 feet down the north side. The applicant will be able to describe the brick color of the wainscot at the meeting. The four overhead garage doors are proposed to be white. Several windows are on the south and west sides of the building.

The P&Z Board will need to determine if the proposed materials, colors, and architecture are suitable. Almost all of the buildings in the immediate area are of a similar design, although tan and light gray are the predominant colors of those buildings.

Landscaping:

New trees or bushes are proposed along the west property line, which will require removal of six dead/dying trees. A private irrigation pipe, intended to serve the lot to the north, is installed in a 10-foot irrigation easement in this area. So long as the pipe is protected, the new trees and bushes can be located in this easement as proposed. The types of proposed trees/bushes should be disclosed, and an appropriate irrigation system should be provided. The applicant has been asked to be ready with this information at the meeting.

The trees/bushes will help provide a visual screen for the shop, as the site is very visible from Big Horn Avenue and the Eleutian Technology area.

Unfortunately, the flag-lot design of the property does not allow much room for landscaping near the entrance off of Big Horn Avenue.

Storm Water Plan:

An engineered storm water plan has been prepared to address runoff according to the City's storm water policy manual. The plan includes a 100-foot long ditch along the west property line and a two-foot deep drainage swale on the east side of the property. The facilities are sized to retain the design storm with no percolation assumed. This is good, since part of the east drainage swale would see compaction with the parking proposed on it.

Parking:

The parking ordinance requires commercial and industrial uses to provide one space per employee plus one space per average number of customers expected at any one time. The applicant indicates that the thirteen outdoor spaces and parking in the four bays will be adequate. The amount of parking proposed is roughly equivalent to the ratio of parking required recently for the Reno Auto Body project.

The entrance and parking area is proposed to be surfaced with gravel, and a 15' concrete apron installed along the front of the building. The ADA space, loading area, and wheel stops are shown on the concrete apron, although details of dimensions, grade and signage are not provided.

It is noted that the snow storage areas could affect parking for a few spaces.

If additional parking is needed on either a temporary or permanent basis, the applicant may have the option of utilizing his lot to the east, although only operational vehicles could be parked off-site without further review (fencing and screening requirements).

The Board should also discuss the potential need for paving the Big Horn Avenue road approach to minimize track out of dirt and gravel onto Big Horn Avenue. Thirty feet of paving should be adequate.

Lighting

The applicant has verbally indicated that exterior lighting will consist of two, down-lit wall packs in the areas of the overhead doors, and one light near the office entrance. All exterior lighting will be a downward/cut-off style.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

The proposal is a permitted use in the D-3 zone in which the property is located. No buffers are specifically required for this proposal. There are no zoning setbacks for the D-3 zone, although building code setbacks apply based on type of construction materials. Applicable building code setbacks will be met by the proposal.

Utility Services

There was a mobile home on this property at some time in the past. The applicant intends to use the existing ¾" water line and 4" sewer line, provided their condition is verified to be acceptable. New electrical service and gas service would be brought in from the services along Big Horn Avenue. Utility fees will apply and must be paid with the building permit application.

The location of the water and gas lines need to be slightly modified, so that adequate cover is provided—they are currently shown as being under the drainage swale, which may not provide adequate cover and is not allowed for the water line due to potential contamination issues.

Signage

Two, 4' by 8' wall signs are proposed on the office area of the building. The sizes and locations meet the sign requirements of the D-3 zone.

Fill

It is evident that fill for the building pad has recently been placed. The applicant should also be prepared to provide to the building official soil compaction tests/soil reports for the structural fill on which the building will be located. Discuss with the Building Official as needed.

ATTACHMENTS:

Site plan, elevations, and floor plan.

ALTERNATIVES:

Approve or deny the site plan and architectural/landscaping design, with or without changes.

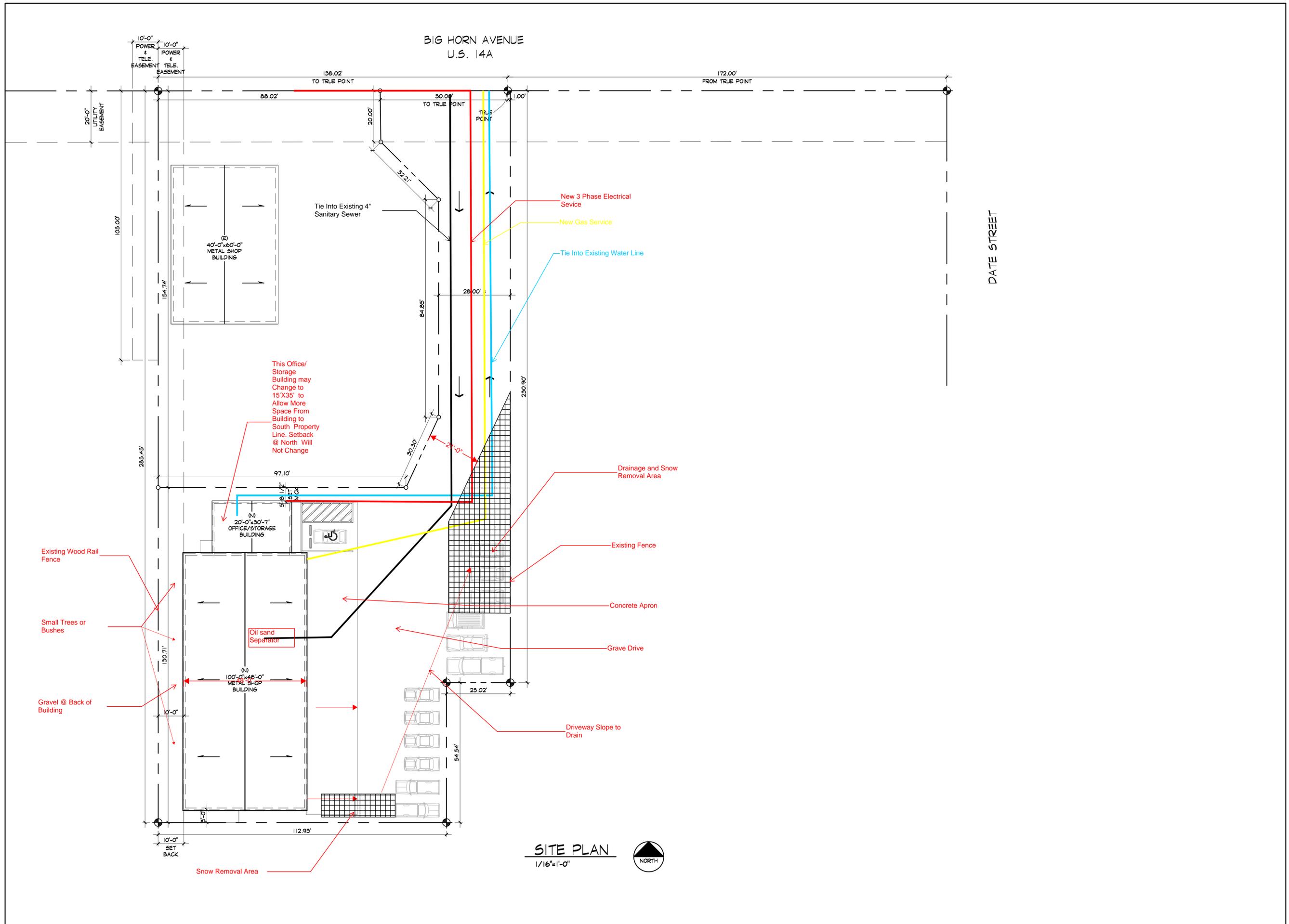
RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the application, it is recommended that it be subject to following.

1. That more detailed plans for the ADA parking space, unloading area, and pathway to the front door be provided, which meet current ADA standards.
2. That the size and connection details for the oil/water separator be provided with the building permit application.
3. That all storm water facilities be inspected and certified by the applicant's engineer prior to building occupancy.
4. That the existing dead/dying trees be removed.
5. That a landscape bond, letter of credit, cash, or other surety acceptable to the City be provided to guarantee installation of the required landscaping with the building permit.
6. That an irrigation system be installed for the landscaping.
7. That the water line and gas line locations be modified to be outside the storm water swale.
8. That the snow storage removal area on the south side of the lot be bermed or otherwise graded to prevent runoff from flowing onto the adjacent properties.
9. (Any other conditions specified by the Board)
10. That the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

BIG HORN AVENUE
U.S. 14A

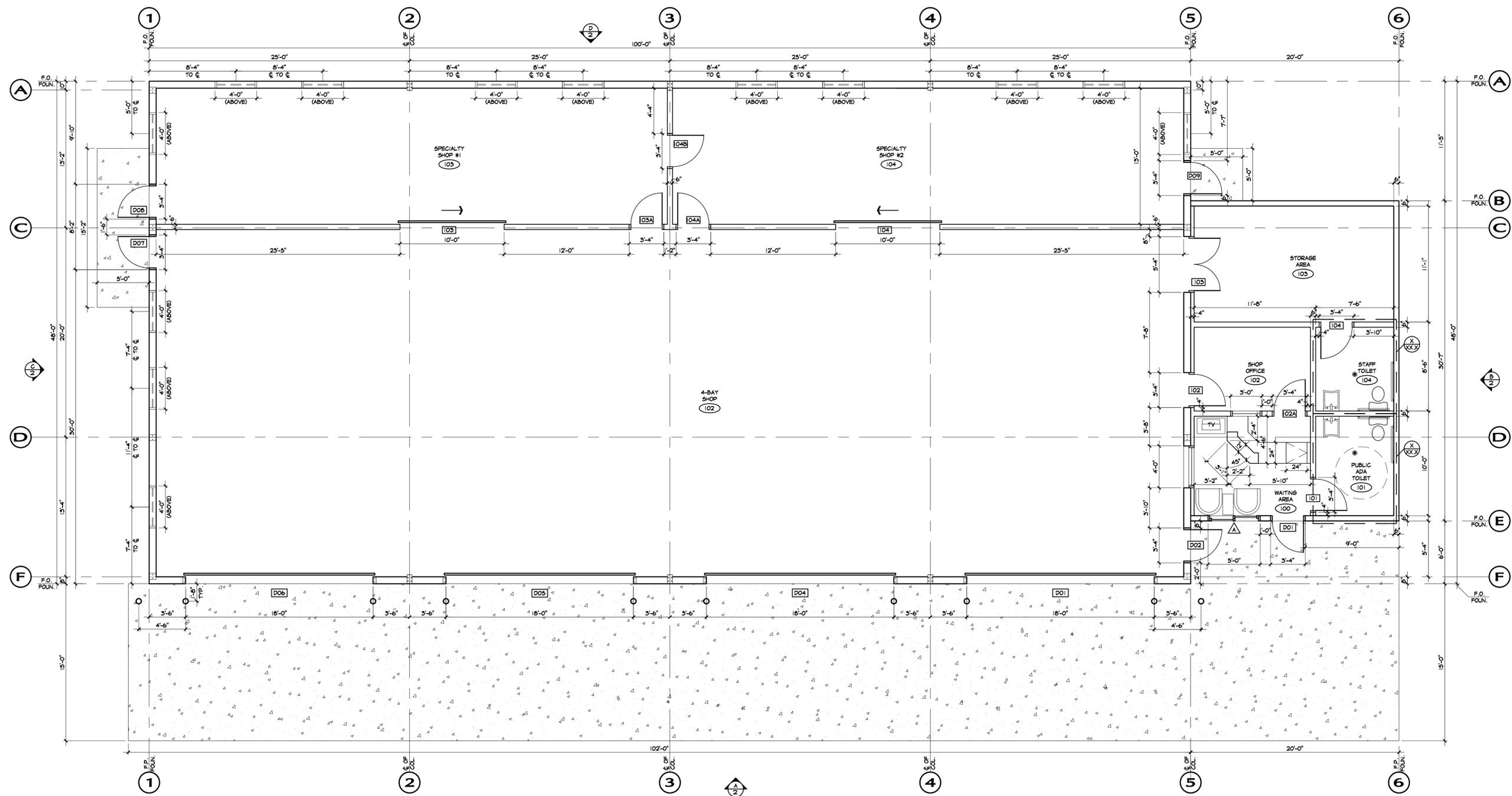
DATE STREET



This Office/
Storage
Building may
Change to
15'X35' to
Allow More
Space From
Building to
South Property
Line. Setback
@ North Will
Not Change

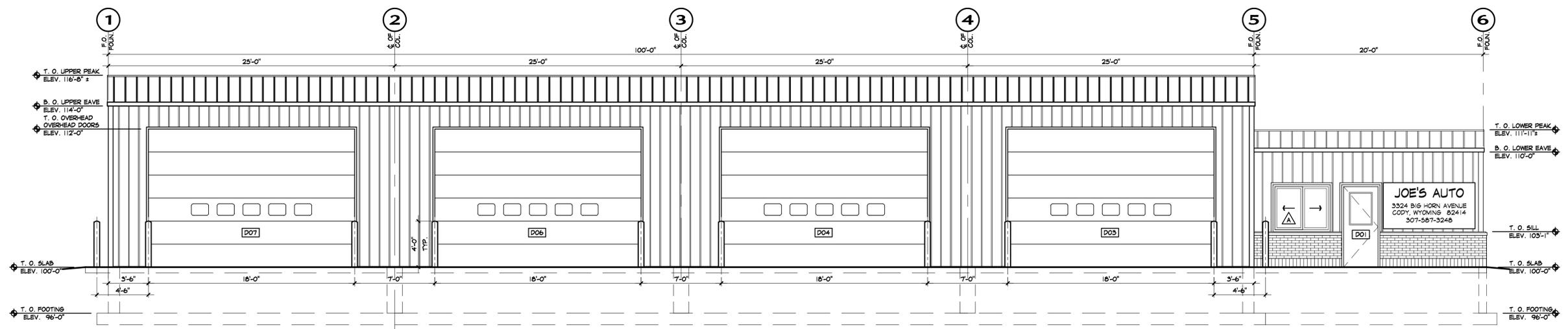
SITE PLAN
1/16"=1'-0"



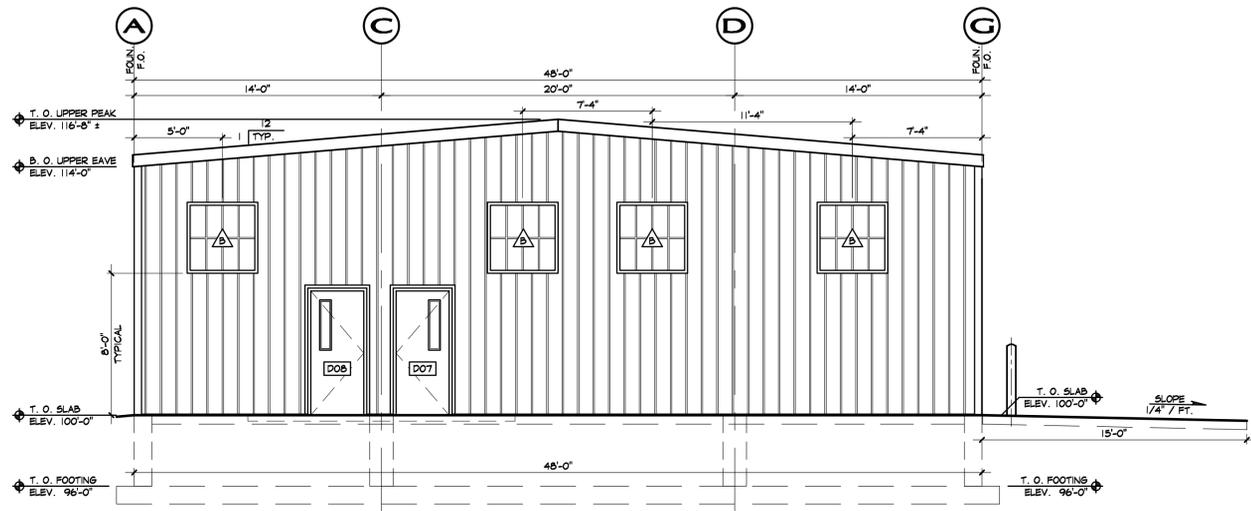


FLOOR PLAN
 1/4"=1'-0"

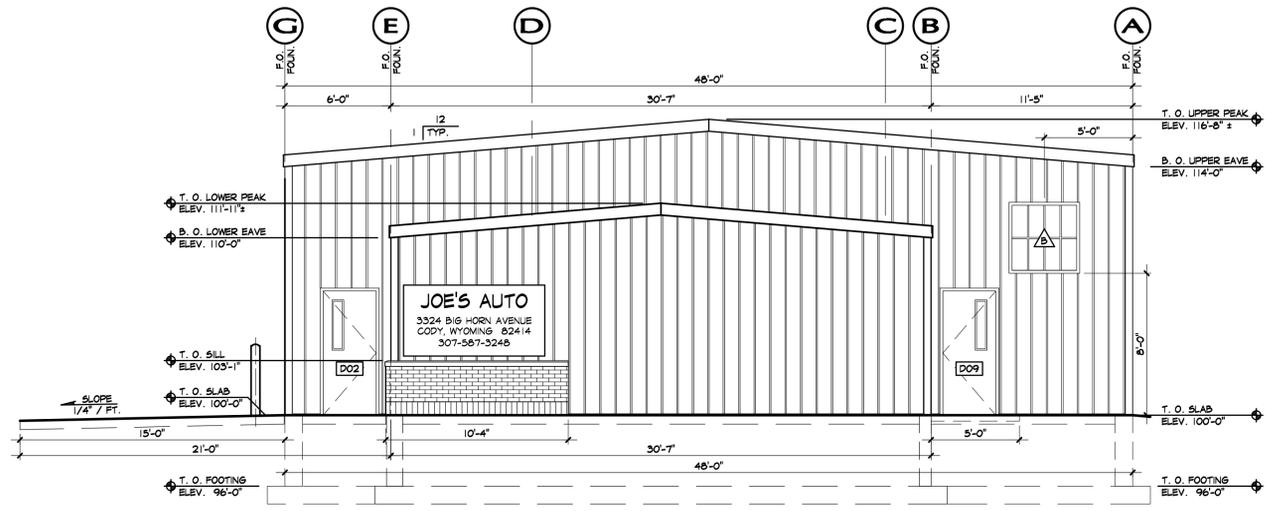




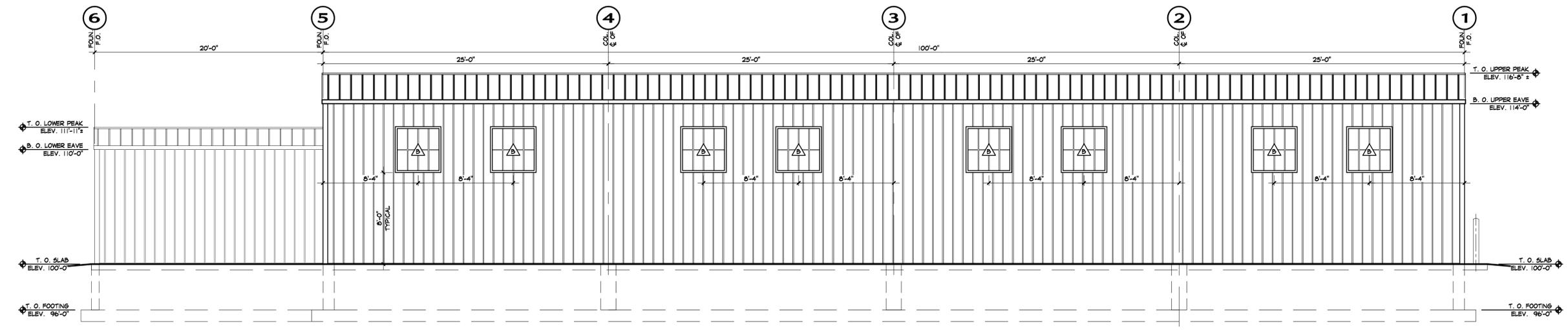
A
2 EAST ELEVATION
1/4"=1'-0"



C
2 SOUTH ELEVATION
1/4"=1'-0"



B
2 NORTH ELEVATION
1/4"=1'-0"



D
2 WEST ELEVATION
1/4"=1'-0"

Commercial – Industrial Series

“PBR”, “PBU”, “PBA”
Dura-20®

Siliconized Polyester

Wall Color

Trim Color



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	AUGUST 14, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	AMEND ZONING ORDINANCE: REPLACE LANGUAGE OF CHAPTER 13, NONCONFORMING USES WITH A NEW CODE INT 2012-13	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

The City simply needs a better code for dealing with nonconforming lots, nonconforming structures and nonconforming uses. The one sentence in the current code is not adequate.

A draft code was provided to the Board for discussion at the last two meetings. The City Attorney has also further reviewed the draft code. Based on the comments received, minor revisions have been made—which have also been reviewed by the City Attorney.

The attached draft is provided for public and P&Z Board review.

PROCEDURE:

10-5-1, City Council Authority

The city council may by ordinance at any time, on its own motion or petition, or upon the recommendations by the planning and zoning commission, amend, supplement or change the regulations or districts herein or subsequently established; provided, however, that a public hearing shall first be held in relation thereto, after one publication of notice of the time, place and purpose of such hearing, in an official newspaper, at least fifteen (15) days prior to such hearing.

Once the Board is satisfied with the code, they can forward it to the City Council with a recommendation for adoption. City Council would hold the formal public hearing and three readings.

ATTACHMENTS:

Draft Nonconforming Code.

Chapter 10-13

NONCONFORMING LOTS, STRUCTURES, AND LAND USES

Sections:

10-13-1	<u>Generally</u>
10-13-2	<u>Preservation and Loss of Legal Nonconforming Rights</u>
10-13-3	<u>Legal Nonconforming Lots</u>
10-13-4	<u>Legal Nonconforming Structures</u>
10-13-5	<u>Legal Nonconforming Uses</u>
10-13-6	<u>Expansions and Changes Reviewed by Board</u>

10-13-1 Generally

A. Within the City of Cody there are lots, structures and uses of land that were established before the Cody zoning ordinance was adopted, or subsequently amended, and that do not comply with one or more of the present requirements of this title. Any lot, structure, or land use that was lawfully existing on the effective date of this title, or subsequent amendments thereto, that does not presently comply with the standards of this title shall be known as “nonconforming”, and have all rights pertaining thereto as set forth in this chapter.

It is the intent of this chapter to permit pre-existing legal nonconformities to continue until they are removed, or modified as provided in this chapter. Nonconforming lots, structures, and uses are declared to be incompatible with the lots, structures, and uses that conform to the zoning district requirements in which they are situated.

B. This chapter separates nonconforming situations into three categories: Nonconforming lots; Nonconforming structures; and Nonconforming uses. Failure of a lot, structure, or land use to meet one or more of the current requirements of this title renders the lot, structure, or land use nonconforming only to the extent that it does not meet the applicable code provision(s). When a property contains multiple nonconformities, each nonconforming aspect is to be treated individually as to nonconforming rights, termination, expansion, and all other provisions of this chapter.

C. A change of ownership, tenancy, or management personnel in a legal nonconforming situation shall not affect its nonconforming status.

D. Ordinances, rules, and regulations which are adopted or implemented after a building permit has been issued shall not render the existing permit or plans in violation of the newly adopted ordinance, rule, or regulations.

- 1
2
3 E. When the lot area, setback, or other dimensional requirement of an existing lot
4 or structure is rendered nonconforming as the result of federal, state, or local
5 government acquisition of land, such as right-of-way purchase, the lot or
6 structure shall be deemed to be in compliance with the applicable standard.
7
8 F. When it is necessary to verify the legal nonconforming status of a situation, the
9 owner of the nonconforming lot, structure, or use shall be responsible for
10 providing substantial evidence that such lot, structure, or use was legally
11 established. When a nonconforming use is involved, the property owner shall
12 also provide substantial evidence that the use has not been discontinued for any
13 365-day period since becoming legally nonconforming.
14
15 G. The City Planner is authorized to render a decision as to whether a
16 nonconforming lot, structure, or use was lawfully established and whether the
17 non-conforming status remains or has been lost pursuant to 10-13-2. The City
18 Planner is further authorized to review and decide all matters pertaining to
19 compliance with this Chapter except Section 10-13-6, which shall be within the
20 purview of the Planning, Zoning and Adjustment Board. As an alternative, the
21 City Planner may refer the issue to the Planning, Zoning, and Adjustment Board
22 for a decision.
23
24 H. Nonconforming land uses and structures that were established in violation of the
25 regulations of Title 10 are deemed illegal and subject to abatement and
26 compliance with this title, except as may be authorized by the Board of
27 Adjustment pursuant to Wyoming Code 15-1-608(b)(iii) and Cody City Code 10-
28 4-3(C)(4). When an illegally established land use or structure is permitted to
29 continue pursuant to said sections, it shall become subject to this chapter as if it
30 were legally nonconforming.
31
32 I. The burden is on the owner, builder, and developer to ensure compliance with
33 zoning ordinances and regulations. Granting a permit, or approval of a
34 subdivision, in error or by mistake despite a nonconforming use, structure, or lot
35 shall not preclude the city from later enforcing applicable ordinances and
36 regulations.
37

38 10-13-2 Preservation and Loss of Legal Nonconforming Rights

39
40 Once legal nonconforming rights, or portions thereof, are lost they shall not be
41 reestablished. Except as may otherwise be permitted pursuant to this chapter, loss of
42 a legal nonconforming right occurs:

- 43
44 A. When a legal nonconforming structure, as defined in 10-13-4, is demolished,
45 destroyed, removed, or damaged to the extent that replacement would cost 75%
46
47

1 or more of the assessed value of the structure immediately prior to the damage,
2 except as provided for in 10-13-4(C).

- 3
- 4 B. When a legal nonconforming use is replaced with a permitted use.
- 5
- 6 C. When a legal nonconforming use is discontinued or otherwise non-operational
7 for a period of 365 days or longer.
- 8
- 9 D. When a legal nonconforming use is replaced with a less-intensive
10 nonconforming use as permitted by 10-13-6. In such case, the former
11 nonconforming use right is lost and replaced with the new nonconforming use
12 right.
- 13
- 14 E. When a legal nonconforming use is replaced by a non-permitted use, in which
15 case both the legal nonconforming right is lost and the subsequent use, being
16 illegal, shall be discontinued.

17

18 Preservation of a nonconforming right is accomplished by avoiding any of the above, or
19 by receiving permission to continue that right pursuant to any of the following sections
20 of this chapter.

21

22

23 10-13-3 Legal Nonconforming Lots

24

25 Lots or parcels that were legally created, but which do not now conform to the
26 applicable lot size, width, or other dimensional lot standards of this code are
27 determined to be legal nonconforming lots.

- 28
- 29 A. Any otherwise permitted structure may be constructed on any legal
30 nonconforming lot if such structure and use of the structure will comply with
31 all other provisions of this code, such as applicable setbacks, buffers, access,
32 and parking requirements; or, if a special exemption or variance is obtained
33 pursuant to Cody City Code for any requirement that is not met.
- 34
- 35 B. Lots may become legally nonconforming as the result of the adoption or
36 changes in this title, but the City shall not grant permits that would create a
37 nonconforming lot; provided that lots dedicated for public utility facilities shall
38 be exempt from the lot size requirements of this title.
- 39
- 40 C. Existing nonconforming lots shall only be altered or reconfigured in a manner
41 that achieves, or is closer to meeting, the lot size and dimensional
42 requirements of this code.
- 43
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1 10-13-4 Legal Nonconforming Structures

2
3 A legally-permitted existing structure that is nonconforming only by reason of
4 changes to the setback, height, lot coverage, or other development standards of this
5 title is classified as a “Legal Nonconforming Structure”. For legal nonconforming
6 structures that also contain a nonconforming use, refer to section 10-13-5 rather
7 than this section.
8

9 A. Legal nonconforming structures may be remodeled, repaired, and enlarged
10 by up to 50%, provided that any enlargement meets the current development
11 standards of this title, no new dwelling units are created, that the use does not
12 change, and in the Building Official’s judgment the work does not significantly
13 increase any life or safety hazards. If additional dwelling units are desired,
14 enlargement exceeds 50% of the existing structure, or the Building Official
15 has a life or safety concern, the proposal shall be reviewed by the Planning,
16 Zoning and Adjustment Board under section 10-13-6.
17

18 B. When the enlargement or replacement of a legal nonconforming structure
19 does not meet the development standards of this title, relief may be requested
20 in the form of a special exemption or zoning variance.
21

22 C. When a legal nonconforming structure is damaged by accidental fire,
23 explosion or other casualty, act of God, the public enemy, or intentional acts
24 other than those caused directly or indirectly by the owner, the structure may
25 be restored to its legal nonconforming situation; except in the case of
26 destruction or removal of the foundation, which shall cause the structure to
27 lose its status as a legal nonconforming structure and any replacement
28 thereof to be subject to the development standards of this title.
29

30 A building permit for restoration of a legal nonconforming structure pursuant
31 to this provision must be obtained within 180 days of the damage, and kept
32 active until the project is completed.
33

34
35
36 10-13-5 Legal Nonconforming Uses

37
38 Land uses that were lawfully established, but which now would be prohibited at that
39 location, and which have not lost their legal nonconforming status pursuant to 10-13-
40 2, are classified as legal nonconforming uses. A legal nonconforming use of land or
41 structure(s) may be continued as long as the use remains otherwise lawful, as
42 provided in this chapter.
43

44 A. A legal nonconforming use may be expanded throughout any part of an
45 existing structure in which it is located. No legal nonconforming use shall be
46 expanded or enlarged to occupy any land outside such structure except as
47

1 may be authorized in accordance with section 10-13-6. In no case shall a
2 legal nonconforming use be expanded onto any other lot.

3
4 B. No legal nonconforming use of a structure or land shall be enlarged,
5 reconstructed, altered, or expanded, except in changing to a permitted use, or
6 as provided herein.

7
8 C. A legal nonconforming use that is damaged or destroyed by accidental fire,
9 explosion or other casualty, act of God, the public enemy, or criminal acts
10 other than those caused directly or indirectly by the owner, may be restored
11 or reconstructed. Such restoration or reconstruction shall be completed
12 within 365 days of the date of damage or destruction and shall either
13 duplicate, or be less nonconforming than, the original use and structure. The
14 nonconformity of the use and structure shall not be increased in size or
15 intensity unless authorized otherwise pursuant to 10-13-6.

16
17 The Board may extend the time frame for restoration or reconstruction beyond
18 the 365-day time limit, provided the owner or authorized agent can document
19 that the reestablishment or reconstruction has been delayed due to pending
20 insurance or court settlement directly related to the damage or destruction. The
21 extension shall not exceed one year, or the length of the pending insurance or
22 court settlement, whichever is less.

23
24 D. Nothing in this section shall be construed to restrict normal repair and
25 maintenance activities of a structure containing a legal nonconforming use,
26 provided:
27 (1) The value of work and materials in any twelve-month period does not
28 exceed twenty-five percent of the assessed value of the structure prior
29 to such work; and
30 (2) The required maintenance and repair activities are not for the purpose
31 of increasing the intensity or scope of the use.
32 Work exceeding these limitations may be considered pursuant to 10-13-6.

33
34
35 10-13-6 Expansions and Changes Reviewed by Board

36
37 A. The Planning, Zoning and Adjustment Board shall consider applications for:
38 the enlargement, reconstruction, alteration or expansion of a legal
39 nonconforming use within a lot; the change of a legal nonconforming use to a
40 different, less-intensive nonconforming use; maintenance of a legal
41 nonconforming use exceeding the limitations of 10-13-5(D); and the
42 expansion of a legal non-conforming structure by more than fifty percent. The
43 Board may grant the relief requested if they find all of the following:
44 (1) That the proposal is not likely to significantly depress the value of
45 nearby properties;
46 (2) In the case of a nonconforming use, that the use was lawful at the time
47 of its inception;

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- (3) That the significance of any hardship to the applicant from denial of the request is more compelling than, and reasonably outweighs, the benefit the public would receive from denial of the request;
- (4) That no practical purpose would be served by strict application of the provisions or requirements of this Title with which the use or structure does not conform;
- (5) That the proposal is compatible with the character of the neighborhood, and does not jeopardize the future development or use of the area in compliance with this title and the comprehensive plan;
- (6) That the project will otherwise comply with all applicable development standards and codes, such as parking and landscaping, unless a special exemption or zoning variance is granted for such.
- (7) That the proposal would not otherwise be contrary to the public health, safety or welfare.

B. The Board may impose conditions on any approval granted in accordance with this section, as necessary to mitigate any potential adverse impacts to neighboring properties, public facilities, and natural systems.

C. The application shall be reviewed by the Planning, Zoning, and Adjustment Board at a public hearing that has been advertised at least ten (10) days in advance. Notice of the public hearing shall be by publication in the local newspaper and by USPS first-class mail to all property owners within 140(?) feet of the subject property. The notice shall include the date, time, and location of the public hearing, along with a brief description of the proposal.

H:\Public Works\Internal Projects\2012\INT 2012-13 Nonconforming Buildings & Uses\DRAFT w Scott Comments clean version.doc



Sprague **ROOFING**

SIDING • GUTTERS • RESTORATION

578-8765

Sign 2' x 4'

Sign will be supported by 2 metal fence posts.



South West Corner of the Episcopal Church Property
along 8th Street.



Proposed Height
42"



-Place as close to wall
on alley side