

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, JULY 10, 2012
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairperson Kim Borer
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes for the June 26, 2012 - Regular Meeting
6. NEW BUSINESS:
 - A. Site Plan Review —Wyoming Home & Ranch at 2819 Big Horn Avenue
Proposed site plan presented by Pat Shellady.
 - B. Architectural Plan Review —TCT West at 1601 South Park Drive
Proposed demolition and remodel of existing building presented by Chris Davidson.
 - C. Fence Waiver Request—Wyoming Steel Services at 156 Road 2AB.
Modification to approved site plan presented by Brian McDaniel.
7. Approved Sign Applications
 - A. Roger's Sport Center -2812 Big Horn Avenue
 - B. ProBuild -1938 Sheridan Avenue
 - C. Winchester Gun Show –Off premise A-Frames 07/05/12-07/08/12 in 4 locations
 - D. Starbuck's Coffee -1825 17th Street
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items
 - A. Nonconforming lots, structures and uses—Draft Code Discussion
Feedback on staff draft.
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, June 26, 2012

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, June 26, 2012 at 12:00 PM

Present: Rick Brasher, Vice Chairperson; Jacob Ivanoff; Justin Lundvall; Kim Borer, Chairperson; Mark Musser; Bob Senitte; Bud McDonald; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant;

Excused Absence: None.

Chairperson Kim Borer called the meeting to order at 12:00 PM, followed by the pledge of allegiance.

Bud McDonald made a motion seconded by Bob Senitte to approve the agenda. Vote on the motion was unanimous, motion carried.

Jake Ivanoff made a motion seconded by Justin Lundvall to approve the minutes of the June 12, 2012 regular meeting with the correction to include the result of the motion regarding the WYDOT application.

PUBLIC HEARING:

Chairperson Kim Borer opened a public hearing at 12:02 PM to determine if it is in the public interest to grant a special exemption from the setback requirements at 713 Meadow Lane Avenue for a front porch and exterior renovation.

Upon calling for comments three times and there being none, Chairperson Kim Borer closed the public hearing at 12:03 PM.

Chairperson Kim Borer opened a public hearing at 12:03 PM to determine if it is in the public interest to grant a special exemption from the setback requirements at 1237 Willow Lane for a rear addition to the house.

After calling for comments three times and hearing none, Chairperson Kim Borer closed the public hearing at 12:04 PM.

PRESENTATION OF COMMUNICATIONS:

Todd Stowell presented the staff report describing the application by Douglas and Karna Morton for a reduced front setback, in order to construct a front porch on the home at 713 Meadow Lane Avenue. Response to the mailed notice was unanimously "no objection."

Jacob Ivanoff made a motion seconded by Bud McDonald to approve the special exemption request submitted by Douglas Morton for a reduced front setback in order to construct a front porch at 713 Meadow Lane Avenue, as presented, upon finding the following:

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties as the addition would not obstruct the required site-distance at the intersection of Meadow Lane Avenue and 10th Street.
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood as the neighboring property owners did not object and use is similar;
- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use as the setback exemption is the minimum necessary to allow for the front porch;
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use as no services are proposed or needed; and
- f. The special exemption is consistent with the goals and policies of the master plan as the proposed use is continued residential.

With the condition that the exemption applies only to the porch. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report describing the application by Peter Okada for a reduction in the 15-foot rear setback requirement to construct an addition on his home at 1237 Willow Lane. He noted that the property considered is triangular in shape. There is also a 20-foot alley to the north that acts as a buffer. All responses received from neighboring property owners were "no objection."

Justin Lundvall made a motion seconded by Rick Brasher to approve the special exemption request submitted by Peter Okada to construct a rear addition to the nonconforming structure at 1237 Willow Lane within the setbacks as presented after finding the following:

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties as there is a 20-foot wide alley between the Okada property and the north neighbors and the addition will be about 10 feet from the property line.
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood as the neighboring property owners did not object and the addition will improve the functionality of the residence;
- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use as the setback exemption is the minimum necessary due to the triangular shape of the lot;
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use as no new services are proposed or needed; and
- f. The special exemption is consistent with the goals and policies of the master plan as the proposed use is continued residential.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report regarding the proposal for a memorial area submitted by Riverside Cemetery District at 1721 Gulch Street. He emphasized the need for additional information regarding the lighting specifications.

Carl Thuesen of Steiner Thuesen PLLC spoke regarding the proposed lighting on the flagpoles, in that illumination levels will be held to approximately 4 lumens on the flags.

Jacob Ivanoff made a motion seconded by Rick Brasher to approve the site plan submitted by Riverside Cemetery District for property located at 1721 Gulch Street. Vote on the motion was unanimous, motion carried.

Todd Stowell spoke to the sign application submitted by The Dude Ranchers' Educational Trust noting that the building is within the Downtown Architectural District. The proposed front sign meets all required signing regulations. However, the application includes a request for a sign along the alley.

Colleen Hodson spoke to the museum's desire to be seen from Sheridan Avenue.

Bud McDonald made a motion seconded by Rick Brasher to approve the entire sign application submitted by The Dude Ranchers' Educational Trust for property located at 1122 12th Street. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the sign application for Native Images at 1262 Sheridan Avenue. The building is within the Downtown Architectural District. The application meets all required signing regulations.

Bud McDonald made a motion seconded by Jacob Ivanoff to approve the sign plan submitted by Native Images at 1262 Sheridan Avenue. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the preliminary site plan proposal for the development of a retail store at 2819 Big Horn Avenue. He requested guidance in regard to landscaping in reference to the 1997 Master Plan. He also reviewed the parking requirement calculations with reference to the phases of the project. Direction is requested, so that a final site plan can be submitted for review at the next meeting.

Patrick Shellady requested the board identify the board's requirements versus suggestions.

Kim Borer would like to see landscaping throughout the frontage. Rick Brasher noted the applicant may want to use that property for product display. There is a 15-foot utility easement along the frontage. Jacob Ivanoff stated that while the area is still a bit industrial, rock and other low maintenance plants could be used. Mark Musser would like to see more landscaping on the plan, perhaps similar to Fremont Motors. Overall, he stated that landscaping is part of the cost of doing business along a main corridor.

Todd requested input regarding sanitation collection and whether the city could request the applicant construct a 20-foot alley from C Street to dumpster area on City property with the construction scheduled for phase 2. The alley would not physically connect to Pintail Street. Bud McDonald questioned the gate sizes on the rear of the property. Justin Merchant of Sage Civil Engineering responded to the question, stating the gates are not

proposed to be the main access and that the percolation trench will be traversable. The consensus of the Board is that they want to see landscaping along the frontage of the project.

Jolene Osborne presented the approved sign applications for Vital Air Medical at 538 Yellowstone Avenue and Cody Drivers License at 1401 Stampede Avenue.

Chairperson Kim Borer appointed Jacob Ivanoff, Mark Musser and Councilman Miller to serve on a committee to investigate the joint directory signage issue.

Rick Brasher requested Councilman Steve Miller investigate the issue of the directional signage that is currently placed near the Irma for the Cody Gunfighters' nightly street closure.

Todd Stowell updated the board regarding the Master Plan update. The Mayor has selected the Master Plan Advisory Committee who will meet with the consultants tomorrow for direction. Kim Borer is the Planning, Zoning and Adjustment Board representative on that committee.

Meeting adjourned at 1:22 PM.

Jolene Y. Osborne
Engineering Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JULY 10, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	TCT WEST CORPORATE HEADQUARTERS SITE PLAN REVIEW, SPR 2012-28	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

TCT West has purchased the former Sunlight Federal Credit Union Building at 1601 South Park Avenue. They are proposing a number of exterior renovations and have submitted a site plan for review. The modifications are noted on the site plan sheet AS1.1 and architectural plan sheet A1.1.

REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-4-3 is as follows:

At the time of the erection of a structure or the establishment of a use, there shall be provided and thereafter maintained off-street parking facilities to accommodate the motor vehicles used by the occupants, customers, clientele and employees of such structure or use. Such off street parking spaces shall be used exclusively for off street parking purposes. Such off street parking shall be upon the premises served. For any structure or use enlarged or increased in capacity, additional parking facilities shall be required only for such enlargement or increase.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	4-plex.	General Commercial D-2
East	Comprehensive Dental	General Commercial D-2
South	Commercial buildings (back side)	General Commercial D-2
West	Park County Complex	General Commercial D-2



Architecture:

The primary architectural changes to the building include a new open timber and masonry entrance, a new blue metal roof, and removal of the drive-thru canopy and lanes.

As far as the architectural compatibility, the new entrance is a commonly-used style that has typically deemed acceptable. The blue metal roof does not immediately match any adjacent buildings, but that may not be a concern. It may relate to the blue color of their logo.

The P&Z Board will need to determine if the proposed materials and colors are suitable.

Landscaping:

Only minor changes to the landscaping are proposed, as larger stepped window wells along the west side of the building will result in removal of bushes and grass from that area. No new landscaping is proposed.

Storm Water Plan:

The amount of additional impervious surface is minimal (a few square feet for the new entrance), so a storm water plan has not been required.

Parking:

All parking areas are proposed to be re-striped. Removal of the elevated drive-thru lanes and some concrete from the east side of the building will allow additional parking.

The former use of the building as a bank likely saw much more customer traffic than the proposed use. The applicant has not supplied parking demand calculations, yet based on the number of work stations shown on the floor plans, the number of proposed parking spaces appears adequate. Approximately 33 parking spaces will be provided and it appears that there will be about 20 work stations at intended, built-out occupancy.

There are some concerns with how some of the parking spaces and their backup areas are configured. Of most concern are the 90-degree spaces to the east of the building, in that they only have about 14 feet of backup area, where 24 feet is required. According to our calculations, 35-degree angled parking could work in this area, but only about four spaces will fit, as opposed to the eight shown.

Also the parking in Area 2 is proposed at 60-degrees, yet based on parking tables it appears that 50-degree parking is the most angled design that will provide sufficient backup area for these spaces. No spaces need be lost by this change.

The company intends to grow into the building, in that only portions of the building will initially be used, and more employees and work stations will be added over time. If additional parking is needed in the future, the option exists to add six spaces by re-striping the parking along the north property line to 90-degree parking.

The two proposed ADA parking spaces shown are required, and need to be installed so that one stall is van-accessible (11' wide), plus a 5' wide access aisle.

ADA Ramp

Although not noted on the proposal, staff has noted that the ADA access ramp that is proposed to be retained, which runs along the front of the building, needs repair/replacement. It appears to have sunk, creating an unacceptable cross slope. Also, the railing may need to be altered, depending on how the ramp is fixed—currently the rail is too far from the ramp, which would allow the wheel of a wheelchair to fall off the ramp. The applicant will need to work with the building official on this matter.

Lighting

No additional exterior lighting is proposed on the plan. If lighting is provided, it should be required to be the downward/cutoff style.

Neighborhood Compatibility/Buffers

The proposal is a permitted use in the D-2 zone in which the property is located. No

buffers are required for this proposal.

Sidewalk

There is currently a sidewalk along most of the south frontage of the property. There is no sidewalk along the southwest corner, or along the 16th Street frontage. Across 16th street to the west, there is no sidewalk. Sidewalk exists on the east side of 16th Street to the south. The Board may want to consider requiring the applicant to extend the sidewalk along the south frontage to include an ADA ramp at the southwest corner of the site. Approximately 35 feet of sidewalk would be needed. This is one of two sections of sidewalk that remain in order to provide a complete sidewalk through this area, from Stampede Avenue to 17th Street.

ATTACHMENTS:

Site Plans.

ALTERNATIVES:

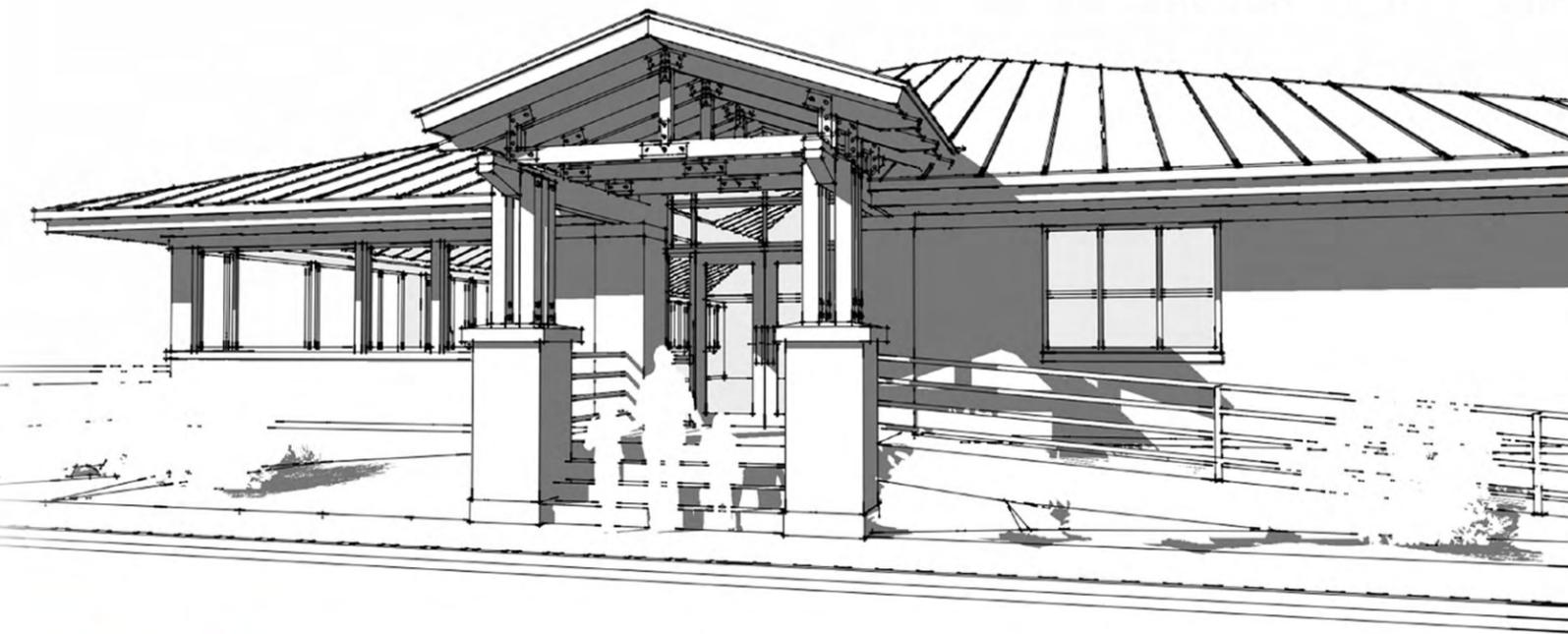
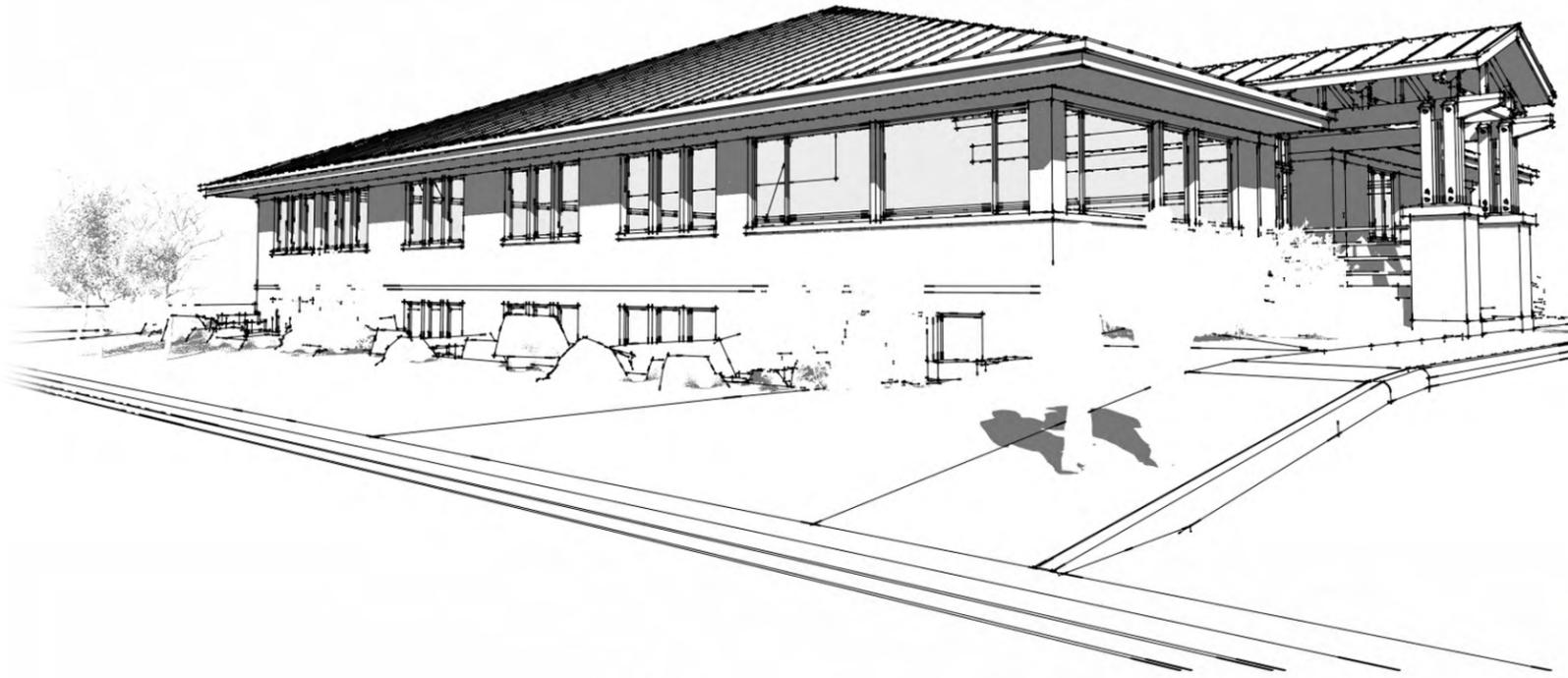
Approve or deny the site plan and architectural/landscaping design, with or without changes. The architect has indicated that he plans to have a new site plan that addresses the comments in this staff report available for the Planning and Zoning meeting.

RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the application, it is recommended that it be subject to following.

1. That the applicant submit a new site plan (Sheet AS1.1) with modified parking layouts that strictly comply with the dimensional standards recommended in the staff report, or other parking layouts demonstrated to provide sufficient backing and maneuvering area.
2. The ADA ramp and railing next to the front of the building must be repaired or replaced as needed to meet applicable code requirements.
3. Sidewalk shall be extended to the southwest area of the site, and an ADA ramp provided.
4. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes. A building permit application is required.

TCT West | corporate headquarters
schematic design images 5.29.12



new front facade



new front entrance

FLOOR PLAN LEGEND:

- CORPORATE SPACE**
- CSR**
- SMALL MEETING ROOM**
- WAITING ROOM**
- BREAK AREA**
- TOILETS**
- NET TO GROSS RATIO**



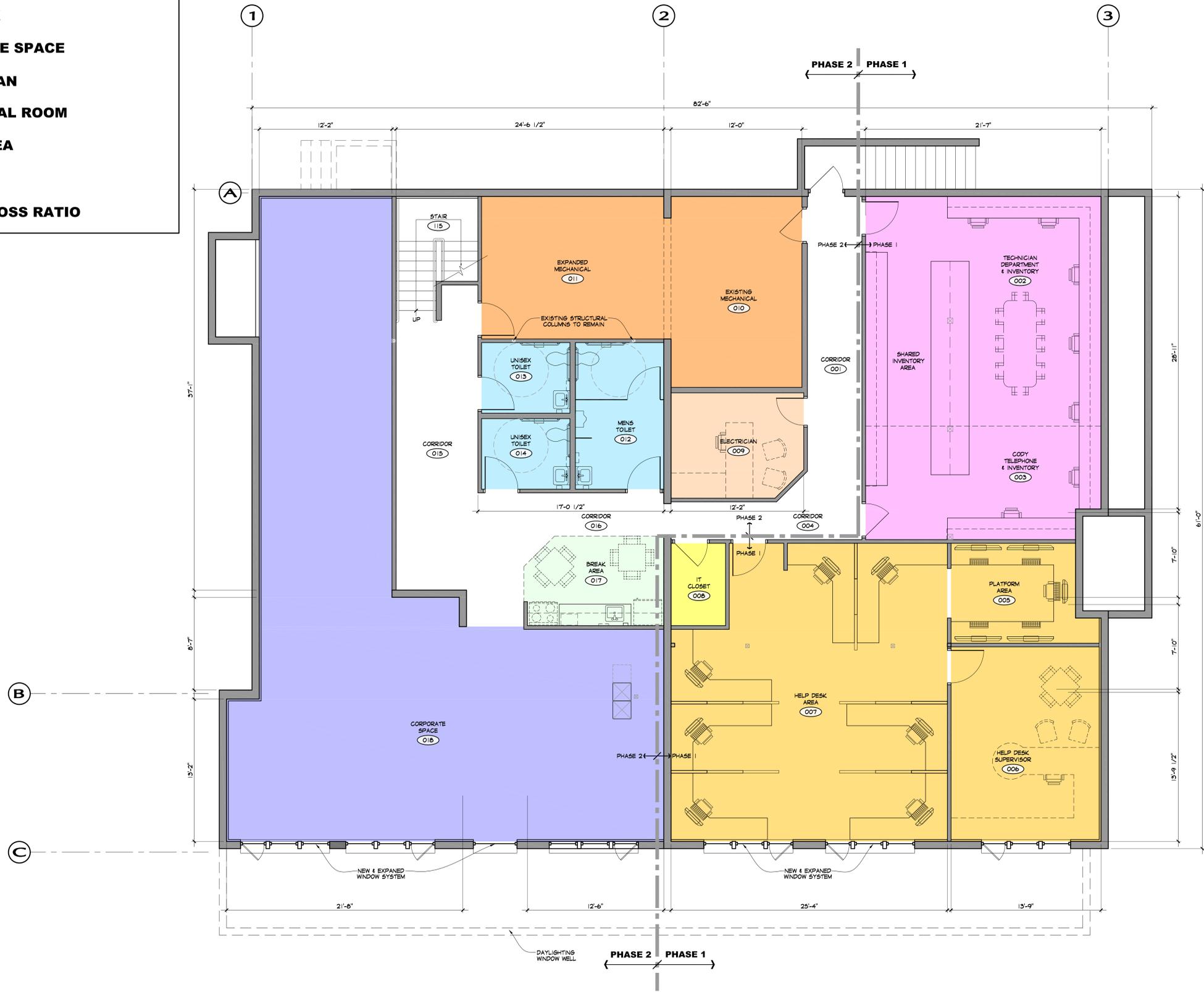
- PHASE 1**
- NEW MAIN LEVEL WINDOWS ON WEST
 - NEW LOWER LEVEL WINDOWS & WINDOW WELLS ON WEST
 - ALL NEW METAL ROOF
 - VAULTED CEILING IN LOBBY
 - DECORATIVE COLONNADE
 - EXTENDED ENTRANCE CANOPY
 - DEMO NORTH CANOPY

PROPOSED FLOOR PLAN – MAIN LEVEL
 SCALE: 1/4" = 1'-0"

<small>The professional services of the architect are undertaken for and are performed in the interest of the TCT – CODY OFFICE. No contractual obligation is assumed by the architect for the benefit of any other person named in the contract.</small>	
project:	1219
date:	05/21/2012
revisions:	
A1.1	

FLOOR PLAN LEGEND:

- CODY TECHNICIAN DEPARTMENT / CODY TELEPHONE**
- HELP DESK**
- CORPORATE SPACE**
- ELECTRICIAN**
- MECHANICAL ROOM**
- BREAK AREA**
- TOILETS**
- NET TO GROSS RATIO**



PROPOSED FLOOR PLAN - LOWER LEVEL
 SCALE: 1/4" = 1'-0"



GENERAL NOTES

1. XXXXXXX

KEYED NOTES

X XXXXXXXXX

NOTED
 THIS X

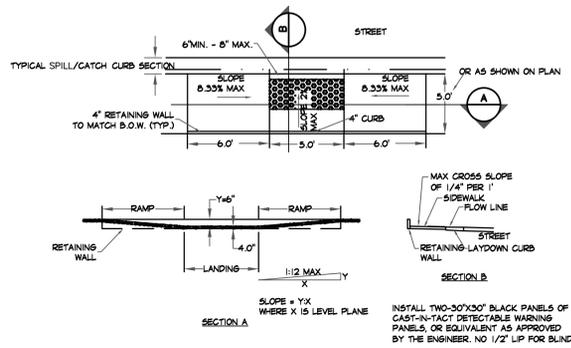
TCT WEST - 1120 BECK AVENUE - CODY, WYOMING 82414
REMODEL OF EXISTING SUNLIGHT FEDERAL CREDIT UNION BUILDING
PLAN
 rock springs, wyoming driggs, idaho
 1001 12th st., 82414 (307) 587-8646 4020 dewar, suite A, 82901 (307) 352-2954 189 north main, ste 112, 83422 (208) 354-8036



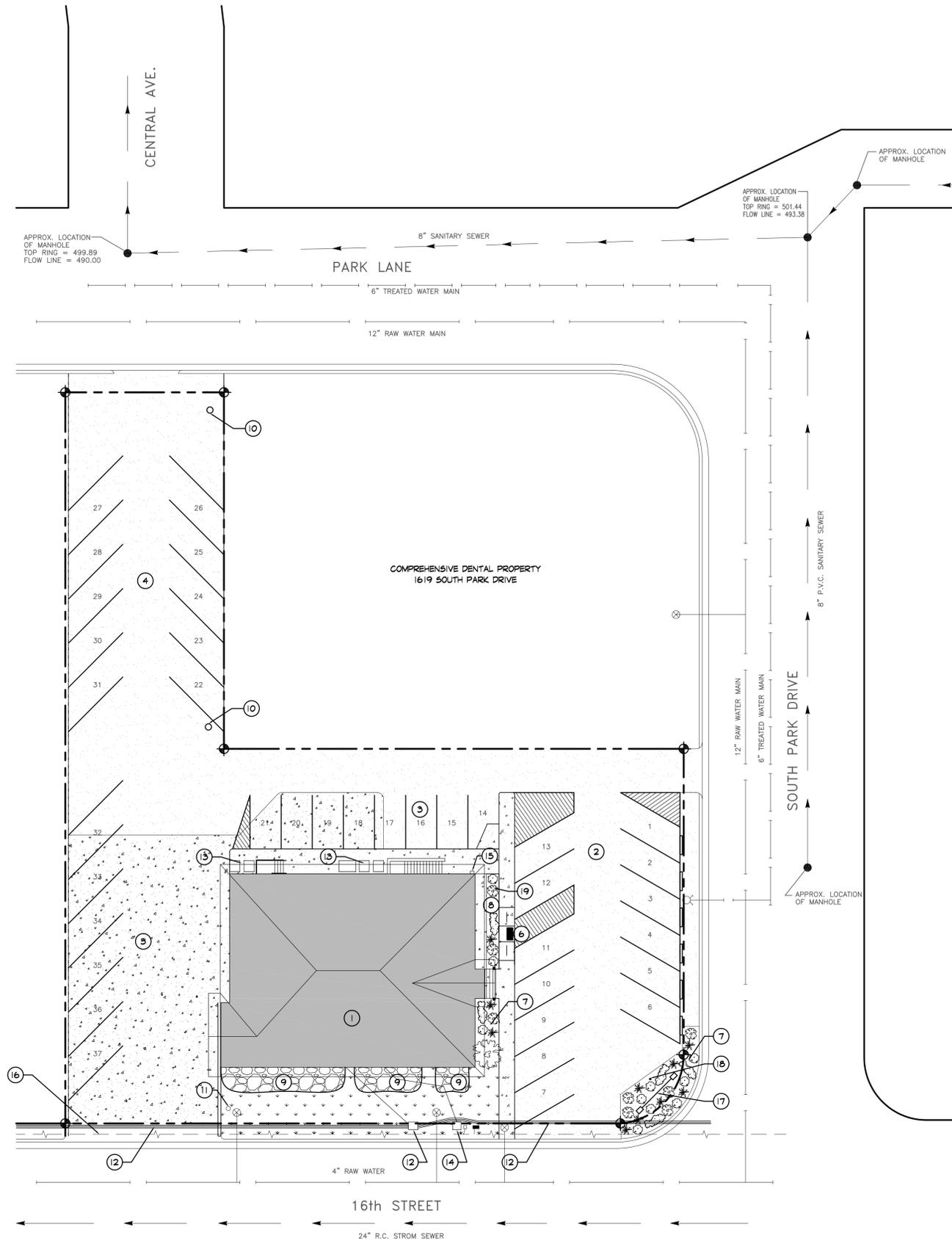
The professional services of the architect are undertaken for and are performed in the interest of the TCT - CODY OFFICE. No contractual obligation is assumed by the architect for the benefit of any other person named in the contract.

project: 1219
 date: 05/21/2012
 revisions:

A1.2



2 TYPE II HANDICAP RAMP DETAIL
AS1.1 SCALE: N.T.S.



1 SITE PLAN
AS1.1 SCALE: 1"=20'



GENERAL NOTES

1. EXISTING BUILDING SHOWN WITH DRIVE THRU CANOPY AND LANES REMOVED AND EAST RAMP REPLACED WITH NEW STAIR
2. RE-STRIPE (E) PARKING LOT TO CONTAIN 13 10'-0" STALLS, INCLUDING 2 HC, @ 60" FROM SIDEWALKS
3. RE-STRIPE (E) PARKING LOT TO CONTAIN 6 10'-0" STALLS @ 90" FROM SIDEWALKS
4. RE-STRIPE (E) PARKING LOT TO CONTAIN 10 10'-0" STALLS @ 45" FROM SIDEWALKS
5. RE-STRIPE (E) PARKING LOT TO CONTAIN 6 10'-0" STALLS @ 45" FROM SIDEWALKS
6. REMOVED (E) CONCRETE SIDEWALK SECTION TO ACCOMMODATE NEW MODIFIED TYPE II HANDICAP RAMP. SEE DETAIL 2/C.1.1
7. (E) VEGETATION
8. INSTALL NEW HANDRAIL ON BUILDING SIDE OF EXISTING RAMP
9. DAYLIGHTING WINDOW WELL WITH STEPPED BLOCK RETAINING WALL
10. APPROX. LOCATION OF (E) LIGHT POLE
11. APPROX. LOCATION OF (E) STREET LIGHT POLE
12. (E) FIBER OPTICS TRENCH AND VAULT
13. (E) HVAC UNITS
14. (E) ELECTRICAL SERVICE TRENCH AND TRANSFORMER
15. (E) GAS METER
16. ELECTRICAL, TELEPHONE & CABLE TV - SAME TRENCH
17. (E) SIGNAGE
18. (E) FLAG POLE

SITE PLAN LEGEND

- (E) BUILDING
- (E) CONCRETE PAVING
- (N) CONCRETE PAVING
- (N) ROCK MULCH
- (E) SIDEWALK
- (E) GRASS

TCT WEST - 1601 SOUTH PARK AVENUE - CODY, WYOMING 82414
REMODEL OF EXISTING SUNLIGHT FEDERAL CREDIT UNION BUILDING
plan one architects
 rock springs, wyoming
 cody, wyoming
 1001 12th st., 82414 (307) 587-8646 4020 dewar, suite A, 82901 (307) 352-2954 189 north main, ste #12, 82422 (208) 354-8036



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project: 1219
 date: 06/19/12
 revisions:

AS1.1

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JULY 10, 2012	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: WYOMING HOME AND RANCH RETAIL FACILITY. SPR 2012-27	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Patrick Shellady has submitted a site plan application for development of a retail store at 2819 Big Horn Avenue, in the G.W. Minor subdivision that was just completed. Development of the building is planned in two phases, with 13,816 square feet of building and 5,635 square feet of outdoor retail/garden area in the first phase, and 7,410 square feet of building in the second phase. Timing of the second phase is not indicated.

The applicant received direction from the Board at the June 26, 2012 meeting on a few topics, including landscaping and parking. The applicant and his design team have updated the proposal to include more landscaping and to address almost all of staff's review comments.

REVIEW CRITERIA:

The property is in the "D-3" Light Industrial zoning district. Section 10-10C-5 of the zoning ordinance states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Fire District equipment building, vacant .76 acre parcel, across 85' wide City parcel.	"D-3"Open Business/ Light Industrial
East	Vacant 3.3 acre parcel.	"D-3"Open Business/ Light Industrial
South	Commercial uses across Big Horn Ave.	"D-3"Open Business/ Light Industrial
West	Retail and storage uses.	"D-3"Open Business/ Light Industrial

Architecture:

The architectural rendering of the proposal is attached. Building materials, colors, and elevations are all noted in the attached materials. Due to the Light Industrial zoning of the property and location on Big Horn Avenue, as opposed to downtown or on the West strip, a high level of architectural detail or design is not expected.

The façade was professionally designed and appears to have good proportion and scale. The variation provided by the awning and the gabled entrances is appreciated. The Board can give the applicant any direction relating to the architecture that they deem necessary.

Landscaping:

The applicant has updated the landscaping plan by proposing double bunches of feather reed grass at twenty feet on center across the frontage of the property (grows 3-6' in height). Also, boulders are shown in an alternating pattern, spaced 15 to 30 feet apart. The landscaping at the entrance and sign remains the same, which the Board appeared to accept.

No irrigation is noted. It is recommended that a water line be installed when power is run to the freestanding sign, and that a drip system for the landscaping be included; however, hand-watering the landscaping is an option.

Storm Water Plan:

The storm water plan has been reviewed by Steve Payne, the City Engineer, and determined to be in compliance with the City's storm water management policy. Infiltration trenches are proposed at the front and rear of the property. The trenches are no longer designed as swales, but level with the adjacent land.

Lighting:

Exterior lighting locations are under the front awning (low-voltage recessed fixtures), on the perimeter walls (metal halide, 250 or 320 watt wall packs), in the parking lot (night-

sky compliant fixtures set at 19' height, but no details on illumination levels), and on the freestanding sign (LED angled reflector fixtures).

With the exception of a wall pack on the west side of Phase 2 of the building, it appears that lighting will be confined to the site and at a level which is not excessive. For the west side of Phase 2 of the building an alternative lighting fixture will need used.

Parking:

The parking ordinance recommends that parking be provided based on the number of employees and customers at any one time, which is unknown. The applicant proposes to use a parking ratio of 1 space per 400 square feet of building and display area. This ratio appears reasonable, based on staff research. Based on this ratio, Phase 1 would require approximately 51 parking spaces, and 19 spaces for Phase 2. The site plan shows a total of 71 spaces, 55 of which are at the front of the building, and 16 to the back.

At a minimum, the applicant proposes paving twelve parking spaces along the front of the building. If funds allow, another 28 spaces will be paved with Phase 1. Parking areas not paved will be surfaced with compacted gravel, and parking rows in the open gravel areas will be delineated by landscape timbers.

Access:

Primary access is from an approved road approach off of Big Horn Avenue. The site plan notes that the entrance area will be paved contingent upon budget. Staff would recommend that the approach area, from Big Horn Avenue to the sliding gates be required to be paved (approx 32' from sidewalk). The pavement at the entrance would minimize "track out" of gravel onto Big Horn Avenue.

Secondary access will be from an alley to the rear (north) of the site. The alley is proposed for garbage collection and some deliveries. A City property/right-of-way is available for the alley, although alley construction will be necessary. Approval of the site plan should be contingent upon the applicant committing to have the alley and a turn-around installed according to City alley standards (graded 20' wide alley, 6" of crushed aggregate base course). The turnaround will need to be larger than indicated on the site plan. A 96-foot diameter turnaround would be standard, although the City property is only 85 feet wide, so the north 11 feet of the cul-de-sac cannot be built.

Buffer:

No buffer is required.

Signage:

Signage design, sizes, and placement is shown on Sheet A4.0. A total of 285.25 square feet of wall signage and 210 square feet of free-standing signage are proposed, for a total of 495.25 square feet. This amount is allowed in the D-3 zone. The proposed

height of the freestanding sign is 15 feet, which complies with the maximum height requirements. The sign footings appear to be undersized, but that will be reviewed more fully with the building permit for the sign.

The upper portion of the freestanding sign is an electronic message board. It measures 2'6" by 14'. The electronic message board will need to comply with 10-15-3(B)(10) City of Cody Code, which among other things sets maximum illumination levels and requires automatic dimming at night. Automatic dimming is an optional feature on some LED signs, so the applicant is advised to review the requirements and verify all necessary options are included in the sign order. These requirements will be verified through the building permit application for the sign.

Utilities:

The location of the proposed water, sewer, and power services to the building are shown on the site plan and will be installed per City standards. Utility fees will apply.

The power lines that will supply this facility are located on poles initially installed by Qwest (Century Link), on which the City power lines are co-located. It is not clear that a maintenance easement exists for these lines/poles. The electrical department has requested that the applicant provide a 15' wide utility easement along the west side of this lot, so that maintenance of these lines can continue.

Other:

ADA Parking: The dimensions of the ADA parking spaces are not clearly indicated and may need to be slightly altered to meet the City's current code. Going from east to west on the site plan, applicable measurements should include an 8' wide stall, a 5' path, an 11' wide van-accessible stall, an 8' wide stall, and a 5' path.

Propane Station: Shown on the landscape plan (Sheet 3 of 3). Current standards require 4" diameter steel, concrete-filled bollards, instead of 3" steel bollards, and they are to be located three feet or more from the propane container. The location/separation of the propane tank from property lines and Big Horn Avenue meets code, provided the tank is no more than 2,000 gallons in size.

ATTACHMENTS:

Site Plans.

ALTERNATIVES:

Approve, deny, or require modifications to the site plans.

RECOMMENDATION:

Approve the site plans, subject to the following conditions and modifications:

1. Construction of the water line and storm water facilities must be inspected and certified by the applicant's engineer. Also, submit a copy of the DEQ permit for the waterline and a set of electronic drawings.
2. The entrance must be paved prior to occupancy of Phase 1. Methods to avoid track out onto the public streets must occur during construction.
3. Prior to utilization of the city property to the north for access, the applicant must install an alley and turnaround to City standards (6" crushed base course, graded, etc.). Coordinate design and construction with Public Works.
4. The ADA parking spaces shall comply with the adopted dimensional requirements.
5. The propane tank size, location, and protection system (bollards) shall comply with applicable codes. The propane station detail on sheet 3 does not meet applicable code.
6. Label the curb stop in the water line on the Site/Utility Plan (Sheet 1 of 3).
7. The sign footings must be designed by an engineer.
8. The electronic message board must comply with 10-15-3(B)(10) of the City of Cody Code.
9. The wall pack light on the west side of Phase 2 of the building is not authorized to have a "forward throw". The fixture(s) to be used may not direct significant light onto neighboring properties.
10. Provide a 15' wide utility easement along the west property line. The easement is for access to the power lines that will serve this project. The easement must be recorded prior to occupancy.
11. (Any additional landscaping required by P&Z Board)
12. The Planning, Zoning, and Adjustment Board reserves the right to review the parking and landscaping situations at the time of Phase 2.
13. This site plan approval is valid for ___ years. Any portions of the project not constructed by that time may not be permitted without further zoning review.

WYOMING HOME & RANCH

Bighorn Avenue
Cody, Wyoming 82414



COVER PAGE PERSPECTIVE IS FOR PRESENTATION ONLY. PLEASE REFER TO ELEVATION PAGES FOR ALL EXTERIOR DETAIL.

CODE CONSIDERATIONS

WYOMING HOME & RANCH (CODE CHECK INCLUDES PHASE 2) ZONE D-3

CODE USED:
INTERNATIONAL BUILDING CODE 2006 (IBC)

OCCUPANCY CLASSIFICATION:
MIXED USE - NON-SEPARATED, (508.3.2) M AND S, (B - ACCESSORY)

BUILDING CONSTRUCTION TYPE:
VB

ALLOWABLE HEIGHT AND AREA:
M, 9000 (1 STORY), S1, 9000 (1 STORY) 40'

ACTUAL STORIES:
1 PLUS MEZZANINE B (505)

ACTUAL SQUARE FOOTAGE:
INSIDE - M 18,000
S 3,160
B (MEZZ.) NOT COUNTED IN SF. 418

TOTAL INTERIOR = 21,160

COVERED EXTERIOR - M 2,178
S 1,170

TOTAL EXTERIOR = 3,348

OCCUPANT LOAD:
18,000 / 30 = 600
3,160 / 300 = 11
418 / 100 = 5
INSIDE = 616
21,78 / 30 = 73
1170 / 300 = 4
OUTSIDE = 77
TOTAL BUILDING: = 693

SPRINKLER SYSTEM?:
YES, REQUIRED FOR AREA MODIFICATION (506) AND FIRE AREA SIZE (903.2.6)

ALLOWABLE AREA:
{9000 + [9000 x .21] + [9000 x 3]} = 37,890 SF.
ACTUAL = 21,160 SF.

EGRESS WIDTH:
(TABLE 1005.1) .15 x 616 = 92.4" = 3 DOORS, 4 PROVIDED

TRAVEL DISTANCE:
250' MAX ALLOWABLE, ACTUAL < 100'

PLUMBING:
(TABLE 2902.1) 2 FIXTURES REQUIRED, 2 / SEX PROVIDED, 1 LAV PER 2
FIXTURES, SO OK. 1 DRINKING FOUNTAIN, 1 UTILITY SINK, REQUIRED AND PROVIDED.

IMPORTANT:

BUILDER VERIFY ALL DIMENSIONS.
ALL DRAWINGS SUBJECT TO CHANGE PER ARCHITECT.
ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.

EXTERIOR COLORS

WALLS:
VERTICAL METAL LIGHT STONE
CORRUGATED RUSTED METAL

WINDOWS:
COMMERCIAL DARK BRONZE

DOORS:
COMMERCIAL DARK BRONZE/ O.H. DOORS TAN

TRIM / FACIA:
METAL BRICK RED

GUTTERS:
METAL BRICK RED

METAL ROOF:
STANDING SEAM, PORCH ROOF BRICK RED / MAIN ROOF GALVALUME

STONE:
DRystack PANEL - GOLDEN HARVEST

INDEX TO DRAWINGS:

C1 - CODE CONSIDERATIONS
A1.0 - FLOOR PLAN
A1.1 - ENLARGED FLOOR PLAN
A2.0 - ELEVATIONS
A3.0 - INTERIOR ELEVATIONS
A3.1 - SCHEDULES
A4.0 - SIGN DETAILS
S1.0 - FOUNDATION
S1.1 - DETAILS
S2.0 - ROOF FRAMING

COVER SHEET

Wyoming Home & Ranch

P.O. Box 631
Cody Wyoming 82414
mountainviews2414@yahoo.com 307-250-1728
Pat Shellady

General Contractor:

Address:
Phone:

SUSAN HOVDE -
Architect

P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.

Custom Plan Service
930 12th Street
Cody WY, 82414
(307) 587-6227
Project # 831

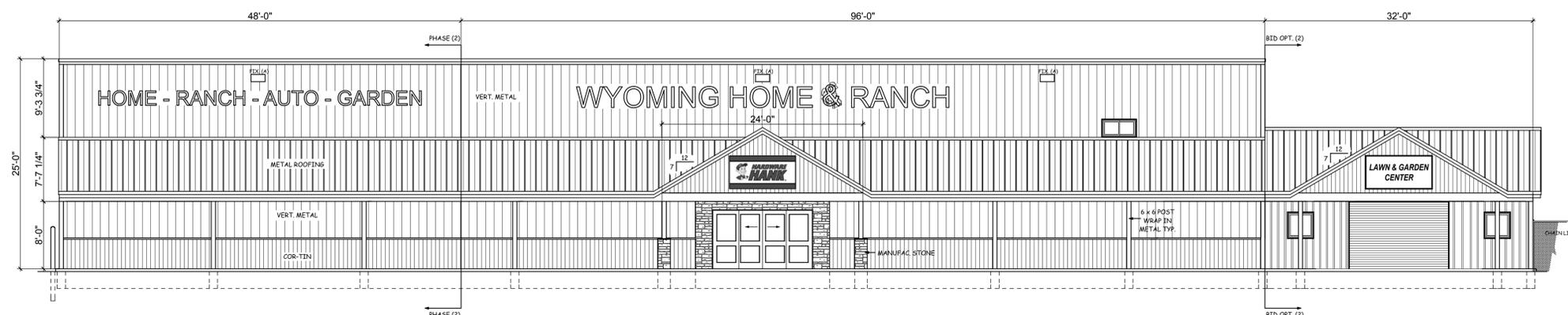
DATE: Revision (8)

June 11, 2012

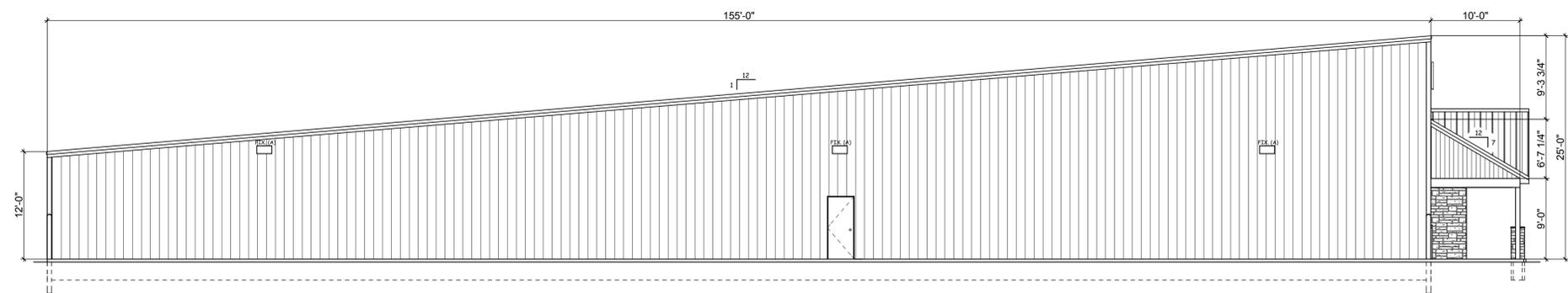
#	CHANGE ORDER	DATE

C1

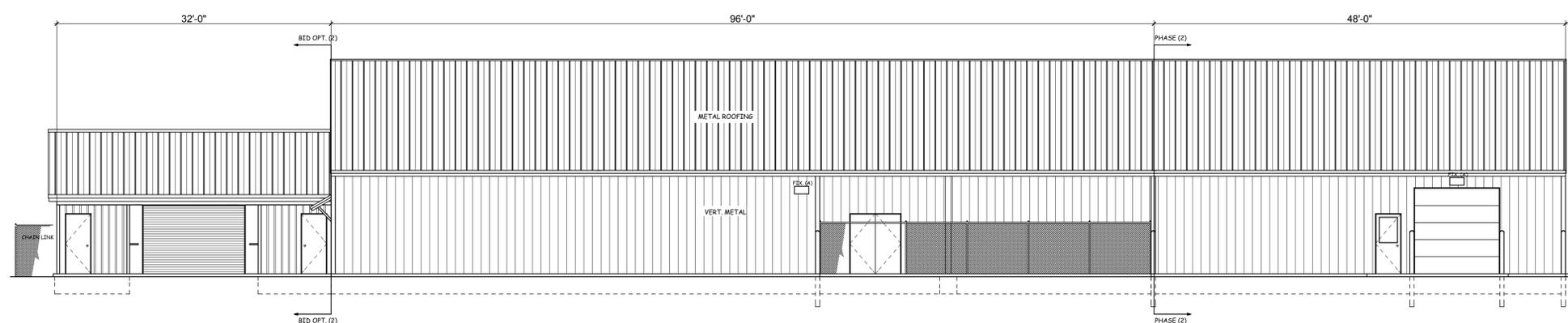
SHEET #
1 OF



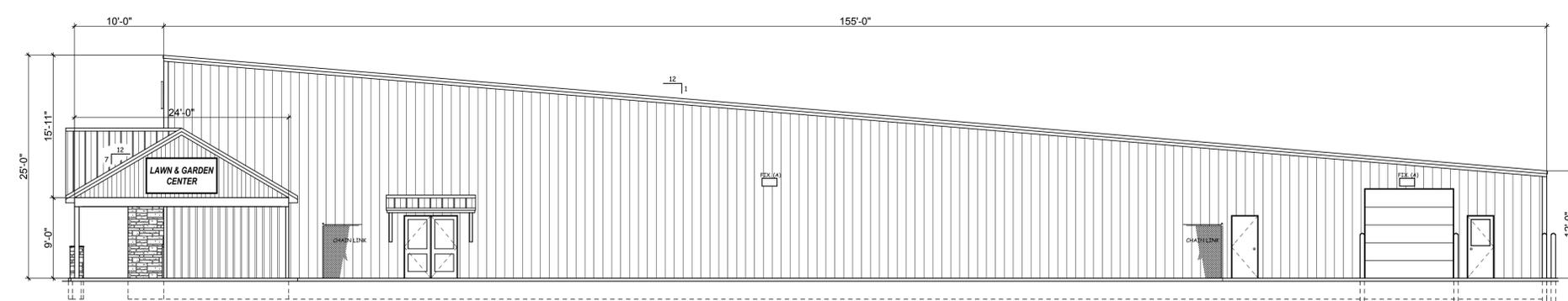
SOUTH ELEVATION
SCALE 1/8" = 1'-0"



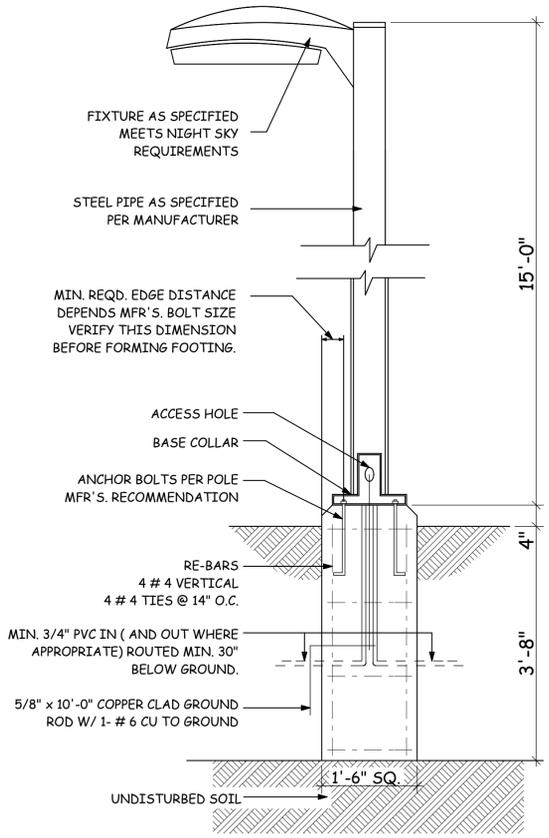
WEST ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"



AREA LIGHT DETAIL

SCALE 3/4" = 1'-0"

ELEVATIONS

Wyoming Home & Ranch
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mountainview82414@yahoo.com 307-250-1728
Pat Shellady

General Contractor:

Address:
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SUSAN HOVDE - Architect

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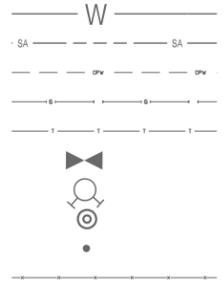
DATE:	CHANGE ORDER

A2.0
SHEET #
2 OF

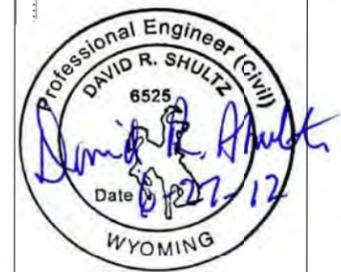
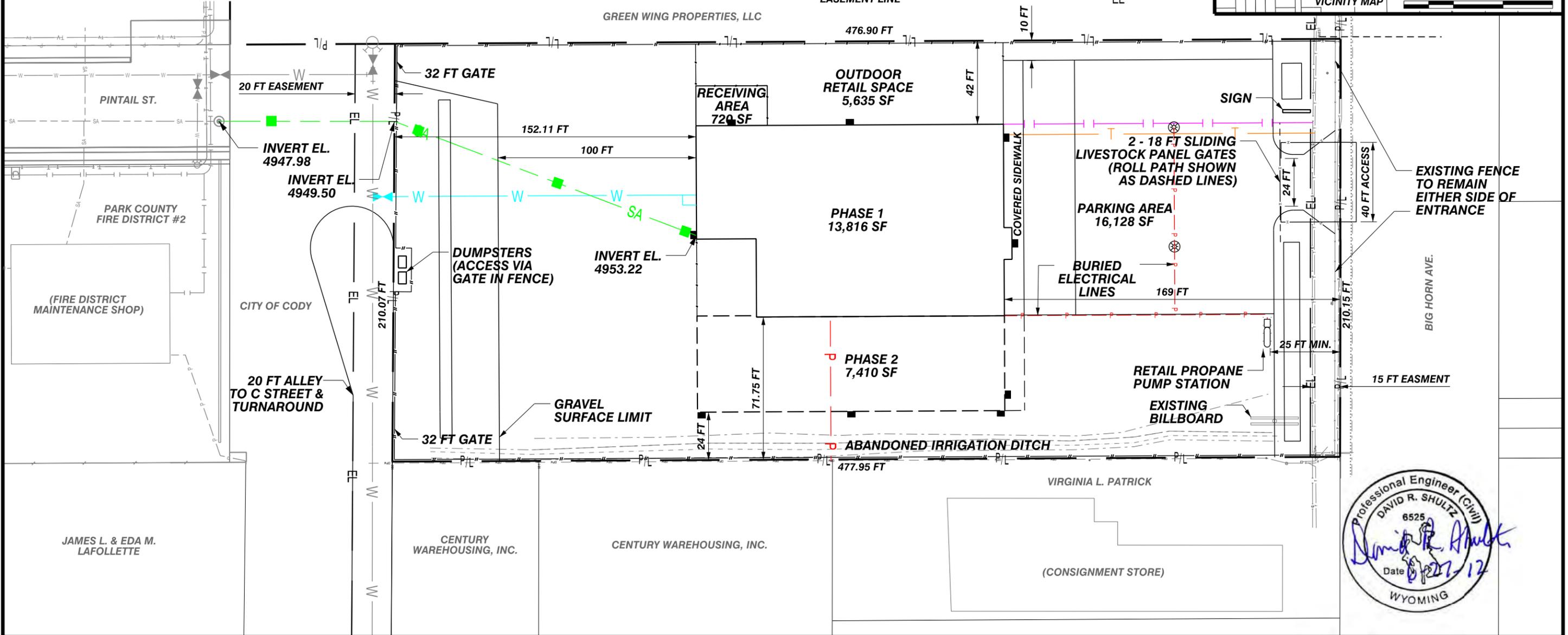
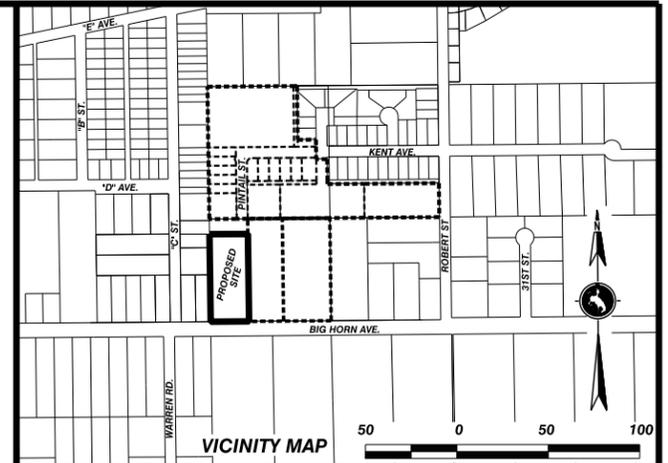
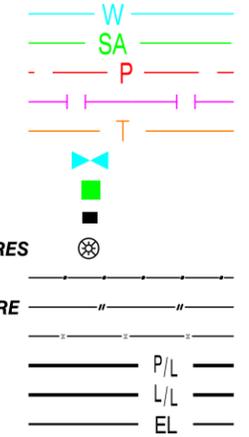


- NOTES:**
1. PROPOSED SITE AND ALL ADJACENT LANDS SHOWN ON THIS PLAN ZONED D-3, OPEN BUSINESS/LIGHT INDUSTRIAL
 2. ELECTRICAL SERVICE INFORMATION: 400 AMP, 208Y/120 VOLT THREE PHASE UNDERGROUND SERVICE.
 3. SEWER SERVICE TO BE INSTALLED AT MINIMUM SLOPE OF 1/4 IN PER FT. ADEQUATE GRADE EXISTS BETWEEN SEWER MAIN AND BUILDING TO PROVIDE MINIMUM SLOPE.

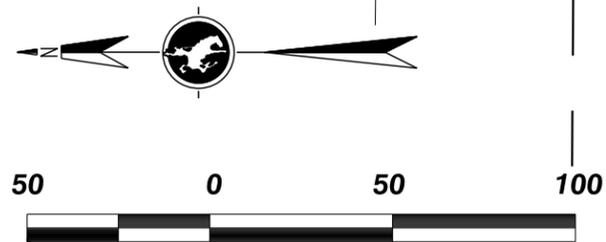
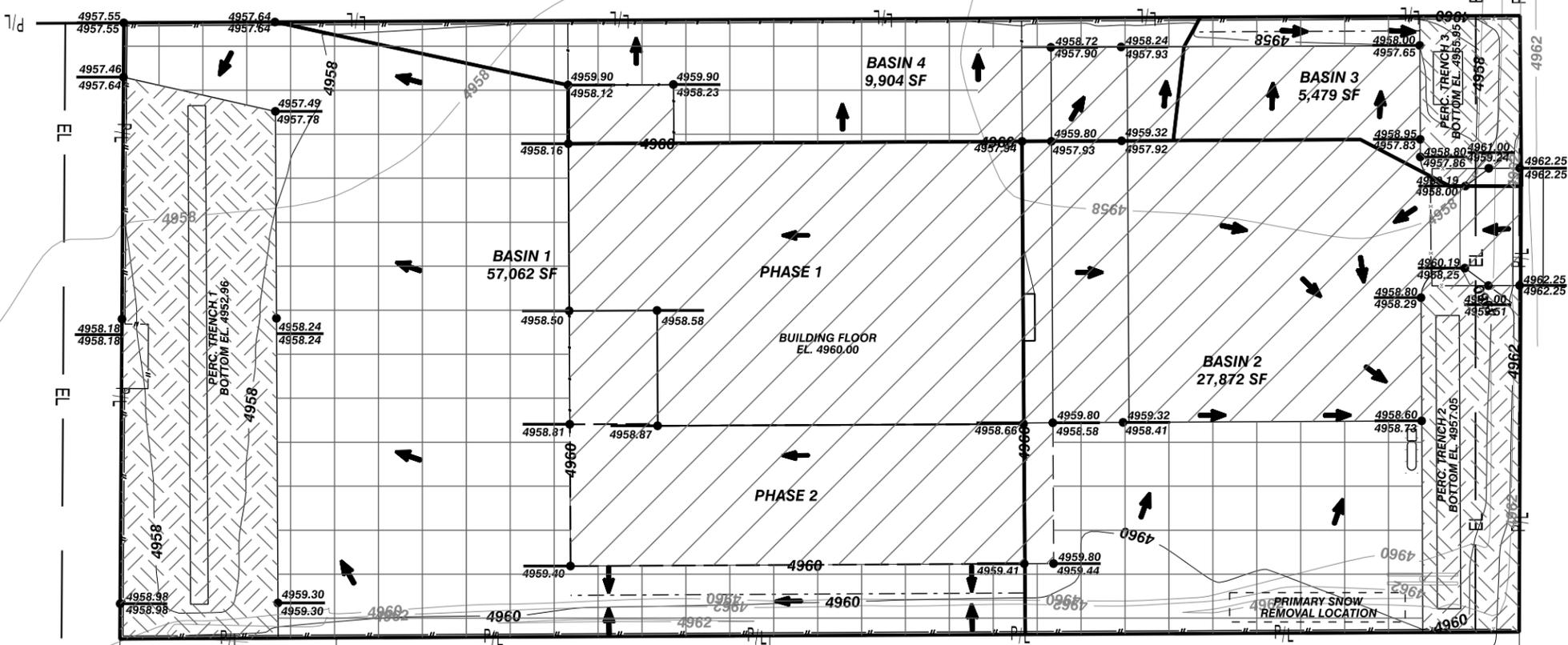
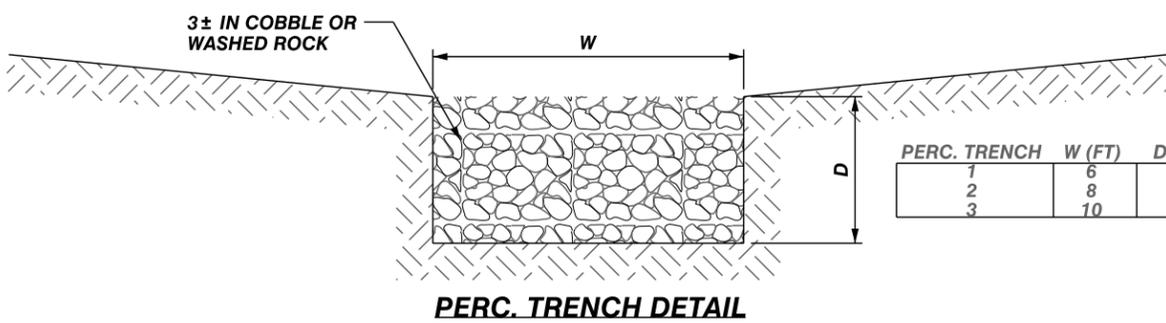
- EXISTING WATER LINE
 EXISTING SANITARY SEWER LINE
 EXISTING OVERHEAD POWER LINE
 EXISTING GAS LINE
 EXISTING TELEPHONE LINE
 EXISTING WATER VALVE
 EXISTING FIRE HYDRANT
 EXISTING SANITARY SEWER MANHOLE
 EXISTING OVERHEAD POWER POLE
 EXISTING 4 FT WOVEN WIRE FENCE



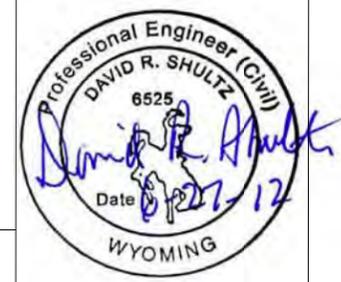
- 4 IN TREATED WATER SERVICE
 4 IN SANITARY SEWER SERVICE
 ELECTRIC SERVICE
 GAS SERVICE
 TELEPHONE SERVICE
 WATER VALVE
 SEWER CLEANOUT
 BUILDING EXTERIOR LIGHTS
 18 FT LIGHT POLES w/ 2 100-400 W FIXTURES
 6 FT CHAIN LINK FENCE
 32 IN WOVEN WIRE FENCE w/ BARBED WIRE
 3-RAIL WOODEN FENCE
 PROPERTY LINE
 LOT LINE
 EASEMENT LINE

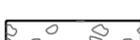


- SPOT ELEVATIONS ● PROPOSED GRADE
 ● EXISTING GRADE
- DIRECTION OF DRAINAGE ←
- EXISTING CONTOUR — 4958 —
- PROPOSED CONTOUR — 4958 —
- PAVEMENT, SIDEWALK,
AND BUILDING (C=0.90) [Hatched Box]
- COMPACTED
GRAVEL (C=0.60) [Grid Box]
- LANDSCAPING /
PERC. TRENCHES (C=0.30) [Diagonal Hatched Box]

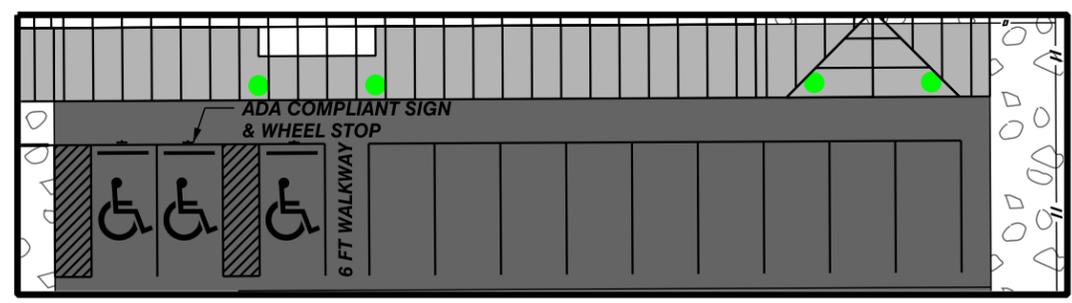


NOTE:
PERC. TRENCHES TO BE USED FOR ADDITIONAL SNOW REMOVAL AREAS.

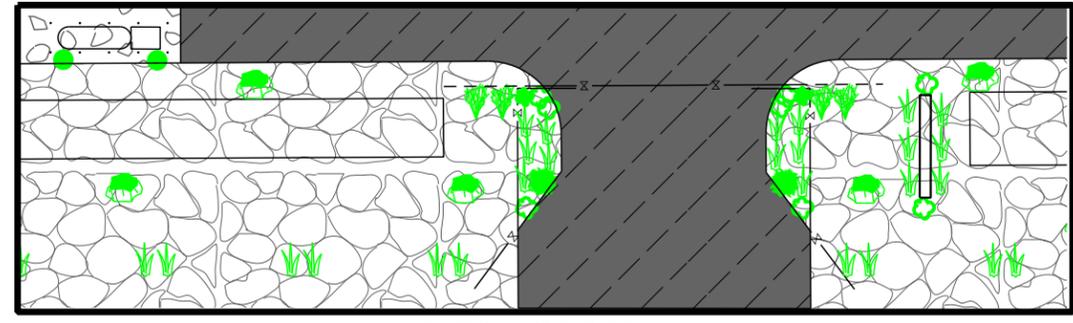


- METAL ROOF 
- CONCRETE 
- ASPHALT PAVEMENT 
- ASPHALT PAVEMENT TO BE COMPLETED CONTINGENT UPON BUDGET 
- COMPACTED GRAVEL 
- 3± IN COBBLE 
- NATIVE SOIL 

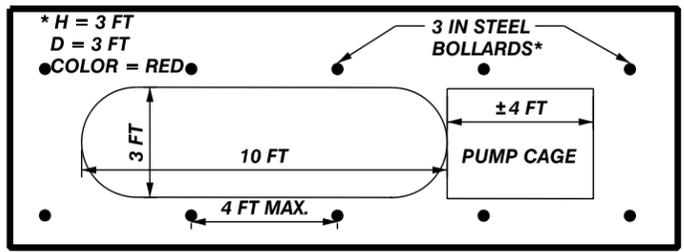
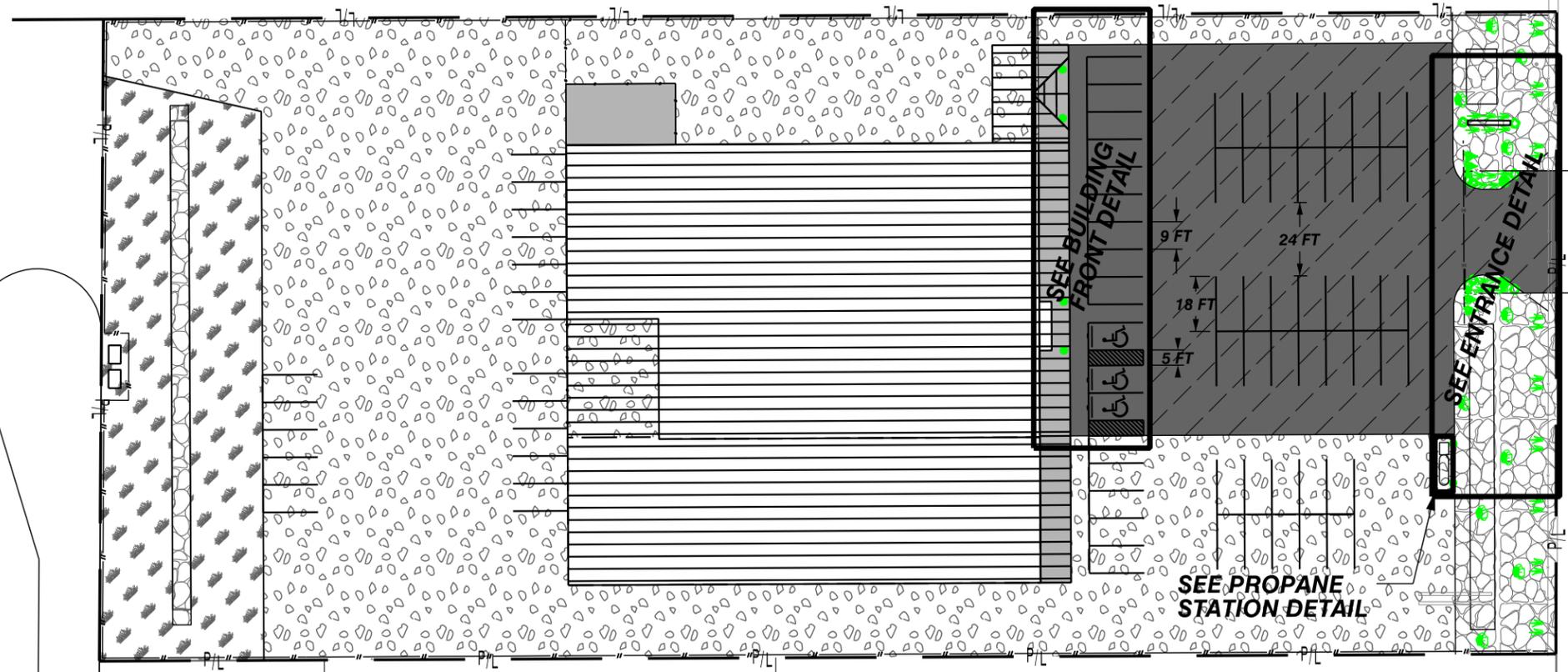
- KARL FORESTER REED GRASS (34) 
- BARBERRY BUSH (8) 
- CREeping JUNIPER (2) 
- DWARF MUGO PINE (2) 
- SIBERIAN DOGWOOD (4) 
- BARREL PLANTER w/ ANNUALS (6) 
- BOULDER (10) 



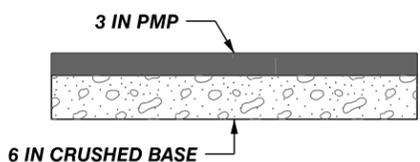
BUILDING FRONT DETAIL



ENTRANCE DETAIL



PROPANE STATION DETAIL



TYPICAL ASPHALT PAVING SECTION



- NOTES:**
1. 70 PARKING SPACES PROVIDED. PER CITY OF CODY BUILDING DEPT., 1 SPACE PER 400 SF IS RECOMMENDED FOR RETAIL HARDWARE STORE. 27,910 SF RETAIL SPACE @ 1 SPACE/400 SF = 70 SPACES
 2. 3 DISABLED PARKING SPACES PROVIDED. PER ADA REQUIREMENTS, 1 DISABLED SPACE PER 25 TOTAL PARKING SPACES.
 3. PARKING STALLS ON COMPACTED GRAVEL TO BE DELINEATED USING LANDSCAPING TIMBERS.



SIGN SPECIFICATIONS:

ALL ATTACHED WALL SIGNS TO BE:
RED VINYL LETTERS PER DETAILS.
MOUNTED TO WALL WITH FASTENERS
PER SIGN CONTRACTORS SPECS.

ZONE D-3

ATTACHED WALL SIGN # 1 = 111.25 SF.

ATTACHED WALL SIGN # 2 = 78 SF.

ATTACHED WALL SIGN # 3 = 32 SF x (3) = 96 SF.

TOTAL ATTACHED WALL SIGNAGE = 285.25 SF.

FREE STANDING SIGN = 140 S.F.

FREE STANDING LED LIGHT = 70 SF.

TOTAL FREE STANDING = 210 SF.

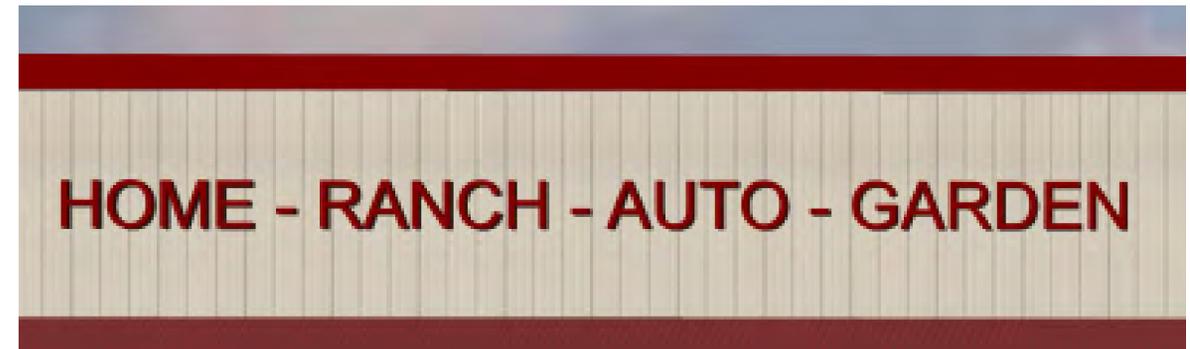
TOTAL SIGNAGE = 495.25 SF.

TOTAL ALLOWED SIGNAGE PER 10-15 = 600 SF.



ATTACHED WALL SIGN # 1

N.T.S.

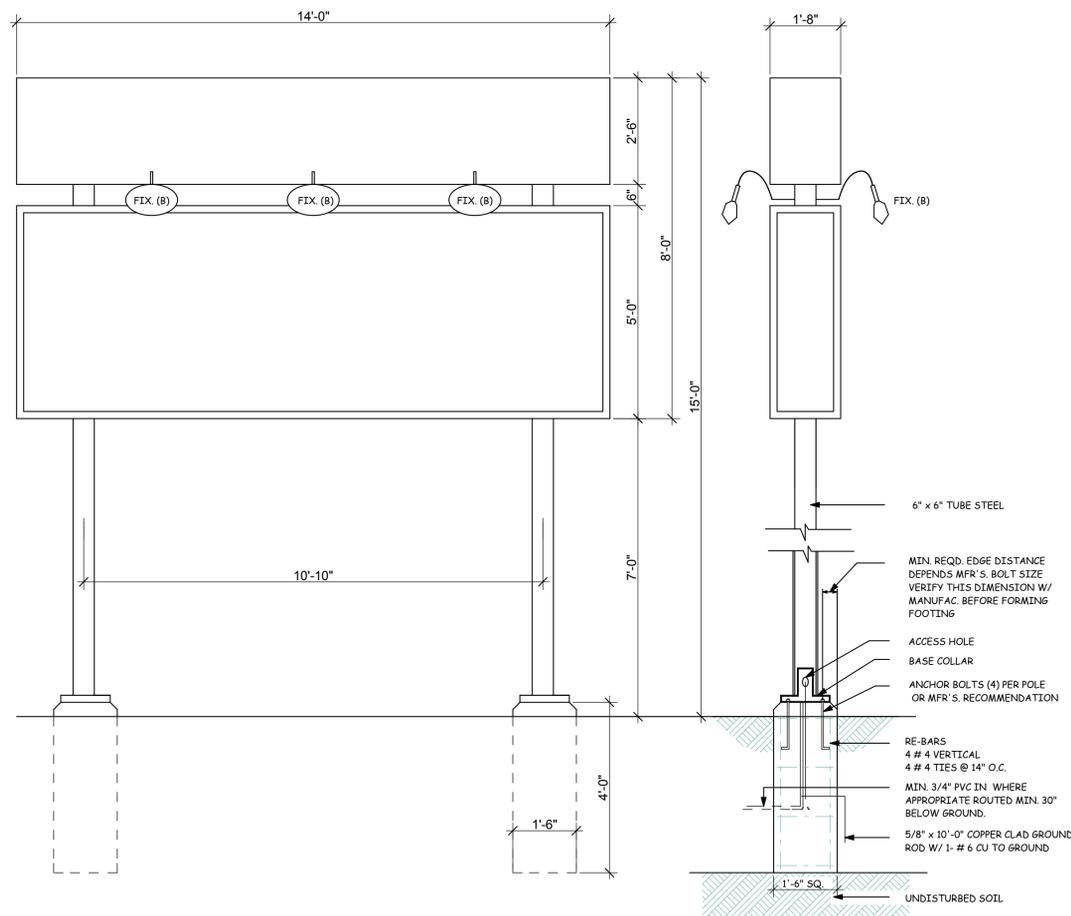


ATTACHED WALL SIGN # 2

N.T.S.



ATTACHED WALL SIGN # 3 (3) TOTAL
SCALE 1/2" = 1'-0"



FREE STANDING SIGN
FRONT / SIDE ELEVATION

SCALE 1/2" = 1'-0"

SIGN CALCULATIONS

Wyoming Home & Ranch

P.O. Box 631

Cody Wyoming 82414

Pat Shellady mountainviews2414@yahoo.com 307-250-1728

General Contractor:

Address:

Phone:

SUSAN HOVDE - Architect

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Project # 831

DATE: Revision (8)

June 11, 2012

#	CHANGE ORDER	DATE

A4.0
SHEET #
2 OF

MONUMENTS

L.E.D. DISPLAY RESOLUTIONS



16MM RESOLUTION

RECOMMENDED VIEWING DISTANCE: 25 FEET+

Red or Amber • High Resolution • 4.4" Minimum Letter Height
High Contrast / High Impact • Fluid Moving Text and Motion



Custom Monument: Amber LED

ADJUSTABLE LETTER SIZES

With our software you are not locked into "lines of text" like other LED sign manufacturers, and the on board tools make it easy to create sign ads.

UP TO 6 LINES OF 4.4" TEXT



UP TO 4 LINES OF 4.4" TEXT



IMPORT PICTURES AND VIDEOS



SIGN SPECIFICATIONS

Color Capability	1 Color (4096 Shades)	Estimated LED Lifetime	100,000 Hours (11+ Years)	Software	LightSpeed™
Maximum Viewing Angle	160° Horizontal	Graphics Capability	Text, Animation, Pictures, Video	Contrast Enhancement	Non-reflective black louvers
LEDs / Pixel	(1) RED or AMBER	Dimming	100 Levels	Voltage	Full Range: 110/240 VAC 50/60Hz
Physical Pitch	16mm	Scan/Refresh Rate	2400+Hz	Remote Updates	Firmware & Software
Brightness	10,000 NITs	Frame Rate	60 FPS (frames per second)	Communication	Ethernet, Fiber Optic, Broadband, Wireless 2.4GHz 802.11G
Temperature Rating	-15F to 120F				

GREENBRIAR® WALL SCONCE

LUMINAIRE ORDERING INFORMATION



TYPICAL ORDER EXAMPLE: **GBWM 3 400 PSMHR F 120 BRZ SQT**

Luminaire Prefix	Distribution	Lamp Wattage	Light Source	Lens	Line Voltage	Luminaire Finish	Options	
GBWS (Small)	3 - Type III FF - Forward Throw WW - Wall Wash	50	CMH - Compact Metal Halide 150 Watt ¹	F - Flat Clear Tempered Glass	120	BRZ - Bronze	FC120 - Ballast-Type Phoscol FC126 - Ballast-Type Phoscol FC140 - Ballast-Type Phoscol FC277 - Ballast-Type Phoscol FC347 - Ballast-Type Phoscol TP - Tamper Proof ⁷ PMA - Pole Mount Adapter for use with square poles (for S or DIM mounting configurations only) Not compatible with EM1, EM2, ED or E02 options. PMAR - Pole Mount Adapter for use with round poles (for S or DIM mounting configurations only) Not compatible with EM1, EM2, ED or E02 options. DIM - CFL Control Voltage Dimming Ballast ¹³ C - Coated MH or PSMH Lamp (except 250 PSMH) SQT - Standby Quartz (Time Delay) ⁹ SON - Standby Quartz (Non-Time Delay) ⁹ E0 - Emergency Quartz (separate 120V circuit - HID only) ⁹ E02 - Two Emergency Quartz (2 separate 120V circuits - HID only) ¹⁰ BB - CFL Battery Back-up ¹¹ CMBB - Cold Weather Battery Back-up ¹¹ EM1 - One Emergency 12V Circuit Provision with 35 Watt Halogen Lamp ¹² EM1LL - One Emergency 12V Circuit Provision - Less Halogen Lamp ¹² EM2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps ¹² EM2LL - Two Emergency 12V Circuit Provisions - Less Halogen Lamps ¹² LL - Less Lamp Color Details 45 - Light Gold Metallic 55 - Black 20 - Charcoal Metallic 50 - White 94 - Blue Metallic 51 - Dark Red 59 - Dark Green 700 - Antique Silver Metallic 21 - Tomato Red	
		70	MH - Metal Halide 50, 70, 100 ² , 150 ¹ Watt		120			
		100	HPS - High Pressure Sodium 50 ³ , 70, 100, 150 Watt		120			
GBWM (Medium)	3 - Type III FF - Forward Throw	250	PSMH - Pulse Start Metal Halide 250, 320 Watt	F - Flat Clear Tempered Glass	120	BRZ - Bronze BLK - Black PFP - Platinum Plus BUJF - Buff WHIT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver		
		320	PSMH - Pulse Start Metal Halide Reduced 400 Watt		200			
		400	HPS - High Pressure Sodium 250, 400 Watt		240			
		26	CFL - Compact Fluorescent Single 26, 32, 42 Watt	F - Flat Clear Tempered Glass	UE - Universal Electronic (120-277V 50/60Hz) 347 ⁵			
		32	CFL2 - Compact Fluorescent Double 26, 32, 42 Watt	FPC - Flat Clear Polycarbonate ⁴				
		42	CFL - Compact Fluorescent Single 26, 32, 42 Watt					
		57	CFL3 - Compact Fluorescent Triple 26, 32, 42 Watt					
		70						

Consult Factory for International Voltages and Light Sources

FOOTNOTES:

- 150 MH must be used for downlight only
- Supplied with a BX-HPF transformer as standard. Also available with a 120/277 volt CMA transformer. Consult factory.
- 50 Watt HPS is not available in TT or 347V.
- FPC lens is not available with EM options.
- If a polycarbonate lens is required on an Uplight Medium fixture in 70 CFL2 or 42 CFL3, the glass lens with Polycarbonate Shield (CHMS PLS) accessory must be ordered.
- 347V CFL is not available with dimming ballast (DIM) option. Consult factory for battery back-up (BB) options.
- Tamper-proof Screws/Driver must be ordered separately. (See Accessory Ordering Information).
- CFL Dimming Control by others.
- HID lamp wattages 50 and 70 are supplied with a 50 watt, 120V quartz lamp. HID lamp wattages 100 through 250 are supplied with a 100 watt, 120V quartz lamp. HID lamp wattages of 320 & 400 are supplied with a 250 watt, 120V quartz lamp. ED option is not compatible with PMA or PMAR options.
- Available on 100 watt minimum HID fixtures. HID lamp wattages 100 through 175 are supplied with two 50 watt, 120V quartz lamps. 250 through 400 watt HID fixtures are supplied with two 100 watt, 120V quartz lamps. E02 option is not compatible with PMA or PMAR options.
- Battery Back-up available on single, double and triple 120 or 277 voltage specific units for U.S. applications. Please change Line Voltage of UE to 120 or 277 when ordering this option. On double and triple units, one lamp will be energized by Battery Back-up (BB) option. Consult factory for specific means of Egress job application compliance.
- Unless GY6.35 socket(s). 12 watt separate circuit(s) required. Not compatible with PMA or PMAR option or FPC lens.

ACCESSORY ORDERING INFORMATION

(Accessories are field installed)

Description	Order Number	Description	Order Number
FC120 - Single Fusing	FC120+	GBWS PLS - Polycarbonate Shield for Small	172796
FC277 - Single Fusing	FC277+	GBWM PLS - Polycarbonate Shield for Medium	172787
DFX200, 240 - Double Fusing	DFX200, 240+	SW BLK - Surface Wiring Box	173156BLK+++
DFX400 - Double Fusing	DFX400++	SCD - Tamper-proof Screws/Driver	36449
FC347 - Single Fusing	FC347+		

+ Available on HID fixtures only. Fusing to be installed in a compatible junction box supplied by contractor.
 ++ Available on HID Medium fixture only. Fusing to be installed in a compatible junction box supplied by contractor.
 +++ SW BLK not compatible with PMA or PMAR option.

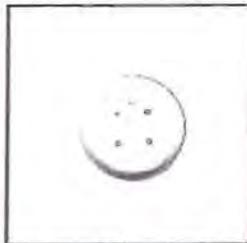


LSI ABOLITE LED ANGLED REFLECTOR (AD)

US patents 0580162 & 0581585 & 0581544 & 7037766 and US & Int'l. patents pending

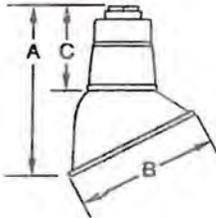


Directional Optics



Symmetrical Optics

DIMENSIONS



Prefix	Height (A)	Diameter (B)	Neck (C)	Weight (lbs./kg)
AD 100	10" (254mm)	7" (178mm)	5" (127mm)	2.0 (0.9kg)
AD 150	11-1/2" (292mm)	9" (229mm)	5-1/4" (133mm)	2.0 (0.9kg)
AD 200	13-1/2" (343mm)	11" (279mm)	5-1/2" (140mm)	2.5 (1.1kg)

APPLICATIONS - Signage Lighting and Accent Lighting, Interior or Exterior.

PRODUCT HIGHLIGHTS

- **"Green" Energy-Saving** - Reduces greenhouse gas emissions, slashes operating costs, extends life and eliminates costly lamp disposal involving mercury waste.
- **Long Lasting Sparkle** - LED light beam contains no heat, and no UV, which means degradation in color or quality of the product under display is minimized.
- **Dramatically Lower Maintenance Costs** - 60,000-hour LED source extends life 3 to 5 times as compared to conventional HID sources, 30 times incandescent.
- **Integrated Power Supply** - Built into fixture allowing RLM to be connected directly to line voltage.

FINISH - Available in either architectural textured, high gloss, satin or galvanized finish.

LEDS - Select high-brightness LEDs. Expected life: minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance. 5000°K color temperature (nominal).

MOUNTING - Fixed hub tapped for 3/4" NPT conduit. Pre-wired with 96" leads.

REFLECTOR - Heavy duty spun galvanized steel construction with either polyester powder coat or galvanized finish.

ELECTRICAL - Integral power supply operates on 120-240 VAC (50/60Hz) input; no external power supplies required.

LIGHT OUTPUT - 700 lumens with an input power of 10 watts.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

DRIVER - State-of-the-art driver designed specifically for RLM fixtures provides unsurpassed system efficiency. Components are fully encased in potting material for moisture resistance. Driver complies with IEC and FCC standards.

OPTIONAL DIRECTIONAL OPTICS - Allows field adjustment of the light beam for directional illumination of signage.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

LISTING - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

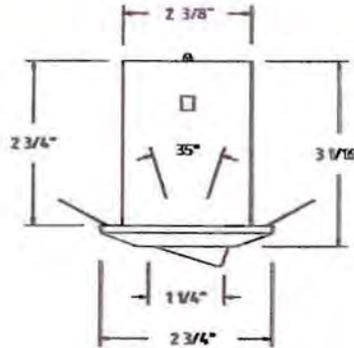
Also available in traditional light sources

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



LOW VOLTAGE MINIATURE RECESSED

MODEL HR-1137



Ordering Matrix						
Model	Series	Finish				
<input type="text"/>	<input type="text"/>	<input type="text"/>				
HR	1137	BK	BN	CH	CB	WT

Ordering Example (model - series - finish): HR-1137-BK

Product Details	
Description:	Low voltage miniature recessed gimbal ring unit with clear glass lens. Used for lighting in cabinets, displays and similar wooden applications.
Materials:	Housing is steel, painted black. Electrical component consists of a bi-pin ceramic socket with nickel plating and 30" of 18 gauge teflon insulated wires with fiberglass sleeves leading from the socket to strip-prepared ends.
Transformer & Lamp:	Remote electronic class II transformer required, sold separately. Use one MR11 20w max, 12 volt lamp. Sold separately.
Finish:	BK = Black powder coat paint CB = Copper Bronze BN = Brushed Nickel electroplated WT = White powder coat paint CH = Chrome electroplated
Mounting:	Two flat "wing" springs expand against the cut out hole to hold fixture against the surface. The socket and insulated wires are installed into the housing with the wires leading out through the side of the housing to the remote power transformer. 2 3/8" cutout hole.
Ratings:	U.L. and C.U.L. listed. Conforms to U.L. standard 1598. Certified to C.S.A. standard C22.2, #250. 5 year WAC Lighting product warranty.

Specification Features
<ul style="list-style-type: none"> Lamp has a 35° adjustable tilt from nadir. The supplied clear glass lens can be replaced with one lens accessory such as a colored dichroic lens, UV filter lens, frosted lens, etc. See catalog or website for full lens accessory selection. An all-in-one style recessed unit, comes with housing and trim. No need to order additional fixture parts, it is ready to install out of one box. Non-IC unit. Intended for installations where insulating materials will not be present. "Quick-Ship" item, always in stock and available for immediate shipment.

Compatible Electronic Transformers (sold separately):					
EN-1260-RB2 Boxed Class II 120V input - 12V output Load: 20w-60w (60w max)		EN-1260-R2 Component Class II 120V input - 12V output Load: 20w-60w (60w max)		EN-1260-P-AR Cord & Plug Class II 120V input - 12V output Load: 20w-60w (60w max)	



05 July 2012

To: Planning & Zoning Board

From: Brian McDaniel (Wyoming Steel Services, LLC.)

Subject: Discussion of proposed fence slats on leased lot. 156 Road 2AB Cody, WY. 82414

During our initial Planning & Zoning Meeting, on March 27, 2012, I had stated that it was our intention to install green fence slats, in the chain link, around the north and west sides of the property. Since that meeting and with further development of the site, I have learned that these slats are very expensive and will not fully serve the purpose for which they were intended. If you drive around the north and west sides of the lot, you will look over the fence approximately 70% of the time. Therefore the slats would not really serve their purpose. My second major concern is the cost of these slats, and not being able to use them at our permanent site.

With this only being a temporary site for us, and the fact that no complaints have been made as to the unsightliness of the property, I would appreciate a waiver on the fence slats for now.

I would also like to add that if something didn't work out on the permitting between Burlington-Northern Railroad and the Cody Land Development Corporation, on our permanent site, and Wyoming Steel Services ended up purchasing this temporary site, we will be looking at replacing the fence anyway with something that would serve our purpose more.

Thanks for your time.

Respectfully,

Brian McDaniel



POLARIS
KAWASAKI

H O N D A

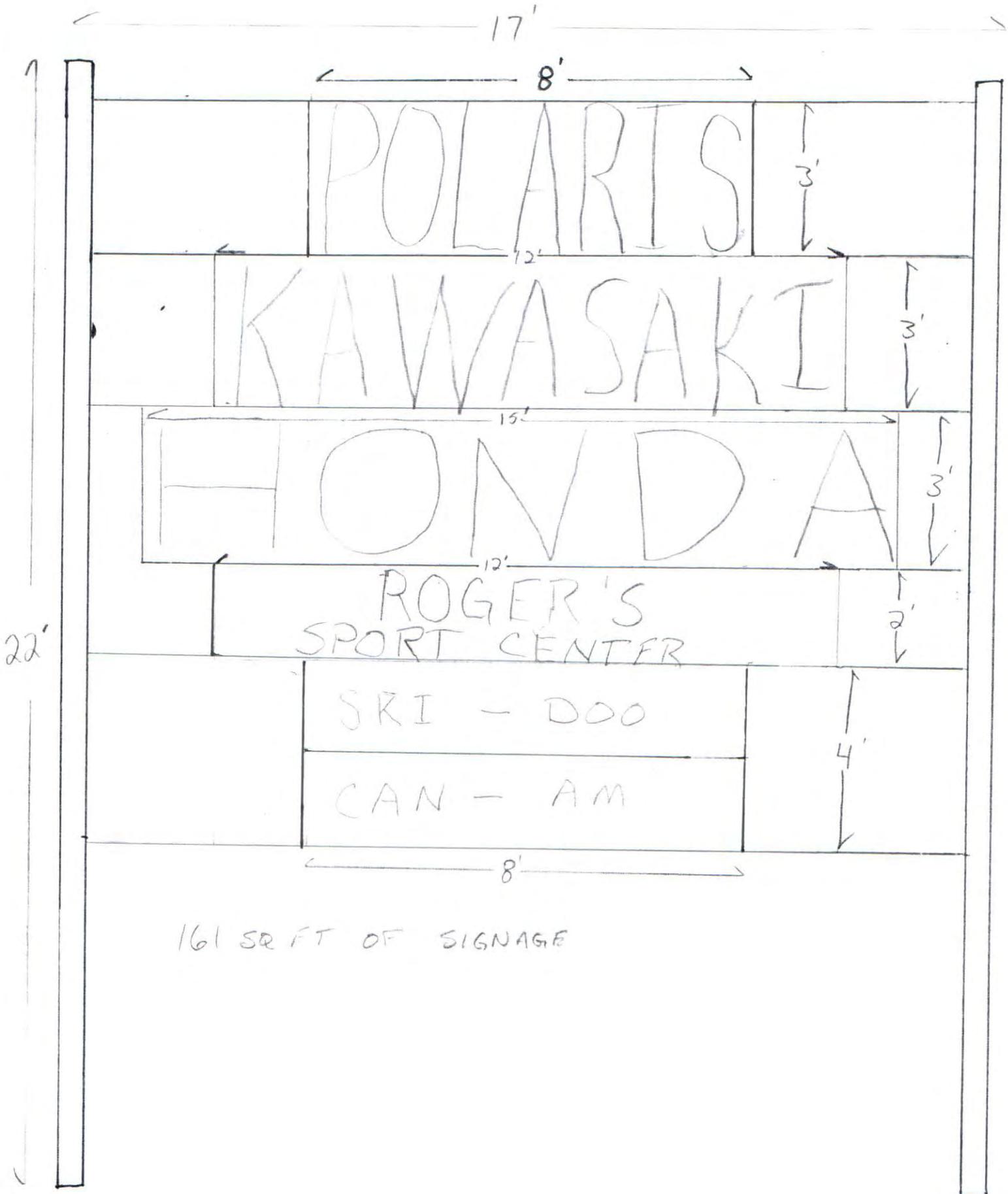
Roger's Sport Center
2812 Big Horn Avenue

ski-doo



CAN-AM





161 SQ FT OF SIGNAGE



Attach 6 signs: 96" x 20" each
Existing Signs: 2 @ 10' x 3'
1 @ 3' x 2'
1 @ 1' x 4'

Temporary A-frame applications must also include:

- Each organization and/or business may receive one permit per year and each permit will be valid for seven consecutive days.
- Dates requested: JULY 5, 6, 7 + 8, 2012 (ONE SIGN MAYBE JULY 2, 3, 4, 5, IF OK)
- No more than five permits will be issued for the same seven day period. Permits will be issued on a first come first served basis.
- No signs shall be placed within the public right of way except for as otherwise allowed by the City Code.
- No applicant is allowed to place more than six temporary A-frame signs within the City. Please provide a site plan of the locations.

Location _____ Location 2: 13th ST & STAMPEDE (N. ELSON)
 Location 3: 12th ST & SHERIDAN (MAYBE IRMA PORCH IF OK w/IRMA) Location 1: STAMPEDE & HWY (BICYCLE HIGHWAY)
 Location 5: 13th ST @ RILEY ARENA DRIVE WAY Location 6: _____

Billboard applications must also include:

- Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
- Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.

Inflatable applications must also include:

- Design and construction details to demonstrate compliance with City wind load requirements
- How the electricity will be supplied to the inflatable
- Demonstrate that the anchoring mechanisms will not present a danger to the public
- Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
- Altitude: _____ Total Aggregated Square Footage: _____

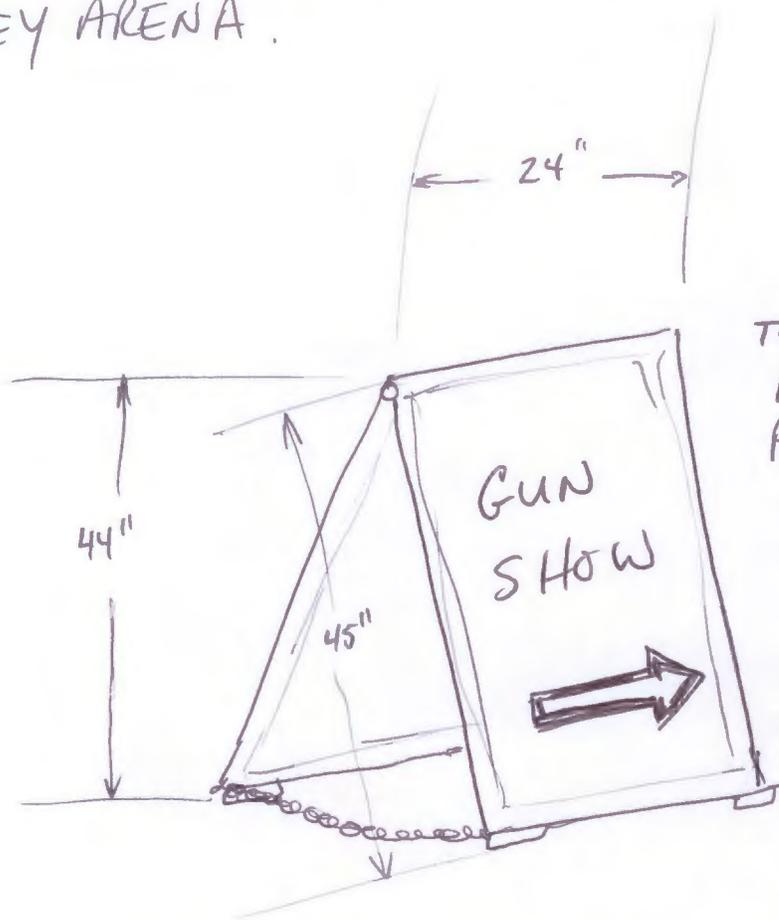
Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart



TYPICAL SIZE & CONSTRUCTION
(NO FLAG)

SANDWICH BOARD SIGNS FOR THE WINCHESTER ARMS COLLECTORS ASSOCIATION'S GUNSHOW AT THE RILEY ARENA.



SIZE WILL BE THE TYPICAL SIZE OF THE PLASTIC SIGNS THAT PAUL @ CHUCK SIGNS SELLS. AT THIS TIME, IT IS UNKNOWN IF WE WILL GO WITH THE PLASTIC, OR MAKE PLYWOOD ONES IN THE IDENTICAL SIZE OF (24" x 45") 2' x 3'9".

- * THE BOTTOMS WILL HAVE A CHAIN ON EACH SIDE TO PREVENT OVER-OPENING AND ALSO WILL HELP ANCHOR THE SIGN. WE WILL USE EITHER SANDBAGS OR INVERTUBE TYPE SAND BAGS TO SECURE THE SIGNS, AND ACTUAL TIE DOWN STRAPS IF THE WEATHER IS TOO WINDY.

Property Owner's Permission Letter for Hans Kurth, Agent for W.A.C.A., the Winchester Arms Collectors Association's Annual Gunshow held at the Riley Arena, July 6th, 7th, and 8th/2012.

I, Donna Paris of Big Horn Federal hereby give permission to Hans Kurth, of Cody, Wyoming, to use the agreed upon standard-sized sandwich board sign in order to help promote the WACA Gunshow , held July 6th, 7th, and 8th, 2012, in accordance with all City and State bylaws and laws, on the property address stated below:

Donna Paris
1701 STAMPEDE AVE
CODY, WY 82414

Hans Kurth, Owner
Cody Dug Up Gun Museum
1020 12th Street
Cody, WY 82414
Tel: 307.587.3344

Property Owner's Permission Letter for Hans Kurth, Agent for W.A.C.A., the Winchester Arms Collectors Association's Annual Gunshow held at the Riley Arena, July 6th, 7th, and 8th/2012.

I, Jay Nielson of Nielson + Assoc hereby give permission to Hans Kurth, of Cody, Wyoming, to use the agreed upon standard-sized sandwich board sign in order to help promote the WACA Gunshow , held July 6th, 7th, and 8th, 2012, in accordance with all City and State bylaws and laws, on the property address stated below:

?? Stampede Ave

Lot West of the Post Office

Hans Kurth, Owner
Cody Dug Up Gun Museum
1020 12th Street
Cody, WY 82414
Tel: 307.587.3344



Jay Nielson



Property Owner's Permission Letter for Hans Kurth, Agent for W.A.C.A., the Winchester Arms Collectors Association's Annual Gunshow held at the Riley Arena, July 6th, 7th, and 8th/2012.

I, John C. Darby of the Irma hereby give permission to Hans Kurth, of Cody, Wyoming, to use the agreed upon standard-sized sandwich board sign in order to help promote the WACA Gunshow, held July 6th, 7th, and 8th, 2012, in accordance with all City and State bylaws and laws, on the property address stated below:

1192 Sheridan
Cody Wyo
82414

John Darby of
the Irma Hotel

Hans Kurth, Owner
Cody Dug Up Gun Museum
1020 12th Street
Cody, WY 82414
Tel: 307.587.3344

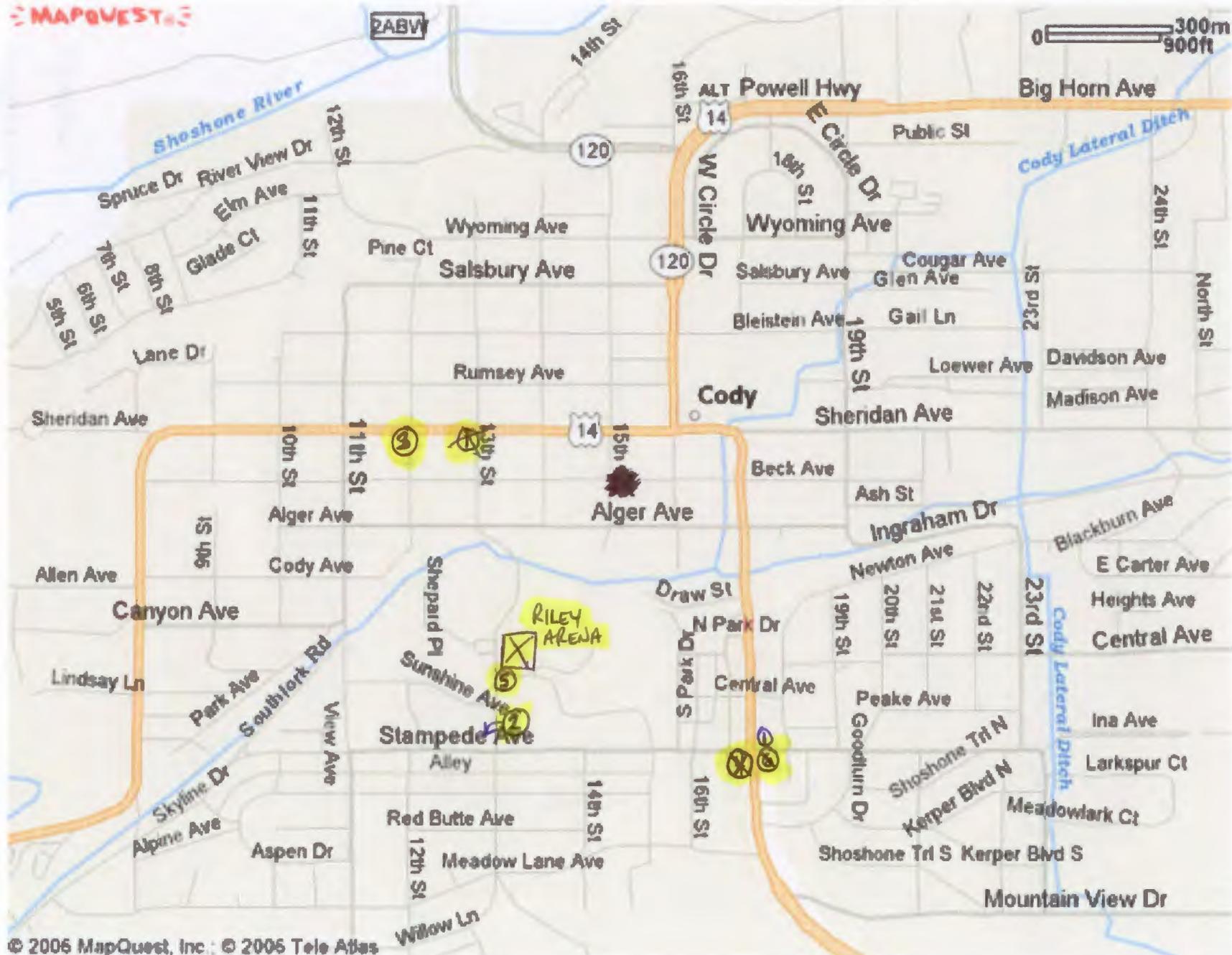
Property Owner's Permission Letter for Hans Kurth, Agent for W.A.C.A., the Winchester Arms Collectors Association's Annual Gunshow held at the Riley Arena, July 6th, 7th, and 8th/2012.

* I, Rick Manchester of Cody Parks & Rec ^{am NOT opposed to} hereby ~~give permission to~~ Hans Kurth, of Cody, Wyoming, to use the agreed upon standard-sized sandwich board sign in order to help promote the WACA Gunshow, held July 6th, 7th, and 8th, 2012, in accordance with all City and State bylaws and laws, on the property address stated below:

Hans Kurth, Owner
Cody Dug Up Gun Museum
1020 12th Street
Cody, WY 82414
Tel: 307.587.3344

6/27/12

* - Within my authority I am not opposed to the placement of an 11" frame sign placed on Rec Center property near the City's overflow parking areas
• May require City administrator or Mayor Approval.
Rick





STORE FRONT - EXISTING SIGNAGE

EXISTING ALBERTSONS OSCO SIGNAGE TO REMAIN AS IS. NO WORK PROPOSED AT THIS TIME.

EXISTING BANK SIGNAGE TO REMAIN AS IS. NO WORK PROPOSED AT THIS TIME.

REMOVE AND RECYCLE OR DISCARD AS APPLICABLE EXISTING TULLYS COFFEE SIGNAGE. ALB. G.C. TO PATCH AND PAINT FASCIA.



PHOTO OF EXISTING TULLYS COFFEE SIGNAGE



STORE FRONT - PROPOSED SIGNAGE

INSTALL NEW 48" STARBUCKS COFFEE LOGO DISK.



S/F Exterior Wall Mount Logo Disk
Scale: 3/8" = 1'-0"
AREA 16.00 SF

16265 Star Road Tampa, ID 83687 toll free: 800.592.8056 tele: 208.345.4020 fax: 208.316.9886 www.imaginational.com

		2061 Eddy Way	DATE: 05.10.12	DRAWN BY: LMS		HANNA PLANT - 01 #433195-001 TERRILL PLANT - 01 #433195-002	1 of 2
			DOW:	COMPANY: ALB. G.C. CONSTRUCTION CO.			
			ACCOUNT: Dave C.	REVIEW:			
			PROJECT:				