

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, JUNE 26, 2012  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

**AGENDA**

1. Call to Order by Chairperson Kim Borer
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes for the June 12, 2012 - Regular Meeting
6. PUBLIC HEARING:
  - A. A public hearing to determine if it is in the public interest to grant a special exemption from the setback requirements at 713 Meadow Lane Avenue for a front porch and exterior renovation.
  - B. A public hearing to determine if it is in the public interest to grant a special exemption from the setback requirements at 1237 Willow Lane for a rear addition to the house.
7. NEW BUSINESS:
  - A. Special Exemption Application —Douglas & Karna Morton at 713 Meadow Lane Ave  
Request for an 8-foot reduction in the front setback requirement in order to construct an 8-foot by 32-foot front porch on their home submitted by Dr. Douglas Morton
  - B. Special Exemption Application —Peter Okada at 1237 Willow Lane  
Request for a five-foot reduction in the rear setback requirement in order to construct a 14-foot by 24-foot addition to the back submitted by Peter Okada
  - C. Site Plan Review —Riverside Cemetery at 1721 Gulch Street  
Proposed memorial area presented by Carl Thuesen of Steiner Thuesen PLLC
  - D. Sign Plan Review —**The Dude Ranchers' Educational Trust** at 1122 12<sup>th</sup> Street  
Downtown Architectural District attached wall signs submitted by Colleen Hodson
  - E. Sign Plan Review —Native Images at 1226 Sheridan Avenue  
Downtown Architectural District attached wall sign submitted by Sid Pratt
  - F. Preliminary Site Plan Review —Wyoming Home & Ranch at 2819 Big Horn Avenue  
Proposed site plan and landscaping presented by Pat Shellady
8. Approved Sign Applications
  - A. Vital Air Medical -538 Yellowstone Avenue
  - B. Cody Drivers License -1501 Stampede Avenue
9. P&Z Board Matters (announcements, comments, etc.)
10. Council Update: Steve Miller
11. Staff Items
12. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, June 12, 2012**

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of City Hall in Cody, Wyoming on Tuesday, June 12, 2012 at 12:00 PM

Present: Rick Brasher, Vice Chairperson; Jacob Ivanoff; Kim Borer, Chairperson; Justin Lundvall; Bob Senitte; Bud McDonald; Steve Miller, Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Jolene Osborne, Engineering Administrative Assistant; Donny Anderson, City Councilman;

Excused Absence: Mark Musser;

Chairperson Kim Borer called the meeting to order at 11:58 PM, followed by the pledge of allegiance.

Rick Brasher made a motion seconded by Bud McDonald to approve the agenda. Vote on the motion was unanimous, motion carried.

Bob Senitte made a motion seconded by Bud McDonald to approve the minutes of the May 22, 2012 regular meeting. Vote on the motion was unanimous, motion carried.

Bud McDonald made a motion seconded by Justin Lundvall to approve the minutes of the May 22, 2012 special meeting. Vote on the motion was unanimous, motion carried.

**PRESENTATION OF COMMUNICATIONS:**

Ken Markert presented the proposed outdoor cat pen and storage shed submitted by the Park County Animal Shelter at 5537 Greybull Highway.

Todd Stowell presented the staff report describing the surrounding area.

Bud McDonald made a motion seconded by Jacob Ivanoff to approve the site plan application submitted by Park County Animal Shelter for property located at 5537 Greybull Highway. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the sign application for American West Realty and Cody Lodging Co. at 1527 Rumsey Avenue, noting that the building is within the Downtown Architectural District. The application does meet all required signing regulations.

Rick Brasher made a motion seconded by Jacob Ivanoff to approve the sign application submitted by American West Realty and Cody Lodging Co. for 1527 Rumsey Avenue. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the sign application for Rockstar Cowgirl Boutique, noting that the existing attached wall signs will be removed. The building is within the Downtown Architectural District. The application meets all required signing regulations.

Justin Lundvall made a motion seconded by Jacob Ivanoff to approve the sign plan submitted by Rockstar Cowgirl Boutique at 1220 Sheridan Avenue. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the proposal for a storage shed submitted by Mountain View Community Church of God at 2926 Big Horn Avenue and described the surrounding area.

Pastor Elroy Weixel from the Mountain View Community Church of God stated that the shed will be on skids and located on the concrete pad with no utilities.

Bud McDonald made a motion seconded by Rick Brasher to approve the site plan submitted by Mountain View Community Church of God for property located at 2926 Big Horn Avenue. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the proposal for the construction of a salt and sand storage building for Wyoming Department of Transportation at 2530 Beacon Hill Road. He stated that the city has not yet received the storm water and/or grading plan.

Dave Wellington of Plan One Architects explained the proposal for Wyoming Department of Transportation to construct a 40' by 60' salt and sand storage building at 2530 Beacon Hill Road. He discussed colors and height of the structure.

Bob Senitte made a motion seconded by Jacob Ivanoff to approve the site plan for Wyoming Department of Transportation at 2530 Beacon Hill Road with the conditions that the applicant submit an acceptable grading plan or storm water system that meets the city storm water policy and submit for a building permit.

Dr. Allen Gee of Gee Properties, Inc. presented his proposal to re-zone his property at 702 and 708 Platinum Avenue from **Residential B to "self-limited" D2**.

Todd Stowell spoke to the issue, describing several portions of the staff report.

Curtis Cheney of Messenger & Overfield, P.C. spoke as attorney for Fred Strow, neighbor at 720 Platinum Avenue, in opposition of the zone change. He requested the board consider the results of the previous re-zoning application, reviewed the neighbors' objections and the 1997 Master Plan.

Ricky Brod, neighbor at 719 Platinum Avenue, spoke regarding his opposition of the zone change. Tami Capron, neighbor at 775 Platinum Avenue, spoke regarding her opposition of the zone change as a third generation resident on Platinum Avenue. Karen Ballinger, former City Council member, discussed previous re-zoning applications on Canyon Avenue and the effect this current application may have on future applications.

James Michel, also with Messenger & Overfield, P.C., presented copies of a neighborhood petition to the board. Upon request, Fred Strow verified that two of the signatures on the petition are renters and not property owners.

Former Mayor Ken Stockwell, property owner and landlord of 755 Platinum Avenue, spoke in opposition of the zone change and recalled previous similar applications that were brought before the city in past years. Lowell Ray Anderson, former planning and zoning board member, spoke regarding traffic.

Brad Bonner, attorney with Bonner Stinson, P.C. representing Gee Properties, Inc. spoke **regarding the "self-limiting" agreement that would be filed** with the County Clerk to run with the property. He proposed staff and Dr. Gee draft a proposal that could be presented to the City Council.

Justin Lundvall made a motion seconded by Bud McDonald to table the application submitted by Gee Properties, Inc. to re-zone property located at 702 and 708 Platinum **Avenue from Residential B to "self-limited" D2 until the "self-limited" language can be** drafted. Justin Lundvall, Bud McDonald and Bob Senitte voted in favor of the motion. Rick Brasher, Jacob Ivanoff and Kim Borer were opposed. Motion failed.

Rick Brasher made a motion seconded by Jacob Ivanoff to recommend to council approval of the application submitted by Gee Properties, Inc. to re-zone property located at 702 and 708 Platinum Avenue from Residential B to **"self-limited" D2 with the condition that the language defining "self-limited" be proposed at council.** Rick Brasher, Jacob Ivanoff, Kim Borer and Bob Senitte voted in favor of the motion. Justin Lundvall and Bud McDonald opposed the motion. Motion carried.

Jolene Osborne presented the approved sign applications for Spirit Mountain Tours at 202 Yellowstone Avenue, **Fast Eddy's Smokehouse at 2619 Sheridan Avenue, Wyogurt at 2201** 17<sup>th</sup> Street and the off-premise temporary a-frame sign for the Shockley Family Reunion at 1901 Big Horn Avenue.

Todd reminded the community that a city-wide survey will be posted to the website regarding the Master Plan Update and invited the community to participate.

Meeting adjourned at 1:33 PM.

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Jolene Y. Osborne  
Engineering Administrative Assistant

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SPECIAL EXEMPTION PUBLIC HEARING: REDUCE FRONT SETBACK REQUIREMENT FOR 713 MEADOW LANE AVENUE SUP 2012-05	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Douglas and Karna Morton have submitted a Special Exemption application, requesting an eight-foot reduction in the front setback requirement in order to construct an 8-foot by 32-foot (approx.) front porch on their home at 713 Meadow Lane Avenue.

The property is within the **Residential "AA"** zoning district, which requires a 25-foot front setback. The existing home is 25 feet from the property line. There is no sidewalk along this side of Meadow Lane Avenue and the street curb is approximately thirty feet from the existing home.

The attached photos show the existing situation **and the applicant's letter to the Board** further explains the situation.

The other development standards of the "AA" zoning district would be met, including lot coverage of less than 50% and building height of less than 28 feet.

**REVIEW CRITERIA:**

Pursuant to 10-14-2(B), Cody City Code, the Planning and Zoning board may consider special exemptions from certain numerical specifications of the code. Under the list of **those certain numerical standards that can be adjusted or waived, it lists "setbacks and yard requirements"**.

The standards for approval of the special exemption are as follows, with staff comments provided.

*No special exemption shall be approved unless the planning and zoning board finds:*

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*

Staff Comment: Ten neighboring property owners were notified of the proposal and **all ten owners returned responses of "No Objection"**. This is interpreted as evidence that there is no undesirable change or detriment to neighboring properties from this proposal.

It is also noted that the addition would not obstruct required sight-distance at the intersection of Meadow Lane Avenue and 10<sup>th</sup> Street, or otherwise cause any identified life or safety issues.

- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*

**Staff Comment:** Similar to question 'a' above, granting the special exemption request is not expected to create any significant compatibility issues. The addition is intended to improve the architectural appearance and functionality of the residence.

- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*

Staff Comment: The full design of the addition had not been determined at the time this application was submitted. It may be that the addition will extend slightly less than eight feet from the existing house. In order for the porch to be functional, rather than just decorative, it would seem reasonable that a six to eight foot width would be needed. **The Board can discuss whether the waiver is the "minimum necessary" if they have concerns.**

- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*

Staff Comment: No other options have been identified that would achieve the requested result.

- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use; and*

Staff Comment: No services are proposed or needed for the porch addition. There do not appear to be any utility mainline conflicts with the proposed location, although service lines may need to be accommodated. Utility locates will need to be conducted.

- f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

Staff **Comment:** There is no "future land use map" in the current master plan, although residential use is clearly the historical and future use of this property.

**ALTERNATIVES:**

Approve or deny the application, or some combination thereof. The Board is authorized to attach conditions to the granting of a special exemption.

**ATTACHMENTS:**

Application, site plan, applicant's letter, and photos.

**RECOMMENDATION:**

Staff recommends approval of the special exemption application to reduce the front setback requirement to allow construction of the proposed front porch at 713 Meadow Lane Avenue. The exemption is applicable only to the front porch. A building permit will be needed.



PLANNING, ZONING AND ADJUSTMENT BOARD
APPLICATION FOR SPECIAL EXEMPTION PERMIT

STAFF USE
File: SUP 12-05
P&Z Invoice: 723-1

Owner or Applicant's Name: Douglas and Karna Morton
Mailing Address: 713 Meadowlane Ave Cody WY Zip: 82414
Phone: 307-527-6336 Cell: 307-899-0222 Fax: - Email: morton12@briashan.net
Project Address: 713 Meadowlane Ave Cody Zone: AA
Legal Description: Olive Glen Subdivision Lot 37

Description of Proposal: Requesting 8 feet set back from current front easement of our house for a porch and an exterior renovation

Representative attending Planning and Zoning Board meeting: Doug or Karna Morton
Signature of Property Owner: [Signature] Karna Morton Date: 5-26-12

The Planning, Zoning and Adjustment Board meet the 2nd and 4th Tuesdays at 12:00 p.m., at the City Hall Council Chambers.
Please see submittal Date and Fee schedule on page 2 of this document.

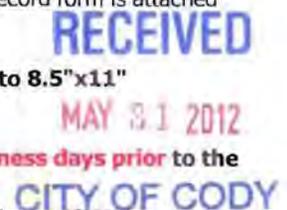
Optional Pre-application Conference with the Planning and Zoning Board: The pre-application conference is optional and is scheduled at the applicant's request. The conference allows the applicant to obtain information regarding the special exception process and to identify likely concerns regarding the proposal. No application fee is required and the Planning and Zoning Board takes no formal action concerning the proposal.

Application Procedures: Please submit all materials listed.

- LETTER TO BOARD: A letter to the Planning and Zoning Board requesting a special exemption permit. Describe your proposal in detail and explain why you are requesting a special exemption.
PLOT PLAN: A map showing the major details of the proposal such as location of buildings and structures, parking areas, means of vehicular access, signs, landscaping, fencing, screening, easements, utilities and pedestrian areas.
NEIGHBORING PROPERTIES MAP: A second map showing parcel requested for special exemption permit and surrounding properties within 140' (excluding streets & rights of way).
NOTICE TO NEIGHBORING PROPERTIES: Using the attached template, submit letters notifying adjacent property owners within 140' of the special exemption request.
PROOF OF NOTIFICATION: Along with the copies of notification letters sent via certified mail to all property owners within 140' of subject property, submit the post office certified mail receipts.
LEGAL NOTICE: Submit legal notice of public hearing to local newspaper 10 days prior to public hearing date using the attached template and provide proof of publication.
APPLICATION FEE: Provide application fee upon submittal to City of Cody.
Recording Special Exemption: If the Planning and Zoning Board approves your special exemption, you will be responsible for recording the exemption at the Park County Clerk's Office within 10 days of approval.

Submit a total of twelve (12) copies of the application, plans, and any other information, folded into 8.5"x11"
Submit a digital file containing PDFs of each document submitted

Total application must be submitted to the planning department by 4:00 PM, twenty one (21) business days prior to the anticipated public hearing date.



Douglas an Karna Morton  
713 Meadowlane Ave.  
Cody WY 82414  
307 527 6336

Planning and Zoning Board  
City of Cody

Dear Members of the Board;

Karna and I are requesting a special exemption to the current 25 foot set back on the front of our house at 713 Meadowlane. Our home was built in the seventies and is in need of exterior renovation to enhance the look of our property and the neighborhood. We have been planning for new siding and rock and would like to add a small porch to connect the two doors on the front of our house. Our primary intent would be to update the appearance of the front of our house while adding some functionality. We are planning for a rock fronted concrete porch which would have an awning and a few pillars but remain open without an enclosure. There would be stairs leading into the porch near the front door and another set heading east from the second door. This would require 8 feet of space in front of our house from door to door (see attached photos and plot plan).

We do not believe that the additional 8 feet would pose any safety risks and would not further obstruct street views from the corner. We would be removing the current red brick from the front of our home and chimney and after adding a porch replace it with more modern rock and new siding. The awning roof would be shingled to match the existing roof and the design of the porch would be made to match the rest of the house so it would not appear to have been added on. All current fascia and soffit would be replaced or recovered to match with that on the new porch. The work will be done by a professional contractor and be of high quality, fitting to the nice homes in our neighborhood. Railings will be added to the stairs which currently have none to add a level of safety and to comply with all local codes and regulations.

We are requesting our front set back be changed from the current 25 foot to 17 feet in order to accommodate this plan. Thank you for your consideration of our request. We would be happy provide further details if required.

Doug and Karna Morton



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SCALE: 1" = 30'

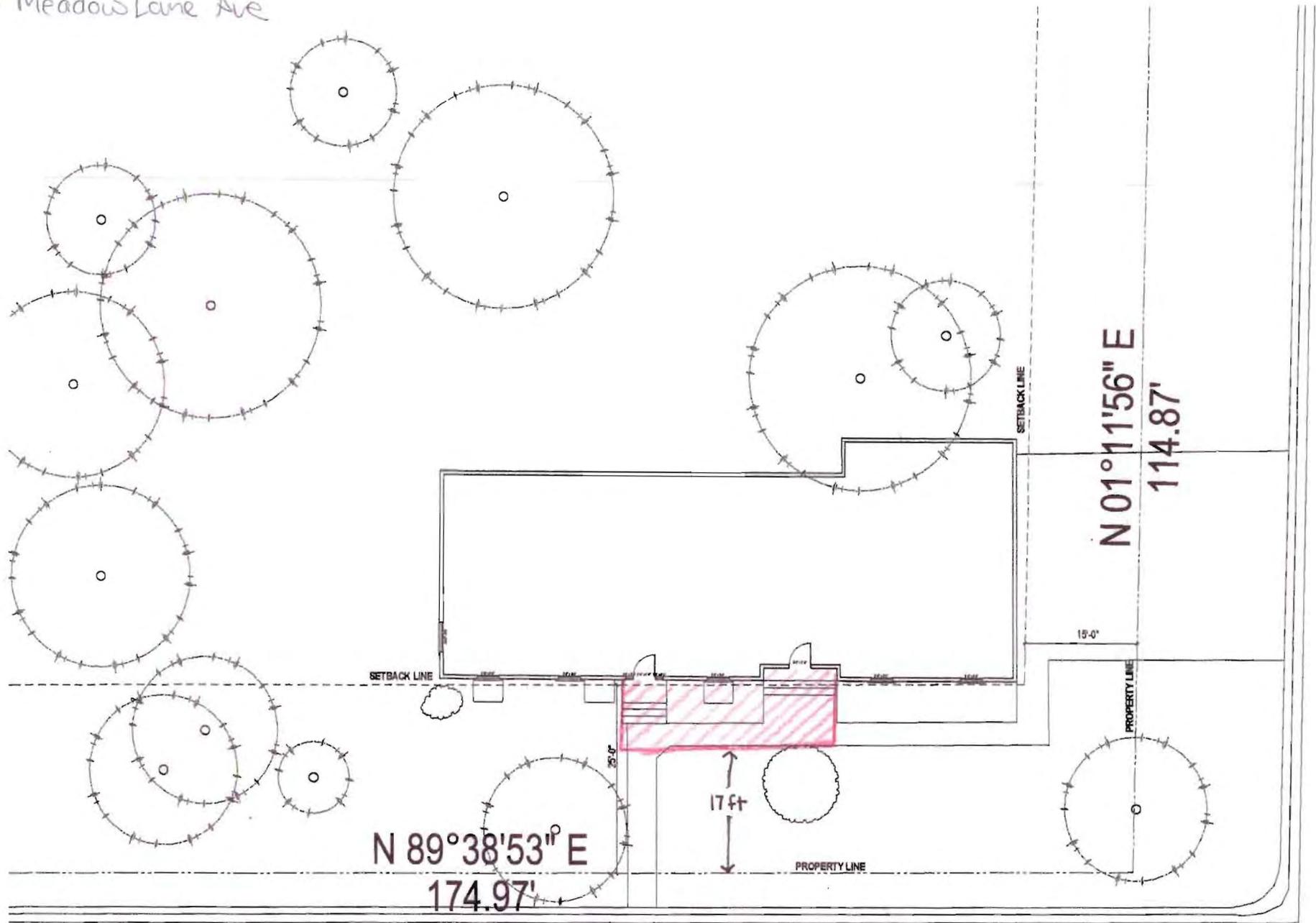
713  
MEADOW  
LANE

**E AVENUE**

DOUG MORTON

25'

MORTON  
713 Meadow Lane Ave





SCALE: 1" = 30'

713  
MEADOW  
LANE

E AVENUE







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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 3.40

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Total Postage & Fees	\$ 3.40

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Sent To Viola La Fare  
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Sent To Terryl TODD  
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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 3.40

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Sent To Bob & Nancy Brown  
Street, Apt. No., or PO Box No.  
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05/31/2012

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05/31/2012

Sent To Jim Massman  
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05/31/2012

Sent To Robert Corbin  
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Restricted Delivery Fee (Endorsement Required)	\$0.00
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05/31/2012

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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 3.40

05/31/2012

Sent To Olive Glen Country Club  
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Restricted Delivery Fee (Endorsement Required)	\$0.00
Total Postage & Fees	\$ 3.40

05/31/2012

Sent To Deanna Matteson  
Street, Apt. No., or PO Box No.  
City, State, ZIP+4

PS Form 3800, August 2006 See Reverse for Instructions

**Letter to Neighboring Properties within 140 Feet**

**Please return this letter by:** 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karua Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)

We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karua Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of \_\_\_\_\_ Owner's Name: \_\_\_\_\_  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Robert / Nancy Brown

Address: 720 Meadow Lane

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: brhycody@aol.com or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

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Dear Board Members:

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(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 707 MEADOW LANE Owner's Name: DON & KATHY BLAYLOCK  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have NO OBJECTION to the Special Exemption Permit Request.

Name: DON BLAYLOCK & M KATHLEED BLAYLOCK

Address: 707 MEADOW LANE

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I OBJECT to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

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Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)

We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karva Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 2108 8th St. Owner's Name: Deanna Matteson  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Deanna Matteson Deanna Matteson

Address: 2108 8th St. Cody

Comments:

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

Please return this letter by: 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karina Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karina Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 714 Skyline Drive Owner's Name: De Laune  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: De Laune

Address: 714 Skyline Drive

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

**Please return this letter by:** 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karina Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karina Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property. ROBERT H CORBIN } TRUST

I am the legal owner of LOT 42 Owner's Name: M JULETTA CORBIN  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have NO OBJECTION to the Special Exemption Permit Request.

Name: ROBERT H CORBIN

Address: 2107 PTH ST, CODY, WY 82414

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I OBJECT to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

Please return this letter by: 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karva Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karva Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 802 Meadow Lane Owner's Name: Olive Glenn Golf & C.C.  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: David B. Snyder / General Manager OGC

Address: 802 Meadow Lane

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

**Please return this letter by:** 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

**RE: SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karua Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
We are requesting a reduction in the front yard setback requirement from 25 feet to 12 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karua Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 714 MEADOWLANE Owner's Name: JACK & JUDY FOWLER  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have NO OBJECTION to the Special Exemption Permit Request.

Name: JACK FOWLER

Address: 714 MEADOWLANE

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I OBJECT to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

Please return this letter by: 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karva Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karva Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 2113 8th St Cody, WY Owner's Name: James Messman - State Messman  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: James Messman - State Messman

Address: 2113 8th St Cody, WY

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

Please return this letter by: 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karva Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)

We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karva Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of \_\_\_\_\_ Owner's Name: \_\_\_\_\_  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Tom Walsh

Address: PO Box 691

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**Letter to Neighboring Properties within 140 Feet**

Please return this letter by: 6/19/2012  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 31 2012

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Douglas and Karva Morton

Address/Location & Legal Description: 713 Meadowlane Ave Cody WY  
Olive Glenn Subdivision Lot 37

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)

We are requesting a reduction in the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch

**This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/2012, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.**  
(Date of Meeting)

**Letter from Neighboring Properties within 140 Feet**

Dear Board Members:

I am familiar with the proposal by Douglas and Karva Morton  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 2114 8th St Owner's Name: CHUCK SHELTON  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

\*\*\*\*\*

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: CHUCK SHELTON

Address: 2114 8th St, Cody WY, 82414

Comments: GO FOR IT!

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

\*\*\*\*\*

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

**Please return to:**

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

# Advertising Invoice

The Cody Enterprise

P.O. Box 1090  
Cody, WY 82414

Phone: (307) 587-2231

Fax: (307) 587-5208

Karna Morton  
713 Meadowlane Ave.  
CODY , WY 82414

Acct #: 00006624

Ad #: 00110897

Phone:

Date: 05/31/2012

Ad taker: 111      Salesperson:

Sort Line: Public Hearing SPECIAL EXEMPTI

Classification 005

Description	Total
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01 Cody Enterprise 06/13/2012	65.00
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**Public Hearing  
SPECIAL EXEMPTION  
PERMIT REQUEST**

The City of Cody will hold a public hearing June 26, 2012 at 12:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Douglas and Karna Morton for a Special Exemption Permit to reduce the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch. The project is located at 713 MeadowLane Ave. Cody within a AA zone. Information regarding the

requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.

Written comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY 82414 and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511.

Publish: June 13, 2012 only  
Legal No. 0762

[codyenterprise.com](http://codyenterprise.com)

**Ad Text:**

Public Hearing  
SPECIAL EXEMPTION  
PERMIT REQUEST

The City of Cody will hold a public hearing June 26, 2012 at 12:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Douglas and Karna Morton for a Special Exemption Permit to reduce the front yard setback requirement from 25 feet to 17 feet to accommodate a proposed front porch. The project is located at 713 MeadowLane Ave. Cody within a AA zone. Information regarding the requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.

**Payment Reference:**

Total: 65.00

Tax: 0.00

Net: 65.00

Prepaid: -65.00

Total Du 0.00

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SPECIAL EXEMPTION PUBLIC HEARING: REDUCE REAR SETBACK REQUIREMENT FOR 1237 WILLOW LANE SUP 2012-06	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Peter Okada has submitted a Special Exemption application, requesting a five-foot reduction in the rear setback requirement in order to construct a 14-foot by 24-foot addition to the back of his home at 1237 Willow Lane.

The property is within the **Residential "AA"** zoning district, which requires the main residence to maintain a 15-foot setback. (Detached garages and accessory buildings require only a five foot rear setback.)

The existing home is about five feet from the rear property line. Therefore, it is technically nonconforming. A nonconforming structure cannot be expanded without approval of the Planning and Zoning Board. Therefore, approval by the Planning and Zoning Board would be needed even if the addition met setback requirements.



The other development standards of the "AA" zoning district would be met, including lot coverage of less than 50% and building height of less than 28 feet.

**REVIEW CRITERIA:**

Pursuant to 10-14-2(B), Cody City Code, the Planning and Zoning board may consider special exemptions from certain numerical specifications of the code. Under the list of those certain numerical standards that **can be adjusted or waived, it lists "setbacks and yard requirements"**.

The standards for approval of the special exemption are as follows, with staff comments provided.

*No special exemption shall be approved unless the planning and zoning board finds:*

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*

Staff Comment: Ten neighboring property owners were notified of the proposal and seven **owners returned responses of "No Objection"**. Three neighbors did not respond. The four closest neighbors to the north, which would be the most affected **by any activity on the north side of the Okada home, responded with "No objection"**. The responses are interpreted as evidence that there is no undesirable change or detriment to neighboring properties from this proposal.

The fact that there is a 20-foot wide alley between the Okada property and the neighbors to the north also acts as a buffer between the properties.

As the addition will be about ten feet from the property line, no significant fire, life or safety issues appear to be created by the proposal.

- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*

**Staff Comment:** Similar to question 'a' above, granting the special exemption request is not expected to create any significant compatibility issues. The addition is intended to improve the functionality of the residence.

- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*

Staff Comment: The proposed addition is fourteen feet wide, which is a standard room width in modern construction. The triangular shape of the lot results in a **portion of the addition not meeting the 15' setback requirement**. The Board can **discuss whether the waiver is the "minimum necessary" if they have concerns**.

*d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*

Staff Comment: No other options have been identified that would achieve the requested result.

*e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use; and*

Staff Comment: No new services are proposed or needed for the addition. There do not appear to be any utility mainline conflicts with the proposed location, although service lines may need to be accommodated. Utility locates will need to be conducted.

*f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

**Staff Comment:** There is no "future land use map" in the current master plan, although residential use is clearly the historical and future use of this property.

**ALTERNATIVES:**

Approve or deny the application, or some combination thereof. The Board is authorized to attach conditions to the granting of a special exemption.

**ATTACHMENTS:**

Application, site plans, applicant's letter.

**RECOMMENDATION:**

Staff recommends approval of the special exemption application to reduce the rear setback requirement to allow construction of the proposed **14' by 24' addition** at 1237 Willow Lane. A building permit will be needed.

The Board should also clearly note that they are granting permission for the addition to the nonconforming structure.



PLANNING, ZONING AND ADJUSTMENT BOARD
APPLICATION FOR SPECIAL EXEMPTION PERMIT

STAFF USE
File: SUP 12-06
P&Z Invoice: 729-1

Owner or Applicant's Name: Peter Okada
Mailing Address: 1237 Willow Lane Cody WY Zip: F2414
Phone: 527-7742 Cell: 250-0457 Fax: Email: peter82414@gmail.com
Project Address: 1237 Willow Lane Cody WY Zone: 82414
Legal Description: Cedar Ridge Addition Lot 1 Block 3
Description of Proposal: 14' x 24' Addition to the Back of the house

Representative attending Planning and Zoning Board meeting: Peter Okada
Signature of Property Owner: [Signature] 5/3/12

The Planning, Zoning and Adjustment Board meet the 2nd and 4th Tuesdays at 12:00 p.m., at the City Hall Council Chambers.
Please see submittal Date and Fee schedule on page 2 of this document.

Optional Pre-application Conference with the Planning and Zoning Board: The pre-application conference is optional and is scheduled at the applicant's request. The conference allows the applicant to obtain information regarding the special exception process and to identify likely concerns regarding the proposal. No application fee is required and the Planning and Zoning Board takes no formal action concerning the proposal.

Application Procedures: Please submit all materials listed.

- LETTER TO BOARD: A letter to the Planning and Zoning Board requesting a special exemption permit. Describe your proposal in detail and explain why you are requesting a special exemption.
PLOT PLAN: A map showing the major details of the proposal such as location of buildings and structures, parking areas, means of vehicular access, signs, landscaping, fencing, screening, easements, utilities and pedestrian areas.
NEIGHBORING PROPERTIES MAP: A second map showing parcel requested for special exemption permit and surrounding properties within 140' (excluding streets & rights of way).
NOTICE TO NEIGHBORING PROPERTIES: Using the attached template, submit letters notifying adjacent property owners within 140' of the special exemption request.
PROOF OF NOTIFICATION: Along with the copies of notification letters sent via certified mail to all property owners within 140' of subject property, submit the post office certified mail receipts.
LEGAL NOTICE: Submit legal notice of public hearing to local newspaper 10 days prior to public hearing date using the attached template and provide proof of publication.
APPLICATION FEE: Provide application fee upon submittal to City of Cody.
Recording Special Exemption: If the Planning and Zoning Board approves your special exemption, you will be responsible for recording the exemption at the Park County Clerk's Office within 10 days of approval.

Submit a total of twelve (12) copies of the application, plans, and any other information, folded into 8.5" x 11"
Submit a digital file containing PDFs of each document submitted

Total application must be submitted to the planning department by 4:00 PM, twenty one (21) business days prior to the anticipated public hearing date.

RECEIVED

JUN 05 2012

CITY OF CODY

Peter & Cathy Okada  
1237 Willow Lane  
Cody, WY 82414

June 3, 2012

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

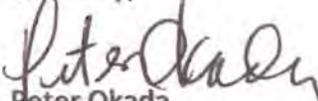
RE: Cedar Ridge Addition Lot 1 Block 3  
1237 Willow Lane, Cody, WY

Dear Board Members:

My name is Peter Okada and I am the legal owner of the above referenced property.

We are planning to add 14' x 24' addition (family room) to the back of our home at the above reference property. However, the addition we are planning would be situated at approximately 10 feet from the property line. Thus, we are requesting a Special Exemption Permit to reduce 15' rear setback requirement to 10 feet.

Sincerely,

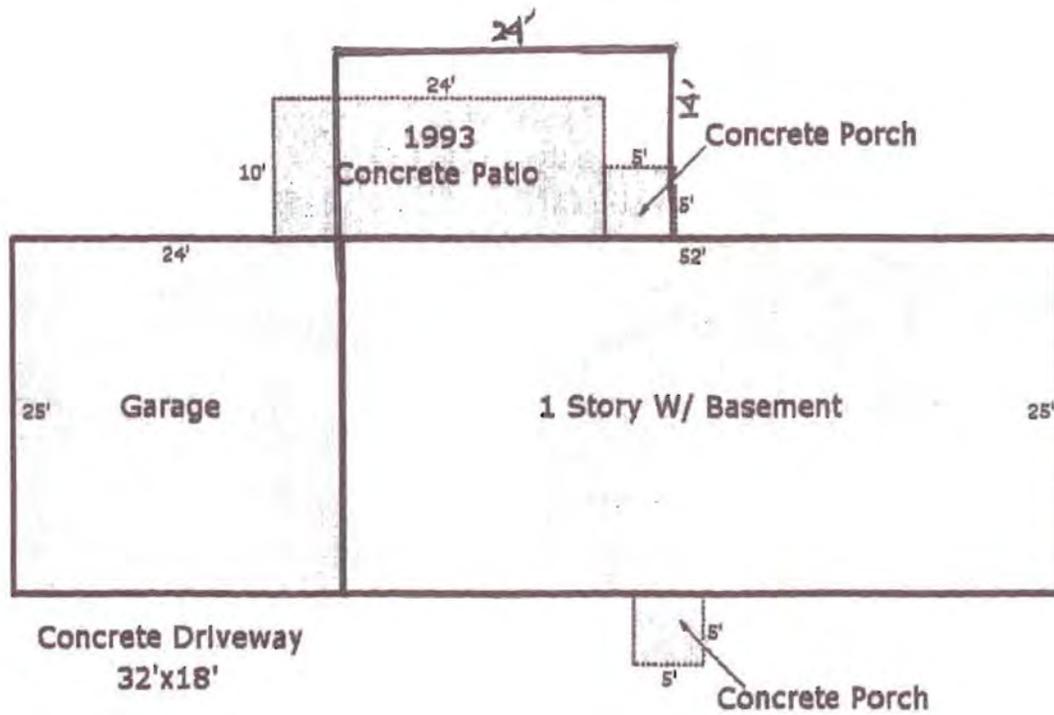
  
Peter Okada



SCALE: 1" = 30'

5090

24'  
14'  
24'



Sketch by Apex Medina™



NAD83 Wyoming West Central USF Long: -109° 03' 35.1" Lat: 44° 30' 52.8" NAD 83 UTM Zone 12N meters  
N: 1463190 E: 1887707 Long: -109.0597° Lat: 44.5147° X =654208 Y = 4930870  
Scale = 1 : 1551 Designed by Greenwood Mapping, inc.

LEGAL NOTICE TEMPLATE

Publish Date: 06/13/2012
(Publish one time at least ten (10) days prior to the public hearing.)
Legal Advertisement

PUBLIC HEARING
SPECIAL EXEMPTION PERMIT REQUEST

The City of Cody will hold a public hearing 06/26/2012 at 12:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Peter Okada for a Special Exemption Permit to reduce the 15 foot rear setback requirement to 10 feet to accommodate a proposed 14'x24' addition to the back of the house.

The project is located at 1237 Willow Lane, Cody, WY, Cedar Ridge Addition Lot 1 Block 3 within a AA zone. Information regarding the requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.

Written comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY 82414 and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511.

Public Hearing
SPECIAL EXEMPTION PERMIT REQUEST
The City of Cody will hold a public hearing 06/26/2012 at 12:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Peter Okada for a Special Exemption Permit to reduce the 15 foot rear setback requirement to 10 feet to accommodate a proposed 14'x24' addition to the back of the house.
The project is located at 1237 Willow Lane, Cody, WY, Cedar Ridge Addition Lot 1 Block 3 within an AA zone. Information regarding the requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.
Written Comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511.
Publish: June 13, 2012 only
Legal No. 0768

7010 3090 0000 0663 1673

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CODY WY 82414

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Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *John + Darlene Butler*  
 Street, Apt. No. or PO Box No. *1208 11th St*  
 City, State, ZIP+4 *Cody, WY 82414*

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CERTIFIED MAIL™ RECEIPT  
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DUBLIN TX 76446

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Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *Carol Sue Gibson*  
 Street, Apt. No. or PO Box No. *448 CR 306*  
 City, State, ZIP+4 *Dublin, TX 76446*

7010 3090 0000 0663 1653

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GREENSBORO NC 27438

Postage	\$ 0.45	0479 WY 82414 12 Postmark JUN - 5 2012 USPS 06/05/2012
Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *Barbara Carlson*  
 Street, Apt. No. or PO Box No. *PO BOX 39141*  
 City, State, ZIP+4 *Greensboro, NC 27438*

099T E99D 0000 0663 168T

U.S. Postal Service  
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CODY WY 82414

Postage	\$ 0.45	0479 WY 82414 12 Postmark JUN - 5 2012 USPS 06/05/2012
Certified Fee	\$2.95	
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *Jack Skates*  
 Street, Apt. No. or PO Box No. *1214 Meadow Lane*  
 City, State, ZIP+4 *Cody, WY 82414*

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Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *Robert + Faye Olson*  
 Street, Apt. No. or PO Box No. *1220 Meadow Lane*  
 City, State, ZIP+4 *Cody, WY 82414*

249T E99D 0000 0663 164T

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Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	

Sent To *Andrew + Bonnie Franklin*  
 Street, Apt. No. or PO Box No. *1208 Meadow Lane*  
 City, State, ZIP+4 *Cody, WY 82414*

7010 3090 0000 0663 1611

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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	06/05/2012

Sent To *Melvin McNeice*  
 Street, Apt. No. or PO Box No. *2202 Willow Lane*  
 City, State, ZIP+4<sup>®</sup> *Cody, WY 82414*

PS Form 3800, August 2006 See Reverse for Instructions



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Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	06/05/2012

Sent To *Ardythe Spear*  
 Street, Apt. No. or PO Box No. *1226 Meadow Lane*  
 City, State, ZIP+4<sup>®</sup> *Cody, WY 82414*

PS Form 3800, August 2006 See Reverse for Instructions



7010 3090 0000 0663 1658

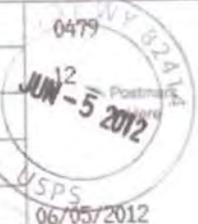
U.S. Postal Service<sup>™</sup>  
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**OFFICIAL USE**  
 CODY WY 82414

Postage	\$ 0.45	0479
Certified Fee	\$2.95	12
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	06/05/2012

Sent To *Nick & Rosemary Paul*  
 Street, Apt. No. or PO Box No. *1308 Meadow Ln*  
 City, State, ZIP+4<sup>®</sup> *Cody, WY 82414*

PS Form 3800, August 2006 See Reverse for Instructions



7010 3090 0000 0663 1604

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 For delivery information visit our website at www.usps.com<sup>®</sup>

**OFFICIAL USE**  
 CODY WY 82414

Postage	\$ 0.45	0479
Certified Fee	\$2.95	12
Return Receipt Fee (Endorsement Required)	\$0.00	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 3.40	06/05/2012

Sent To *YGS Partnership*  
 Street, Apt. No. or PO Box No. *607 Olive Glen Dr*  
 City, State, ZIP+4<sup>®</sup> *Cody, WY 82414*

PS Form 3800, August 2006 See Reverse for Instructions



Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada

Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of ~~1208 Hill St~~ 1231 Willow Lane Owner's Name: John + Darlene Butler  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: John + Darlene Butler

Address: 1231 Willow Lane

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: AFFAIRS@LOWPOYSTATE.NET or Phone: 307 587-4156

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: 6/9/2012

RE: SPECIAL EXEMPTION PERMIT REQUEST

Applicant Name(s): Peter + Cathy Okada

Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 2101 Heart Mountain St Owner's Name: Carol Sue Gibson  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have NO OBJECTION to the Special Exemption Permit Request.

Name: Carol Sue Gibson Carol Gibson

Address: 2101 Heart Mountain St.

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

I OBJECT to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada

Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1226 Meadow Lane Owner's Name: James Speer Living Trust  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Ardisette J. Speer, TTEE

Address: 1226 Meadow Lane Ave

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada  
Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3  
Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1220 Meadow Lane Owner's Name: Faye Adolson Living Trust  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)  
LOT 3, Blk 13, Meadow add.

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: FAYE A. OLSON LIVING TRUST

Address: 1220 MEADOW LANE AVE, CODY WY 82414

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board. Faye A Olson, Trustee  
Robert D Olson, Trustee

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada  
Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3  
Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1214 Meadow Lane Owner's Name: Skates Family Living Trust  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Jack T Skates - Doreen Skates

Address: 1214 MEADOW LANE AVE

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada

Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1308 Meadow Lane Owner's Name: Nick + Rosemary Paul  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Nick + Rosemary Paul

Address: 1308 Meadow Lane

Comments: NO objection

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 6/19/12  
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: \_\_\_\_\_

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Peter + Cathy Okada  
Address/Location & Legal Description: 1237 Willow Lane, Cody, WY 82414  
Cedar Ridge Addition Lot 1 Block 3  
Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)  
14' x 24' Addition (Family Room) to the back of the house  
Reduce 15' rear setback requirement to 10 feet.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 6/26/12, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.  
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Peter Okada  
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 2208 Cedar Lane Owner's Name: VGS Partnership  
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Eugene Strine

Address: 2220 Cedar Lane 607 office Glenview Drive

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: \_\_\_\_\_ or Phone: \_\_\_\_\_

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody  
Planning, Zoning and Adjustment Board  
Attention: Planning Department  
PO Box 2200  
Cody, WY 82414

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	RIVERSIDE CEMETERY MEMORIAL AREA SITE PLAN REVIEW & NONCONFORMING USE EXPANSION SPR 2012-26	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

The Riverside Cemetery has submitted a proposal to construct a memorial area in the middle of the cemetery, where the current directory sign is located. The improvements include a plaza with a water feature, seating, shade structures, flagpoles (25' and 30'), an abundance of landscaping, and related electrical system upgrades. Plans for the improvements are attached.

Existing Conditions:



**REVIEW CRITERIA:**

Staff was surprised to find that cemeteries are not listed in the zoning ordinance, and therefore the cemetery could possibly be interpreted as a non-conforming use. Nevertheless, it is not necessary to make a determination one way or the other on this point at this time, as even if it is a nonconforming use, the Planning and Zoning Board has the authority to authorize the improvements. It is only mentioned so that it can be noted that the Board was aware of the issue when they took action on this application. In the future, the zoning ordinance and/or map will obviously need fixed.

Pursuant to City of Cody Code 9-2-3:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The proposal itself is a beautification project for the existing cemetery. It is professionally designed, has excellent architecture, and will truly be a community gem. The location is sufficiently isolated that there are no neighbor compatibility concerns.

Landscaping:

The landscaping plan includes an intense use of vegetation, all of which is on an underground sprinkler system to help ensure continued maintenance.

Storm Water:

The cemetery has a storm water system in place. The City Engineer does not have any concerns due to the flatness of the site and abundance of grass.

Parking, Buffer, and Signage:

No new parking, buffers, or signage is required or proposed.

Lighting:

Site lighting of the patio area is provided by recessed lighting in the masonry wall of the shade structure. These fixtures are of a down-lit style.

Lighting of the two flags is proposed by six, 12-inch diameter in-ground fixtures with metal halide bulbs. Maximum rating of the flag light fixtures using metal halide bulbs is 150 watts each, for a maximum total of 900 watts, although a 70 watt option is available (420 watts total). The specification sheet indicates that the units can be aimed through a 15-degree tilt mechanism. The fixtures are multi-purpose units, and it is not indicated in the application what type of light spread or distribution the bulbs and fixtures supply. **They should be required to be "spot light" rather than a "flood light" style, and no more than necessary to illuminate the flags at 25' and 30'. At a 30-foot height a single 70 watt lamp would provide 59 foot candles of illumination, so three pointing at the flag would be approximately 177 foot candles, which still seems somewhat extreme and may result in excess light spillage into the night sky. It is recommended that the Board discuss the lighting level and beam spread with the applicant.**

Utility Conflicts:

No utility conflicts have been identified.

**ATTACHMENTS:**

Application.

Site Plans.

**ALTERNATIVES:**

Approve or deny the site plan. Building and electrical permits will be needed.



**PLANNING, ZONING AND ADJUSTMENT BOARD  
COMMERCIAL SITE DEVELOPMENT APPLICATION  
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: <u>SPR-26</u>
P&Z Invoice: <u>564-3</u>

Applicant's Name: Riverside Cemetery District Business Name: Riverside Cemetery District  
 Applicant's Address: 1721 Gulch Street City: Cody State: WY Zip: 82414  
 Phone: 307-587-6662 Cell: \_\_\_\_\_ Fax: 307-587-2411 Email: rivercmtry@vcn.com  
 Property Owner's Name: Riverside Cemetery District  
 Property Owner's Address: 1721 Gulch Street City: Cody State: WY Zip: 82414  
 Project Address: 1721 Gulch Street Zone: B Residential  
 Legal Description: \_\_\_\_\_

Description of Proposal and Proposed Use of Project: Proposed plan adds to the development of the Riverside - Graham Cemetery. The proposed improvements include: water feature, seatwalls, site furnishings, site lighting, hardscape, flagpoles, landscaping, and a shade structure.

Estimated Construction Start Date: July 25, 2012  
 Representative Attending P&Z Meeting: Nathan Steiner (STEINER THUESEN PLLC)

Signature of Property Owner: *(Consultant)* *[Signature]* *June 8, 2012*  
Signature Date

The Planning, Zoning and Adjustment Board meets the 2<sup>nd</sup> and 4<sup>th</sup> Tuesday at 12:00 noon at the City Hall Council Chamber.

**Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM. Please see submittal Date and Fee schedule included in this document.**

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

**1. Please include all of the following Architectural components:**

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

**2. Please include all of the following Utility components:**

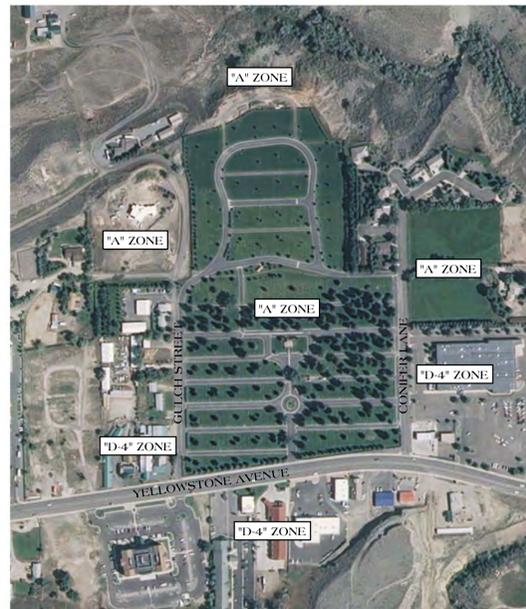
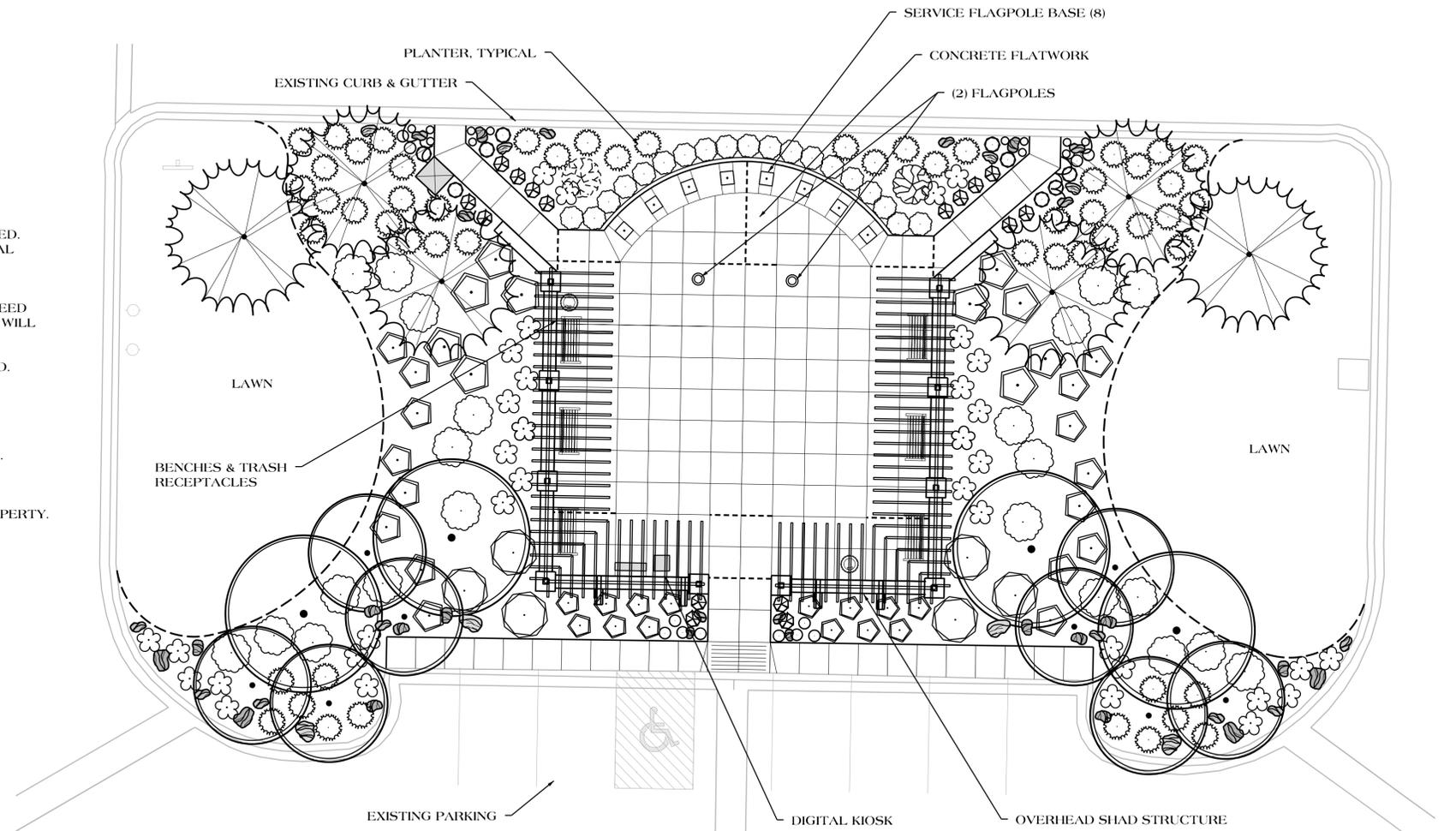
- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service** installations. On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.

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# Riverside Cemetery: Memorial Area

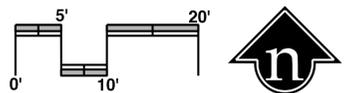
**SITE DEVELOPMENT APPLICATION NOTES:**

1. THE SHADE STRUCTURE WILL BE CONSTRUCTED OF TUBE STEEL AND WILL BE PRIMED AND PAINTED DARK BROWN. SITE FURNISHINGS, LIGHTING, AND SHADE STRUCTURE WILL ALL BE THE SAME COLOR. KIOSK WILL BE SILVER METALLIC. REFER TO SHEET S-1 FOR SPECIFIC SHADE STRUCTURE INFORMATION.
2. A VICINITY MAP INDICATING SURROUNDING LAND USE, STRUCTURES, AND ZONING IS INCLUDED.
3. THE CEMETERY DOES NOT HAVE ANY DEDICATED PARKING SPACE OTHER THAN THOSE THAT EXISTING ON THE SOUTH SIDE OF THE CURRENT MEMORIAL AREA. THESE SPACES (7 STANDARD, 1 ADA WITH LOADING AREA) WILL REMAIN UNCHANGED.
4. NO FENCING IS INCLUDED IN THIS PORTION OF THE SITE.
5. SITE ACCESS POINTS ARE EXISTING OFF OF YELLOWSTONE AVENUE AND GULCH STREETS.
6. SITE LIGHTING WILL BE PROVIDED BY TWO DIFFERENT TYPES OF FIXTURES. ALL LAMPS ARE METAL HALIDE: RECESSED LIGHTING AT WALLS, 10" x 12" IN-GROUND LIGHTING AT FLAGPOLE, 12" DIA. LIGHTING CUT SHEETS ARE INCLUDED WITH THE SUBMITTAL PACKAGE.
7. GRADING OF THE SITE CONSISTS OF SURFACE DRAINAGE TO THE EXISTING CURB AND GUTTER LOCATED AROUND THE PERIMETER OF THE PROJECT AREA. FROM THERE, STORMWATER FLOWS TO A SERIES OF EXISTING VALLEY GUTTERS AND INTO THE EXISTING STORM DRAIN. PRE CONSTRUCTION AND POST CONSTRUCTION DRAINAGE PATTERNS ARE UNCHANGED. THE MAJORITY OF SURFACE FLOW IS ROUTED INTO LANDSCAPE AREAS. (REFER TO GRADING PLAN SHEET L-4 FOR ADDITIONAL INFORMATION).
8. EXISTING UNDERGROUND ELECTRICAL SERVICE IS INDICATED ON SHEET L-1 AND E-1. IT IS SERVICED BY AN EXISTING PANEL AT THE CEMETERY SOUTH ENTRY. A TRANSFORMER WILL BE INSTALLED IN THIS LOCATION BOOSTING THE EXISTING 240 V FEED TO 480 V. A TRANSFORMER REDUCING THE POWER BACK TO 120/240 V WILL BE INSTALLED AT THE MEMORIAL AREA. THERE WILL BE NO SIGNIFICANT CHANGE IN THE ELECTRICAL LOAD SIZE. REFER TO SHEETS E-1 & E-2 FOR ADDITIONAL INFORMATION.
9. ELECTRICAL DIVISION REVIEW COMMENT FORM WAS NOT PROVIDED AS THIS IS AN EXISTING SERVICE THAT IS BEING MODIFIED.
10. TRASH RECEPTACLES WILL BE PROVIDED AT THE MEMORIAL AREA. REFER TO SHEET L-10.
11. NO SPECIFIC SNOW REMOVAL LOCATIONS ARE PROVIDED.
12. REFER TO SHEET L-6 FOR THE PLANTING PLAN. PLANTS ARE SHOWN AT MATURE SPREAD. MULCH WILL BE SHREDDED BARK.
13. REFER TO SHEET L-8 FOR THE IRRIGATION PLAN.
14. LANDSCAPE BOND AGREEMENT WAS NOT REQUIRED ON THE PREVIOUS MEMORIAL PROJECT AT THE RIVERSIDE GRAHAM PROPERTY. PLEASE NOTIFY LANDSCAPE ARCHITECT IF A BOND IS REQUIRED FOR THIS PROJECT AND IT WILL BE PROVIDED.

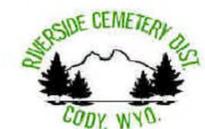


1 VICINITY MAP

NOT TO SCALE



Prepared For:



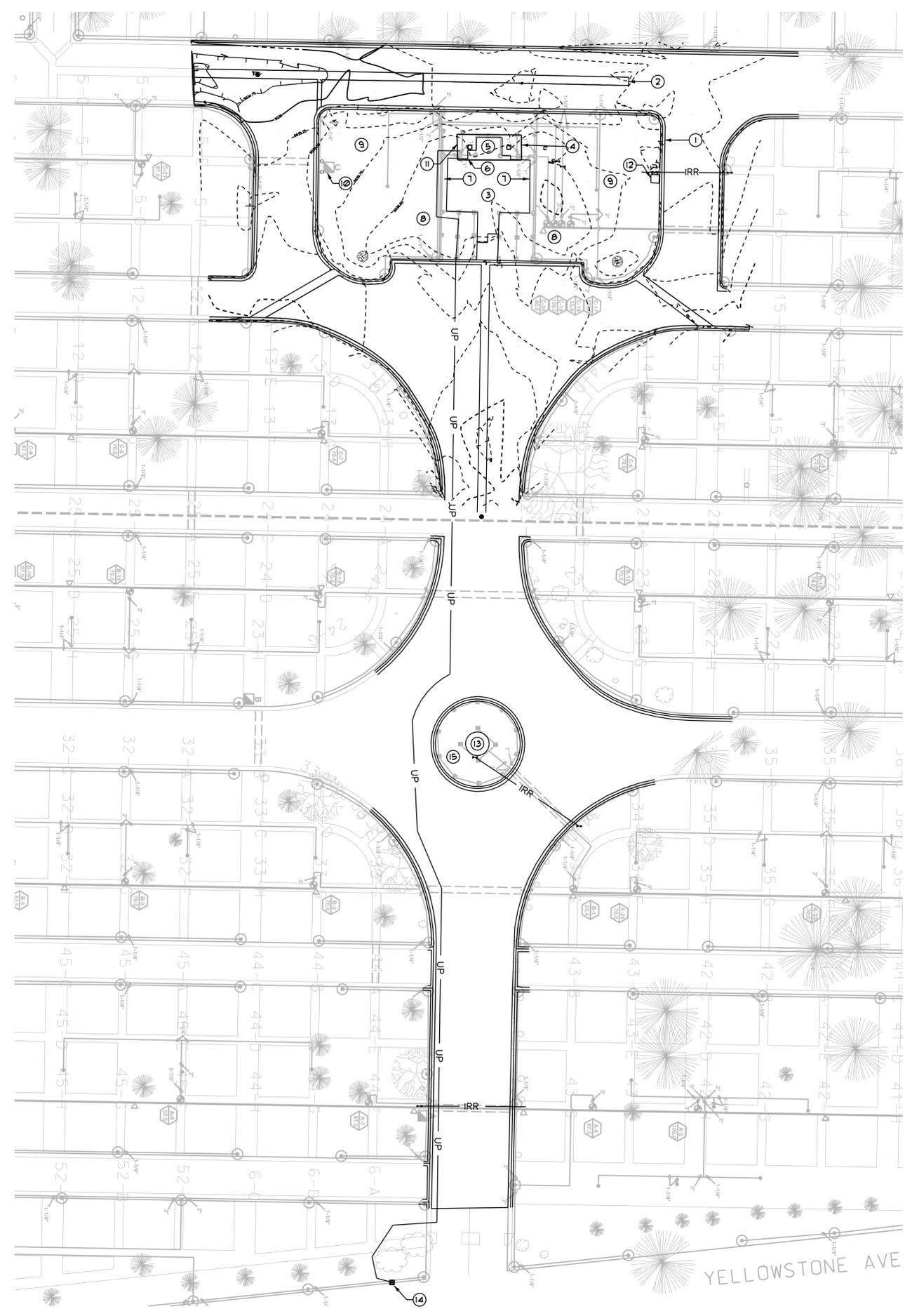
1721 Gulch Street  
Cody, Wyoming

Prepared By:



3925 GRAND AVENUE, SUITE 105  
P.O. BOX 22843  
BILLINGS, MT 59104  
406.251.5545 FAX 406.251.5655

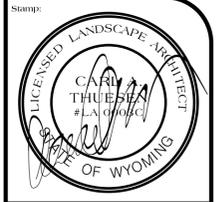
JUNE 8, 2012



- LEGEND:**
- UP ——— UNDERGROUND POWER
  - IRR ——— IRRIGATION LINE
  - - - - - EXISTING CONTOUR
  - ⊙ EXISTING TREE (2 TOTAL) TO BE RELOCATED WITH TREE SPADE, SEE PLANTING PLAN

- KEY NOTES/LEGEND:**
- ① EXISTING CURB & GUTTER TO REMAIN AND BE PROTECTED.
  - ② EXISTING CONCRETE VALLEY GUTTER TYP.
  - ③ EXISTING CONCRETE FLATWORK AND BASE MATERIAL TO BE REMOVED.
  - ④ EXISTING SHELTER TO BE REMOVED, REMOVE ROOF IN ONE PIECE AND DELIVER TO OWNER.
  - ⑤ EXISTING DIRECTORY TO BE REMOVED IN ONE PIECE AND DELIVERED TO OWNER IN WORKING CONDITION.
  - ⑥ EXISTING SIGN TO BE RELOCATED, SEE SHEET L-2.
  - ⑦ EXISTING MASONRY BENCH WITH ARMED FORCE'S SEALS, REMOVE AND PROTECT ALL SEALS FOR RE-INSTALLATION AT NEW MASONRY FLAG BASES, SALVAGE EXISTING ROCK VENEER FOR RE-USE IN PROJECT, ANY EXTRA VENEER TO BE DELIVERED TO OWNER AT COMPLETION OF PROJECT, REMOVE EXISTING BENCHES AND ALL APPURTENANCES.
  - ⑧ STRIP AND REMOVE EXISTING SOD TO ACCOMMODATE PROJECT, LIMIT STRIPPING OF SOD TO PLANTER AREAS AND CONCRETE FLATWORK, SOD OUTSIDE OF PLANTERS TO REMAIN AND BE PROTECTED, STRIP TO 3" BELOW TOP OF CURB IN AREAS TO RECEIVE NEW LANDSCAPING TO ACCOMMODATE MULCH, ETC.
  - ⑨ EXISTING IRRIGATION TO BE REMOVED, REMOVE EXISTING IRRIGATION HEADS, CONTROL VALVES, AND QUICK COUPLER AND DELIVER TO OWNER, EXISTING LATERAL PIPING TO BE ABANDONED IN PLACE, LATERAL PIPING EXPOSED DURING CONSTRUCTION TO BE REMOVED.
  - ⑩ EXISTING IRRIGATION CONTROLLER TO REMAIN AND BE PROTECTED, CONTROL WIRE SERVICING EXISTING VALVES C1 - C16 TO BE REPLACED FROM HYDRANT TO CONTROLLER WIRE SERVICING C1 - C20 TO BE REPLACED, WIRE SERVICING C21 AND BEYOND TO REMAIN AND BE PROTECTED, SEE IRRIGATION PLAN FOR ADDITIONAL INFORMATION.
  - ⑪ EXISTING POWER OUTLETS, REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.
  - ⑫ EXISTING CONCRETE PAD AND WATER HYDRANT TO REMAIN AND BE PROTECTED.
  - ⑬ EXISTING CONCRETE FOUNTAIN TO BE RENOVATED, SEE 2/L-3 FOR ADDITIONAL INFORMATION.
  - ⑭ EXISTING ELECTRICAL PANEL, REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.
  - ⑮ ADJUST IRRIGATION TO ACCOMMODATE NEW ELECTRICAL TRANSFORMER, COORDINATE WITH ELECTRICAL, ADJUST TO ELIMINATE DIRECT SPRAY UPWARD ONTO ENCLOSURE.

- NOTES:**
1. IRRIGATION SYSTEM IS SHOWN ON PLAN, BUT NOT INCLUDED IN LEGEND.
  2. LOCATION OF IRRIGATION EQUIPMENT IS DIAGRAMMATIC, FIELD VERIFY LOCATION.
  3. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE NEW WORK, WHETHER OR NOT IT IS SPECIFICALLY MENTIONED.
  4. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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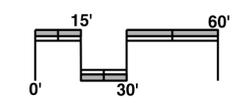
# Riverside Cemetery: Memorial Area Existing Conditions & Demolition Plan

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GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
LANDSCAPE ARCHITECTURE  
1925 GRAND AVE. SUITE 105  
P.O. BOX 22943  
BILLINGS, MT 59104  
406/252-5545 FAX 245-9855

Drawn by:          GSC  
Date:          4/11/12  
Checked by:          NGS  
Date:          4/11/12  
Rev:          5/29/12  
Rev:          6/8/12  
File: SHEET-EXCONDITIONS.DGN





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# Riverside Cemetery: Memorial Area Materials & Layout

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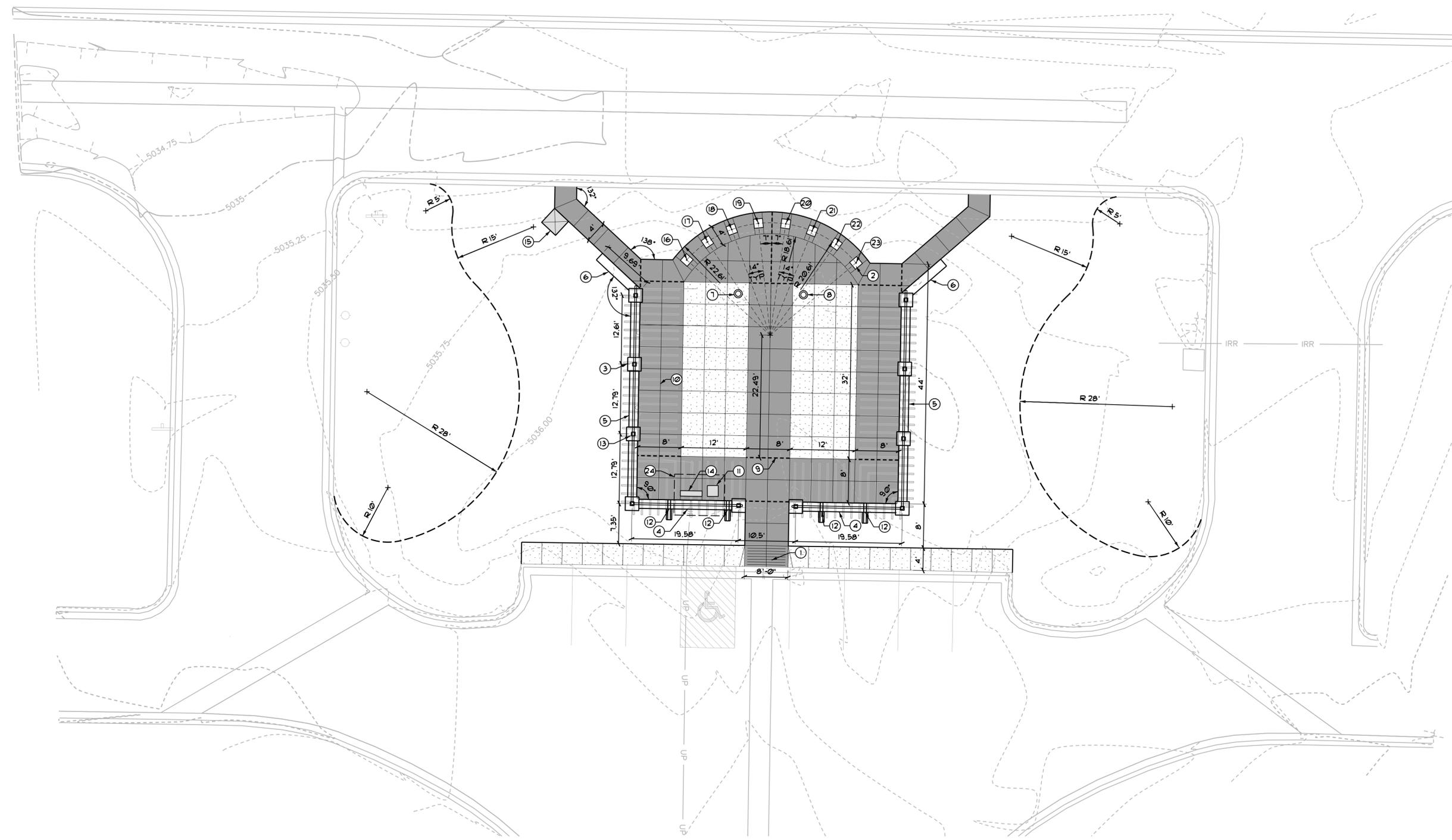
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THUESEN  
PLLC**

GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
LANDSCAPE ARCHITECTURE

1925 GRAND AVE. SUITE 105  
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Rev:          5/29/12  
Rev:          6/8/12  
File: SHEET2-MAT&LAYOUT.DGN

SHEET  
**L-2**

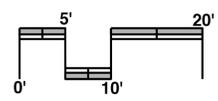


- LEGEND:**
-  4" THICK CONCRETE FLAT WORK, SEE 1/L-3.
  -  4" THICK INTEGRAL COLORED CONCRETE FLAT WORK, SEE 1/L-3.
  -  LANDSCAPE EDGING AS SPECIFIED

- ① ACCESSIBLE RAMP AT SAME LOCATION AS EXISTING CURB CUT, SCORE RAMP SURFACE IN DIRECTION SHOWN AT 2" INTERVALS 1/4" DEEP FLARE SECTIONS TO SLOPE BACK UP TO CURB ELEVATION, MATCH EXISTING FLOW LINE.
- ② MASONRY BASE AT SERVICE FLAG TYPICAL, (8) TOTAL, SEE 4/L-3 & 5/L-3.
- ③ MASONRY COLUMN, TYPICAL, SEE 3/S-1.
- ④ MASONRY WALL, SEE 1/L-3 AND L-4.
- ⑤ MASONRY WALL, SEE 6/L-3 AND L-4.
- ⑥ SLOPED MASONRY WALL, SEE GRADING PLAN.
- ⑦ 30' FLAG POLE AS SPECIFIED, SEE 3/L-3.
- ⑧ 25' FLAGPOLE PROVIDED BY OWNER, INSTALLED BY CONTRACTOR, SEE 3/L-3.
- ⑨ EXPANSION JOINT, TYPICAL, SEE 1/L-3.
- ⑩ CONTROL JOINT, TYPICAL, SEE 1/L-3.

- ⑪ DIGITAL KIOSK PROVIDED BY OWNER MOUNTED IN PLACE BY CONTRACTOR.
- ⑫ 4" X 6" KNOCK-OUT THROUGH WALL FOR DRAINAGE, CAST 12" WIDE SPLASH BLOCK INTEGRAL TO WALL FOUNDATION EXTENDING KNOCK-OUT 24" BEYOND EDGE OF WALL, SPLASH BLOCK TO BE 8" THICK MIN.
- ⑬ SHADE STRUCTURE POST, TYPICAL, SEE 9-1
- ⑭ RELOCATED SIGN, REFER TO SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION.
- ⑮ ENCLOSURE, SEE ELECTRICAL.
- ⑯ SERVICE SEAL: LIONS
- ⑰ SERVICE SEAL: B.P.O.E.
- ⑱ SERVICE SEAL: BPO DOES CODY
- ⑲ SERVICE SEAL: VETERANS OF FOREIGN WARS
- ⑳ SERVICE SEAL: AMERICAN LEGION
- ㉑ SERVICE SEAL: AMERICAN LEGION AUXILIARY
- ㉒ SERVICE SEAL: CODY AUXILIARY F.O.E.
- ㉓ SERVICE SEAL: CODY AERIE F.O.E.
- ㉔ 15' X 9.25' (FIELD VERIFY) LEXAN SCG100 WITH UV CAP LAYER BY SABIC POLYMER/SHADES, 303-744-3700, SECURE TO OVERHEAD STRUCTURE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS WITH SCOT'S LONG LIFE TEKS (300 SERIES 88) SEAL OUTSIDE EDGES AND BEAMS WITH CLEAR SILICONE CAULK, PROVIDE SUBMITTAL DATA ON LEXAN, FASTENERS, AND CAULK.

- NOTES:**
1. REFER TO GRADING PLAN FOR SPOT ELEVATIONS, ETC.
  2. COORDINATE WITH OTHER TRADES TO ENSURE ALL PIPING AND SLEEVES, ETC. ARE IN PLACE PRIOR TO POURING CONCRETE.
  3. FINAL LOCATION OF KIOSK AND SIGN TO BE COORDINATED WITH OWNER'S REP.
  4. COORDINATE COLUMN LOCATIONS WITH STRUCTURAL/FABRICATOR.
  5. SERVICE SEALS TO BE INSTALLED ON SIDE OF MASONRY BASE THAT FACES THE CENTER OF THE PLAZA.





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 LICENSED LANDSCAPE ARCHITECT  
 CARY THUESEN  
 #LA 000001  
 STATE OF WYOMING

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Riverside Cemetery:  
 Memorial Area  
 Grading Plan

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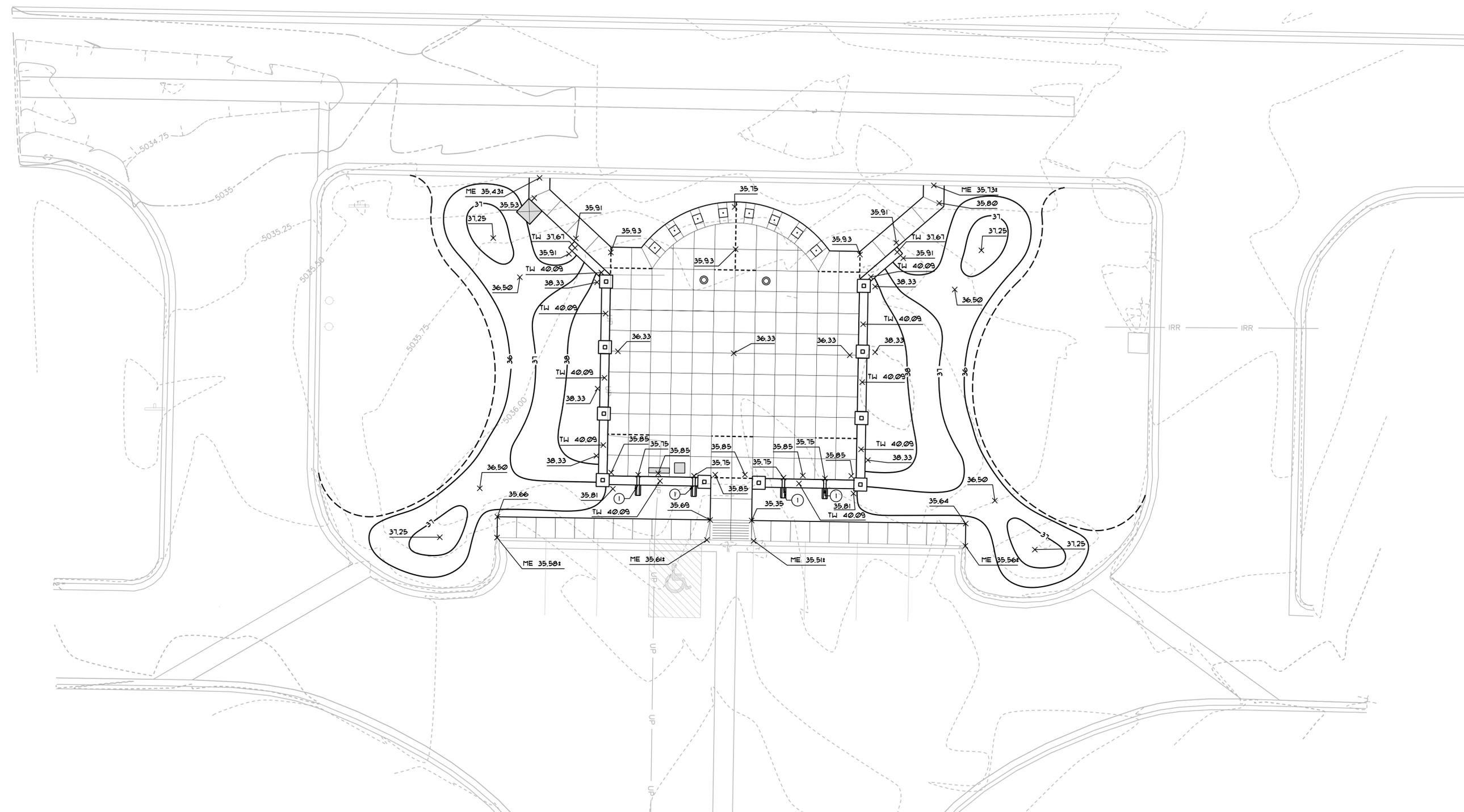
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GOLF COURSE ARCHITECTURE  
 IRRIGATION DESIGN  
 LANDSCAPE ARCHITECTURE

1925 GRAND AVE. SUITE 105  
 P.O. BOX 22943  
 BILLINGS, MT 59104  
 406/252-5545 FAX 245-9855

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 Date:          4/11/12  
 Checked by:          NGS  
 Date:          4/11/12  
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 Rev:          6/8/12  
 File:          SHEETS-CRADING.DGN

SHEET  
 L-5

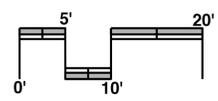


**LEGEND/KEY NOTES:**

- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- X 35.75 FINISH SPOT GRADE
- ME MATCH EXISTING
- TW TOP OF WALL
- ① 4"x4" KNOCK-OUT CAST INTO WALL TO ALLOW DRAINAGE THROUGH WALL. SLOPE CONCRETE AS SHOWN TO DIRECT SURFACE FLOW TO KNOCK-OUT.

**NOTES:**

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND EXISTING STRUCTURES. REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.





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# Riverside Cemetery: Memorial Area Planting Plan

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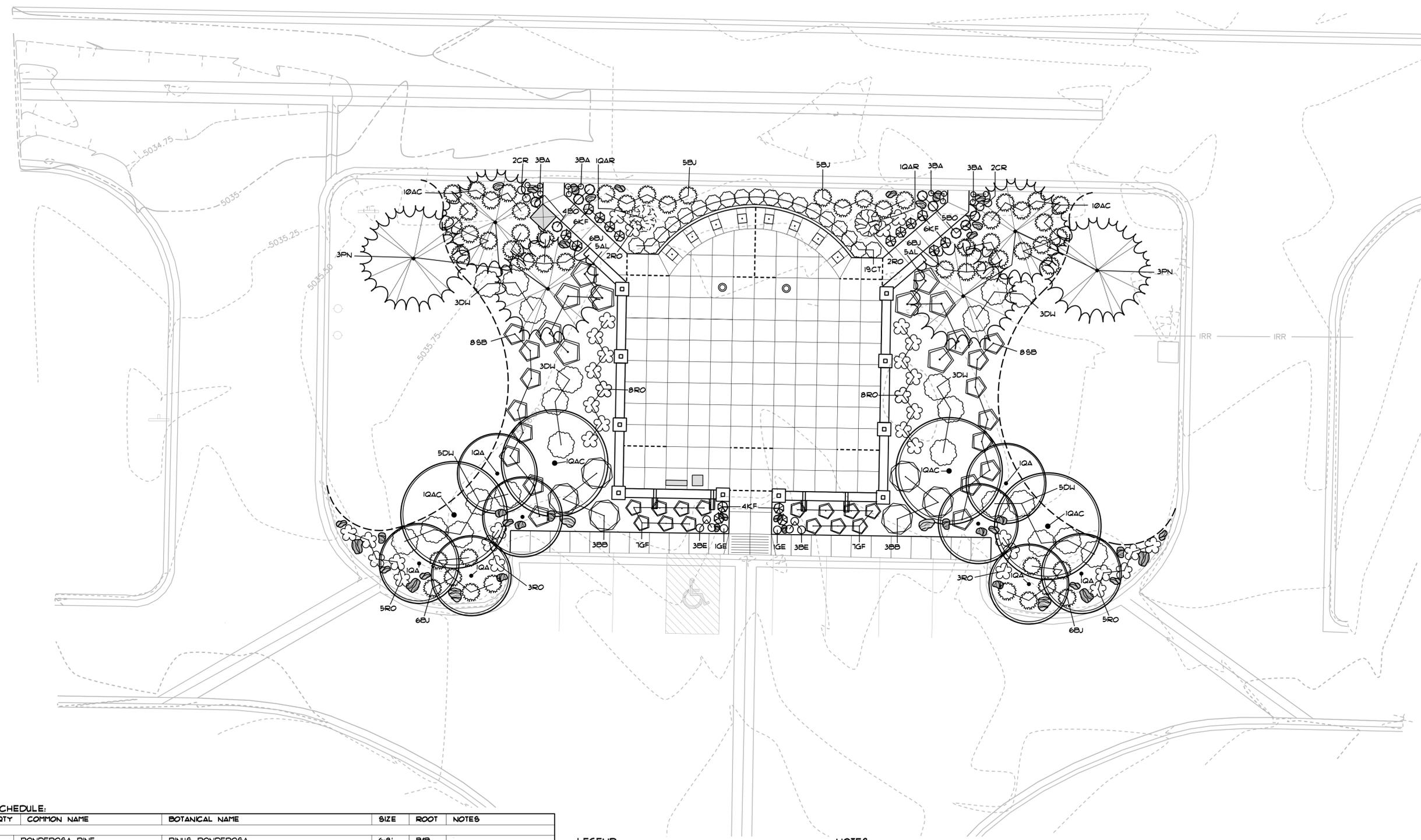
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GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
LANDSCAPE ARCHITECTURE

1925 GRAND AVE. SUITE 105  
P.O. BOX 22943  
BILLINGS, MT 59104  
406/252-5545 FAX 245-9855

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Rev:           5/29/12            
Rev:           6/8/12            
File:           SHEET6-PLANTING.DGN          

SHEET  
**L-6**

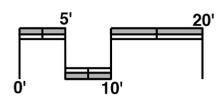


**PLANT SCHEDULE:**

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	NOTES
<b>TREES</b>						
PN		PONDEROSA PINE	PINUS PONDEROSA	6-8'	BMB	
QA		QUAKING ASPEN	POPULUS TREMULOIDES	1-1/2"	BMB	
QAC		QUAKING ASPEN	POPULUS TREMULOIDES	1-1/2"	BMB	CLUMP
QAR		RELOCATED QUAKING ASPEN	POPULUS TREMULOIDES			RELOCATE WITH SPADE
<b>SHRUBS</b>						
AC		ALPINE CARPET JUNIPER	JUNIPERUS COMMUNIS 'MONDAP'	#5	CTN	
AL		ALPINE CURRANT	RIEBS ALPINUM	#5	CTN	
BB		COMPACT BURNING BUSH	EUNONYMUS ALATUS 'COMPACTUS'	#5	CTN	
BJ		BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	#5	CTN	
CT		HEDGE COTONEASTER	COTONEASTER LUCIDUS	#5	CTN	
DW		IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	#5	CTN	
GF		GOLD FLAME SPIREA	SPIREA BUMALDA 'GOLDFLAME'	#5	CTN	
RO		ROSE	ROSA 'RADRAZZ' (KNOCKOUT)	#5	CTN	
SB		CHARMING FANTASY SNOWBERRY	SYMPHORICARPOS 'KOLCHARM'	#5	CTN	
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>						
BA		BASKET-OF-GOLD	AURINIA SAXATILIS	#1	CTN	
BE		BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR FULGIDA	#1	CTN	
BO		BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	#1	CTN	
CR		THREADLEAF COREOPSIS	COREOPSIS VERTICILLATA 'ZAGREB'	#1	CTN	
GE		HARDY GERANIUM	GERANIUM 'JOHNSON'S BLUE'	#1	CTN	
KF		FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	#1	CTN	

**LEGEND:**  
 - - - - - EDGING AS SPECIFIED  
 18"-48" GRANITE BOULDERS

**NOTES:**  
 1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITIES.  
 2. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMANS NATIONAL STANDARD SPECIFICATIONS.  
 3. ALL PLANT MATERIAL SHALL BE INSTALLED AS DETAILED AND PER SPECIFICATIONS.  
 4. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.  
 5. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.  
 6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.  
 7. THE INSTALLATION OF LAWN, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.  
 8. CONTRACTOR SHALL COORDINATE IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.  
 9. WEED BARRIER AT PERENNIALS AND ORNAMENTAL GRASSES TO BE PULLED BACK TO PLANTS MATURE SIZE TO ALLOW PLANTS TO SPREAD.  
 10. SUBMIT PHOTOS OF GRANITE BOULDERS FOR APPROVAL.  
 11. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.





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Riverside Cemetery:  
Memorial Area  
Irrigation Plan

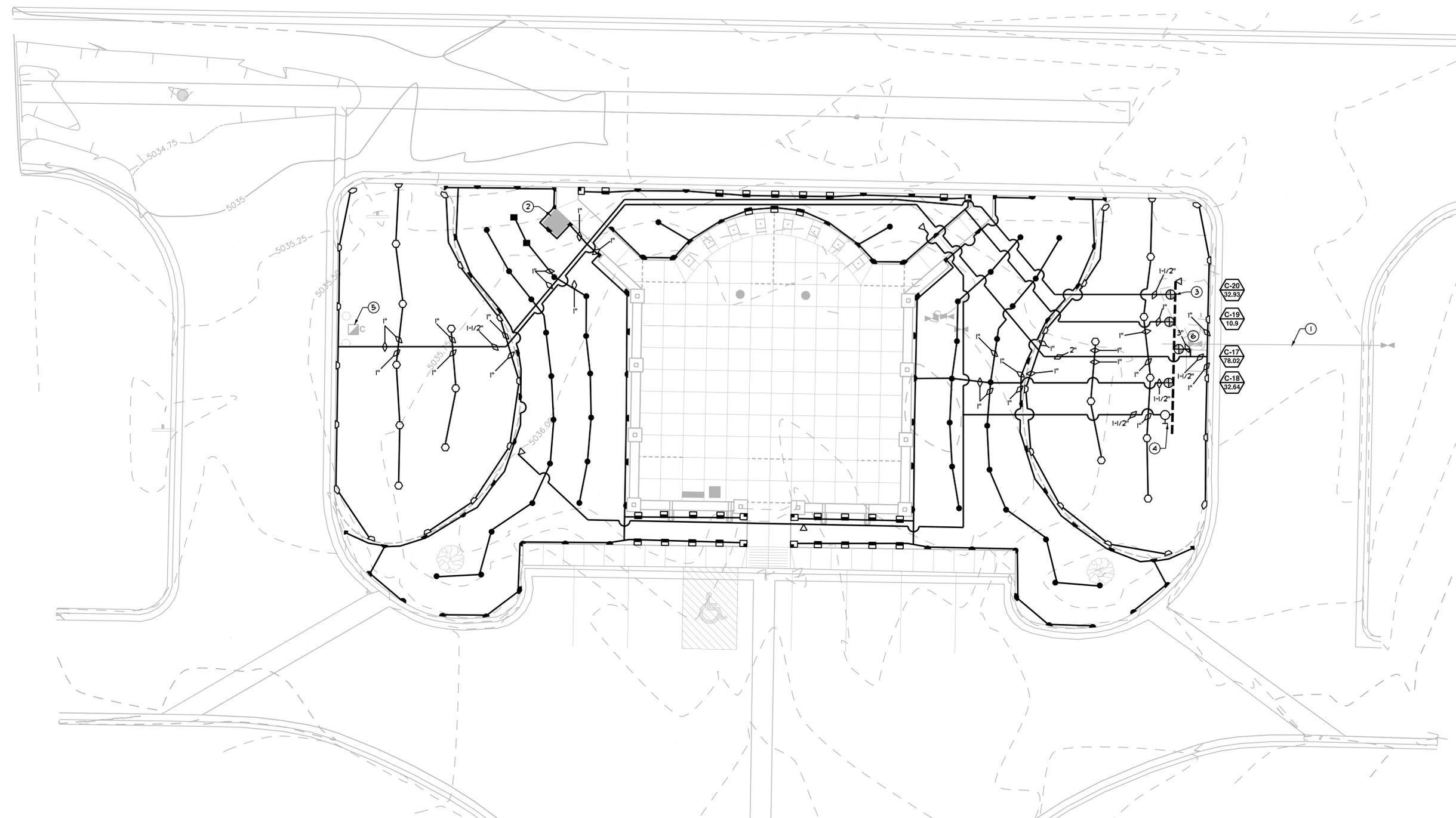
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GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
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Drawn by: GSC  
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File: SHEETS-IRRIGATION.DGN

SHEET  
L-8



- C-20 32.93
- C-19 10.9
- C-17 78.02
- C-18 32.64

**LEGEND:**

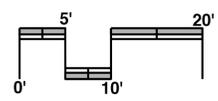
SYMBOL	DESCRIPTION	SIZE	MANUF.	MODEL NUMBER
	SPRAY SPRINKLER	5' RADIUS	RAINBIRD	1806-SAM5-MPR SERIES @ 30 PSI
	SPRAY SPRINKLER	8' RADIUS	RAINBIRD	1806-SAM8-MPR SERIES @ 30 PSI
	SPRAY SPRINKLER	12' RADIUS	RAINBIRD	1806-SAM12-MPR SERIES @ 30 PSI
	QUICK COUPLER	1"	RAINBIRD	44NP
	ELECTRIC CONTROL VALVE	AS NOTED	RAINBIRD	PE55-PR5-D SERIES
	IRRIGATION MAIN - PVC	3"	CLASS 200	CLASS 200
	LATERAL LINE - PVC	AS SHOWN		CLASS 200
	SLEEVE	AS NOTED		

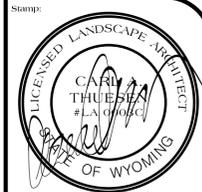


**NOTES:**

- IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE. FIELD ADJUSTMENT OF IRRIGATION COMPONENTS MAY BE NECESSARY TO AVOID CONFLICTS WITH EXISTING SITE FEATURES. REASONABLE CHANGES IN PIPE LAYOUT MAY BE MADE BY THE CONTRACTOR WITH THE ADVANCE APPROVAL OF THE ARCHITECT. LINES SHOWN BELOW PAVEMENT ADJACENT TO TURF AREAS ARE TO BE LOCATED IN TURF AREAS.
- SCHEDULE 40 PVC SLEEVES ARE REQUIRED UNDER ALL HARD SURFACES, EXISTING AND PROPOSED. LOCATION AND NUMBER OF SLEEVES IS THE RESPONSIBILITY OF THE CONTRACTOR FOR INSTALLATION OF THE IRRIGATION SYSTEM AS SHOWN. ALL PIPE SLEEVES TO BE 2 PIPE SIZES LARGER THAN PIPE TO BE INSTALLED THROUGH SLEEVE. PROVIDE SEPARATE SLEEVES FOR BOTH 120 V. AND 24 V. WIRING. WIRE SLEEVES TO BE 4" MIN.
- CONTRACTOR SHALL PROVIDE ALL DEVICES, WIRING AND PROGRAMMING FOR A COMPLETE OPERATIONAL SYSTEM.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE CURRENT AS-BUILT ON THE JOB AT ALL TIMES.
- ZONES WITH FLOWS THROUGH 20 GPM TO HAVE 1" CONTROL VALVES. ZONES WITH FLOWS 21 THROUGH 50 GPM TO HAVE 1-1/2" CONTROL VALVES. ZONES WITH FLOWS 51 GPM AND GREATER TO HAVE 2" CONTROL VALVES. ZONES WITH 0" FLOW TO HAVE 1/2" CONTROL VALVES.
- CONTRACTOR SHALL COORDINATE AND PAY FOR TECHNICAL SUPPORT NEEDS WITH CONTROL SYSTEM MANUFACTURER AND SERVICE PROVIDERS AS REQUIRED FOR COMPLETE AND FUNCTIONAL SYSTEM.
- ADJUST ALL HEADS AS REQUIRED TO PREVENT OVERSPRAY ONTO BUILDINGS, ETC.
- COORDINATE HEAD LAYOUT WITH PLANTINGS, ADJUST AS REQUIRED TO PROVIDE PROPER COVERAGE.
- REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

- KEY NOTES:**
- EXISTING 3" MAINLINE, FIELD VERIFY.
  - ADJUST LAYOUT TO ACCOMMODATE ELECTRICAL PEDESTAL.
  - VALVES TO BE SPACED AT 5' O.C.
  - INSTALL ISOLATION VALVE ON LATERAL 90° SIMILAR TO CONTROL VALVE, SEE ELECTRICAL VALVE DETAIL.
  - RUN NEW CONTROL WIRE FOR ZONES C-1 - C-20 IN CONDUIT PARALLEL TO LATERAL LINE FEEDING C-1.
  - PROVIDE 10" ROUND SPLICE BOX FOR CONTROL WIRE SPLICES. MAKE SPLICE FOR C-1 - C-16 IN APPROXIMATE LOCATION SHOWN. WIRES FOR C-11 - C-20 TO RUN FROM SPLICE BOX TO VALVES ALONG MAINLINE, SEE DETAILS.





Logo:  
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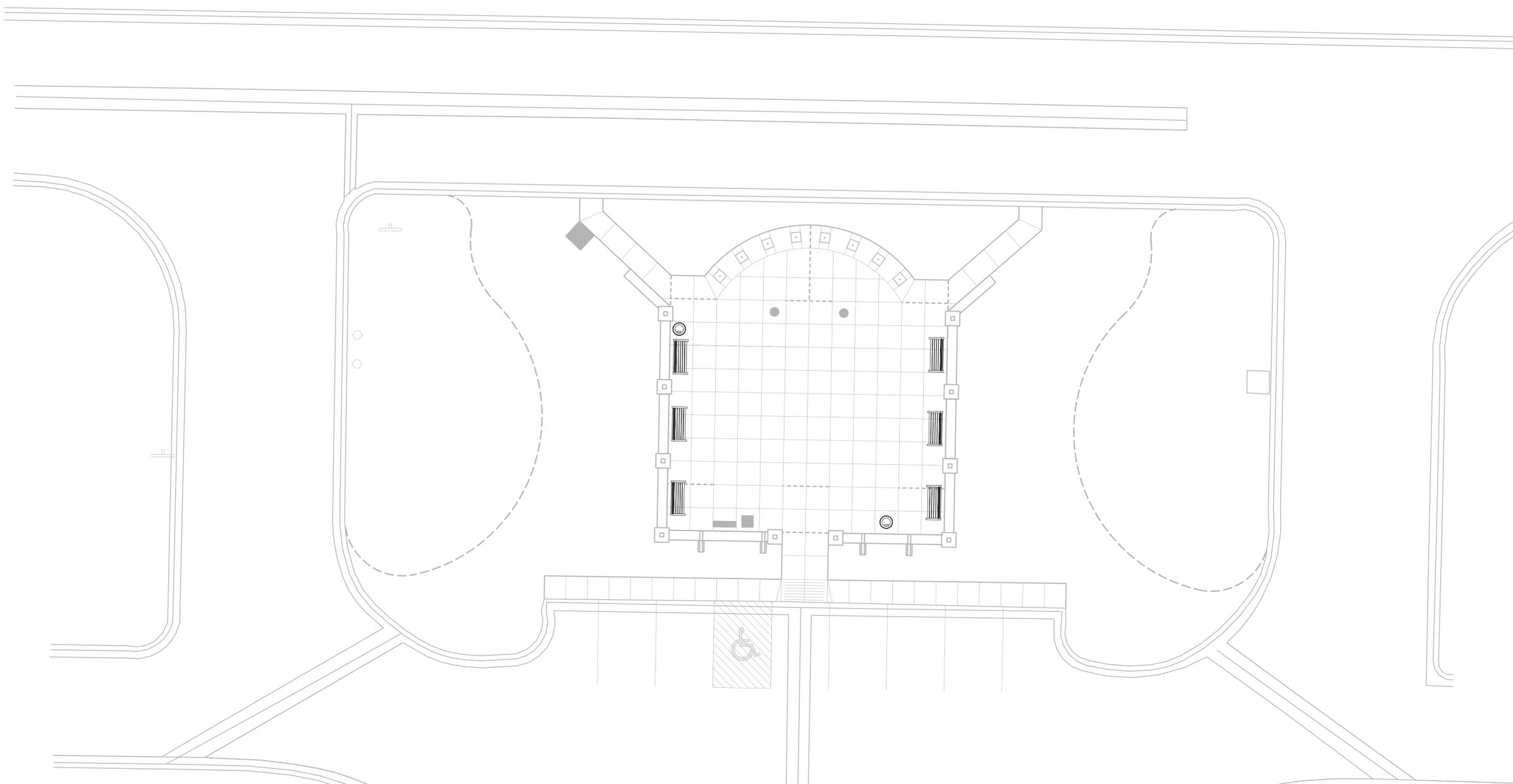
# Riverside Cemetery: Memorial Area Site Furnishings Plan

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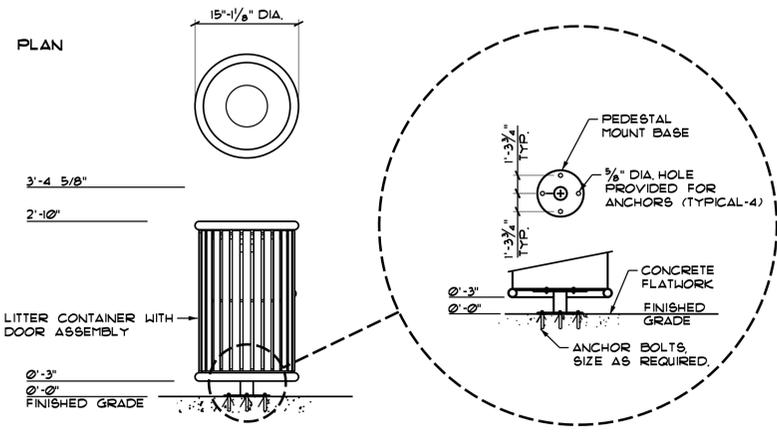
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PLLC**  
GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
LANDSCAPE ARCHITECTURE  
1925 GRAND AVE. SUITE 105  
P.O. BOX 22943  
BILLINGS, MT 59104  
406/252-5545 FAX 245-9855

Drawn by:            GSC  
Date:            4/11/12  
Checked by:            NGS  
Date:            4/11/12  
Rev:            5/29/12  
Rev:            6/8/12  
File:            SHEET10-SITEFURN.DGN

SHEET  
**L-10**

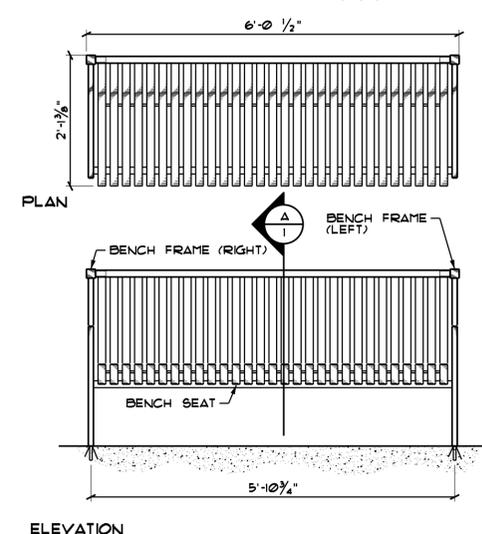


**NOTES:**  
1. TRASH RECEPTACLE AS SPECIFIED.  
2. INSTALLATION TO BE PER MANUFACTURER'S RECOMMENDATIONS, PROVIDES SHIMS AS REQUIRED FOR LEVEL INSTALLATION.



1 TRASH RECEPTACLE

NOT TO SCALE

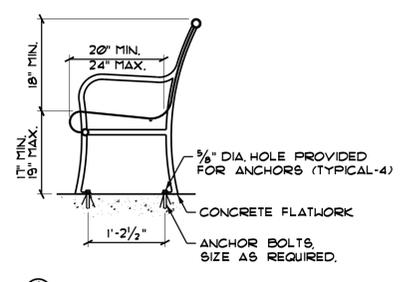


2 BENCH DETAIL

NOT TO SCALE

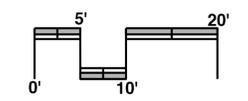
**NOTES:**  
1. BENCH SHALL MEET ADA ACCESSIBILITY GUIDELINES.  
2. BENCH TO BE ASSEMBLED PRIOR TO ANCHORING.  
3. INSTALLATION TO BE PER MANUFACTURER'S RECOMMENDATIONS.

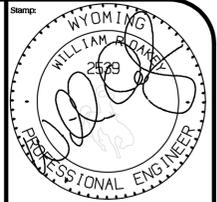
**LEGEND:**  
[Symbol] BENCH AS SPECIFIED  
[Symbol] TRASH RECEPTACLE AS SPECIFIED



SECTION

**NOTES:**  
1. COORDINATE FINAL LOCATION OF SITE FURNISHINGS W/ OWNER AND OWNER'S REPRESENTATIVE. FINAL LOCATION TO BE APPROVED PRIOR TO INSTALLING.





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 BILLINGS, MT 59102  
 (406) 245-5599

Riverside Cemetery:  
 Memorial Area  
 Overhead Shade Structure

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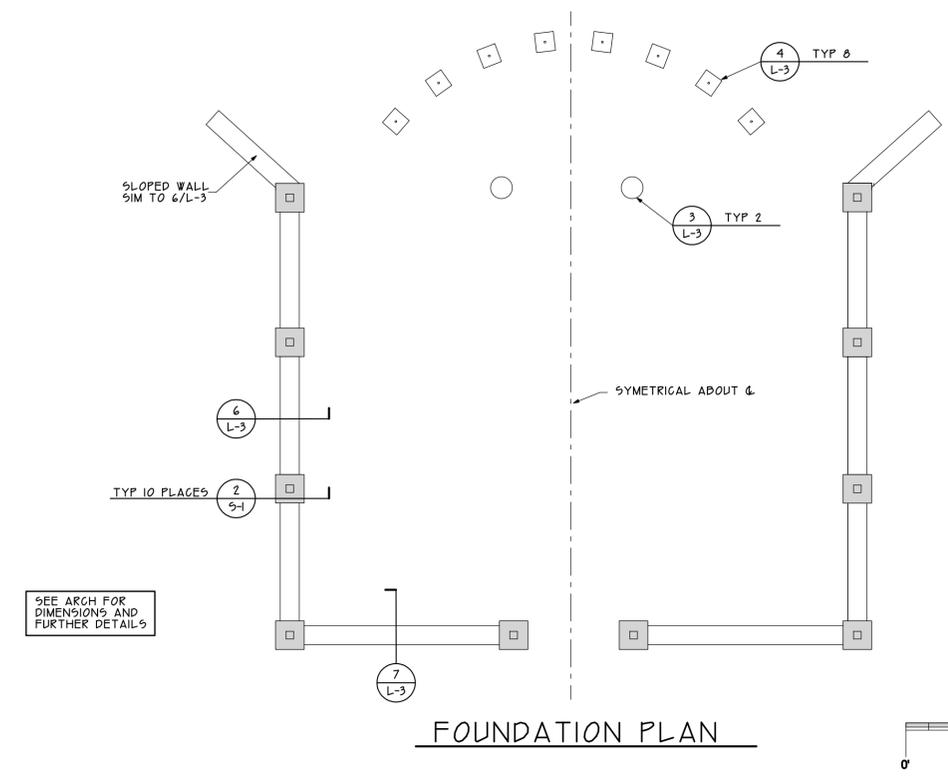
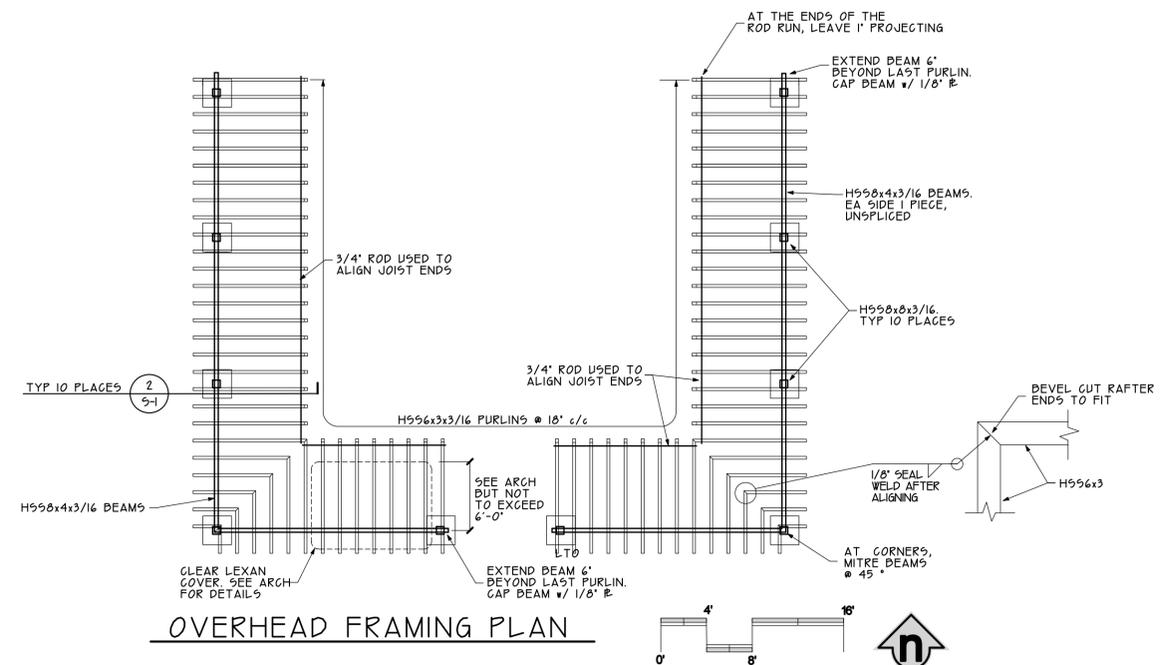
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GOLF COURSE ARCHITECTURE  
 IRRIGATION DESIGN  
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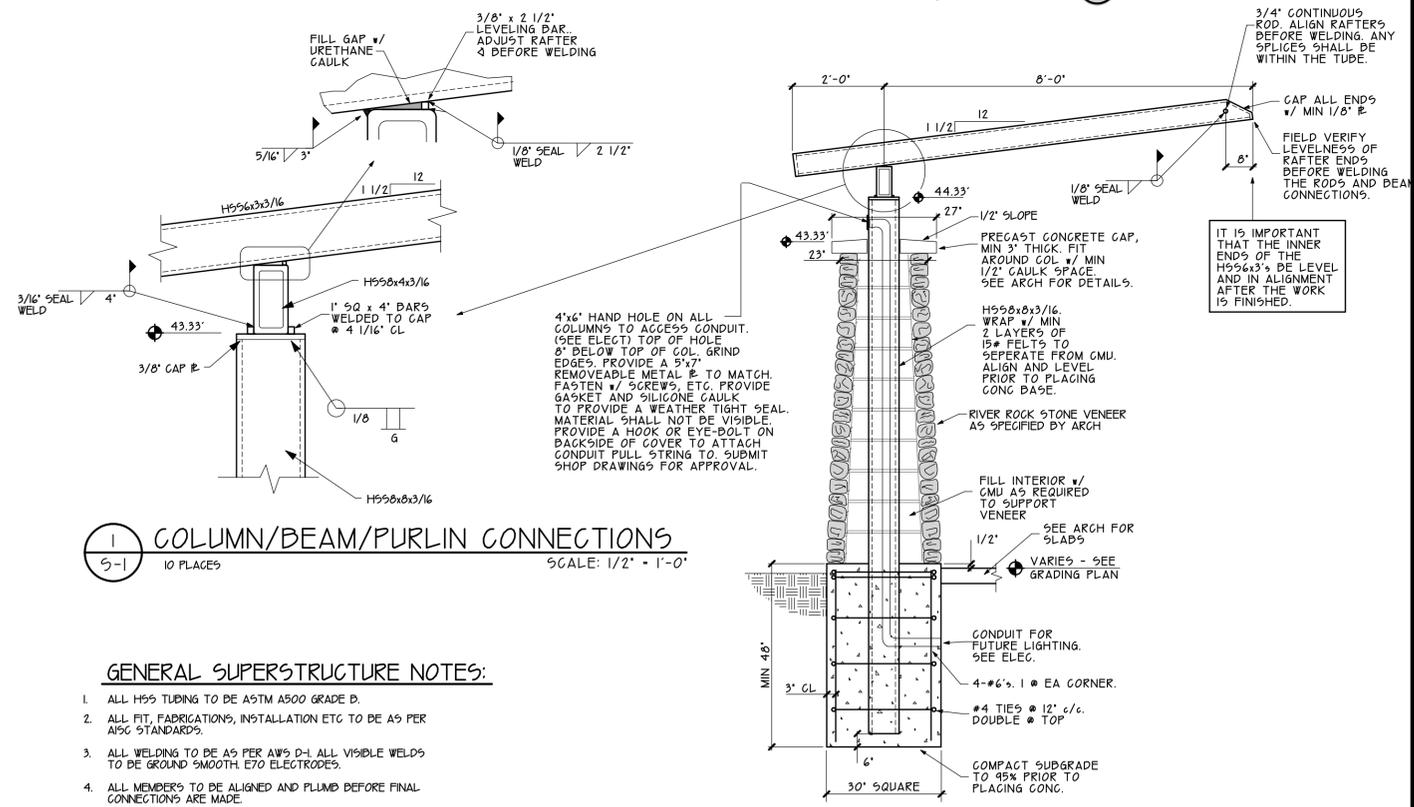
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 File: \_\_\_\_\_

SHEET  
 S-1



GENERAL FOUNDATION NOTES

- UNLESS SHOWN OTHERWISE, ALL EXTERIOR SLABS ON GRADE TO BE 4" CONCRETE WITH 6#6 - 6/GWIF. SEE SPECIFICATIONS AND PLANS FOR JOINT REQUIREMENTS.
- SLOPE AND/OR DEPRESS SLABS AS PER ARCHITECTURAL SHEETS.
- REFER TO SPECIFICATIONS FOR VAPOR BARRIER, WATERPROOFING AND FILL REQUIREMENTS UNDER SLABS ON GRADE.
- SEE ARCH SHEETS FOR SLABS ON GRADE.
- COORDINATION WILL BE REQUIRED FOR ELECTRICAL SUBGRADE SYSTEMS, EQUIPMENT PADS, ETC.
- SEE ARCH FOR CONTROL JOINT LOCATIONS.
- NOTIFY THE ARCHITECT OF ANY UNUSUAL OR UNEXPECTED SOIL CONDITIONS PRIOR TO CONTINUING.
- ISOLATED FOOTING REFERENCE: 3'-6" x 12" w/ 4-#4s. SQUARE SIZE THICKNESS REINF. EACH WAY
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

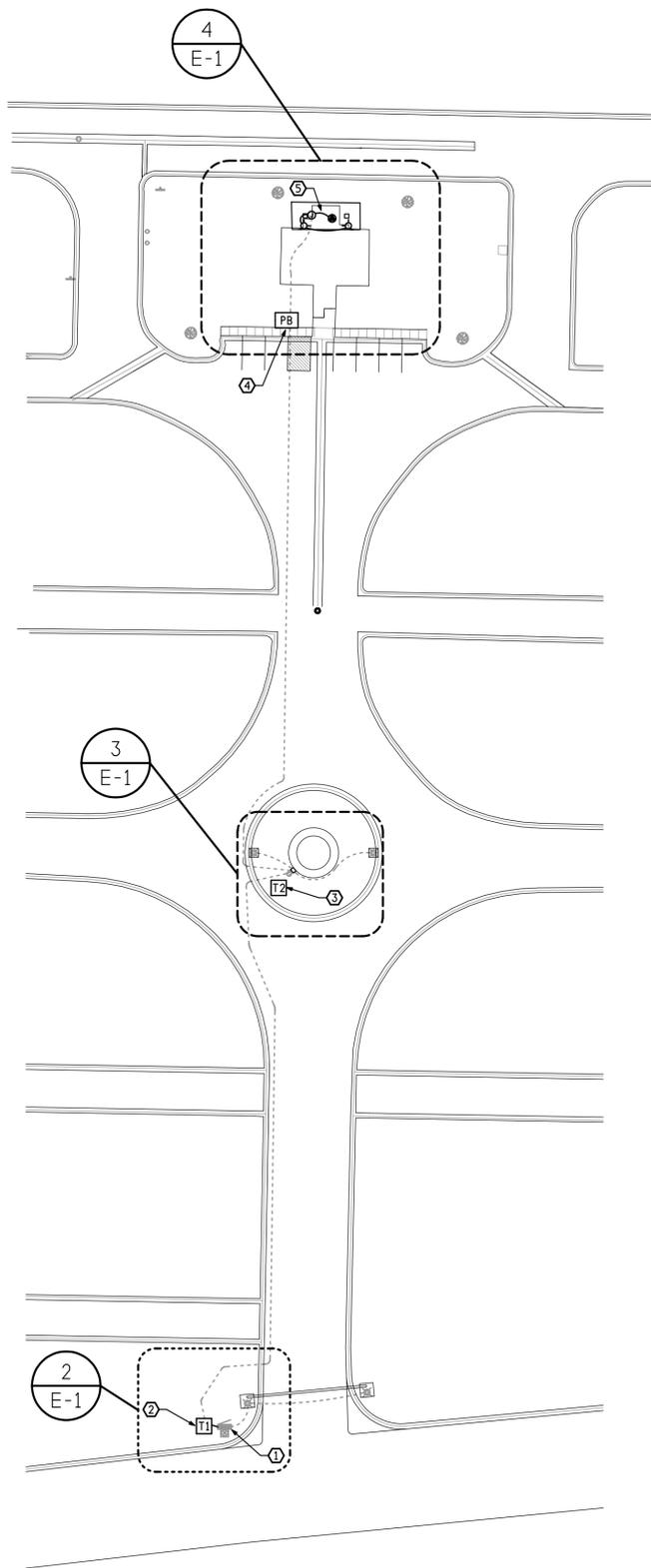


GENERAL SUPERSTRUCTURE NOTES:

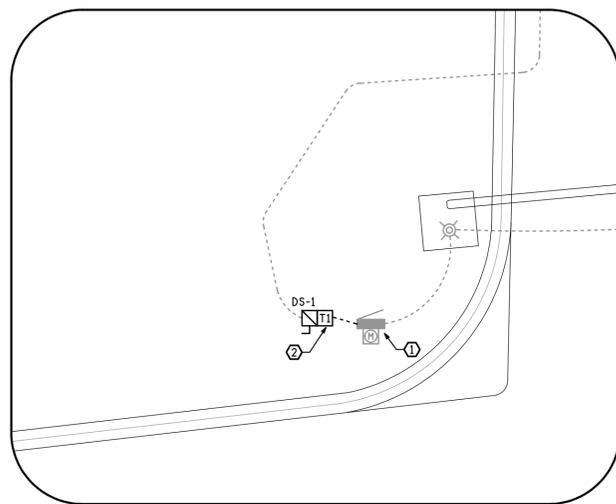
- ALL HSS TUBING TO BE ASTM A500 GRADE B.
- ALL FIT, FABRICATIONS, INSTALLATION ETC TO BE AS PER AISC STANDARDS.
- ALL WELDING TO BE AS PER AWS D-1. ALL VISIBLE WELDS TO BE GRIND SMOOTH E70 ELECTRODES.
- ALL MEMBERS TO BE ALIGNED AND PLUMB BEFORE FINAL CONNECTIONS ARE MADE.
- COORDINATION WILL BE REQUIRED WITH ELECTRICAL DRAWINGS.
- PRIME AND PAINT AS SPECIFIED BY ARCH.
- AS MUCH AS POSSIBLE, FABRICATION AND PAINTING SHALL BE DONE IN THE SHOP WITH REMAINING WORK, TOUCH UP ETC TO BE FINISHED IN THE FIELD.

**WORK NOTES**

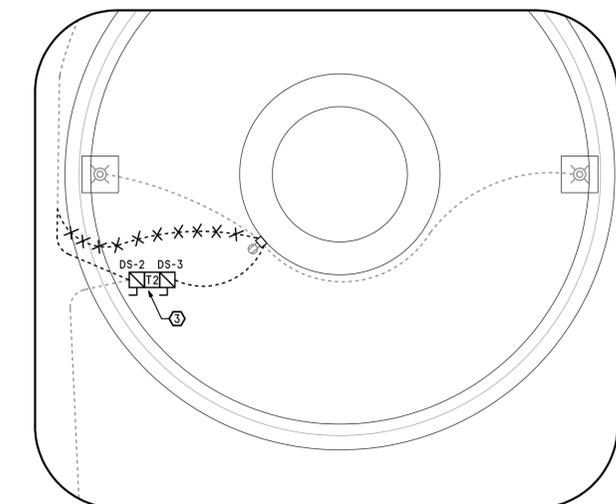
- 1 IN EXISTING BREAKER BOX, PROVIDE AND INSTALL (1) 50A, 2-POLE BREAKER.
- 2 PROVIDE AND INSTALL (1) 5KVA TRANSFORMER, T1 (SQUARE D NO. 7400-SSIF OR EQUIVALENT) ADJACENT TO EXISTING METER/BREAKER BOX. CONNECT THIS STANDARD TRANSFORMER IN BUCK/BOOST MODE AS SHOWN IN DETAIL 2/E-2 TO ALLOW FOR 240V INPUT AND 480V OUTPUT (NOTE THAT IN THIS MODE, IT WILL DELIVER 10KVA). PROVIDE AND INSTALL 30A, 2-POLE, 480V FUSED DISCONNECT, DS-1 ON 480V SIDE OF TRANSFORMER AND TIE EXISTING NORTHBOUND, BURIED #12 AWG COPPER WIRE INTO LOAD SIDE OF DISCONNECT. BE SURE TO PERMANENTLY MARK CONDUCTORS TO DESIGNATE 480V POWER. INSTALL THIS EQUIPMENT IN PEDESTAL ENCLOSURE SIMILAR TO DETAIL 1/E-2.
- 3 INTERCEPT EXISTING BURIED FEED (BE SURE TO PERMANENTLY MARK CONDUCTORS TO DESIGNATE 480V POWER) AND PROVIDE AND INSTALL 30A, 2-POLE, 480V FUSED DISCONNECT, DS-2 TO FEED (1) 10KVA TRANSFORMER, T2 (SQUARE D NO. 7400-SSIF OR EQUIVALENT) WIRED IN THE NORMAL WAY TO GIVE 120/240V OUTPUT. ESTABLISH A GROUND WITH A 10' 3/4" COPPER-CLAD GROUND ROD AT TRANSFORMER. PROVIDE AND INSTALL 30A, 2-POLE 240V FUSED DISCONNECT SWITCH, DS-3 ON 240V SIDE OF TRANSFORMER AND USE THESE FUSES TO RE-FEED EXISTING 120V LOADS AT CENTRAL WATER FEATURE AREA. INSTALL THIS EQUIPMENT IN PEDESTAL ENCLOSURE SIMILAR TO DETAIL 1/E-2.
- 4 INTERCEPT END OF EXISTING BURIED FEED (BE SURE TO PERMANENTLY MARK CONDUCTORS TO DESIGNATE 480V POWER) AND PROVIDE AND INSTALL FLUSH-MOUNT, IN-GROUND, PULL-BOX.
- 5 DISCONNECT AND REMOVE POWER FROM EXISTING DIRECTORY, LIGHTS UNDER CANOPY AND LIGHT ABOVE THAT LIGHTS EXISTING FLAGPOLE. DEMO ALL EXISTING CONDUIT AND WIRES BACK TO NEW IN-GROUND, PULL-BOX.
- 6 FROM NEW PULL-BOX, PROVIDE AND INSTALL BURIED #12 WIRES IN PVC CONDUIT TO LOCATION SHOWN. PROVIDE AND INSTALL 30A, 2-POLE, 480V FUSED DISCONNECT, DS-4 TO FEED (1) 10KVA TRANSFORMER, T3 (SQUARE D NO. 7400-SSIF OR EQUIVALENT) WIRED IN THE NORMAL WAY TO GIVE 120/240V OUTPUT. ESTABLISH A GROUND WITH A 10' 3/4" COPPER-CLAD GROUND ROD AT TRANSFORMER. PROVIDE AND INSTALL 120/240V, SINGLE-PHASE, 3-WIRE DISTRIBUTION PANEL "M" WITH (1) 60A, TWO-POLE MAIN BREAKER AND (8) 20A, SINGLE-POLE BREAKERS. INSTALL THIS EQUIPMENT IN PEDESTAL ENCLOSURE IN ACCORDANCE WITH DETAIL 1/E-2.
- 7 PROVIDE AND INSTALL BURIED 1" PVC CONDUITS (MIN. 24" DEEP) FROM PEDESTAL TO EACH OF (10) TUBE STEEL COLUMNS. SEE DETAIL 2/S-1. PROVIDE PULL-STRING FROM PEDESTAL, THROUGH CONDUIT, UP EACH COLUMN AND CONNECT SECURELY TO INSIDE OF COLUMN PENETRATION COVER.
- 8 PROVIDE AND INSTALL WALL-MOUNT LIGHT FIXTURES. MOUNT FLUSH IN WALL AND CIRCUIT AS SHOWN.
- 9 PROVIDE AND INSTALL RECEPTACLES IN WALL. CIRCUIT AS SHOWN.
- 10 PROVIDE AND INSTALL IN-GROUND LIGHT FIXTURES AT FLAG POLES. COORDINATE EXACT LOCATIONS AND AIMING WITH LIGHTING MANUFACTURER'S REP TO OPTIMIZE ILLUMINATION OF FLAGS.
- 11 PROVIDE AND INSTALL POWER TO KIOSK. CIRCUIT AS SHOWN. ALSO PROVIDE GROUND ROD AT KIOSK. COORDINATE EXACT LOCATION FOR KIOSK WITH OWNER AND ENSURE THAT GROUND ROD IS BURIED BENEATH CONCRETE. (TAKE PHOTOS PRIOR TO INSTALLATION OF CONCRETE).



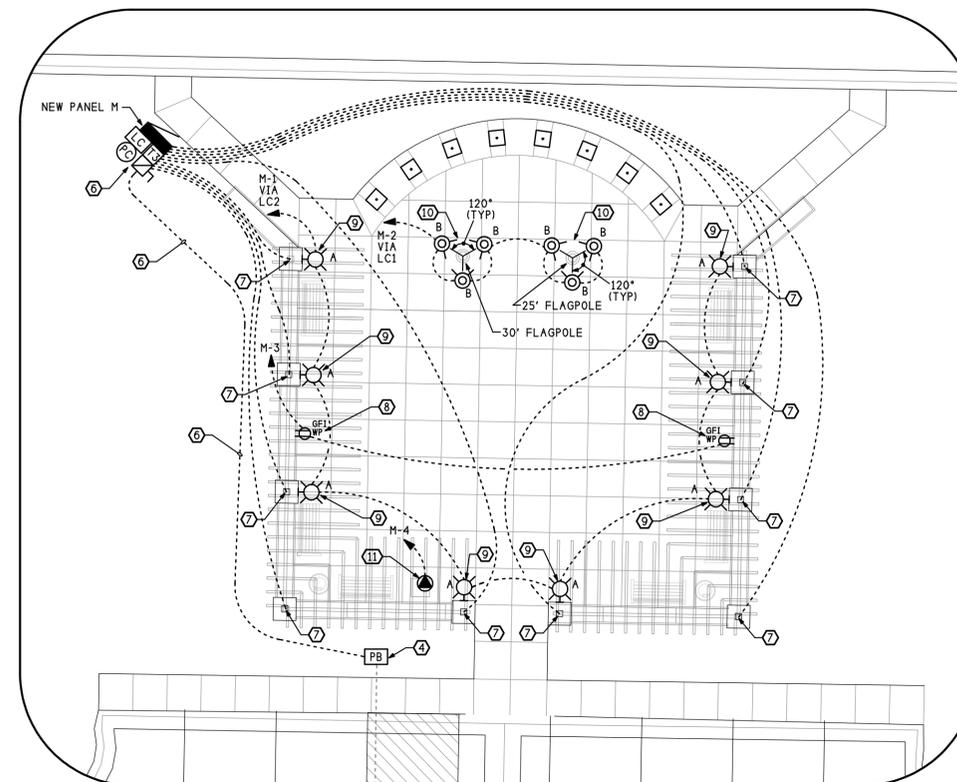
1 OVERALL ELECTRICAL SITE PLAN  
E-1 SCALE: 1" = 40'-0"



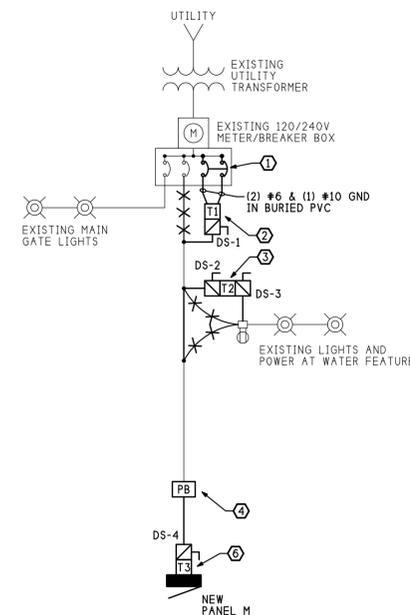
2 PARTIAL PLAN AT GATE  
E-1 SCALE: 1" = 10'-0"



3 PARTIAL PLAN AT WATER FEATURE  
E-1 SCALE: 1" = 10'-0"



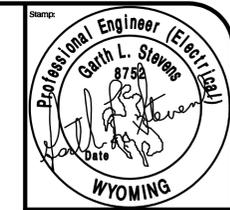
4 PARTIAL PLAN AT MEMORIAL  
E-1 SCALE: 1" = 10'-0"



5 ELECTRICAL SCHEMATIC DIAGRAM  
E-1 N.T.S.

**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
	HOMERUN TO PANEL (ARROWS INDICATE CIRCUITS)
	NUMBER OF HASH MARKS INDICATES NUMBER OF CURRENT CARRYING CONDUCTORS IN CONDUIT. NO HASH MARKS INDICATES TWO CURRENT CARRYING CONDUCTORS. GROUND WIRES ARE NOT SHOWN BUT ARE PULLED IN ALL CONDUIT RUNS. SEE PANEL AND FEEDER SCHEDULES FOR MINIMUM WIRE AND CONDUIT SIZES. AS WIRE SIZES ARE UPGRADED FOR DERATING, CONDUIT SIZE SHALL BE INCREASED TO PROPERLY ACCOMMODATE ALL WIRES MAINTAINING MAXIMUM 40% CONDUIT FILL.
	UNDERGROUND/UNDERSLAB CONDUIT
	EXISTING BURIED CONDUITS
	JUNCTION BOX
	TRANSFORMER
	PANELBOARD
	RECEPTACLE - GROUND FAULT PROTECTED
	RECEPTACLE - WEATHERPROOF COVER
	LIGHTNING ARRESTOR
	LIGHT FIXTURE - WALL-MOUNTED.
	FLOOD LIGHT FIXTURE - GROUND STANCHION MOUNTED
	BOLLARD LIGHT FIXTURE
	LIGHT FIXTURE - SURFACE MOUNTED
	LIGHTING CONTROL PANEL
	PHOTO CELL



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Checked by: GS  
Date: JUNE 8, 2011  
Rev: \_\_\_\_\_  
Rev: \_\_\_\_\_  
File: \_\_\_\_\_

SHEET  
**E-1**

NOTES TO THOSE BIDDING FIXTURES:

1. DO NOT BID FIXTURES WITHOUT FIRST CAREFULLY REVIEWING SPECIFICATION PREPARED FOR THIS PARTICULAR JOB. SPECIFICATION REQUIREMENTS CHANGE FROM JOB TO JOB WITHOUT NOTICE - DO NOT ASSUME ANYTHING!

EXTERIOR LIGHT FIXTURE SCHEDULE

2. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION REGARDING BALLASTS AND LAMPS. REFER TO LAMP SCHEDULE PREPARED FOR THIS JOB.  
3. MAKE SURE YOU HAVE ALL PORTIONS OF THIS SCHEDULE. NOTE THAT THERE MAY BE OTHER SCHEDULES COVERING LIGHTING (LIGHT FIXTURE SCHED, EMERGENCY LIGHT FIXTURE SCHED, POLE SCHED, TRACK LIGHTING HARDWARE SCHED, ETC.)

LT#	MFGR	CATALOG NUMBER	DESCRIPTION	MANUFACTURERS W/ "POTENTIAL" EQUIVALENT FIXTURES	ELECTRIC	BALLAST	LAMP	OPTIONS	MOUNTING	NOTES																	
					VOLT	WATT	QTY	TYP	FUSE	P.C.	C.F.	C.H.	Q.R.	B.D.	VAN	SURF	REC	PEND	STAN	ARM	YOKE	GND	SOFF	POLE	WALL	HEIGHT	
A	LIGHTTECH	SL-8117-70MH-W	- NOM. 10" X 12" RECESSED, WALL-MOUNT STEP LIGHT WITH HEAVY DUTY CAST ALUMINUM FACE AND TEMPERED GLASS - 18 GA. ELECTRO GALVANIZED STEEL HOUSING EMBEDDING IN CONCRETE WALL - POWDER COAT FINISH (SPECIAL COLOR)	KIM LIGHTING	120	85	1	(C)	1	3K	1	-	-	-	-	-	-	-	-	-	-	-	-	-	WALL	40" TO TOP	(D) 1
B	HYDREL	M9720-70M-SP 5° TILT	- 12" DIA. CONCEALED IN-GRADE LUMINAIRE WITH SPOT DISTRIBUTION AT 5° TILT FOR FLUSH MOUNT IN CONCRETE - DOUBLE ROUND TEMPERED GLASS LENS, SLIGHTLY CROWNED FOR WATER RUNOFF	KIM LIGHTING	120	85	1	(C)	1	3K	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	FLUSH	(D)

(A) CATALOG NUMBERS ARE NOT COMPLETE AND ARE ONLY INTENDED TO INDICATE ACCEPTABLE FIXTURE SERIES. CONTRACTOR SHALL PROVIDE ALL CHARACTERISTICS AND OPTIONS LISTED IN SPECIFICATION AND AS SHOWN ON SCHEDULE. REVIEW FIXTURE LOCATIONS ON PLANS AND ENSURE THAT FIXTURE WILL PROPERLY FUNCTION (FULL OUTPUT, PROPER RATING, NO PRE-MATURE LAMP OR BALLAST MORTALITY, ETC.) UNDER ENVIRONMENTAL CONDITIONS SHOWN AND AS LISTED IN SPECIFICATION SECTION 16010. LISTED FIXTURE CATALOG NUMBERS WILL REQUIRE AUGMENTATION IN ORDER TO MEET ALL REQUIREMENTS. ANY CHANGES IN LISTED FIXTURE SERIES REQUIRE PRIOR APPROVAL. MANUFACTURERS ATTEMPTING TO CROSS THEIR FIXTURE WITH THAT LISTED SHALL PROVIDE ALL NECESSARY OPTIONS AND CHARACTERISTICS TO MEET REQUIREMENTS. FIXTURES FAILING TO MEET REQUIREMENTS WILL BE REJECTED. IF IN DOUBT, REQUEST PRIOR APPROVAL.

(B) SEE SPECIFICATION FOR ADDITIONAL INFORMATION REGARDING BALLASTS. SEE LAMP SCHEDULE AND SPECIFICATION.

(C) HIGH POWER FACTOR, MAGNETIC, COLD-WEATHER BALLAST.

(D) PRIOR APPROVAL REQUIRED FOR SUBSTITUTION OF MANUFACTURERS NOT LISTED OR FOR DIFFERENT FIXTURE SERIES BY LISTED MANUFACTURER.

(1) POWDER COAT FINISH SHALL BE STANDARD FINISH CHOSEN BY ARCHITECT.

(2) PROVIDED CONCRETE IN-GROUND BASE TO SUPPORT FIXTURE STANCHION.

LAMP SCHEDULE

LAMP	MFGR	DESCRIPTION	WATT	VOLT	LUMENS			CBCP	BEAM SPREAD	AVERAGE LIFE	COLOR TEMP	CRI	COATING	START-UP (MIN)	RESTRIKE (MIN)	BASE	REMARKS
					INITIAL	MEAN	PER WATT										
METAL HALIDE LAMPS																	
3K	G.E.	MXR70/U/MED	70	-	5500	4000	78.6	-	-	7500	3200	65	CLEAR	2 - 5	10 - 15	MEDIUM (E26)	UNIVERSAL POSITION
	OSRAM-SYLVANIA	MH70/U/MED															
	PHILIPS	MH70/U/M															
	VENTURE	MH70/U/MED															

(A) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

TRANSFORMER SCHEDULE

LT#	MANUFACTURER	SERIES	MANUFACTURERS W/ "POTENTIAL" EQUIVALENT EQUIPMENT	KVA	TYPE	WIND.	PRIMARY		SECONDARY		K FACTOR	TEMP. RISE	STYLE	MOUNT	DIMENSIONS				REMARKS
							PROTECTION	CONFIG.	CONFIG.	PROTECTION					HEIGHT	WIDTH	DEPTH	WEIGHT	
T1	SQUARE D	7400-5S1FCU	CUTLER-HAMMER GENERAL ELECTRIC SIEMENS	5	DRY	CU	50A BREAKER IN PANEL A	240V SINGLE-PHASE	480V SINGLE-PHASE	20A FUSED DISCONNECT	1	150°C	B NEMA 3R	PEDESTAL	15"	10"	12"	115 LBS	(1) (2)
T2	SQUARE D	7400-5S1FCU	CUTLER-HAMMER GENERAL ELECTRIC SIEMENS	5	DRY	CU	20A FUSED DISCONNECT	480V SINGLE-PHASE	120/240V SINGLE-PHASE	20A FUSED DISCONNECT	1	150°C	B NEMA 3R	PEDESTAL	15"	10"	12"	115 LBS	(1)
T3	SQUARE D	7400-10S1FCU	CUTLER-HAMMER GENERAL ELECTRIC SIEMENS	10	DRY	CU	20A FUSED DISCONNECT	480V SINGLE-PHASE	120/240V SINGLE-PHASE	60A MAIN BREAKER IN PANEL M	1	150°C	B NEMA 3R	PEDESTAL	15"	10"	12"	135 LBS	(1)

(A) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

(2) STANDARD TRANSFORMER SHALL BE WIRED IN BUCK/BOOST MODE AS SHOWN IN DETAIL X/E-X TO ALLOW FOR 240V INPUT AND 480V OUTPUT (NOTE THAT IN THIS MODE, IT WILL DELIVER 10KVA).

(1) MOUNT ON PEDESTAL AS SHOWN IN DETAIL 7/E-2.

DISCONNECT SCHEDULE

NO.	EQUIPMENT	MANUFACTURER	SERIES	MANUFACTURERS W/ "POTENTIAL" EQUIVALENT EQUIPMENT	AMPS	POLES	VOLTS	NEUT	FUSE	WIRE RANGE (CU)	ACCESSORIES	ENCL. (NEMA)	DIMENSIONS	REMARKS					
										BENDING SPACE	LUGS	NEUT. KIT	EQ GND KIT	INTERLOCK	HEIGHT	WIDTH	DEPTH		
DS-1	480V DIST FROM XFMR T1	SQUARE D	3110-H361RB	CUTLER-HAMMER G.E. SIEMENS	30	2	480	N/R	LPS-RK-20SP	#12 AWG THRU #6 AWG	#12 AWG THRU #2 AWG	N/R	N/R	NONE	3R	15"	7"	5"	
DS-2	XFMR T2	SQUARE D	3110-H361RB	CUTLER-HAMMER G.E. SIEMENS	30	2	480	N/R	LPS-RK-12SP	#12 AWG THRU #6 AWG	#12 AWG THRU #2 AWG	N/R	N/R	NONE	3R	15"	7"	5"	
DS-3	120/240V LOADS AT WATER FEATURE	SQUARE D	3110-H221NRB	CUTLER-HAMMER G.E. SIEMENS	30	2	240	YES	FRN-R-20	#12 AWG THRU #6 AWG	#12 AWG THRU #2 AWG	A/R	YES	NONE	3R	15"	7"	5"	(1)
DS-4	XFMR T3	SQUARE D	3110-H361RB	CUTLER-HAMMER G.E. SIEMENS	30	2	480	N/R	LPS-RK-20SP	#12 AWG THRU #6 AWG	#12 AWG THRU #2 AWG	N/R	N/R	NONE	3R	15"	7"	5"	

(A) NOTE THAT MORE THAN ONE UNIT MAY BEAR THE SAME DESIGNATION. SEE PLANS FOR QUANTITIES.

(B) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

(1) PROVIDE GROUND ROD TO ESTABLISH GROUND ON SECONDARY OF TRANSFORMER AND BOND NEUTRAL AT THIS POINT.

ENCLOSURE SCHEDULE

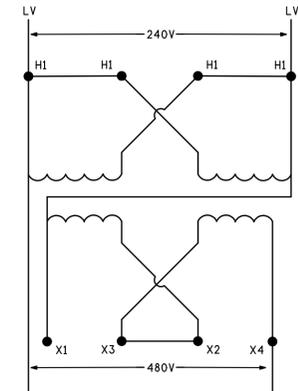
LT#	DESCRIPTION	MFGR	CATALOG NO.	ENCL. (NEMA)	LIST/LABEL	MINIMUM DIMENSIONS				FINISH	ACCESSORIES		NOTES
						HEIGHT	WIDTH	DEPTH	THICK/MAT		DESCRIPTION	CAT. NO.	
T1 & DS-1	LOCKABLE, WEATHER & VANDAL RESISTANT WITH VENT LOUVERS	STRONGBOX BY VIT PRODUCTS	SB-24SS	3R	UL	36"	23"	12"	14 GAUGE 304 STAINLESS STEEL	STAINLESS STEEL	12" PEDESTAL	PED-24SS	
DS-2, T2 & DS-3	LOCKABLE, WEATHER & VANDAL RESISTANT WITH VENT LOUVERS	STRONGBOX BY VIT PRODUCTS	SB-24SS	3R	UL	36"	23"	12"	14 GAUGE 304 STAINLESS STEEL	(1)	12" PEDESTAL	PED-24SS	
												AS-23SS PEDESTAL	
DS-4, T3 & PNL M	LOCKABLE, WEATHER & VANDAL RESISTANT WITH VENT LOUVERS	STRONGBOX BY VIT PRODUCTS	SB-24DSS	3R	UL	36"	23"	24"	14 GAUGE 304 STAINLESS STEEL	(1)	12" PEDESTAL	PED-24DSS	
												ASDD-23SS PEDESTAL	

(A) OTHER MANUFACTURERS/PART NUMBERS MAY BE SUBMITTED FOR PRIOR APPROVAL IN ACCORDANCE WITH SPECIFICATIONS.

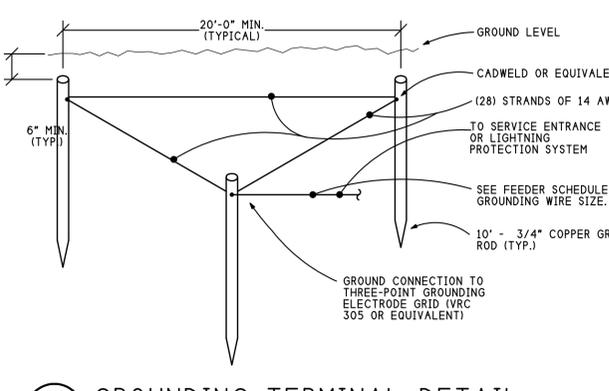
(B) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

(C) MINIMUM DIMENSIONS ARE BASED ON SPECIFIED EQUIPMENT TO BE ENCLOSED. CONTRACTOR SHALL PROVIDE ENCLOSURE WITH SUFFICIENT DIMENSIONS TO ACCOMMODATE ACTUAL EQUIPMENT BEING INSTALLED.

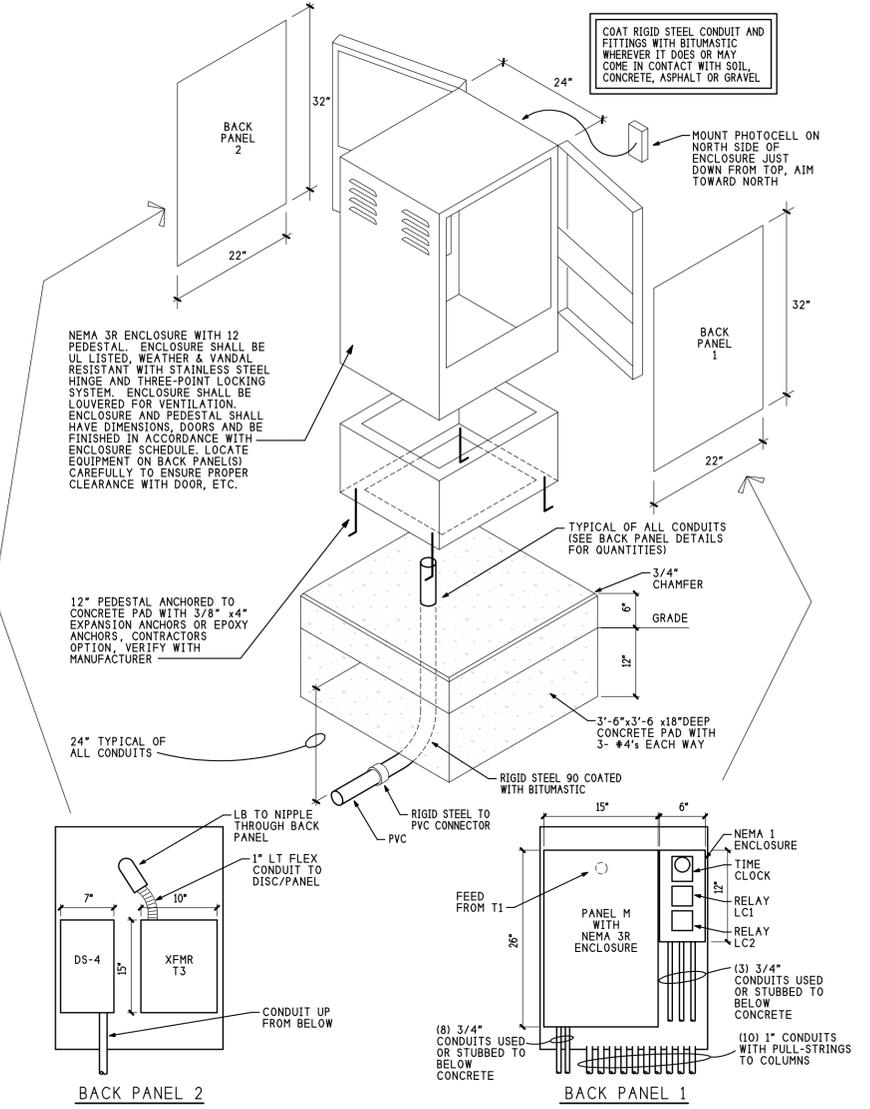
(1) FOR BOX AND PEDESTAL, POWDER COAT WITH TIGER DRYLAC PRIMER AND TIGER DRYLAC 38/60018 KOKO BROWN SEMI GLOSS FINISH.



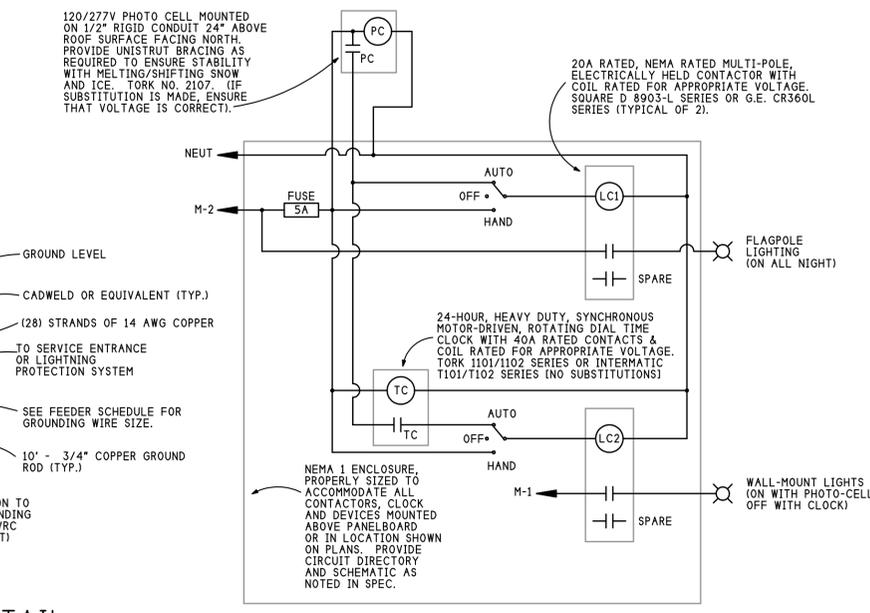
(2) XFMR T1 CONFIG. N.T.S.



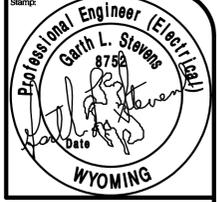
(3) GROUNDING TERMINAL DETAIL N.T.S.



(1) PEDESTAL DETAIL T3 UNIT SHOWN (OTHERS SIMILAR) N.T.S.



(4) EXTERIOR LIGHTING CONTROL SCHEMATIC N.T.S.



DESIGN ENGINEERING  
1211 1/2 ST  
BILLINGS, MT 59102  
(406) 245-1919

Riverside Cemetery:  
Memorial Area  
Electrical

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STEINER THUESEN PLLC

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GOLF COURSE ARCHITECTURE  
IRRIGATION DESIGN  
LANDSCAPE ARCHITECTURE  
1925 GRAND AVE. SUITE 105  
P.O. BOX 22943  
BILLINGS, MT 59104  
406/252-3548 FAX 245-9855

Drawn by: DS  
Date: JUNE 8, 2011  
Checked by: GS  
Date: JUNE 8, 2011  
Rev: -  
Rev: -  
File: -

SHEET E-2



An Acuity Brands Company

SUITABLE FOR WET LOCATIONS IP68  $\nabla$  4M  

# M9720/M9740 SERIES MODULAR IN-GRADE LUMINAIRE DOUBLE LENS

## DESCRIPTION

Hydrel's M9720/M9740 Series modular in-grade lights are multi-purpose units designed for uplighting of architectural and landscape features. These adjustable units can be flushed mounted into a variety of substrates or landscape materials. The M9720/M9740 consists of a factory-sealed, thermally protected lamp module and encapsulated power module. The components are secured inside a heavy-duty polymer rough-in housing designed with channeled convective cooling, an integral junction box, and finish door trim assembly.

These double lens units offer lamp module aiming, featuring Aim-Lock™ adjustment to allow for maintenance and relamping without re-aiming.

## FEATURES & SPECIFICATIONS

**DOOR MATERIAL:** Cast Aluminum, cast bronze, cast aluminum or bronze with stainless perforated trim insert or Stainless Steel. Available in round or square door trim.

**ROUGH-IN SECTION:** Injection molded polymer with integral junction box for thru-branch wiring. The housing is U.V. stabilized, impact and corrosion resistant for use in all types of environments. The rough-in houses the lamp and power module components and top door finishing section.

**LAMP MODULE:** Stainless steel housing, factory-sealed and purged of all moisture for longer component life. The lamp module is suspended below the top door lens in a surface adjustable, 15° tilt mechanism. The insulating air layer helps to reduce surface temperatures. Active optical lenses are also available. Lens is sealed with silicone gasket and stainless steel clamp band assembly with single fastener. Electrical connection to lamp module is done through a submersible quick pull plug connector with gold-plated contacts. Unit is thermally protected. LAMP INCLUDED.

**LAMP TYPE:** **Incandescent:** PAR38 or T4 quartz halogen, 250 W max.  
**Fluorescent:** Compact fluorescent, 42 W max.  
**HID:** Par 38, T6 or E17, 150 W max.

If a specific lamp is desired, specify manufacturer's lamp number, most lamps can be supplied. LAMP INCLUDED.

**VOLTAGES:** See ordering guide.

**LIGHT DISTRIBUTIONS:** See ordering guide.

**FINISHING SECTION:** Double lens design includes door assembly with 360° Aim-Lock™ module support and tilt ring. Module indexing provides easy maintenance and relamping without re-aiming. Door trim locks into position with two stainless steel captive, tamper-resistant fasteners.

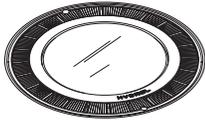
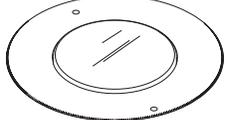
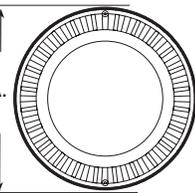
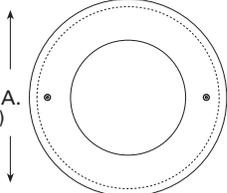
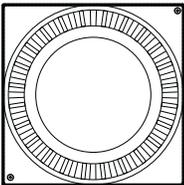
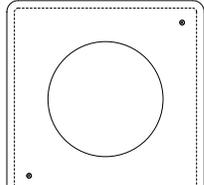
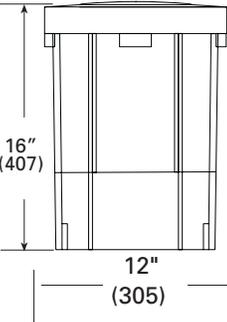
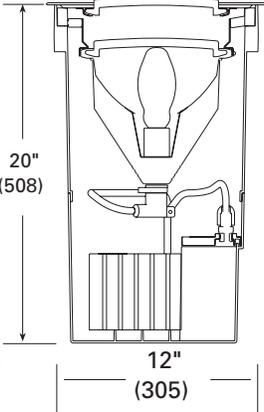
**POWER MODULE:** Ballast is encapsulated in a custom designed heat-dissipating epoxy resin that also eliminates all moisture intrusion to the ballast. Module is provided with submersible rated cord leads for connection to integral junction box and lamp module. Standard ballast is thermally protected, high power factor; fluorescent electronic or HID magnetic.

**CONDUIT ENTRIES:** Two (2) bottom or side entries available. Box suitable for through-branch wiring. Splicing volume is 25 in3 (410 ccm)

**ACCESSORIES:** See ordering guide.

**FINISH:** Finish is natural aluminum or bronze. Stainless steel door is brushed finish. Aluminum doors may be painted. See ordering guide.

**LISTING:** U.L., CE

TYPE		JOB NAME						
PART NUMBER								
Model		Material		Lamp Type		Voltage	Distribution	Lens
Conduit Entry		Accessories		Options		Lamp	Finishes	Listing
								
Bronze or Aluminum Round				13" Stainless Steel Round				
								
12" DIA. (305)		13" DIA. (330)						
12" Bronze or Aluminum Square				13" Stainless Steel Square				
								
12" SQ. (305)		13" SQ. (330)						
								
16" (407)				20" (508)				
12" (305)				12" (305)				
Incandescent Rough-in housing				HID and Fluorescent Rough-in housing				
<p>NOTE: HYDREL RESERVES THE RIGHT TO MODIFY SPECIFICATION WITHOUT NOTICE. Any dimension on this sheet is to be assumed as a reference dimension: "Used for information purposes only. It does not govern manufacturing or inspection requirements." (ANSI Y14.5-1973)</p>								
APPROVALS								

[ABOUT LIGHTECH](#) | [PRODUCTS](#) | [ORDER TRACKING](#) | [TECHNICAL INFORMATION](#) | [CONTACT US](#)

Steplights & Nightlights • SL-8117 & 8118 Series - Square Recessed Step Lights

### SL-8117 & 8118 Series - Square Recessed Step Lights

- Glare free illumination for HID, incandescent and compact fluorescent lamps
- Specification-grade design and construction
- IBEW union made in the USA

#### Specifications

##### Construction:

Heavy duty cast aluminum face

18 ga. electro galvanized steel housing suitable for embedding in concrete

Sealed and gasketed for exterior use

Tempered glass lens, sandblasted on one side

##### Face finishes:

Matte Black powder coat is standard

Optional White, dark bronze or silver powder coat

##### Illumination:

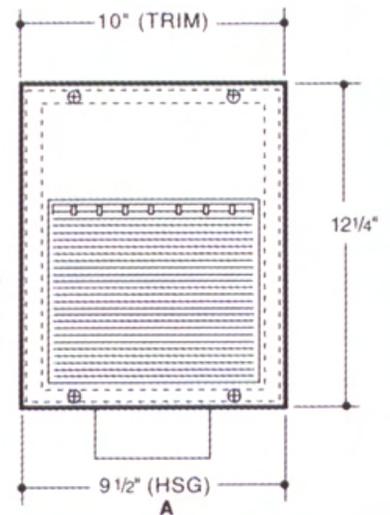
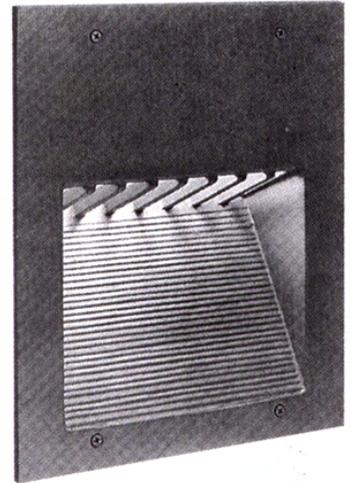
##### SL-8117:

For use of 75-watt medium base incandescent lamp, up to 70-watt medium base ED-17 high pressure sodium lamp, or maximum 100-watt medium base ED-17 metal halide lamp.

SL 8118: Maximum 42-watt compact fluorescent lamp.

##### HOW TO ORDER

Example: SL-8117-50MH-W (An SL-8117 with 50 watt metal halide lamps for concrete pour/wet location with standard matte black face finish)

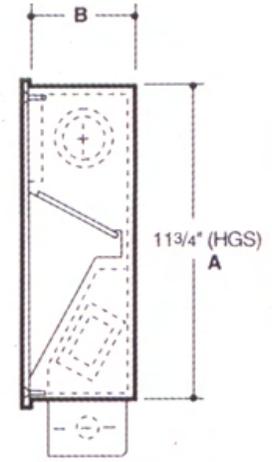


#### Catalog No. Lamp

#### Housing Dimensions

Catalog No.	Lamp	Housing Dimensions	
		A	B
SL-8117-W	One 75-Watt A-19 Incandescent Lamp One 35-Watt High Pressure Sodium Medium	9 1/2" x 11 3/4"	4"

SL-8117-35HPS-W	Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-50HPS-W	One 50-Watt High Pressure Sodium Medium Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-70HPS-W	One 70-Watt High Pressure Sodium Medium Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-50MH-W	One 50-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8117-70MH-W	One 70-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8117-100MH-W	One 100-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8118-PLT18	One 18-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118- PLT32	One 26-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118-PLT32	One 32-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118-PLT42	One 42-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"



\*For wet location or poured concrete use only. All HID units supplied with "J" box as standard equipment. For specifications, please see box below.

**Options:**

**Catalog Suffix:**

277 Volt Ballast  
TAMPER RESISTANT SCREWS

277V  
TP

**ALTERNATE FACE FINISHES:**

Silver White powder coat  
White powder coat  
Dark Bronze powder coat

SPC  
WPC  
DBPC

Add suffix to catalog number.  
For additional specifications, see reverse side.

Please note: Lightech reserves the right to make changes without notice.

More info | Steplights & Nightlights | Custom Signage | Institutional Lighting  
Architectural & Exterior products | Green & LED Products | Un-Catalog | Contact Lightech

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# M9720/M9740 LED ORDERING INFORMATION

## 60 Hz Application

Choose the boldface catalog nomenclature that best suits your needs.

PART NO.

### EXAMPLE:

<b>M9720</b>	<b>SS</b>	<b>22LED</b>	<b>RBL</b>	<b>120</b>	<b>SP</b>	<b>FLC</b>	<b>34B</b>	<b>LSF</b>	<b>LP</b>	<b>BZ</b>	
<b>Model</b>		<b>Lamp Type</b>		<b>Voltage</b>			<b>Conduit Entry</b>		<b>Options</b>	<b>Lamp</b>	
<input type="checkbox"/> M9720 Round <input type="checkbox"/> M9740 Square		<input type="checkbox"/> 22LED		<input type="checkbox"/> 120V <input type="checkbox"/> MVOLT			<input type="checkbox"/> 12B 1/2" NPT bottom <input type="checkbox"/> 12S 1/2" NPT side <input type="checkbox"/> 34B 3/4" NPT bottom <input type="checkbox"/> 34S 3/4" NPT side		<input type="checkbox"/> LDIM <sup>7</sup> 0-10V Dimming	<input type="checkbox"/> LP Lamp included	
	<b>Material</b>		<b>LED Color</b>		<b>Distribution</b>		<b>Accessories</b>				
	<input type="checkbox"/> A Aluminum <input type="checkbox"/> B Bronze <input type="checkbox"/> SS Stainless Steel <input type="checkbox"/> ASP <sup>1</sup> Alum. Stainless Perf. <input type="checkbox"/> BBP <sup>1</sup> Bronze Brass Perf. <input type="checkbox"/> BSP <sup>1</sup> Bronze Stainless Perf.		<input type="checkbox"/> CLW Cool White <input type="checkbox"/> CLWHO Cool White High Output <input type="checkbox"/> WMW Warm White <input type="checkbox"/> AMB Amber <input type="checkbox"/> BLU Blue <input type="checkbox"/> GRN Green <input type="checkbox"/> RED Red <input type="checkbox"/> RBL Royal Blue		<input type="checkbox"/> SP Spot <input type="checkbox"/> MFL Medium Flood <input type="checkbox"/> WFL Wide Flood <input type="checkbox"/> LSD Linear Spread		<b>Internal</b> <sup>3</sup> <input type="checkbox"/> IHL Honeycomb Louver <input type="checkbox"/> LSF Linear Spread Filter <b>External</b> <sup>3,4</sup> <input type="checkbox"/> GS Glare Shield <input type="checkbox"/> LC Lexan Cover <input type="checkbox"/> LS Light Shield <input type="checkbox"/> RG <sup>5</sup> Rock Guard <b>Trim Ring</b> <sup>5,6</sup> <input type="checkbox"/> BTR Brass Round <input type="checkbox"/> BTS Brass Square <input type="checkbox"/> STR Stainless Round <input type="checkbox"/> STS Stainless Square				<b>Finish</b> <sup>6</sup> <input type="checkbox"/> BL Black <input type="checkbox"/> BZ Bronze <input type="checkbox"/> DDB Dark Bronze <input type="checkbox"/> DNA Natural Alum. <input type="checkbox"/> GN Green <input type="checkbox"/> GR Gray <input type="checkbox"/> SND Sand <input type="checkbox"/> STG Steel Gray <input type="checkbox"/> TVG Terra Verde Green <input type="checkbox"/> WH White <input type="checkbox"/> CF Custom Finish
					<b>Lens</b> <sup>2</sup>						
					<input type="checkbox"/> FLC Flat Lens Clear <input type="checkbox"/> FLC10 Flat Lens Clear, 10° tilt <input type="checkbox"/> FLC20 Flat Lens Clear, 20° tilt <input type="checkbox"/> FLF Flat Lens Frosted <input type="checkbox"/> FLCAS Flat Lens Clear, Anti-Slip <input type="checkbox"/> CLC Convex Lens, Clear <input type="checkbox"/> CLF Convex Lens, Frosted						

### Notes:

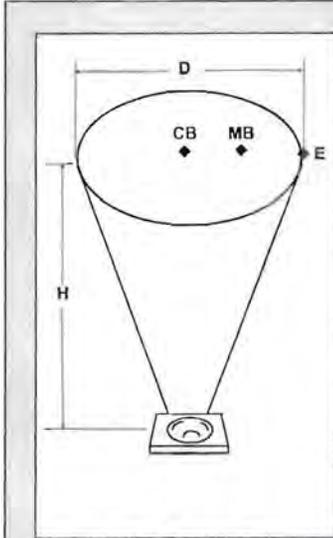
- <sup>1</sup> Not Available with M9430 square model.
- <sup>2</sup> Specify top lens. Bottom lens is FLC standard.
- <sup>3</sup> Accessories are mutually exclusive, choose one only.
- <sup>4</sup> Not available with CLC or CLF convex lens.
- <sup>5</sup> Accessory not available with SS door material.
- <sup>6</sup> Door material finish is natural cast aluminum (A) or cast bronze (B) unless specified. Stainless steel (SS) door available with brushed finish standard.
- <sup>7</sup> Dimming available with 120 V only.

M9700 Series Assembly MRIS97 Rough-in Housing consists of the following MFS97 Finishing Section individual component MACS Lamp Module parts: MHSL97 Power Module

## PHOTOMETRIC DATA SHEET

### HID

#### 9000 SERIES NON-REFLECTORIZED LAMPS - SPOT



BEAM PROFILE

#### CHART LEGEND

- H = Distance from fixture in feet
- D = Beam Diameter in feet
- CB = Footcandles at Center Beam
- E = Footcandles at Beam Edge
- MB = Footcandles at point equidistant from Beam Edge and Beam Center
- = Note increased height

#### 70W MH E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	59	-	37
60	10.4	14.8	-	3.9
90	15.6	6.5	-	2.7

#### 100W MH E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	92	-	37
60	10.4	23	-	4.2
90	15.6	10.1	-	4.1

#### 150W MH E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	134.5	-	54.1
60	10.4	33.6	-	13.5
90	15.6	14.8	-	6.1

#### 175W MH E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	164	-	66
60	10.4	41	-	16.5
90	15.6	18	-	7.4

#### 70W HPS E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	46	-	22.3
60	10.4	11.5	-	5.5
90	15.6	8	-	2.5

#### 100W HPS E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	75.5	-	36.6
60	10.4	18.9	-	9.1
90	15.6	8.4	-	4.0

#### 150W HPS E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	128	-	62
60	10.4	32	-	15.4
90	15.6	14.3	-	6.8

#### 100W MV E-23

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	55.5	-	13.2
60	10.4	13.8	-	3.3
90	15.6	6.2	-	1.5

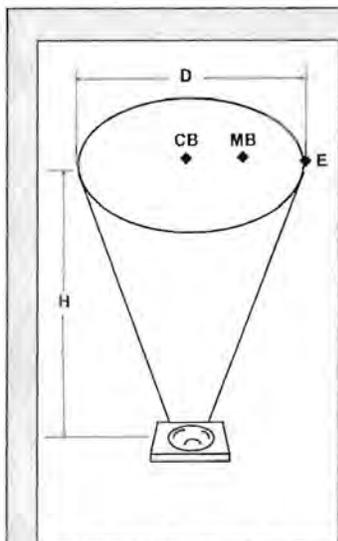
#### 50W MH E-17

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	5.2	34.4	-	13.8
60	10.4	8.6	-	3.4
90	15.6	3.7	-	1.5

## PHOTOMETRIC DATA SHEET

### HID

#### 9000 SERIES NON-REFLECTORIZED LAMPS - NARROW FLOOD (NFL)



BEAM PROFILE

#### CHART LEGEND

- H = Distance from fixture in feet
- D = Beam Diameter in feet
- CB = Footcandles at Center Beam
- E = Footcandles at Beam Edge
- MB = Footcandles at point equidistant from Beam Edge and Beam Center
- = Note increased height

#### 70W MH E-17 (70M)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	23	11.9	3.8
60	32.4	5	3	.9
90	48.6	2.5	1.3	.4

#### 100W MH E-17 (100M)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	34	18.5	5.9
60	32.4	7.8	4.6	1.5
90	48.6	3.9	2.1	.6

#### 150W MH E-17 (150M)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	50	27	8.6
60	32.4	11.5	6.8	2.1
90	48.6	5.7	3.0	.9

#### 175W MH E-17 (175M)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	61	33	10.5
60	32.4	14	8.3	2.6
90	48.6	7	3.7	1.1

#### 70W HPS E-17 (70S)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	31	10.8	3.8
60	32.4	7.9	2.9	1.0
90	48.6	3.6	1.4	.4

#### 100W HPS E-17 (100S)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	51	17.7	6.2
60	32.4	13	6.8	1.5
90	48.6	6	2.2	.7

#### 150W HPS E-17 (150S)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	86	30	10.5
60	32.4	22	11.5	2.5
90	48.6	10	3.7	1.2

#### 100W MV A-23 (100H)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	33.3	7.8	2.2
60	32.4	8.3	2	.6
90	50.4	3.7	.8	.3

#### 50W MH E-17 (50M)

H, Ft	D, Ft	CB, fc	MB, fc	E, fc
30	16.2	12.8	6.9	2.2
60	32.4	2.9	1.8	.5
90	48.6	1.4	.8	.2

HYDREL is a registered trademark of Lithonia Lighting

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	THE DUDE RANCHERS' EDUCATIONAL TRUST SIGNS, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW SGN 2012-27	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

The Dude Ranchers' Educational Trust at 1122 12<sup>th</sup> Street would like to remove the existing wall and projecting signs that are above the awning and install two attached wall signs. Approximately 26.5 square feet of wall sign is proposed on the front of the building, above the existing awning (see attached photo rendering). A second wall sign is proposed to be attached to the side of the building, which is next to an alley. Sign details, including colors, dimensions, and locations are shown on the attached materials.

**REVIEW CRITERIA:**

The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

**STAFF COMMENTS:**

The sign proposed on the front of the building meets the sign type, location and size requirements for the downtown architectural zone in which the property is located.

The sign regulations for the downtown architectural zone contains the following language about the maximum number of signs: **"1 per face of storefront, 1 per street frontage, not to exceed 2 signs per establishment max."** There is only one storefront and "street" does not appear to include alleys, as the definition of "street" is "a thoroughfare which affords a principal means of access to abutting property", and "alley" is defined as "a public way which affords only a secondary means of access to abutting property". As the store only has one street frontage and storefront, the second sign is not permitted. The Board and applicant may wish to discuss whether application for a special exception may be an option for permitting the second sign, as sign standards are eligible to be considered for modification through that process.



*Existing*



*Proposed*



*Alley view*

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. Neither sign appears to significantly affect the architectural or historic character of the building.

**ATTACHMENTS:**

Application.

**RECOMMENDED ACTION:**

Approve the sign on the front of the building, with or without making recommendations and suggestions, and give direction to the applicant whether application for a special exemption to allow the second sign is a reasonable alternative.



**PLANNING DEPARTMENT  
SIGN PLAN REVIEW APPLICATION  
Title 10 Chapter 15 of the Municipal Code**

STAFF USE	
File:	_____
P&Z Invoice:	_____
Approved:	_____
Date:	_____

Applicant's Name: Colleen Hodson Business Name: The Dude Ranchers' Educational Trust  
 Applicant's Address: PO Box 2307 City: Cody State: WY Zip: 82414  
 Phone: 307-587-2339 Cell: 307-250-1891 Fax: 307-587-2776 Email: info@duderanch.org  
 Property Owner's Name: The Dude Ranchers' Educational Trust  
 Property Owner's Address: PO Box 2307 City: Cody State: Wy Zip: 82414  
 Project Address: 1122 12th Street Legal Description: 11-0500-01-0-29-1701 O.T. Lot 17 Blk 29 Zone: D-2  
 Total current area of Signage in Square Feet: 21 Proposed Area of Signage in Square Feet: 34  
 Overall Area of Signage in Square Feet: 34 Licensed Contractor or Sign Installer: Chuck's Signs

- Type of Sign:  Attached Wall  Freestanding  Marquee  Projecting  Awning  
 Suspended  Banner  Inflatable  Flag  Monument  
 Bulletin  Real Estate  Joint Directory  Billboard  A-Frame  
 Temporary  Other - \_\_\_\_\_

Location:  On-Premise  Off-Premise

Description of Proposal: Remove all existing signs from exterior of the building.  
Place new large sign (as shown on design) on front of building above the existing awning. Place smaller of two signs on corner of the alley side of the building.

Please see photos of building with proposed sign locations. Signs to be made out of coated aluminum and attached directly to the brick building using concrete screws.

Signature of Property Owner: *Colleen Hodson* 6-14-2012  
 Signature Date

**Please Select the Appropriate Sign Type:**

- Off Premise, Temporary A-Frame Sign Plans: No Fee  
 Flush, Wall Mount without Electricity Sign Plans: \$25.00  
 Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans: \$50.00

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

**MATERIAL REQUIRED FOR SUBMITTAL & REVIEW**

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.  
**\*\*\*In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.**
- A site plan which identifies:
  - The location of all exterior signs existing or proposed for the premise.
  - Building elevations with signs depicted.
  - Sign Elevations must indicate overall and letter/figure dimensions
  - Colors, materials and illumination for each sign
- Letter(s) of authorization from the property owner(s) if applicable.

**Please provide additional information pertaining to specific sign type as requested on the back of this form.**

Dude Ranchers'



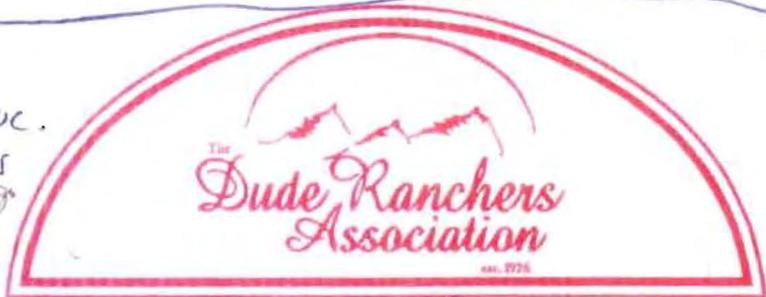
Western Museum

45 1/3"

36"

35 1/8"

30"



Western Museum

45 1/3"

17"

9 1/8"

8"

All signs w/ Dude Ranchers Assoc. Logo white w/ burgundy  
All other signs beige w/ burgundy



Signs to be constructed out of colored ~~board~~ aluminum and bolted directly to the building using concrete screws



**Dude  
Ranchers'**



**Western  
Museum**



1900 THE D... TION 1900

Dude  
Ranchers'



Western  
Museum

DUDE  
RANCHERS'  
ASSOCIATION

HERITAGE &  
EDUCATION  
CENTER

1122 12th

WELCOME

DUDE  
RANCHERS'  
ASSOCIATION

HERITAGE &  
EDUCATION  
CENTER

EAST  
GALLERY  
NOW  
OPENING



**Western Museum**



**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	NATIVE IMAGES SIGN, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW SGN 2012-29	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	JOLENE OSBORNE, ENGINEERING ADMINISTRATIVE ASSISTANT	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Native Images at 1262 Sheridan Avenue would like to install an attached wall sign above the existing awning. The **proposed sign is approximately 30" by 10'**. The awning has been recovered.

**REVIEW CRITERIA:**

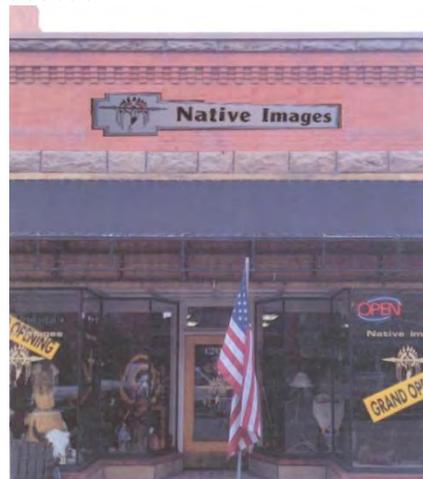
The building is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

**STAFF COMMENTS:**

The type, location and size of the proposed sign meet the requirements for the downtown architectural zone in which the property is located.



*Existing*



*Proposed*

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The sign does not appear to significantly affect the architectural or historic character of the building.

**ATTACHMENTS:**

Application.

**ALTERNATIVES:**

Approve the sign, with or without making recommendations and suggestions.



**PLANNING DEPARTMENT  
SIGN PLAN REVIEW APPLICATION  
Title 10 Chapter 15 of the Municipal Code**

STAFF USE	
File:	<u>SGN12-29</u>
P&Z Invoice:	<u>737-2</u>
Approved:	_____
Date:	_____

Applicant's Name: Jill Pratt Business Name: NATIVE Images  
 Applicant's Address: 1262 Sheridan AVE City: Cody State: WY Zip: 82414  
 Phone: 3075788691 Cell: 3075787160 Fax: \_\_\_\_\_ Email: NATIVEImagesCody@gmail.com  
 Property Owner's Name: Margaret C Neville sidpratt@hotmail.com  
 Property Owner's Address: 1262 Sheridan City: Cody State: WY Zip: 82414  
 Project Address: 1262 Sheridan Legal Description: \_\_\_\_\_ Zone: \_\_\_\_\_

Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 25ft<sup>2</sup>  
 Overall Area of Signage in Square Feet: 25ft<sup>2</sup> Licensed Contractor or Sign Installer: Chuck's Signs

- Type of Sign:  Attached Wall  Freestanding  Marquee  Projecting  Awning  
 Suspended  Banner  Inflatable  Flag  Monument  
 Bulletin  Real Estate  Joint Directory  Billboard  A-Frame  
 Temporary  Other - \_\_\_\_\_

Location:  On-Premise  Off-Premise  
 Description of Proposal: hang sign on front of building

Signature of Property Owner: Margaret C Neville Signature 6/14/2012 Date

**Please Select the Appropriate Sign Type:**

- |   |         |
|---|---------|
| <input type="checkbox"/> Off Premise, Temporary A-Frame Sign Plans:                                     | No Fee  |
| <input checked="" type="checkbox"/> Flush, Wall Mount without Electricity Sign Plans:                   | \$25.00 |
| <input type="checkbox"/> Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans: | \$50.00 |

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

**MATERIAL REQUIRED FOR SUBMITTAL & REVIEW**

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.  
**\*\*\*In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.**
- A site plan which identifies:
  - The location of all exterior signs existing or proposed for the premise.
  - Building elevations with signs depicted.
  - Sign Elevations must indicate overall and letter/figure dimensions
  - Colors, materials and illumination for each sign
- Letter(s) of authorization from the property owner(s) if applicable.

**Please provide additional information pertaining to specific sign type as requested on the back of this form.**

①

 **Native Images**

**GRAND OPENING**



**OPEN**

Native Images

**GRAND OPENING**



A sign for "Native Images" mounted on a brick wall. The sign is rectangular with a decorative border and features a central logo of a sun with rays and a figure. The text "Native Images" is written in a bold, black, sans-serif font.

**Native Images**





Fasten 2x4 redwood bracing to brick building using 3 inch Tapcon screws. Once 2x4 is fastened to brick building, 2 1/2 inch wood screws will be used to fasten "Native Images" sign to bracing.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 26, 2012	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	PRELIMINARY SITE PLAN REVIEW: WYOMING HOME AND RANCH RETAIL FACILITY. SPR 2012-27	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	X

**PROJECT DESCRIPTION:**

Patrick Shellady has submitted a site plan application for development of a retail store at 2819 Big Horn Avenue, in the G.W. Minor subdivision that was just completed. Development of the building is planned in two phases, with 13,816 square feet of building and 5,635 square feet of outdoor retail/garden area in the first phase, and 7,410 square feet of building in the second phase.

**REQUEST FOR BOARD DIRECTION:**

There are a number of items that still need to be worked out before the site plan is ready for final approval. However, staff thought that direction from the Board would be appropriate at this time, so that only one round of revisions is needed. Landscaping, parking ratios and improvements, and alley construction are specifically included in the list of discussion topics.

A letter to the applicant with City staff comments has been prepared and is attached. If there are other items in the letter the Board or applicant wishes to discuss, feel free to do so. As of the time of this report, we have not been able to discuss the letter with the applicant.

**ATTACHMENTS:**

Site Plans.  
Review letter.

June 22, 2012

Patrick Shellady  
4584 Powell Hwy  
Cody, WY 82414



RE: Site Plan Review, Application for Wyoming Home & Ranch

Dear Mr. Shellady:

Thank you for submitting your application and site plan for the Wyoming Home & Ranch retail facility. We recognize that this is a large investment, and that is why we need to be sure that it is done right, in accordance with applicable codes. A summary of the comments from the City's review is included below—some comments are requirements and some are suggestions. Many of the comments will need to be addressed before the Planning and Zoning Board can approve the site plan. However, I am scheduling the matter to be discussed with the Board at the June 26 meeting to specifically discuss the topics of landscaping, lighting, phasing of improvements, and anything else you believe needs to be covered prior to preparation of the final plans. While I think everything has been covered, there are a few staff members that still need to look at the plans. The letter is provided at this time, so that it can be available to the Planning and Zoning Board in their meeting packet.

1. The drainage plan indicates that the paving of the parking area may not occur initially. If phasing of any improvements is intended, the phasing needs to be explained/shown. At a minimum, the ADA spaces and pathways must be hard surfaced.
2. If the 1 space per 400 square foot ratio is to be used for parking, that standard is based on not just the building, but also all display areas next to the building—meaning Phase I would require 51 spaces, and a total of 70 spaces would be needed at build out (based on covered awning area used for display area). If you wish to use other justification for the number of required parking spaces, you have that option. The phasing of the parking areas needs to be shown, based on current estimates. However I am going to recommend that the Planning and Zoning Board also review the sufficiency of the parking at the time of Phase 2.
3. If the parking area will be only gravel, are there any plans to delineate the parking spaces? Also, the pavement construction details need to be included for when the parking will be paved.
4. Label the parking stalls and aisles with the dimensions. Also, there are parking spaces shown in front of the loading door in Phase 2—modify as needed.
5. If customers will be taking pipes, lumber, or other large items out the front door, it makes sense to provide an unobstructed walkway, rather than having them squeeze between parked cars.
6. Related to whether the covered awning area or the area between the parking stalls and awning is used for the actual sidewalk, is the location of the flower barrels—they cannot impede the pedestrian/ADA pathway to the entrance, which must have a 4-foot wide, straight path. Also, wheel stops will be needed to separate the parking spots from the

**City of Cody**  
1338 Rumsey Avenue, PO Box 2200  
Cody, WY 82414  
Phone 307.527.7511 Fax 307.527.6532

- sidewalk area—allowing for vehicle overhang outside of the minimum 4-foot pedestrian path. Please explain the use of these areas.
7. The propane tank location appears to restrict the parking aisle width for the future parking spaces that apparently will be needed. Be sure the location is coordinated with what also works for the parking layout. Also, details are needed on the barriers around the propane tank - height, depth, color, etc.
  8. The gate is only 30' into the property. A pickup and trailer could easily be 36 feet long. We would recommend that the gate be shifted a few feet further from the street.
  9. While the plans indicate that there are two, 18' sliding metal gates at the entrance, there is no indication as to the height of the gates, swing/roll path, or the fencing. Please provide details.
  10. It is likely that some large trailer vehicles would use this site. The engineer will need to show turn radii on the plan set that demonstrates how large vehicles with trailers can maneuver within the site.
  11. The ADA parking spaces are appropriately noted on the asphalt, but there needs to be ADA signage in front of the spaces as well. The required parking signs should be noted on the plan.
  12. You may wish to consider a visual barrier between the storm water swales and the parking area, to help prevent vehicles from inadvertently driving into the swale during times of poor visibility or inattention (snow covered ground, etc.).
  13. The water plans indicate a 4" extension going directly into the building for the domestic service and for the fire line. Please show an exterior tap on the 4" line with a curb stop for the domestic service. It is identified on the profile, but it is not clear that the curb stop and tap is exterior to the building. In the event of non-payment the City needs a way to curb the domestic use of water to the bldg without impacting the fire protection. Also, the plan and profile should indicate to what standards the water line will be built and should include the City details sheet.
  14. Have your engineer provide details on the size and slope of the proposed sewer line. Service laterals must be 1/4" per foot slope, and it needs to be confirmed that that it is possible with the new connection.
  15. The drainage plan calls for substantial percolation, which is fine for today. As the parking lot is sanded and utilized, percolation rates will likely decrease and storage volumes will decrease. Please identify how the drainage facilities should be maintained.
  16. The footings for the freestanding sign appear undersized. This likely only slightly affects the sign location, as the footings will need to remain outside the utility easement. Also, the sign and footings are shown to be within the storm water swale—is this correct?
  17. Sheet C1 refers to gutters, yet we did not see any on the plans. At a minimum you may want gutters above the loading door in Phase II. If the official sidewalk is outside of the covered awning area you may want to consider gutters and/or snow retention stops to prevent water/snow/ice from falling onto the sidewalk.
  18. In accordance with the language of the City master plan, the landscaping is inadequate. We will seek direction from the Planning and Zoning Board on this. Phasing some of the landscaping may be an option.
  19. What is your intended timing for Phase 2? Please note it in the application.

**City of Cody**

1338 Rumsey Avenue, PO Box 2200  
Cody, WY 82414  
Phone 307.527.7511 Fax 307.527.6532

20. Garbage collection and deliveries to the facility need to be discussed. Based on the current layout, you are looking at installation of a 20-foot wide alley/road to serve the facility. The alley would extend from "C" Street and include a turnaround area just east of the dumpster location. Coordinate the location within the City property with Public works, and show it on the plans. Also, show an access gate through the fence to the dumpsters.
21. The electrical division is researching their easements for the power line from which this building will be served. If there is not a sufficient easement to maintain the power line, they may require a 15-foot wide easement along the west side of the property for this purpose.
22. Provide the photometric cut sheets for the exterior light fixtures. We also need to know the specific lighting fixtures and bulbs to be used (wattage, light throw, lumens, etc.).
23. The electrical division provided some comments on construction of the electrical service, which are attached for your information.
24. The payment of utility fees will be required at the time of building permit application. We will have the estimated costs available shortly.
25. There needs to be an additional cleanout on the sewer line extension. By code a cleanout is required every 75'.

Feel free to contact the Community Development Office with any questions.

Sincerely,  
CITY OF CODY

Todd Stowell, AICP  
City Planner



**PLANNING, ZONING AND ADJUSTMENT BOARD  
COMMERCIAL SITE DEVELOPMENT APPLICATION  
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE  
File: 588 12-27  
P&Z Invoice: 740-1

Applicant's Name: Patrick R. Shellady Business Name: Wyoming Home & Ranch  
 Applicant's Address: 4584 Powell Hwy City: Cody State: WY Zip: 82414  
 Phone: 307-587-5277 Cell: 307-250-1728 Fax: 678-690-1840 Email: mountainview82414@yahoo.com  
 Property Owner's Name: WH&R, LLC  
 Property Owner's Address: 4584 Powell Hwy City: Cody State: WY Zip: 82414  
 Project Address: 2819 Big Horn Ave - Cody, WY 82414 Zone: D3  
 Legal Description: Lot 1 - G.W. Minor Subdivision  
 Description of Proposal and Proposed Use of Project: Construct steel building to be utilized as a Farm & Ranch retail operation. There will also be an outdoor lawn & garden center

Estimated Construction Start Date: 8-1-2012  
 Representative Attending P&Z Meeting: Pat Shellady (Owner), Sage Civil Engineering, Precision Plan & Design

Signature of Property Owner: *Patrick R. Shellady* 6-12-2012  
Signature Date

The Planning, Zoning and Adjustment Board meets the 2<sup>nd</sup> and 4<sup>th</sup> Tuesday at 12:00 noon at the City Hall Council Chamber.

**Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM. Please see submittal Date and Fee schedule included in this document.**

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

**1. Please include all of the following Architectural components:**

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

RECEIVED  
JUN 12 2012

**2. Please include all of the following Utility components:**

- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service** installations. On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.

CITY OF CODY

- Please complete the included Electrical Division Review Comments Form
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

**3. Please include all of the following Landscape components:**

- Provide a landscape plan to include location of landscape, type and size of plant or rock materials, type of mulch and irrigation layout.
- Provide a Landscape Bond Agreement (see page 7 of this application). *Landscape estimate and bond are due after P&Z approval.*

**4. Please include the attached Sign Plan Application**

- Sign Plan Application and associated documentation (No additional fee required when submitted with Landscape, Architectural and Sign Plan Application.)

**5. Provide application fee upon submittal to City of Cody.** Applicants are encouraged to arrange a pre-submittal meeting with the Planning Department to ensure a complete submittal. Re-submittal of any application will result in additional fees.

- Landscape, Architecture and Sign Plan \$100.00
- Minor Commercial Review (windows, doors, awnings, building access or exterior finish) \$50.00
- Site Plan Review Square Footage: 22,320 \$0.05 per building square footage, \$250.00 minimum



PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION

STAFF USE
File:
P&Z Invoice:
Approved:
Date:

Applicant's Name: Patrick R. Shellady Business Name: Wyoming Home & Ranch
Applicant's Address: 4584 Powell Hwy City: Cody State: WY Zip: 82414
Phone: 307-587-5277 Cell: 307-250-1728 Fax: 678-690-1840 Email: mountainview82414@yahoo.com

Property Owner's Name: WH&R, LLC
Property Owner's Address: 4584 Powell Hwy City: Cody State: WY Zip: 82414
Project Address: 2819 Big Horn Ave Cody WY Legal Description: Lot 1 - G.W. Minor Subdivision Zone: D3

Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 495.25
Overall Area of Signage in Square Feet: 495.25 Licensed Contractor or Sign Installer: Chuck's Signs

- Type of Sign: Attached Wall, Freestanding, Marquee, Projecting, Awning, Suspended, Banner, Inflatable, Flag, Monument, Bulletin, Real Estate, Joint Directory, Billboard, Other -Please describe

Description of Proposal: Wall signs to be illuminated, Freestanding sign to be illuminated and have reader board (see plans)

Signature of Property Owner: Patrick R. Shellady Signature Date: 6-12-2012

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
\*\*\*In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.
A site plan which identifies:
- The location of all exterior signs existing or proposed for the premise.
- Building elevations with signs depicted.
- Sign Elevations must indicate overall and letter/figure dimensions
- Colors, materials and illumination for each sign
Letter of authorization from the property owner if applicable.
Billboard applications must also include:
- Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
- Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.
Inflatable applications must also include:
- Design and construction details to demonstrate compliance with City wind load requirements
- How the electricity will be supplied to the inflatable
- Demonstrate that the anchoring mechanisms will not present a danger to the public
- Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
- Altitude Total Aggregated Square Footage

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code.

- Sign Plan submitted with Landscape, Architectural & Sign Plan Application No Additional Fee
Sign Plans (flush, wall mount w/out electricity): \$25.00
Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

City of Cody Electrical Division Review Comments

Revised August 2011



Date: 6-12-2012  
Project Name: Wyoming Home & Ranch  
Project Address: 2819 Big Horn Ave - Cody WY 82414  
Developer/Contractor: Pat Shellady

**Distribution System Information Section:** The following information allows the City to determine whether system modifications will be necessary to accommodate the project's electrical service requirements. (This information must be provided to the City Electrical Engineer prior to estimating the distribution system cost.)

Project Electrical Service Requirements:

- 1) Three Phase Yes  No
- 2) Voltage Needed
  - a. 240/120 Volt Single Phase Yes  No
  - b. 208Y/120 Volt Three Phase Yes  No
  - c. 480Y/277 Volt Three Phase Yes  No
- 3) Service Size (check one)
  - a. 200 amp
  - b. 400 amp
  - c. 600 amp
  - d. 800 amp
  - e. 1200 amp
  - f. Other  amp
- 4) Expected size and number of secondary service lateral conductors needed to supply project.
  - a. Conductors per phase 1 Total conductors 3
  - b. Size of Conductors 350 MCM
  - c. Conductor material Aluminum  Copper
- 5) A copy of the project site plan showing existing electrical lines and equipment on and adjacent to the project site.

**Developer Instructions/Comments:**

- 1) The developer shall provide and install electrical grade PVC schedule 40 conduit per the plans and specifications once the final plat is reviewed.
  - a. Invoices shall be provided to the City Electrical Engineer for all conduit and electrical material purchased for this project by the developer or contractor.
  - b. Any changes in the design of the electrical distribution system shall be discussed with and approved by the City of Cody Electrical Engineer.
- 2) All primary conduits (distribution voltage conduit) shall be installed at a depth of 48" and backfilled per City specifications as follows:
  - a. All primary conduits shall be schedule 40 electrical grade PVC, \_\_\_\_\_ inches in diameter.
  - b. A pull string is not required in 4" or larger primary conduit.
  - c. All conduit sweeps shall be 36" radius schedule 40 electrical grade PVC unless otherwise specified in the plan.
- 3) All secondary (service voltage) conduits shall be installed at a depth of 24" and backfilled per City specifications.
  - a. All secondary conduits shall be 3" schedule 40 electrical grade PVC.
  - b. A pull string is not required in 3" secondary conduit.
  - c. All conduit sweeps shall be 36" radius schedule 40 electrical grade PVC.
- 4) If a new commercial three phase service requires 12 or more conductors from the transformer to the service equipment (more than 3 per phase), then the developer shall provide a secondary connection cabinet. The City would then provide cables from the transformer to the secondary connection cabinet.
- 5) All streetlight conduits shall be installed at a depth of no less than 24" and backfilled per City specifications.
  - a. All streetlight conduits shall be 1-1/2" schedule 40 electrical grade PVC. A pull string shall be installed in the streetlight conduit run by the contractor.

# WYOMING HOME & RANCH

Bighorn Avenue  
Cody, Wyoming 82414



COVER PAGE PERSPECTIVE IS FOR PRESENTATION ONLY. PLEASE REFER TO ELEVATION PAGES FOR ALL EXTERIOR DETAIL.

## CODE CONSIDERATIONS

WYOMING HOME & RANCH (CODE CHECK INCLUDES PHASE 2) ZONE D-3

CODE USED:  
INTERNATIONAL BUILDING CODE 2006 (IBC)

OCCUPANCY CLASSIFICATION:  
MIXED USE - NON-SEPARATED, (508.3.2) M AND S, (B - ACCESSORY)

BUILDING CONSTRUCTION TYPE:  
VB

ALLOWABLE HEIGHT AND AREA:  
M, 9000 (1 STORY), S1, 9000 (1 STORY) 40'

ACTUAL STORIES:  
1 PLUS MEZZANINE B (505)

ACTUAL SQUARE FOOTAGE:  
INSIDE - M 18,000  
S 3,160  
B (MEZZ.) NOT COUNTED IN SF. 418

TOTAL INTERIOR = 21,160

COVERED EXTERIOR - M 2,178  
S 1,170

TOTAL EXTERIOR = 3,348

OCCUPANT LOAD:  
18,000 / 30 = 600  
3,160 / 300 = 11  
418 / 100 = 5  
INSIDE = 616  
21,78 / 30 = 73  
1170 / 300 = 4  
OUTSIDE = 77  
TOTAL BUILDING: = 693

SPRINKLER SYSTEM?:  
YES, REQUIRED FOR AREA MODIFICATION (506) AND FIRE AREA SIZE (903.2.6)

ALLOWABLE AREA:  
{9000 + [9000 x .21] + [9000 x 3]} = 37,890 SF.  
ACTUAL = 21,160 SF.

EGRESS WIDTH:  
(TABLE 1005.1) .15 x 616 = 92.4" = 3 DOORS, 4 PROVIDED

TRAVEL DISTANCE:  
250' MAX ALLOWABLE, ACTUAL < 100'

PLUMBING:  
(TABLE 2902.1) 2 FIXTURES REQUIRED, 2 / SEX PROVIDED, 1 LAV PER 2  
FIXTURES, SO OK. 1 DRINKING FOUNTAIN, 1 UTILITY SINK, REQUIRED AND PROVIDED.

### IMPORTANT:

BUILDER VERIFY ALL DIMENSIONS.  
ALL DRAWINGS SUBJECT TO CHANGE PER ARCHITECT.  
ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.

### EXTERIOR COLORS

WALLS:  
VERTICAL METAL LIGHT STONE  
CORRUGATED RUSTED METAL

WINDOWS:  
COMMERCIAL DARK BRONZE

DOORS:  
COMMERCIAL DARK BRONZE/ O.H. DOORS TAN

TRIM / FACIA:  
METAL BRICK RED

GUTTERS:  
METAL BRICK RED

METAL ROOF:  
STANDING SEAM, PORCH ROOF BRICK RED / MAIN ROOF GALVALUME

STONE:  
DRystack PANEL - GOLDEN HARVEST

### INDEX TO DRAWINGS:

C1 - CODE CONSIDERATIONS  
A1.0 - FLOOR PLAN  
A1.1 - ENLARGED FLOOR PLAN  
A2.0 - ELEVATIONS  
A3.0 - INTERIOR ELEVATIONS  
A3.1 - SCHEDULES  
A4.0 - SIGN DETAILS  
S1.0 - FOUNDATION  
S1.1 - DETAILS  
S2.0 - ROOF FRAMING

COVER SHEET

Wyoming Home & Ranch

P.O. Box 631  
Cody Wyoming 82414  
mountainviews2414@yahoo.com 307-250-1728  
Pat Shellady

General Contractor:

Address:  
Phone:

SUSAN HOVDE - Architect

P.O. Box 1514  
Red Lodge MT, 59068  
(406) 446-3160



Precision Plan and Design Inc.

Custom Plan Service  
930 12th Street  
Cody Wy, 82414  
(307) 587-6227  
Project # 831

DATE: Revision (8)

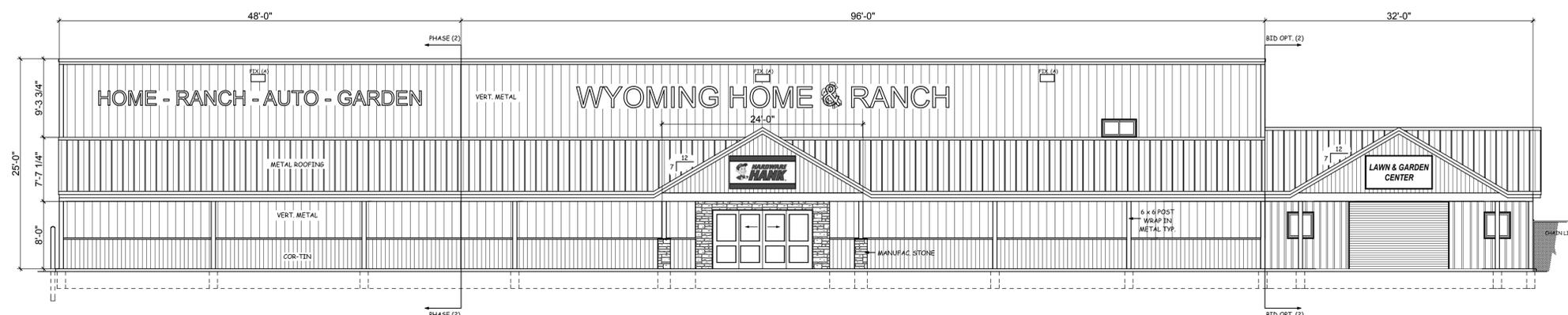
June 11, 2012

#	CHANGE ORDER	DATE

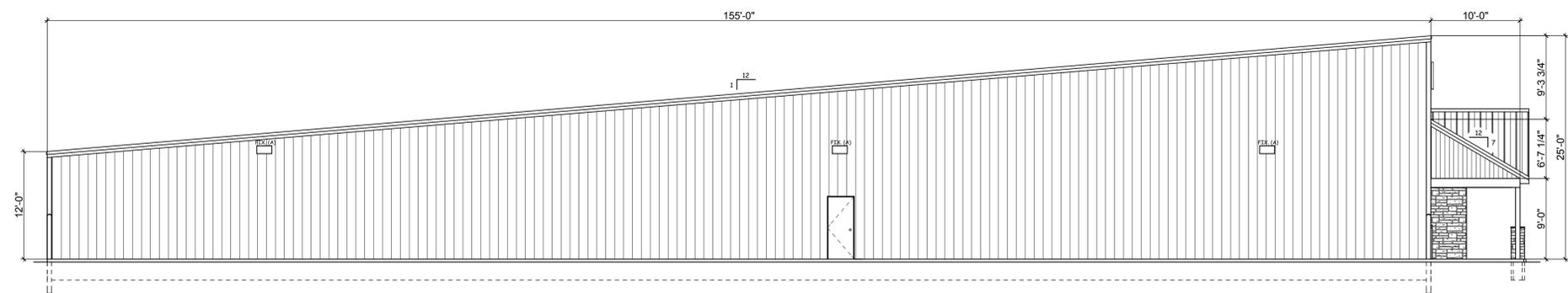
C1

SHEET #  
1 OF

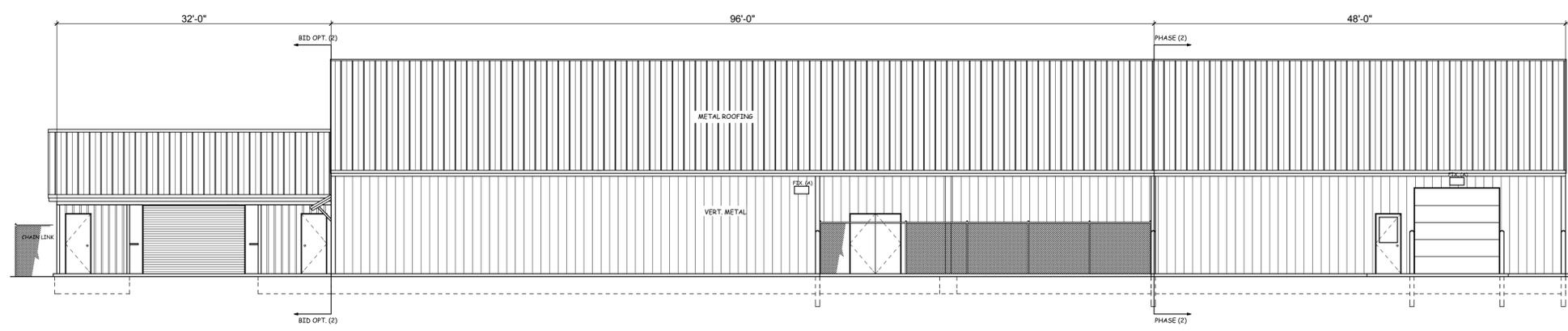




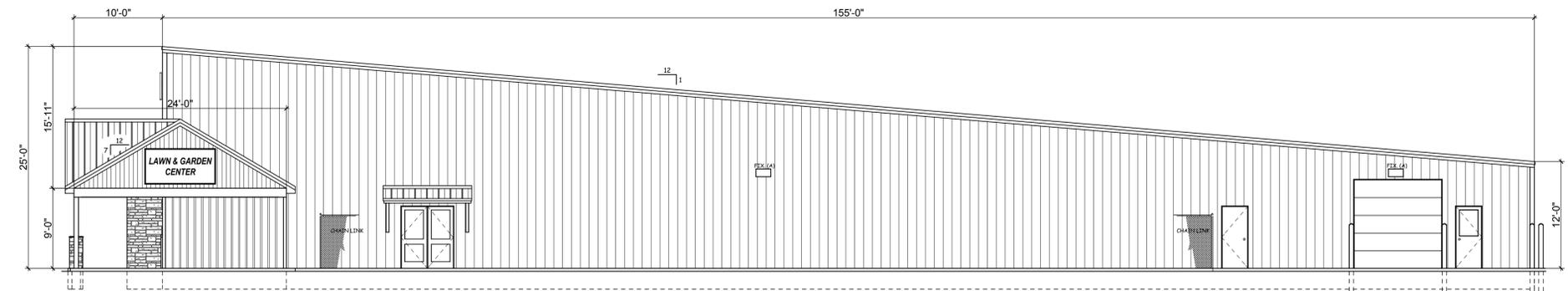
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



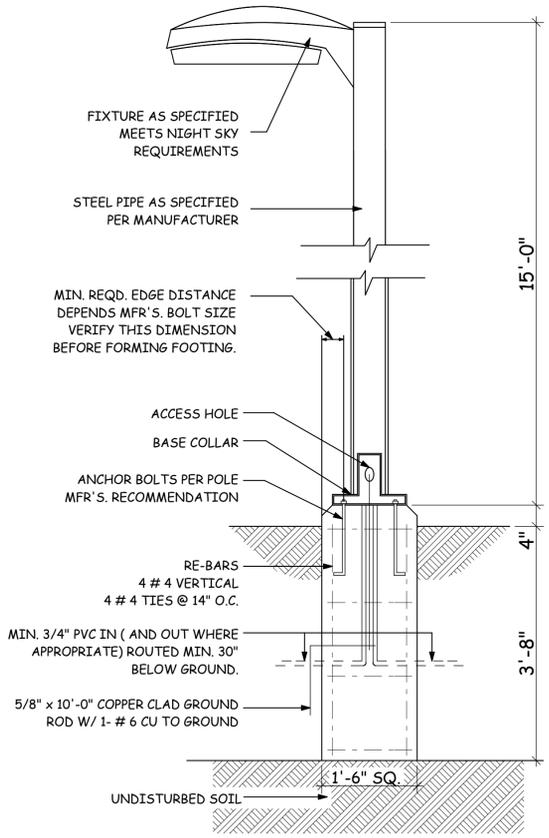
**WEST ELEVATION**  
SCALE 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE 1/8" = 1'-0"



**AREA LIGHT DETAIL**

SCALE 3/4" = 1'-0"

**ELEVATIONS**

**Wyoming Home & Ranch**  
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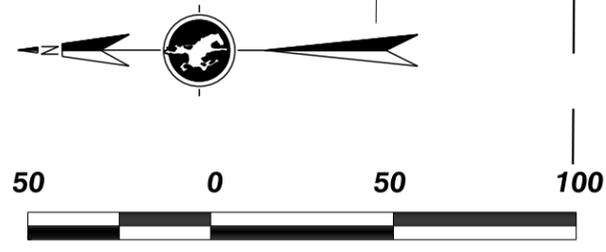
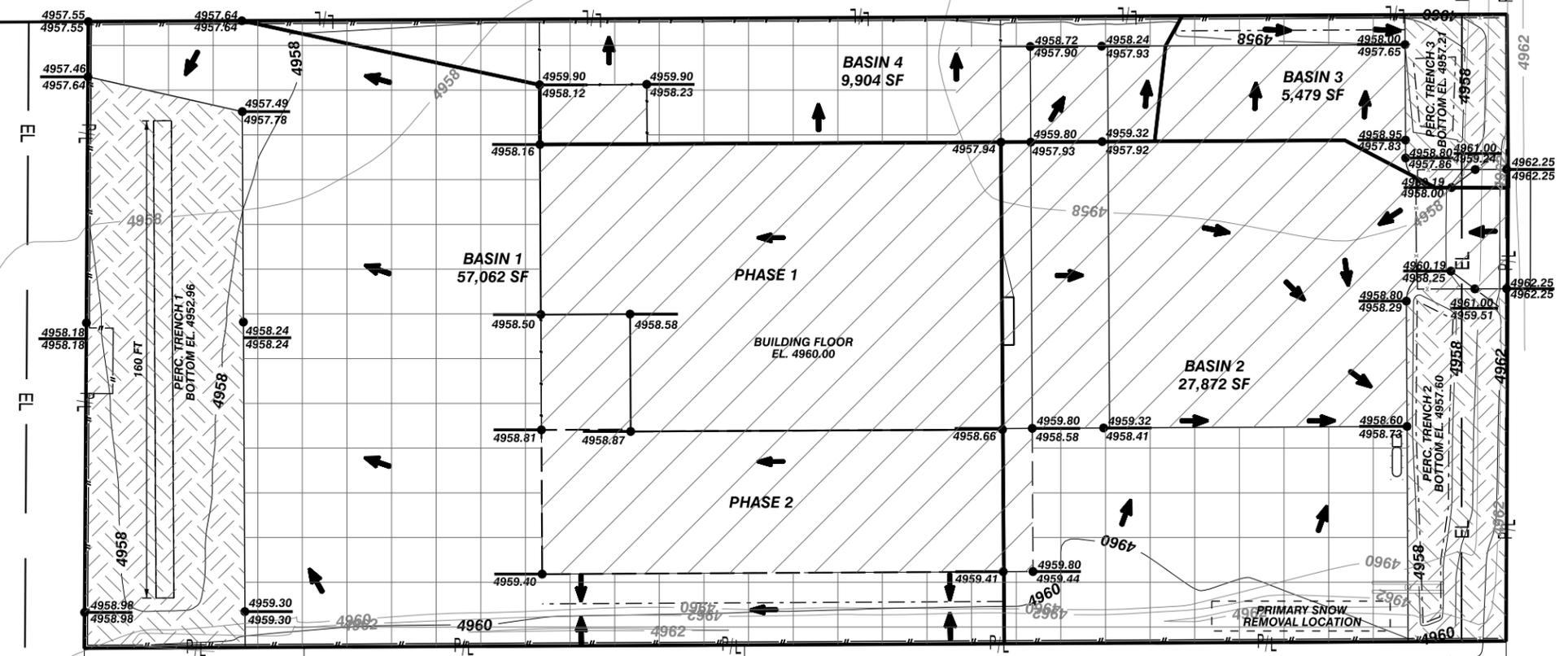
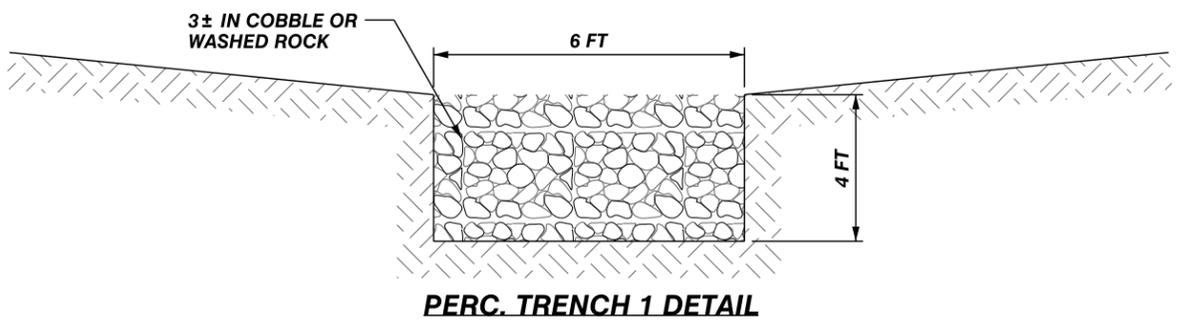
DATE: Revision (8)  
June 11, 2012

DATE:	CHANGE ORDER	#

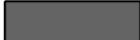
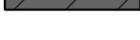
**A2.0**  
SHEET #  
2 OF



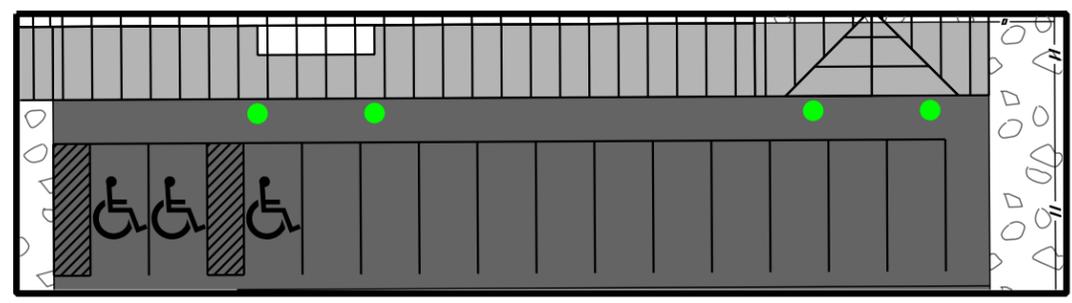
- SPOT ELEVATIONS      ● PROPOSED GRADE  
                                 ● EXISTING GRADE
- DIRECTION OF DRAINAGE      ←
- EXISTING CONTOUR      ——— 4958 ———
- PROPOSED CONTOUR      ——— 4958 ———
- PAVEMENT, SIDEWALK,  
AND BUILDING (C=0.90)      [Hatched Box]
- COMPACTED  
GRAVEL (C=0.60)      [Grid Box]
- LANDSCAPING /  
PERC. TRENCHES (C=0.30)      [Diagonal Hatched Box]



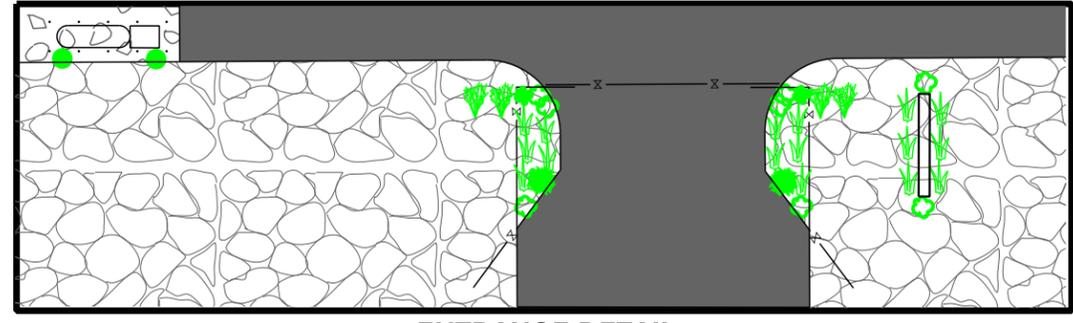
- NOTES:**
1. PERC. TRENCHES 2 & 3 TO BE GRADED WITH 3:1 SLOPES ON SIDES.
  2. PERC. TRENCHES TO BE USED FOR ADDITIONAL SNOW REMOVAL AREAS.

- METAL ROOF 
- CONCRETE 
- ASPHALT PAVEMENT 
- ASPHALT PAVEMENT TO BE COMPLETED CONTINGENT UPON BUDGET 
- COMPACTED GRAVEL 
- 3± IN COBBLE 
- NATIVE SOIL 

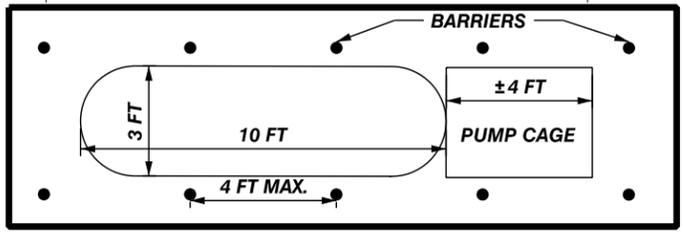
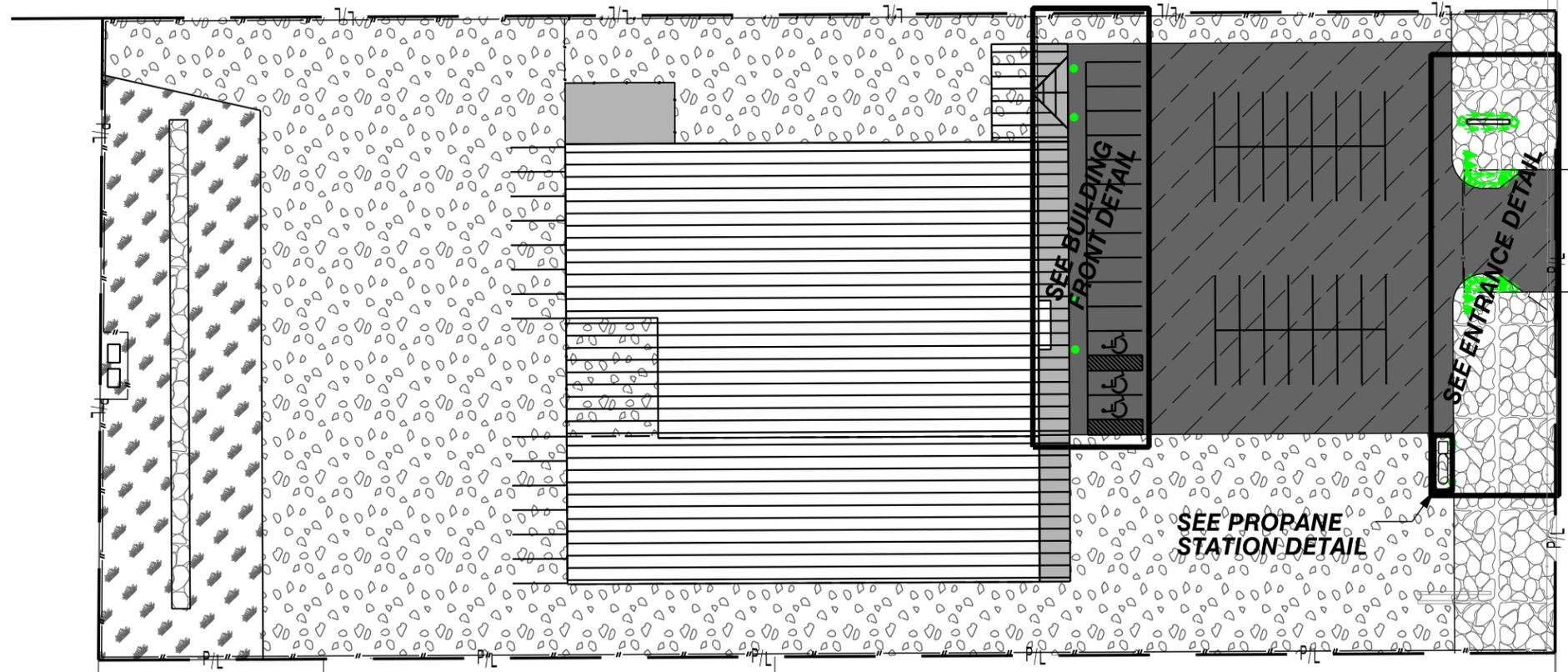
- KARL FORESTER REED GRASS (16) 
- BARBERRY BUSH (8) 
- CREeping JUNIPER (2) 
- DWARF MUGO PINE (2) 
- SIBERIAN DOGWOOD (4) 
- BARREL PLANTER w/ ANNUALS (6) 



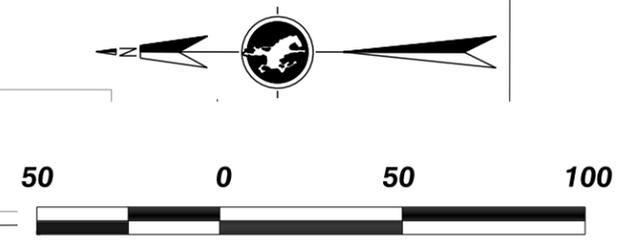
**BUILDING FRONT DETAIL**



**ENTRANCE DETAIL**



**PROPANE STATION DETAIL**



**NOTES:**  
 1. 55 PARKING SPACES PROVIDED. PER CITY OF CODY BUILDING DEPT., 1 SPACE PER 400 SF IS RECOMMENDED FOR RETAIL HARDWARE STORE. 18,000 SF RETAIL SPACE @ 1 SPACE/400 SF = 45 SPACES  
 2. 3 DISABLED PARKING SPACES PROVIDED. PER ADA REQUIREMENTS, 1 DISABLED SPACE PER 25 TOTAL PARKING SPACES.



**SIGN SPECIFICATIONS:**

ALL ATTACHED WALL SIGNS TO BE:  
RED VINYL LETTERS PER DETAILS.  
MOUNTED TO WALL WITH FASTENERS  
PER SIGN CONTRACTORS SPECS.

ZONE D-3

ATTACHED WALL SIGN # 1 = 111.25 SF.

ATTACHED WALL SIGN # 2 = 78 SF.

ATTACHED WALL SIGN # 3 = 32 SF x (3) = 96 SF.

TOTAL ATTACHED WALL SIGNAGE = 285.25 SF.

FREE STANDING SIGN = 140 S.F.

FREE STANDING LED LIGHT = 70 SF.

TOTAL FREE STANDING = 210 SF.

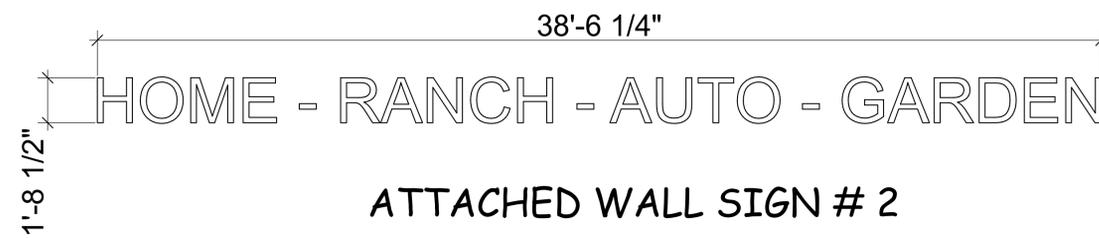
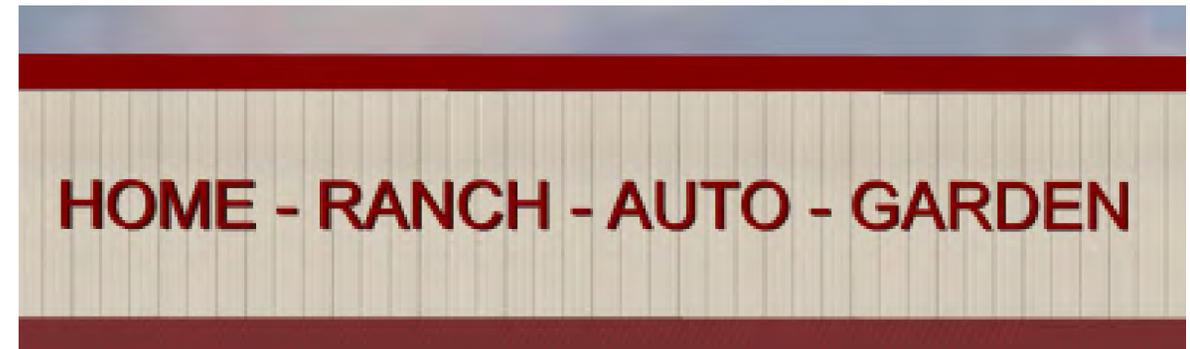
TOTAL SIGNAGE = 495.25 SF.

TOTAL ALLOWED SIGNAGE PER 10-15 = 600 SF.



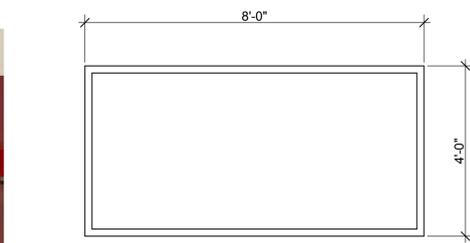
**ATTACHED WALL SIGN # 1**

N.T.S.



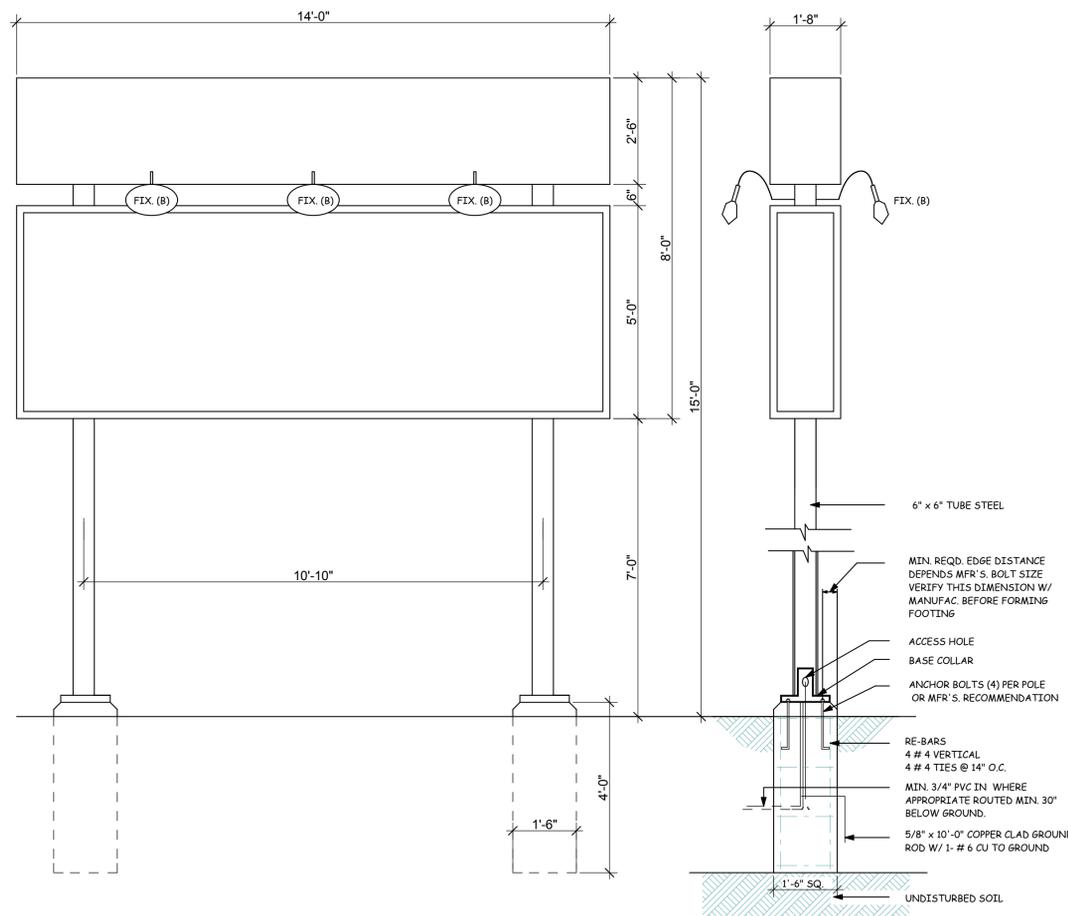
**ATTACHED WALL SIGN # 2**

N.T.S.



**ATTACHED WALL SIGN # 3 (3) TOTAL**

SCALE 1/2" = 1'-0"



**FREE STANDING SIGN  
FRONT / SIDE ELEVATION**

SCALE 1/2" = 1'-0"

SIGN CALCULATIONS

Wyoming Home & Ranch

P.O. Box 631

Cody Wyoming 82414

Pat Shellady mountainviews2414@yahoo.com 307-250-1728

General Contractor:

Address:

Phone:

SUSAN HOVDE -  
Architect

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Project # 831

DATE: Revision (8)

June 11, 2012

#	CHANGE ORDER	DATE:

**A4.0**

SHEET #  
2 OF

# MONUMENTS

L.E.D. DISPLAY RESOLUTIONS



## 16MM RESOLUTION

RECOMMENDED VIEWING DISTANCE: 25 FEET+

**Red or Amber • High Resolution • 4.4" Minimum Letter Height**  
**High Contrast / High Impact • Fluid Moving Text and Motion**



Custom Monument: Amber LED

## ADJUSTABLE LETTER SIZES

With our software you are not locked into "lines of text" like other LED sign manufacturers, and the on board tools make it easy to create sign ads.

### UP TO 6 LINES OF 4.4" TEXT



### UP TO 4 LINES OF 4.4" TEXT



### IMPORT PICTURES AND VIDEOS



## SIGN SPECIFICATIONS

Color Capability	1 Color (4096 Shades)	Estimated LED Lifetime	100,000 Hours (11+ Years)	Software	LightSpeed™
Maximum Viewing Angle	160° Horizontal	Graphics Capability	Text, Animation, Pictures, Video	Contrast Enhancement	Non-reflective black louvers
LEDs / Pixel	(1) RED or AMBER	Dimming	100 Levels	Voltage	Full Range: 110/240 VAC 50/60Hz
Physical Pitch	16mm	Scan/Refresh Rate	2400+Hz	Remote Updates	Firmware & Software
Brightness	10,000 NITs	Frame Rate	60 FPS (frames per second)	Communication	Ethernet, Fiber Optic, Broadband, Wireless 2.4GHz 802.11G
Temperature Rating	-15F to 120F				

# GREENBRIAR® WALL SCONCE

## LUMINAIRE ORDERING INFORMATION



TYPICAL ORDER EXAMPLE: **GBWM 3 400 PSMHR F 120 BRZ SQT**

Luminaire Prefix	Distribution	Lamp Wattage	Light Source	Lens	Line Voltage	Luminaire Finish	Options
GBWS (Small)	3 - Type III FT - Forward Throw WW - Wall Wash	50	GMH - Ceramic Metal Halide 150 Watt <sup>1</sup>	F - Flat Clear Tempered Glass	120	BRZ - Bronze	FC120 - Ballast-Type Fluorescent FC126 - Ballast-Type Fluorescent FC140 - Ballast-Type Fluorescent FC277 - Ballast-Type Fluorescent FC347 - Ballast-Type Fluorescent TP - Tamper Proof <sup>7</sup> PMA - Pole Mount Adapter for use with square poles (for S or D180 mounting configurations only) Not compatible with EM1, EM2, ED or E02 options. PMAR - Pole Mount Adapter for use with round poles (for S or D180 mounting configurations only) Not compatible with EM1, EM2, ED or E02 options. DIM - CFL Control Voltage Dimming Ballast <sup>13</sup> C - Coated MH or PSMH Lamp (except 250 PSMH) SQT - Standby Quartz (Time Delay) <sup>9</sup> SON - Standby Quartz (Non-Time Delay) <sup>9</sup> E0 - Emergency Quartz (separate 120V circuit - HID only) <sup>9</sup> E02 - Two Emergency Quartz (2 separate 120V circuits - HID only) <sup>10</sup> BB - CFL Battery Back-up <sup>11</sup> CBMS - Cold Weather Battery Back-up <sup>11</sup> EM1 - One Emergency 12V Circuit Provision with 35 Watt Halogen Lamp <sup>12</sup> EM1LL - One Emergency 12V Circuit Provision - Less Halogen Lamp <sup>12</sup> EM2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps <sup>12</sup> EM2LL - Two Emergency 12V Circuit Provisions - Less Halogen Lamps <sup>12</sup> LL - Less Lamp  <b>Color Details</b> 45 - Light Gold Metallic    55 - Black 20 - Charcoal Metallic    50 - White 94 - Blue Metallic        51 - Dark Red 59 - Dark Green         700 - Antique Silver Metallic 21 - Tomato Red
		70	MH - Metal Halide 50, 70, 100 <sup>2</sup> , 150 <sup>1</sup> Watt		120		
		100	HPS - High Pressure Sodium 50 <sup>3</sup> , 70, 100, 150 Watt		240		
GBWM (Medium)	3 - Type III FT - Forward Throw	250	PSMH - Pulse Start Metal Halide 250, 320 Watt	F - Flat Clear Tempered Glass	120		UE - Universal Electronic (120-277V 50/60Hz) 347 <sup>5</sup>
		320	PSMH - Pulse Start Metal Halide Reduced 400 Watt		240		
		400	HPS - High Pressure Sodium 250, 400 Watt		277		
GBWM (Medium)	3 - Type III FT - Forward Throw	26	CFL - Compact Fluorescent Single 26, 32, 42 Watt	F - Flat Clear Tempered Glass	120		UE - Universal Electronic (120-277V 50/60Hz) 347 <sup>5</sup>
		32	CFL2 - Compact Fluorescent Double 26, 32, 42 Watt	FPC - Flat Clear Polycarbonate <sup>4</sup>	120		
		42	CFL - Compact Fluorescent Single 26, 32, 42 Watt		240		
		57	CFL2 - Compact Fluorescent Double 57, 70 Watt		277		
		70	CFL3 - Compact Fluorescent Triple 26, 32, 42 Watt		347		

Consult Factory for  
International Voltages  
and Light Sources

### FOOTNOTES:

- 150 MH must be used for downlight only
- Supplied with a BX-HPF transformer as standard. Also available with a 120/277 volt CMA transformer. Consult factory.
- 50 Watt HPS is not available in TT or 347V.
- FPC lens is not available with EM options.
- If a polycarbonate lens is required on an Uplight Medium fixture in 70 CFL2 or 42 CFL3, the glass lens with Polycarbonate Shield (GBWM PLS) accessory must be ordered.
- 347V CFL is not available with dimming ballast (DIM) option. Consult factory for battery back-up (BB) options.
- Tamper-proof Screws/Driver must be ordered separately. (See Accessory Ordering Information).
- CFL Dimming Control by others.
- HID lamp wattages 50 and 70 are supplied with a 50 watt, 120V quartz lamp. HID lamp wattages 100 through 250 are supplied with a 100 watt, 120V quartz lamp. HID lamp wattages of 320 & 400 are supplied with a 250 watt, 120V quartz lamp. ED option is not compatible with PMA or PMAR options.
- Available on 100 watt minimum HID fixtures. HID lamp wattages 100 through 175 are supplied with two 50 watt, 120V quartz lamps. 250 through 400 watt HID fixtures are supplied with two 100 watt, 120V quartz lamps. E02 option is not compatible with PMA or PMAR options.
- Battery Back-up available on single, double and triple 120 or 277 voltage specific units for U.S. applications. Please change Line Voltage of UE to 120 or 277 when ordering this option. On double and triple units, one lamp will be energized by Battery Back-up (BB) option. Consult factory for specific means of Egress job application compliance.
- Unless GY6.35 socket(s), 12 watt separate circuit(s) required. Not compatible with PMA or PMAR option or FPC lens.

ACCESSORY ORDERING INFORMATION (Accessories are field installed)			
Description	Order Number	Description	Order Number
FC120 - Single Fusing	FC120+	GBWS PLS - Polycarbonate Shield for Small	172796
FC277 - Single Fusing	FC277+	GBWM PLS - Polycarbonate Shield for Medium	172787
DFX200, 240 - Double Fusing	DFX200, 240+	SW BLK - Surface Wiring Box	173156BLK+++
DFX450 - Double Fusing	DFX450++	SCD - Tamper-proof Screws/Driver	36449
FC347 - Single Fusing	FC347+		

+ Available on HID fixtures only. Fusing to be installed in a compatible junction box supplied by contractor.  
 ++ Available on HID Medium fixture only. Fusing to be installed in a compatible junction box supplied by contractor.  
 +++ SW BLK not compatible with PMA or PMAR option.

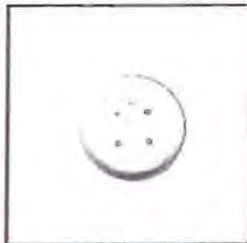


# LSI ABOLITE LED ANGLED REFLECTOR (AD)

US patents 0580162 & 0581585 & 0581544 & 7697766 and US & Int'l. patents pending

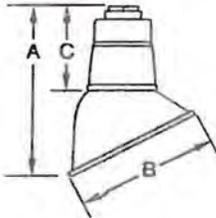


Directional Optics



Symmetrical Optics

## DIMENSIONS



Prefix	Height (A)	Diameter (B)	Neck (C)	Weight (lbs./kg)
AD 100	10" (254mm)	7" (178mm)	5" (127mm)	2.0 (0.9kg)
AD 150	11-1/2" (292mm)	9" (229mm)	5-1/4" (133mm)	2.0 (0.9kg)
AD 200	13-1/2" (343mm)	11" (279mm)	5-1/2" (140mm)	2.5 (1.1kg)

**APPLICATIONS** - Signage Lighting and Accent Lighting, Interior or Exterior.

### PRODUCT HIGHLIGHTS

- **"Green" Energy-Saving** - Reduces greenhouse gas emissions, slashes operating costs, extends life and eliminates costly lamp disposal involving mercury waste.
- **Long Lasting Sparkle** - LED light beam contains no heat, and no UV, which means degradation in color or quality of the product under display is minimized.
- **Dramatically Lower Maintenance Costs** - 60,000-hour LED source extends life 3 to 5 times as compared to conventional HID sources, 30 times incandescent.
- **Integrated Power Supply** - Built into fixture allowing RLM to be connected directly to line voltage.

**FINISH** - Available in either architectural textured, high gloss, satin or galvanized finish.

**LEDS** - Select high-brightness LEDs.

Expected life: minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance. 5000°K color temperature (nominal).

**MOUNTING** - Fixed hub tapped for 3/4" NPT conduit. Pre-wired with 96" leads.

**REFLECTOR** - Heavy duty spun galvanized steel construction with either polyester powder coat or galvanized finish.

**ELECTRICAL** - Integral power supply operates on 120-240 VAC (50/60Hz) input; no external power supplies required.

**LIGHT OUTPUT** - 700 lumens with an input power of 10 watts.

**OPERATING TEMPERATURE** - -40°C to +50°C (-40°F to +122°F).

**DRIVER** - State-of-the-art driver designed specifically for RLM fixtures provides unsurpassed system efficiency. Components are fully encased in potting material for moisture resistance. Driver complies with IEC and FCC standards.

**OPTIONAL DIRECTIONAL OPTICS** -

Allows field adjustment of the light beam for directional illumination of signage.

**WARRANTY** - LSI LED fixtures carry a limited 5-year warranty.

**LISTING** - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

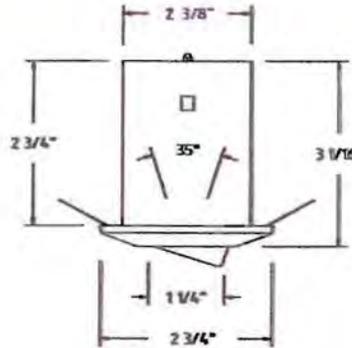
Also available in traditional light sources

This product, or selected versions of this product, meet the standards listed below. Please consult factory for your specific requirements.



**LOW VOLTAGE MINIATURE RECESSED**

**MODEL HR-1137**



**Ordering Matrix**

Model	Series	Finish				
[ ]	[ ]	[ ]				
HR	1137	BK	BN	CH	CB	WT

Ordering Example (model - series - finish): HR-1137-BK

**Product Details**

**Description:** Low voltage miniature recessed gimbal ring unit with clear glass lens. Used for lighting in cabinets, displays and similar wooden applications.

**Materials:** Housing is steel, painted black. Electrical component consists of a bi-pin ceramic socket with nickel plating and 30" of 18 gauge teflon insulated wires with fiberglass sleeves leading from the socket to strip-prepared ends.

**Transformer & Lamp:** Remote electronic class II transformer required, sold separately. Use one MR11 20w max, 12 volt lamp. Sold separately.

**Finish:** BK = Black powder coat paint      CB = Copper Bronze  
BN = Brushed Nickel electroplated      WT = White powder coat paint  
CH = Chrome electroplated

**Mounting:** Two flat "wing" springs expand against the cut out hole to hold fixture against the surface. The socket and insulated wires are installed into the housing with the wires leading out through the side of the housing to the remote power transformer. 2 3/8" cutout hole.

**Ratings:** U.L. and C.U.L. listed. Conforms to U.L. standard 1598. Certified to C.S.A. standard C22.2, #250. 5 year WAC Lighting product warranty.

**Specification Features**

- Lamp has a 35° adjustable tilt from nadir.
- The supplied clear glass lens can be replaced with one lens accessory such as a colored dichroic lens, UV filter lens, frosted lens, etc. See catalog or website for full lens accessory selection.
- An all-in-one style recessed unit, comes with housing and trim. No need to order additional fixture parts, it is ready to install out of one box.
- Non-IC unit. Intended for installations where insulating materials will not be present.
- "Quick-Ship" item, always in stock and available for immediate shipment.

**Compatible Electronic Transformers (sold separately):**

<p><b>EN-1260-RB2</b> Boxed Class II 120V input - 12V output Load: 20w-60w (60w max)</p>		<p><b>EN-1260-R2</b> Component Class II 120V input - 12V output Load: 20w-60w (60w max)</p>		<p><b>EN-1260-P-AR</b> Cord &amp; Plug Class II 120V input - 12V output Load: 20w-60w (60w max)</p>	
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**PLANNING DEPARTMENT  
SIGN PLAN REVIEW APPLICATION  
Title 10 Chapter 15 of the Municipal Code**

STAFF USE	
File:	<u>SCAN 12-15</u>
P&Z Invoice:	<u>734-1</u>
Approved:	<u>[Signature]</u>
Date:	<u>6/11/13</u>

Applicant's Name: VITAL AIR MEDICAL Business Name: VITAL AIR MEDICAL  
 Applicant's Address: 538 YELLOWSTONE City: CODY State: WY Zip: 82414  
 Phone: 307-587-4953 Cell: \_\_\_\_\_ Fax: 307-527-7841 Email: \_\_\_\_\_  
 Property Owner's Name: KERRY ROYCE  
 Property Owner's Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Project Address: 538 YELLOWSTONE Legal Description: Motest + Brands Zone: \_\_\_\_\_  
 Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 32.91<sup>2</sup>  
 Overall Area of Signage in Square Feet: \_\_\_\_\_ Licensed Contractor or Sign Installer: Chuck's  
 Type of Sign:  Attached Wall  Freestanding  Marquee  Projecting  Awning  
 Suspended  Banner  Inflatable  Flag  Monument  
 Bulletin  Real Estate  Joint Directory  Billboard  A-Frame  
 Temporary  Other - \_\_\_\_\_  
 Location:  On-Premise  Off-Premise  
 Description of Proposal: Attached Wall

Signature of Property Owner: \_\_\_\_\_  
*Signature* *Date*

**Please Select the Appropriate Sign Type:**

- |   |         |
|---|---------|
| <input type="checkbox"/> Off Premise, Temporary A-Frame Sign Plans:                                     | No Fee  |
| <input checked="" type="checkbox"/> Flush, Wall Mount without Electricity Sign Plans:                   | \$25.00 |
| <input type="checkbox"/> Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans: | \$50.00 |

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

**MATERIAL REQUIRED FOR SUBMITTAL & REVIEW**

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.  
**\*\*\*In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.**
- A site plan which identifies:
  - The location of all exterior signs existing or proposed for the premise.
  - Building elevations with signs depicted.
  - Sign Elevations must indicate overall and letter/figure dimensions
  - Colors, materials and illumination for each sign
- Letter(s) of authorization from the property owner(s) if applicable.

**Please provide additional information pertaining to specific sign type as requested on the back of this form.**



VITAL AIR

W  
M

MEDICAL

a ROTECH company  
*We Care About Patient Care*

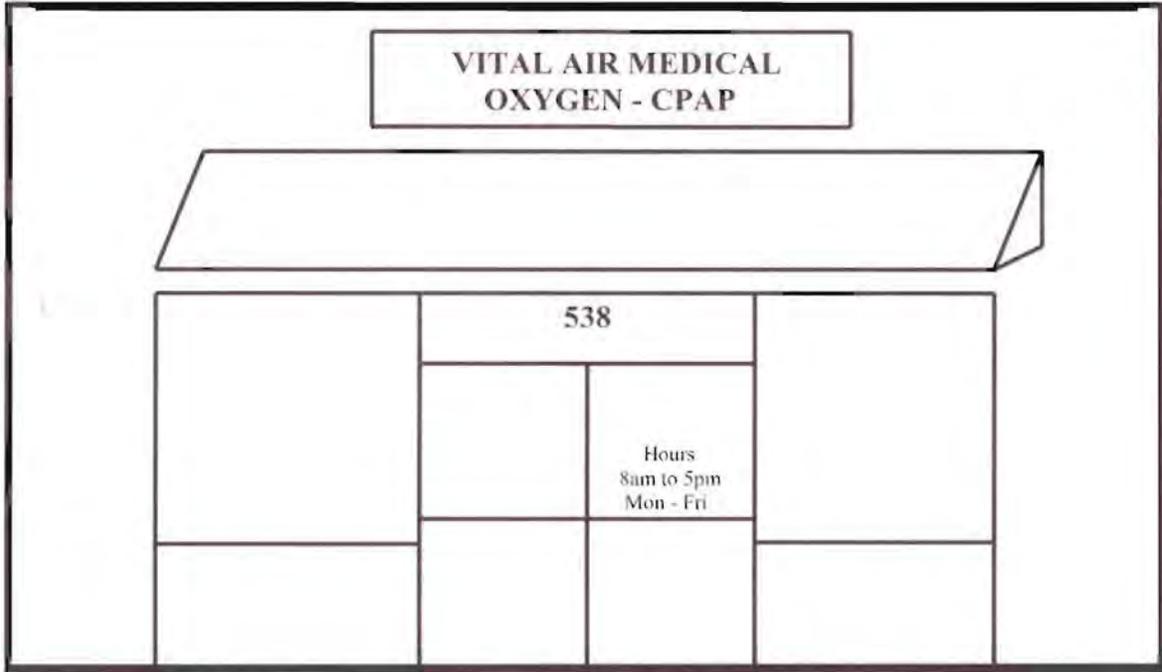
- ◆ Medical Oxygen
- ◆ CPAP
- ◆ DME

***24 HOUR SERVICE***

307587-4953

800-245-4953

**Sign 4ft high x 8ft Long**



**Store Front 35 ft across**



**PLANNING DEPARTMENT  
SIGN PLAN REVIEW APPLICATION  
Title 10 Chapter 15 of the Municipal Code**

STAFF USE	
File:	<u>SGN 12-28</u>
P&Z Invoice:	<u>735-1</u>
Approved:	<u>[Signature]</u>
Date:	<u>6/19/12</u>

Applicant's Name: Cody Driver License Business Name: Wy DOT  
 Applicant's Address: 1501 Stampede Ave City: Cody State: WY Zip: 82414  
 Phone: 307-587-3346 Cell: \_\_\_\_\_ Fax: 307-587-2153 Email: brenda.ellis@wyo.gov  
 Property Owner's Name: Park County  
 Property Owner's Address: 1002 Sheridan Ave City: Cody State: WY Zip: 82414  
 Project Address: 1501 Stampede Ave Legal Description: 05530107943040 Zone: D-2  
 Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 14.5  
 Overall Area of Signage in Square Feet: \_\_\_\_\_ Licensed Contractor or Sign Installer: WyDOT

- Type of Sign:  Attached Wall  Freestanding  Marquee  Projecting  Awning  
 Suspended  Banner  Inflatable  Flag  Monument  
 Bulletin  Real Estate  Joint Directory  Billboard  A-Frame  
 Temporary  Other - \_\_\_\_\_

Location:  On-Premise  Off-Premise  
 Description of Proposal: sign to identify the Drivers License office  
color - yellow & brown

Signature of Property Owner: \_\_\_\_\_  
*Signature* *Date*

**Please Select the Appropriate Sign Type:**

- |   |         |
|---|---------|
| <input type="checkbox"/> Off Premise, Temporary A-Frame Sign Plans:                                     | No Fee  |
| <input checked="" type="checkbox"/> Flush, Wall Mount without Electricity Sign Plans:                   | \$25.00 |
| <input type="checkbox"/> Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans: | \$50.00 |

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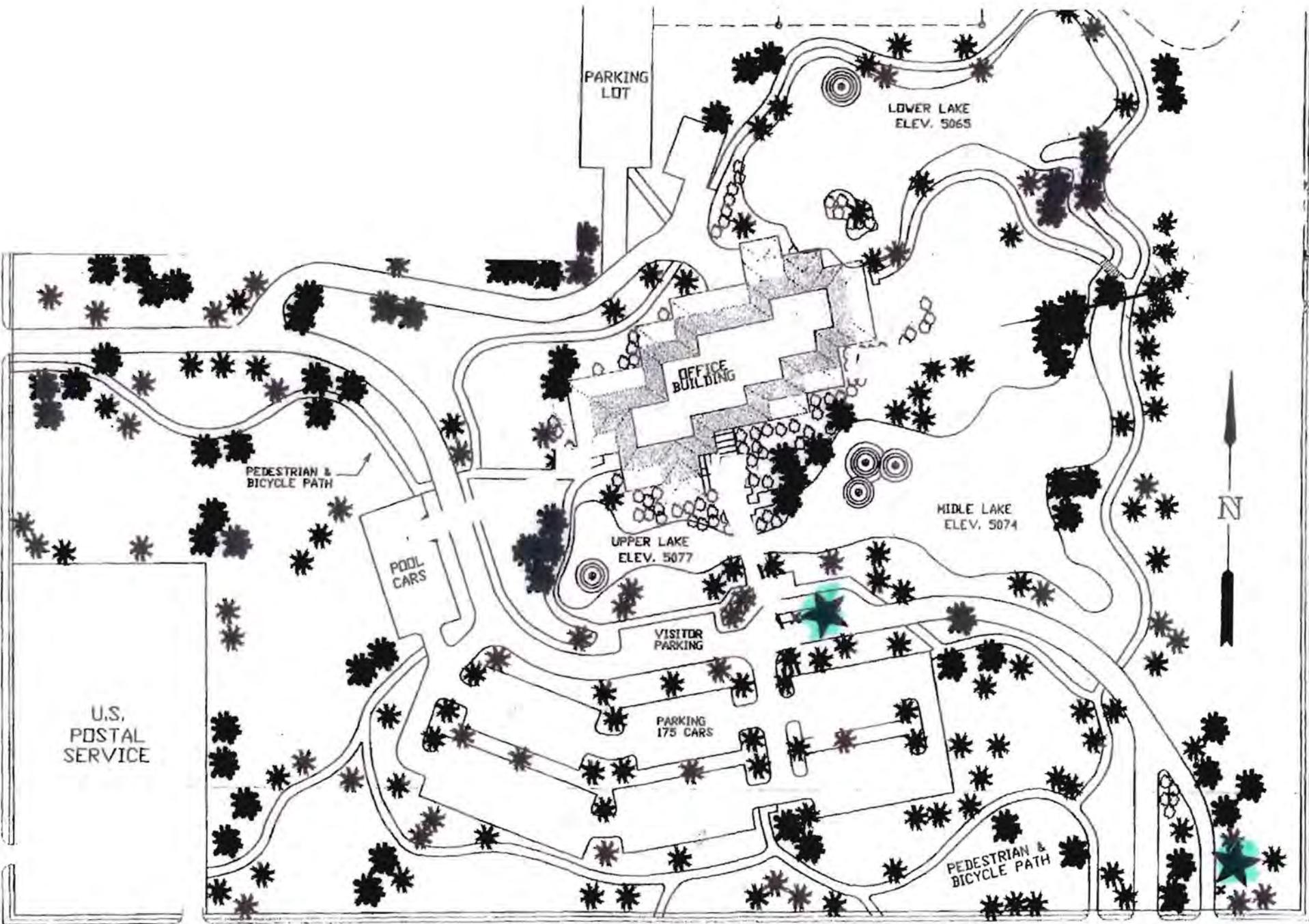
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HEART MOUNTAIN STREET

16TH STREET



STAMPEDE AVE

PRIMARY ENTRY

