

CITY OF CODY
PLANNING, ZONING, AND ADJUSTMENT BOARD
TUESDAY, APRIL 23, 2019
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order.
2. Roll Call, excused members
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes of the April 9, 2019 regular meeting.
5. BUSINESS:
 - A. Downtown architectural district sign review located at 1137 12th Street.
 - B. Review a preliminary and final plat for a 2-lot minor subdivision located at 183 Blackburn Avenue.
 - C. Review a site plan for a shop building and four out buildings located at 2412 G Avenue.
 - D. Review a final plat for the 12-lot Cougar West Subdivision located between Cougar Avenue and West Avenue.
6. P & Z Board matters (announcements, comments, etc.)
7. Council Update
8. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning, and Adjustment Board
Tuesday, April 9, 2019

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, April 9, 2019 at 12:00 pm.

Present: Vice Chairman Erynne Selk; Buzzy Hassrick; Richard Jones; Sandi Fisher; Klay Nelson; Stan Wolz,; Sandee Kitchen, City Deputy Attorney; Todd Stowell, City Planner; Glenn Nielson, Council Liaison; Bernie Butler, Administrative Coordinator

Absent: Kayl Mitchell,

Erynne Selk called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Richard Jones made a motion, seconded by Sandi Fisher, to approve the agenda for April 9, 2019. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Sandi Fisher to approve the minutes from the March 23, 2019 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

A. Todd Stowell presented an architectural district sign review for 307 Realty located at 1025 12th Street.

Buzzy Hassrick made a motion, seconded by Stan Wolz to approve the architectural and sign plan for 307 Realty. Vote on the motion was unanimous, motion passed.

B. Todd Stowell presented a site plan review for an accessory dwelling unit located at 1113 Wyoming Avenue.

Richard Jones made a motion, seconded by Buzzy Hassrick to approve the site plan for 1113 Wyoming Avenue with recommendations 1 and 2 in the staff report. Vote on the motion was unanimous, motion carried.

C. Todd reviewed the preliminary and final plat for a 2-lot minor subdivision located at 917 13th Street.

Richard Jones made a motion, seconded by Buzzy Hassrick to recommend to the City Council the approval the final plat for 917 13th Street with recommendations 1, 2, and 3 in the staff report, and grant the variance of alley access to lot 1. Vote on the motion was unanimous, motion passed.

P & Z Board Matters – none Council

Updates – none

Staff Items –

Sandi Fisher made a motion, seconded by Buzzy Hassrick to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the Board, Vice Chairman Erynne Selk adjourned the meeting at 1:00.

Bernie Butler, Administrative Coordinator

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 23, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	DOWNTOWN ARCHITECTURAL DISTRICT SIGN REVIEW: FOOTWORKS SGN 2019-10	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Jeremy Livingston has submitted an application for Footworks to install new panels in a freestanding sign and mount a 16' by 6' wall sign on 1137 12th Street. 1137 12th Street is the south (left) half of the building shown in the photo below, just south of the Irma.

The existing situation is shown below. The existing wall sign that will be removed is eight feet tall and the new sign is only six feet tall, so as to be below the roofline. The freestanding sign has been neglected for some time.



The proposed wall sign is represented by the following rendering.



The freestanding sign is proposed to contain a 3' by 16' panel with "Footworks", where the "Antiques" wording is located, but on both sides of the sign. The area below may be used for an arrow symbol. The "Antiques West" area may be used for wording related to what is offered in the store, such as shoes, orthotics, etc. The narrow band on the side of the sign facing 12th street may also contain wording relating to what is offered. The freestanding sign will be internally illuminated.

REVIEW CRITERIA:

The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants."*

The signs must also meet the size and location requirements of the sign code.

STAFF COMMENTS:

The property is within the downtown architectural district, but the D-2 sign district.

The freestanding sign is the only one on the property, and it is well within the size allowed. The sign cabinet itself is not changing, so the nonconforming height of the sign is allowed to continue.

The D-2 sign district allows any individual wall sign to be up to 150 square feet in size, and total signage on the property no more than 300 square feet. Allowable wall signage is calculated for the entire property so signage for the realty business, raft business, and future Dan Miller business in the north (right) half of the building are all counted.

With the current remodel, there is no wall signage on the Dan Miller portion of the building, and less than 80 square feet on the other businesses, so all wall signage on the property is within the 300 square foot limit. Staff is leaving how much is allocated to each business to the landowner.

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The signs have a professional appearance and do not destroy any architecturally significant or historic features on the building.

RECOMMENDATION:



Approve the freestanding sign as proposed, and approve a wall sign that is no larger than 150 square feet.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 23, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	BLACKBURN 2 MINOR SUBDIVISION— A TWO-LOT PRELIMINARY AND FINAL PLAT APPLICATION. SUB 2019-03	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

The Higbie Family Revocable Trust has submitted an application for a two-lot minor subdivision of Lot 1 of the Blackburn Planned Unit Development. The property is 0.75 acres in size and located southwest of the Blackburn Street and G Avenue intersection. Proposed Lot 1A contains an existing 6,000 sq. ft. building used as a gymnastics school. Lot 2A is vacant.



SUBDIVISION REGULATIONS

Applicable subdivision ordinance requirements are as follows. Staff comments follow each requirement. When a variance from the standard is involved, it is noted.

11-4-2: STREETS, ALLEYS AND EASEMENTS:

A. Alignment: All proposed streets, alleys and easements shall align horizontally and vertically with existing streets, alleys and easements adjacent to or lying near the subdivision.

Comment- No new public streets or alleys are proposed.

B. Conform to Master Street Plan: All streets shall conform to the city master street plan for size and approximate alignment.

Comment- The Master Street Plan does not indicate any future streets through this property.

Items "C" through "O" are standards that relate to construction of new public streets and are not applicable to this project.

P. Alleys: Alleys shall be required in all subdivisions with the minimum width being twenty feet (20'), unless extreme conditions preclude the feasibility of alleys...

Comment: The Blackburn PUD, of which this property is a part, was not designed with alleys. A variance to the alley requirement is requested.

Q. Curb, Gutter, Sidewalk, Paved Streets...

Comment: G Avenue and much of the section of Blackburn Street that borders this property are private streets, constructed to applicable street standards as part of the Blackburn PUD, with the exception that sidewalks were waived in this part of the development. The applicant requests that sidewalk also be waived at this time. It is noted that this subdivision will not modify the private status of the streets.

Items "R" through "T" are standards that relate to streets and drainage that are not applicable to this project, with the exception of part of "T" relating to storm water drainage.

Comment: The Blackburn PUD subdivision was designed to capture and retain all runoff from this part of the subdivision in a central detention basin, based on a total of 10,000 square feet of building per lot and the balance of the property in gravel. Development of the vacant lot will include a review of the storm water situation to be sure both combined lots do not exceed the design factors.

U. Lot Requirements:

1. Lots shall be sited to meet the requirements of the appropriate zoning.

Comment: The property is zoned D-3 which has no minimum lot size requirement.

2. Every lot shall abut upon or have access to an approved street or cul-de-sac.

Comment: Met.

3. Side lot line shall be at approximately right angles to the street line on which the lot faces. Comment: Met.

4. Strip lots...will be prohibited. Comment: Not applicable.

V. Blocks:... Comment: Met.

Section 11-5-1, DEVELOPMENT AND IMPROVEMENT also includes standards for construction, applicable sections are noted below.

1. Fire Hydrants: Fire hydrants shall be installed at intervals not to exceed five hundred feet (500') between hydrants and provided with standard hose connections as specified by the fire department.

Staff Comment: A hydrant exists across Blackburn Street near the south property line.

J. Open Drains, Irrigation Ditches: All open drains and irrigation ditches shall be buried or, if possible, eliminated.

Staff Comment: No canals or ditches cross the property.

M. Street Lighting: Street lighting shall be installed according to the standards and requirements established by the city electrical commissioner, the cost of which will be borne by the subdivider.

Staff Comment: Street lighting exists on both G Avenue and Blackburn Street.

N. Public Use Areas: ...

Comment: Minor subdivisions are exempt from this requirement.

OTHER:

Utilities: Sewer, water and gas services have been installed to both lots—Lot 1A had new services installed when the building was constructed, so Lot 2A will be able to utilize the water and sewer and gas connections that were installed in the original subdivision. They are located at the southeast corner of the property. For power, Lot 2A will tie into the existing transformer near the NW corner of Lot 1A, except the transformer will need to be upgraded. As we have another application for development of the property immediately west that will also use the same transformer, we are able to split the cost between the two projects (Approximately \$301 each.)

It is noted that the sewer system serving the lots is a private system that is maintained under the Blackburn PUD Lot Owners Association. The covenants and bylaws are recorded and apply to this property.

Irrigation: There are no surface water rights on the property. Any irrigation will need to be from the domestic water supply.

Parking/Common Access: The gymnastics program was authorized in the building based on the area to the south being available for overflow parking. It is not generally needed on a daily basis, only when they have competitions or other large events. The proposed lot line accommodates one row of parking along the south side of the building (approximately 12 spaces), with a 24-foot common access easement/aisle to the south. This meets the required backup and aisle width of the parking ordinance. (Note: preliminary plat not updated with 24-foot easement.)

SUMMARY:

The criteria of 11-5-2(B) for granting a variance to the subdivision requirements or a waiver to allow delay of construction for street improvements are as follows:

B. Variances: If during the approval process of a proposed subdivision it can be shown that strict compliance with the requirements of this title will result in extraordinary hardship to the subdivider due to unusual topography or other similar land conditions, or where the subdivider can show that variances will make a greater contribution to the intent and purpose of this title, the commission and council may, upon written request and proper justification, grant a variance to this title so that substantial justice may be done and the public interest secured; provided, that any such variance will not have the effect of nullifying the intent and purpose of this title.

In the case of the requested alley variance, a potential finding is that there are no alleys to tie into, and that the lots are sufficiently large to permit all alley purposes (utility corridor and garbage collection) to be accommodated within the lots.

In the case of the waiver of sidewalk, a potential finding is that the sidewalk in this area was previously waived, so there is no sidewalk system to tie into.

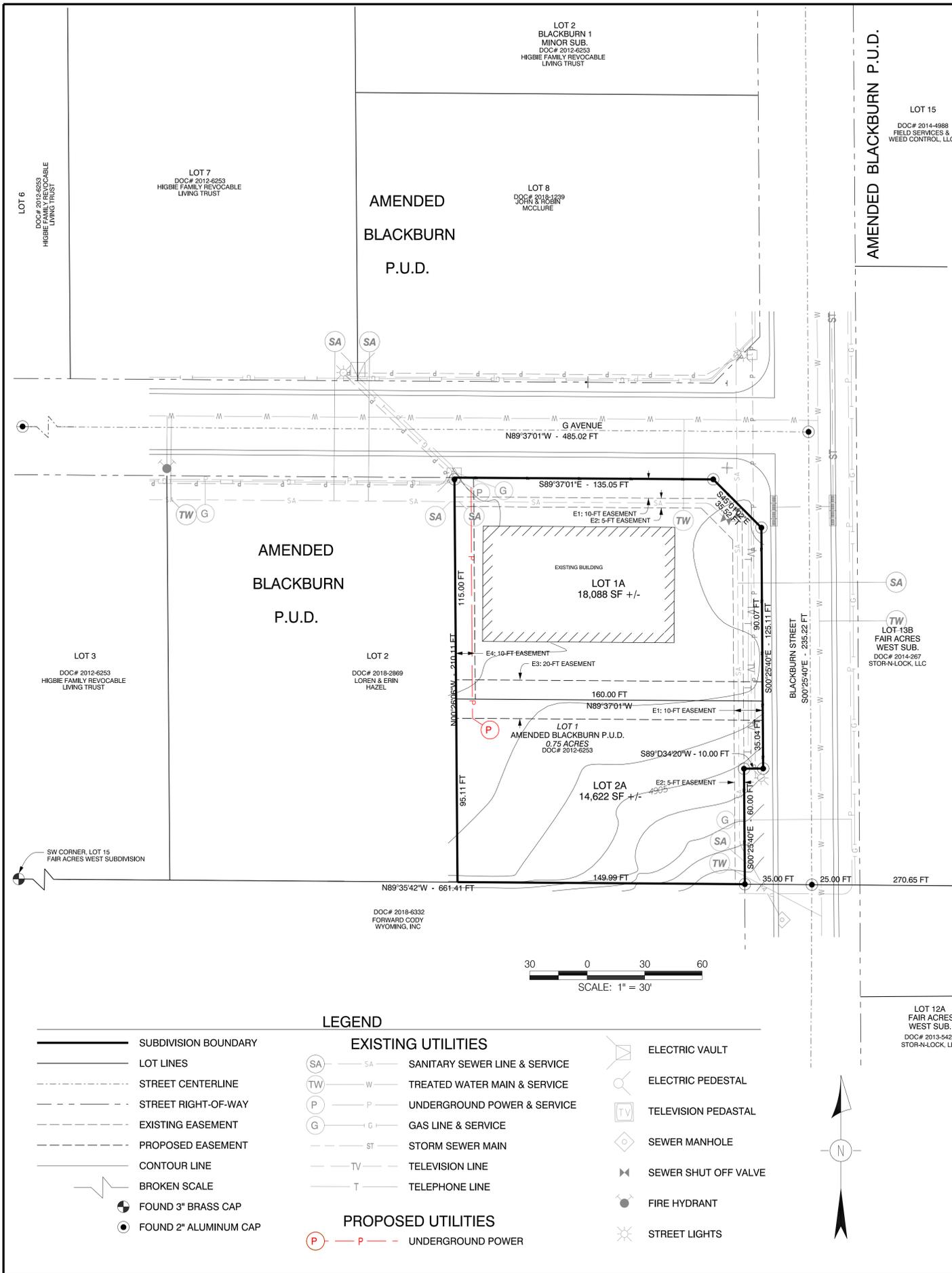
RECOMMENDATION:

Recommend that City Council approve the requested variances for waiver of sidewalks and alleys; and,

Recommend that City Council approve the preliminary plat and final plat of Blackburn 2 Minor Subdivision as presented, subject to payment for the transformer upgrade occurring before the final plat is signed by the mayor.

ATTACHMENTS:

Blackburn 2 Preliminary and Final Plats



SUBDIVISION NOTES

- TOTAL SUBDIVISION AREA IS 0.75 ACRES, MORE OR LESS.
- PROPOSED SITE USAGE IS COMMERCIAL.
- ZONING FOR THIS SUBDIVISION IS D-3.
- EXISTING UTILITIES (REFER TO BLACKBURN P.U.D. RECORD DRAWINGS)
 - CITY OF CODY
 - TREATED WATER: 6 FT DEPTH (APPROX.)
 - ELECTRICAL: 36-48 IN DEPTH (APPROX.)
 - BLACKBURN PUD H.O.A.
 - SANITARY SEWER: 2-IN PVC, 7 FT DEPTH (APPROX.)
 - ENERGY WEST - GAS LINE: 3 FT DEPTH (APPROX.)
 - TCT - EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION
 - CHARTER - EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION
 - CENTURY LINK - EXISTING WITHIN 10-FT EASEMENT ALONG EAST SIDE OF SUBDIVISION
 - CODY CANAL - NOT IN THE AREA
 - NRW - NOT IN THE AREA
- WATER RIGHTS FOR THIS PROPERTY HAVE BEEN DETACHED.
- AVERAGE SITE ELEVATION IS 4903 FEET, CONTOURS ARE SHOWN AT 1-FOOT INTERVALS. NO CHANGES ARE PROPOSED WITHIN THIS SUBDIVISION AT THIS TIME.

DESCRIPTION OF LANDS

A PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1 OF THE AMENDED BLACKBURN P.U.D. AS RECORDED IN PLAT CABINET K, PAGE 162, ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK LOCATED WITHIN LOT 15 OF THE FAIR ACRES WEST SUBDIVISION, BEING A PART OF TRACT 40, RESURVEY T.53N., R.101W., 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING.

EASEMENT NOTES

EXISTING EASEMENTS:

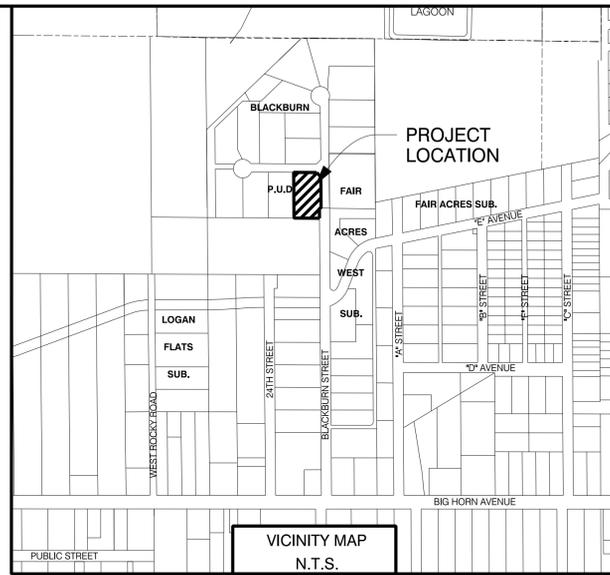
- AN EXISTING 10-FT WIDE UTILITY EASEMENT ALONG THE NORTH AND EAST BOUNDARIES OF LOT 1 ACCORDING TO THE AMENDED PLAT OF BLACKBURN PUD.
- AN EXISTING 5-FT WIDE SANITARY SEWER EASEMENT ALONG THE NORTH AND EAST BOUNDARIES OF LOT 1 ACCORDING TO THE AMENDED PLAT OF BLACKBURN SUBDIVISION.

PROPOSED EASEMENTS:

- A PROPOSED 20-FT WIDE INGRESS/EGRESS ACCESS EASEMENT ALONG THE LINE COMMON TO LOT 1A AND LOT 2A SHOWN HEREON.
- A PROPOSED 10-FT WIDE EASEMENT ALONG THE WEST BOUNDARY OF LOT 1A SHOWN HEREON.

REQUESTED VARIANCES

- CITY ORDINANCE 11-4-2 (P): A VARIANCE TO THE REQUIREMENT FOR ALLEYS IS HEREBY REQUESTED.
- CITY ORDINANCE 11-4-2 (Q): A VARIANCE TO THE REQUIREMENT FOR SIDEWALKS IS HEREBY REQUESTED.



SURVEY NOTES

- BEARING BASE: BEARINGS SHOWN ON THIS PLAT ARE GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, NAD83(2011), WYOMING WEST CENTRAL ZONE.
- GRID DISTANCES HAVE BEEN SCALED ACCORDING TO THE CITY OF CODY DATUM: 1/CSF = 1.0002978.
- ALL SURVEY WORK WAS COMPLETED TO AN ACCURACY OF 1:15,000.
- TOTAL SUBDIVISION AREA IS 0.75 ACRES.

CERTIFICATE OF SURVEYOR

I, BRETT J. FARMER, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY STATE AS FOLLOWS:

THE INFORMATION SHOWN HEREON IS BASED ON RECORDS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK AND ON FIELD SURVEY WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS PRELIMINARY PLAT SHOWS THE DIVISION OF LOT 1 OF THE AMENDED BLACKBURN P.U.D. WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING, INTO LOT 1A AND LOT 2A; THAT THE LANDS SURVEYED ARE CORRECTLY DESCRIBED IN THE DESCRIPTION OF LANDS AND THE SUBDIVISION THEREOF IS CORRECTLY SHOWN ON THIS PLAT, WHICH IS DRAWN TO THE SCALE INDICATED; AND THAT THE INFORMATION SHOWN HEREON IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

PRELIMINARY PLAT

MINOR SUBDIVISION

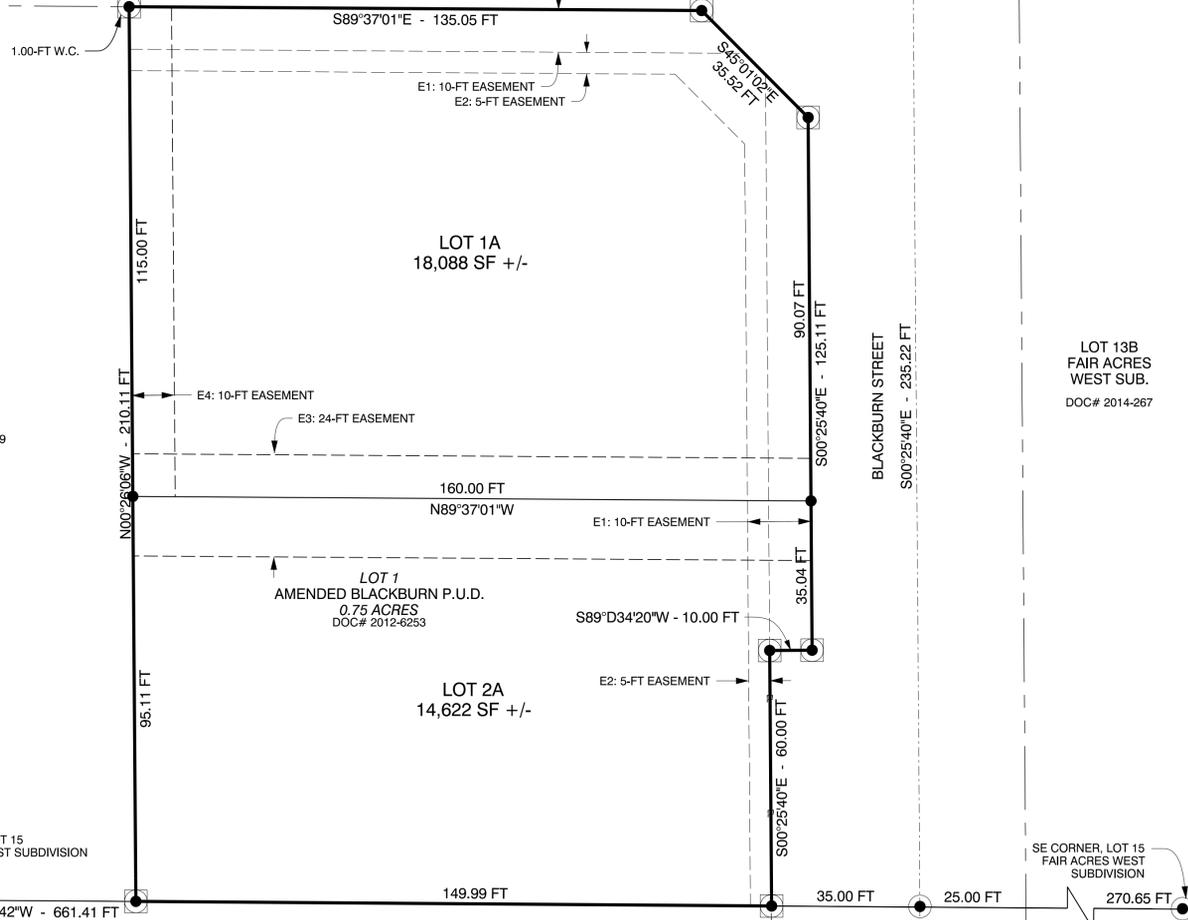
BEING A DIVISION OF LOT 1
OF THE AMENDED BLACKBURN P.U.D.

TRACT 40, RESURVEY T.53N. R.101W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

<p>DEVELOPER / OWNER:</p> <p>HIGBIE FAMILY REVOCABLE TRUST 213 N. 44TH STREET CODY, WY 82414</p> <p>DOC# 2012-6253</p>	<p>SAGE CIVIL ENGINEERING AND SURVEYING</p> <p>2824 BIG HORN AVE. CODY, WY 82414 307-527-0915</p>
<p>MARCH 12, 2019 DRAWN BY: BM, BF</p>	<p>PROJECT # 2018-48 18-048_PP.LAT.DGN</p>
<p>FIELD SURVEY: AUGUST 2018-NOVEMBER 2018 BY: BJF</p>	

LOT 8
OF AMENDED FINAL PLAT
OF BLACKBURN P.U.D.
DOC# 2018-1239
JOHN & ROBIN
MCCLURE

G AVENUE
N89°37'01"W - 485.02 FT



LOT 2
DOC# 2018-2869

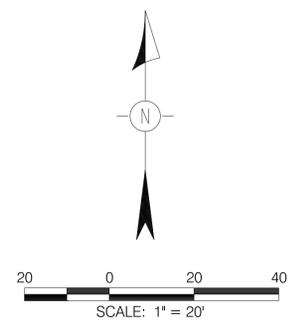
LOT 1
AMENDED BLACKBURN P.U.D.
0.75 ACRES
DOC# 2012-6253

LOT 13B
FAIR ACRES
WEST SUB.
DOC# 2014-267

SW CORNER, LOT 15
FAIR ACRES WEST SUBDIVISION

SE CORNER, LOT 15
FAIR ACRES WEST
SUBDIVISION

DOC# 2018-6332



LEGEND	
	SUBDIVISION BOUNDARY
	SUBDIVISION LOT LINES
	ADJACENT PROPERTY LINES
	STREET CENTERLINE
	STREET RIGHT-OF-WAY
	EASEMENT LINE
	BROKEN SCALE
	FOUND 3" BRASS CAP
	FOUND 2" ALUMINUM CAP
	REPLACED FOUND ALUMINUM CAP WITH 3" BRASS CAP
	SET ALUMINUM CAP ON 5/8 IN X 24 IN REBAR

CERTIFICATE OF OWNER

KNOW ALL PERSONS BY THESE PRESENTS THAT WE, THE UNDERSIGNED, ALL HEIRS AND/OR ASSIGNS HEREBY CERTIFY THAT WE ARE THE OWNERS AND PROPRIETORS OF THE LANDS NOTED HEREON IN THE DESCRIPTION OF LANDS; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT WE, THE UNDERSIGNED, HEREBY DEDICATE THE EASEMENTS SHOWN FOR THE PURPOSES NOTED HEREON, THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

EDWIN E. HIGBIE - TRUSTEE,
HIGBIE FAMILY REVOCABLE LIVING TRUST

CAROL L. HIGBIE - TRUSTEE,
HIGBIE FAMILY REVOCABLE LIVING TRUST

STATE OF WYOMING)
) SS
COUNTY OF PARK)

THE FOREGOING CERTIFICATE OF OWNER WAS ACKNOWLEDGED BEFORE ME BY EDWIN E. HIGBIE AND CAROL L. HIGBIE ON THIS _____ DAY OF _____, 20____. WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

DESCRIPTION OF LANDS

A PARCEL OF LAND AS RECORDED IN DOC# 2012-6253 ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER, SAID LANDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOT 1 OF THE AMENDED BLACKBURN P.U.D. AS RECORDED IN PLAT CABINET K, PAGE 162, LOCATED WITHIN LOT 15 OF THE FAIR ACRES WEST SUBDIVISION, BEING A PART OF TRACT 40, RESURVEY T.53N., R.101W., 6TH P.M., CITY OF CODY, PARK COUNTY, WYOMING.

SUBDIVISION NOTES

1. BEARING BASE IS GEODETIC BASED ON THE WYOMING STATE PLANE COORDINATE SYSTEM, NAD83(2011), WYOMING WEST CENTRAL ZONE. GRID DISTANCES HAVE BEEN SCALED ACCORDING TO THE CODY DATUM, 1/CSF=1.0002978.
2. ALL SURVEY WORK WAS COMPLETED TO AN ACCURACY OF 1:15,000.
3. UNITS SHOWN HEREON ARE U.S. SURVEY FEET.
4. TOTAL SUBDIVISION AREA IS 0.75 ACRES.
5. THIS SURVEYOR DID NOT COMPLETE AN ABSTRACT TITLE SEARCH AS PART OF THIS SURVEY. THE LANDS WITHIN THE BLACKBURN 2 MINOR SUBDIVISION MAY BE SUBJECT TO ADDITIONAL EASEMENTS OR RIGHTS-OF-WAY NOT SHOWN HEREON.
6. SANITARY SEWER SERVICE FOR ALL LOTS IN THE SUBDIVISION IS PROVIDED BY A PRESSURIZED SEWER SYSTEM DESIGNED TO PUMP EFFLUENT UPHILL TO THE MANHOLE AT BLACKBURN STREET AND "E" AVENUE. AN APPROPRIATELY SIZED AND DESIGNED GRINDER PUMP SYSTEM IS NECESSARY FOR EACH LOT TO HAVE SEWER SERVICE. THE CITY OF CODY HAS NO RESPONSIBILITY FOR MAINTENANCE OF THE PRIVATE SEWER SYSTEM. THE SANITARY SEWER SYSTEM IS TO BE OPERATED AND MAINTAINED BY THE AMENDED BLACKBURN P.U.D. LOT OWNERS' ASSOCIATION.

EASEMENT NOTES

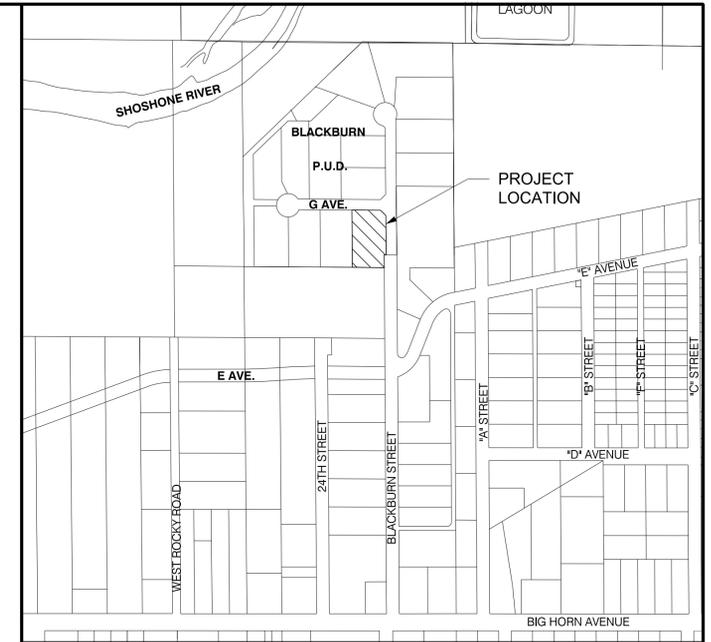
- EXISTING EASEMENTS:
- E1. AN EXISTING 10-FT WIDE UTILITY EASEMENT ALONG THE NORTH AND EAST BOUNDARIES OF LOT 1 OF THE BLACKBURN PUD.
 - E2. AN EXISTING 5-FT WIDE SANITARY SEWER EASEMENT ALONG THE EAST BOUNDARY OF LOT 1 OF THE BLACKBURN SUBDIVISION.
- DEDICATED EASEMENTS:
- E3. A 24-FT WIDE EASEMENT ALONG THE EAST-WEST BOUNDARY OF LOT 1A AND 1B SHOWN HEREON, BEING PARALLEL TO, AND 10-FEET NORTH, 14-FEET SOUTH OF SAID BOUNDARY.
 - E4. A 10-FT WIDE UTILITY EASEMENT ALONG THE WEST BOUNDARY OF LOT 1A SHOWN HEREON.

VARIANCES GRANTED BY THE CODY CITY COUNCIL

- A. CITY ORDINANCE 11-4-2 (P): A VARIANCE TO THE REQUIREMENT FOR DEVELOPMENT OF ALLEYS.
- B. CITY ORDINANCE 11-4-2 (Q): A VARIANCE TO THE REQUIREMENT FOR DEVELOPMENT OF SIDEWALKS.

CERTIFICATE OF SURVEYOR

I, BRETT J. FARMER, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY STATE AS FOLLOWS: THE INFORMATION SHOWN HEREON IS BASED ON RECORDS ON FILE IN THE OFFICE OF THE PARK COUNTY CLERK AND ON FIELD SURVEY WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS PRELIMINARY PLAT SHOWS THE DIVISION OF LOT 1 OF THE AMENDED BLACKBURN P.U.D. WITHIN THE CITY OF CODY, PARK COUNTY, WYOMING, INTO LOT 1A AND LOT 2A; THAT THE LANDS SURVEYED ARE CORRECTLY DESCRIBED IN THE DESCRIPTION OF LANDS AND THE SUBDIVISION THEREOF IS CORRECTLY SHOWN ON THIS PLAT, WHICH IS DRAWN TO THE SCALE INDICATED; AND THAT THE INFORMATION SHOWN HEREON IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



APPROVALS

CITY PLANNING AND ZONING BOARD
RECOMMENDED FOR APPROVAL THIS _____ DAY OF _____, 20____ BY THE CITY PLANNING AND ZONING BOARD OF CODY, WYOMING.

BY CHAIRMAN: _____

CITY COUNCIL
APPROVED THIS _____ DAY _____, 20____ BY THE CITY COUNCIL OF CODY, WYOMING.

BY MAYOR: _____
MATT HALL

ATTESTED BY: _____
ADMINISTRATIVE SERVICES DIRECTOR

COUNTY CLERK'S CERTIFICATE

THIS RECORD OF SURVEY WAS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CLERK, PARK COUNTY, WYOMING, AT _____ O'CLOCK _____ M. ON THE _____ DAY OF _____, 20____, AND IS DULY RECORDED IN PLAT CABINET _____, ON PAGE _____.
BY: _____
PARK COUNTY CLERK DEPUTY

FINAL PLAT

BLACKBURN 2 MINOR SUBDIVISION

BEING A DIVISION OF LOT 1
OF THE AMENDED BLACKBURN P.U.D.
TRACT 40, RESURVEY T.53N. R.101 W., 6TH P.M.,
CITY OF CODY, PARK COUNTY, WYOMING

DEVELOPER / OWNER:

HIGBIE FAMILY REV. TRUST
213 N. 44TH STREET
CODY, WY 82414

DOC# 2012-6253



SAGE CIVIL ENGINEERING
AND SURVEYING

2824 BIG HORN AVE.
CODY, WY 82414
307-527-0915

MAY 18, 2019
DRAWN BY: BM, BF

PROJECT # 2018-48
18-048_PP.LAT.DGN

FIELD SURVEY: AUGUST 2018-NOVEMBER 2018
BY: BJF FIELD BOOK: 9

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 23, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: LOREN HAZEL SHOP BUILDING AND FOUR OUTBUILDINGS. SPR 2019-08	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Loren Hazel of Electrical Ally has submitted an application to construct a 6,800 square foot shop/office building at 2412 G Avenue. The shop and office would be a “duplex” in that each half is divided with the intent of having separate businesses. The electrical business would occupy the east half. The property is 0.72 acres in size and located in the Open Business/Light Industrial (D-3) zoning district.

Of the four outbuildings, which measure 24’ by 24’ each, three are identified as “future storage” and one is a proposed ice-cream production facility.



REVIEW CRITERIA:

Section 10-10E-3 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

STAFF COMMENTS:

The property is vacant and zoned D-3, which zone allows contractor offices and yards, as well as light industrial production (ice-cream facility).

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Min-storage facility—partially built.	D-3 (Light Industrial)
East	Gymnastics building.	D-3
South	Gunwerks property on hillside above.	D-3
West	Vacant.	D-3

Architecture:

The building is a standard metal-sided and roofed building, with 16-foot tall side walls on the shop, 9-foot walls on the office area, and a 3:12 pitched roof. The height of the building is enough to accommodate a mezzanine storage floor in a portion of the shop area. Here is a rendering of the main building.



The color scheme is coordinated and as shown, with a darker gray wainscot on the office area and the darker roof and trim features. The Board will need to determine if the architectural components of the building are acceptable. Staff has no concerns, as the front of the building is the only side that is visible from a public way, and it has some architectural variety with the different roof heights, multiple windows, and varied color scheme.

The outbuildings are also metal buildings with 9-foot side walls. Color is not indicated, but should be coordinated with the main building to be light grey with dark grey roof and trim. The outbuildings do not have any wainscot, but are not as visible as the main building.

Landscaping:

There is no landscaping plan, as the entire frontage of the property is used for parking and access. The grass in the rendering is not proposed. The Board has not recently been requiring landscaping in this subdivision, provided the building has some architectural variety.

Access and Parking:

G Avenue is a dead-end local access street, and as such the parking can back directly into the street, as proposed. The number of identified parking spaces shown is only four, yet the plan is for employees to typically park at the back of the main building. There is enough room to provide a row of parking along the back of the building, with a 24-foot wide backup area, and another row of parking along the outbuildings.

The ADA parking spaces and unloading aisles will need to meet ADA standards. Not all details are shown. The assumption is that the sidewalk is flush with the parking space and unloading aisle, and that no part of it has more than a 2% slope in any direction. Also, the truncated dome mat is not shown and the ADA sign needs a "Van Accessible" portion added, the bottom of which is at least 60" above the ground. The installation will need to meet these requirements.

It appears to be just a lack of labels, but just to clarify, all parking spaces and vehicle aisles must be improved with crushed gravel (WYDOT grading GR or W, per parking ordinance).

Exterior Lighting

The exterior lighting plan found on Sheet C1.0 includes the fixture shown here (A), recessed can lights (B), and emergency lighting over the doors which is on only in the event of a power outage. Illumination levels are not identified. It is assumed that the applicant will use the 69-watt LED fixtures (about 7,000 lumens—a standard 60-watt incandescent bulb is 800 lumens), rather than the 104-watt fixtures (10,000+ lumens), but we should verify.



The lighting plan is fairly typical, although it shows both the recessed can lights and the wall packs on the front of the building, which is likely excessive and of some concern due to the residential unit across the street and slightly to the east. It is noted that there is also a streetlight directly across G Avenue that would contribute to lighting levels. The applicant should explain the need for the amount of lighting proposed along the front of the building, so the Board can determine if it is justified. In staff's view only one or the other is needed.

Neighborhood Compatibility, Setbacks and Buffers, Fencing and Height Requirements

There are no specified zoning setbacks or building height limits applicable to this

property.

The back portion of the property would be fenced with a 6-foot open chain link fence. The applicant has indicated that there may be some trailers parked in the fenced yard, but no open storage of items. If open storage is proposed in the future, please note that the City nuisance ordinance can require that it be screened with a 6-foot tall solid fence.

Storm Water Plan:

The property is entitled to dump its stormwater into G Avenue in an amount equivalent to runoff from up to 10,000 square feet of impervious surface (building and pavement) on this lot, with the rest of the lot graveled. Impervious surface of this project is about 11,324 square feet. To account for the excess impervious surface and to minimize the problems with excessive overland flow, the applicant is proposing a swale along the south border of the property. The south end of the property is proposed to be graded towards this swale. The swale design is not shown, but needs to accommodate at least 350 cubic feet of storage based on a 10-year storm event, if the grading is done as proposed. If grading is done as proposed, there needs to be a provision for overflow to allow water from larger storm events to pass through the property to G Avenue (e.g. ditch along east or west property line). As an alternative, it may be easier to simply grade the entire site to flow to G Avenue and capture the roof runoff from the outbuildings through a gutter system and into an infiltration trench or swale. Other options may also be available. An update to the drainage plan is requested.

Snow Storage

The snow storage area is shown in the northwest corner of the site. Storage area will also be available behind the main building.

Utility Services

The lot has an existing water service, sewer connection, transformer for power, and natural gas line. All city utility services will be shared among all buildings, except the west portion of the main shop will have its own electrical service and meter.

The site plan properly shows the sewage grinder pump system, which must be installed per the detail on Sheet 14 of the Blackburn PUD construction plans.

Due to the power demands for this project, the transformer will need to be upsized. Due to the planned development on the lot next door by Ed Higbie, the cost is proposed to be split among the two projects (approximately \$301 each).

The site plan shows the water service coming from the northeast corner of the property—the service is at the northwest corner. Show the corrected route on the plans submitted for the building permit.

Signs

Sign details are not included in the application. A separate application will be needed for staff review.

Hydrant

The building relies on the fire hydrant at the northwest corner of the property for fire protection.

Frontage Status

G Avenue is a fully developed private street, except that there are no sidewalks due to a variance granted during the subdivision process.

Garbage

The proposed dumpster location is shown on the site plan.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the site plan with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the project subject to the following conditions:

1. Applicable city utility fees (water, sewer, electrical) are to be paid prior to building permit issuance—coordinate with Public Works.
2. The colors of the outbuildings shall match the main building.
3. All areas used for parking or active vehicle use must have a gravel surface, or better.
4. Correct the site plan to show the water service coming from the NW corner of the property.
5. Provide an updated grading/drainage plan, as discussed in the staff report. (Either the drainage swale along the south end of the property shall have a capacity of at least 350 cubic feet, and be designed to overflow towards G Avenue (likely need ditch along east property line), or the site graded to flow to G Avenue with the roof runoff from the outbuildings retained.)
6. The project must otherwise comply with applicable building, fire, and electrical codes. Be sure the ADA parking spaces are constructed as clarified.
7. A building permit must be obtained within three years for the main building or this authorization will expire. If the main building is constructed, the authorization to obtain permits for the outbuildings is for 6 years.

8. The fenced yard is authorized for storage of functional vehicles and trailers, but no open storage of materials, unless provided with a 6-foot tall solid fence to screen the materials.
9. (Any limits on illumination not agreed to at the meeting?)

THE LOREN HAZEL SHOP



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KEITH PRYOR
ARCHITECT
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FRONT PERSPECTIVE

NOT TO SCALE

BY PRECISION PLAN AND DESIGN INC.

OWNER INFORMATION

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PHONE: 307.250.1418
EMAIL: electricalally@hotmail.com
PROPERTY ADDRESS: 2412 G. AVENUE CODY, WYOMING 82414

BUILDER: -
MAILING ADDRESS: -
PHONE: -
EMAIL: -

SHEET INDEX

- T1.0 TITLE SHEET
- C1.0 SITE PLAN
- A1.0 MAIN FLOOR PLAN
- A1.1 MEZZANINE FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A3.0 SECTIONS
- A4.0 STORAGE BUILDINGS
- E1.0 SHOP ELECTRICAL PLAN
- E1.1 TYP. GARAGE ELECTRICAL

PROJECT DATA:

BUILDING USE: ELECTRICAL CONTRACTOR OFFICE, SHOP AND STORAGE. ICE CREAM PRODUCTION
BUILDING OCCUPANCY: (CHAPTER 3, IBC): B, S1 & F1
CONSTRUCTION TYPE: (CHAPTER 6, IBC): V-B
ALLOWABLE BUILDING AREA: (IBC, TABLE 506.2): B: 9,000 S.F.; S1: 9,000 S.F.; F1: 8,500
ACTUAL BUILDING AREAS:
MAIN BUILDING: BUSINESS: 747 S.F.
STORAGE: 5,491 S.F.
TOTAL: 6,238 S.F.
MEZZANINE: 728 S.F.
TOTAL: 6,979 S.F. (FIRE AREA)
OUT BUILDINGS: STORAGE: 1,725 S.F. (3 BUILDINGS AT 575 S.F. EA.)
FACTORY: 575 S.F.
ALLOWABLE STORIES: (TABLE 504.4 IBC): B: 2; S1: 1; F1: 1
BUILDING HEIGHT: (TABLE 504.3): ALLOWABLE 40' / ACTUAL: 21'-6" (SHOP), 12' (ICE CREAM PRODUCTION)

OCCUPANT LOAD:
MAIN BUILDING: BUSINESS (150 GROSS): 5
STORAGE (300 GROSS): 18
MEZZANINE (300 GROSS): 3
TOTAL: 26
OUT BUILDINGS: STORAGE (300 GROSS): 6
FACTORY (150 GROSS): 4
TOTAL: 10
SPRINKLERED: (PER 903 IBC): NOT REQUIRED
NUMBER OF REQUIRED EXITS: (TABLE 1006.2.1 & TABLE 1006.3.3(2) IBC): 1
COMMON PATH OF EGRESS TRAVEL DISTANCE: (TABLE 1006.2.1 & TABLE 1006.3.3 (2) IBC):
ALLOWABLE: B: 100', S1: 100', F1: 75'
ACTUAL: B: 27, S1: 45' ON MAIN, 118' FROM MEZZ., F1: 26'
EXIT ACCESS TRAVEL DISTANCE: (TABLE 1017.2 IBC): 200'
DISTANCES FROM PROPERTY LINES: N: 30'; E: 25'; W: 25'; S: 10'
FIRE RESISTANCE RATING FOR EXTERIOR WALLS (TABLE 602 IBC): 0
REQUIRED SEPARATION OF OCCUPANCIES (TABLE 508.4 IBC): NONE

HAZEL SHOP

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DATE: 04.05.2019
REVISION: 6

PROJECT NO.
1504

SHEET #
T1.0
TITLE SHEET

NOTE: CONTRACTOR MUST VERIFY ALL SIZES AND DIMENSIONS. PLANS ARE NOT ENGINEERED. FOR BEAM AND ALL STRUCTURAL MEMBER SIZES PLEASE CONSULT A STRUCTURAL ENGINEER. ALL SIZES SUBJECT TO CHANGER PER STRUCTURAL ENGINEER. ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.



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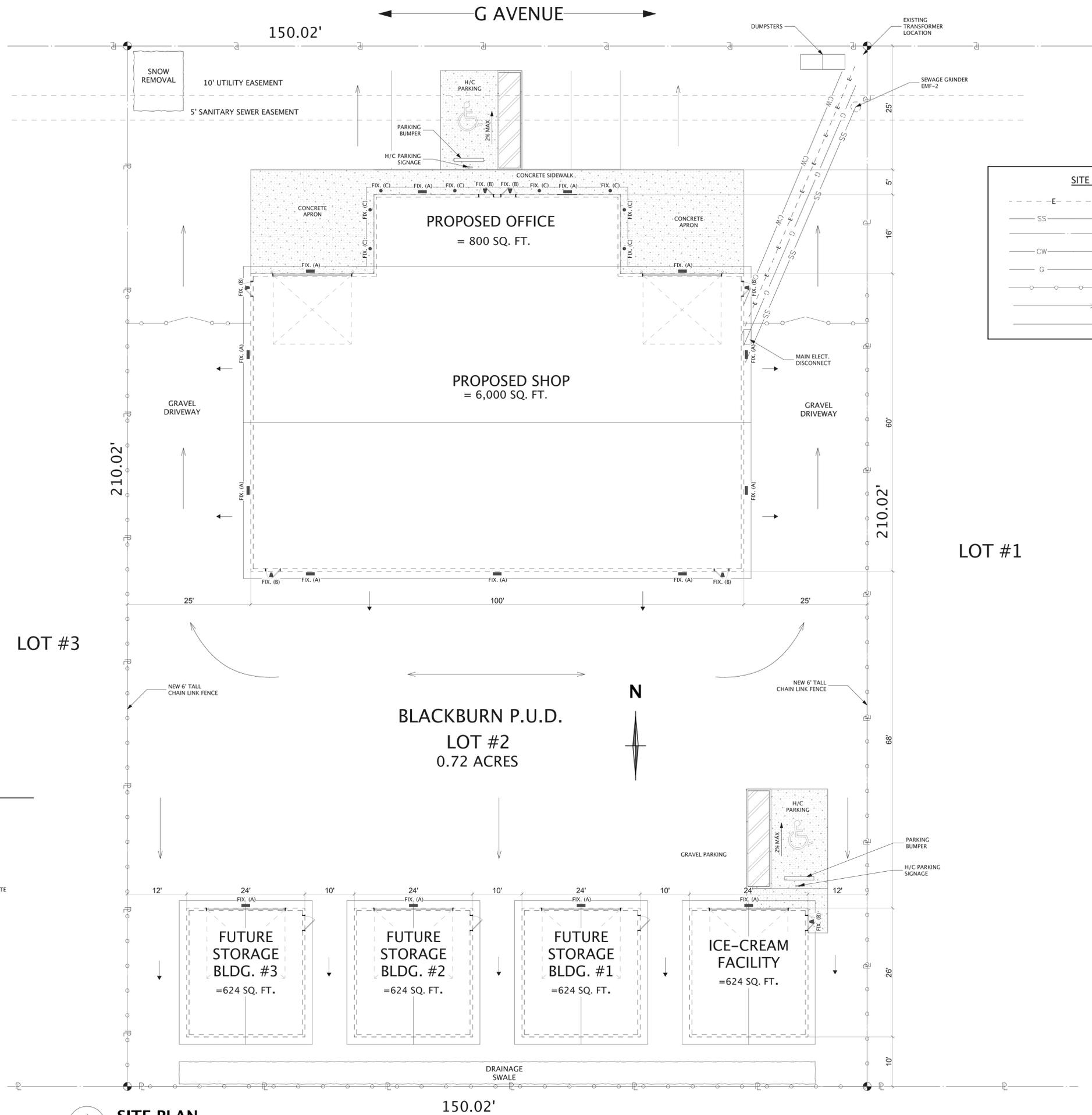
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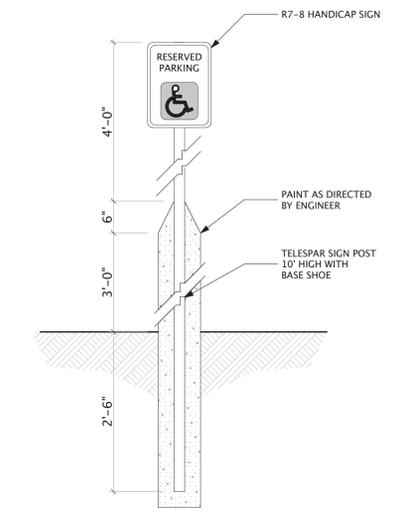
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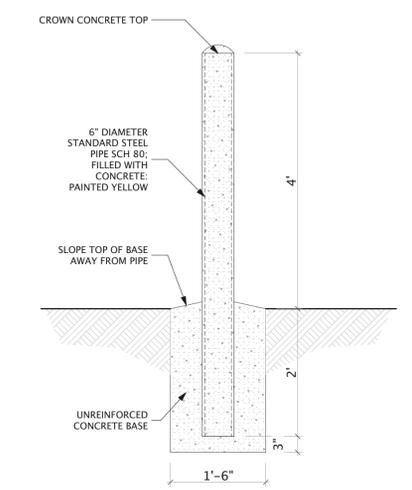
SHEET #
C1.0
SITE PLAN



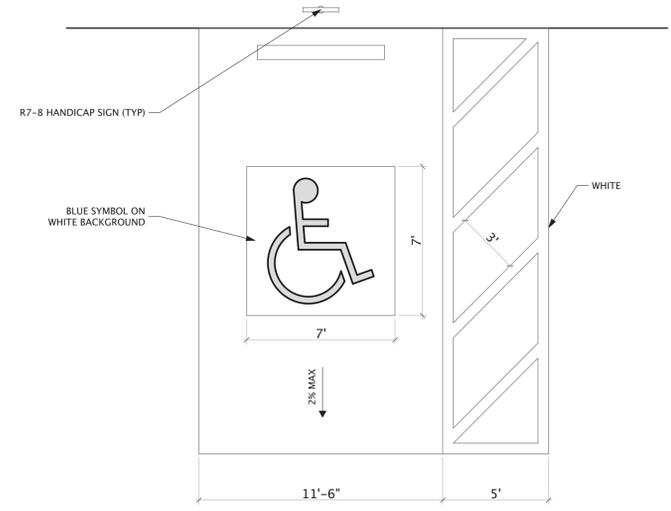
SITE LEGEND	
- - - - - E - - - - -	ELECTRICAL LINE
— SS —	4" CITY SEWER
— — — — —	PROPERTY LINE
— CW —	3/4" CITY WATER
— G —	GAS LINE
○ ○ ○ ○ ○	NEW FENCE
→	OVERLOT RUNOFF
→	DIRECTIONAL FLOW



2 H/C PARKING SIGN
C1.0 SCALE: 3/4" = 1'-0"



3 BOLLARD DTL.
C1.0 SCALE: 3/4" = 1'-0"



4 HANDICAP PARKING STALL
C1.0 SCALE: 1/4" = 1'-0"

1 SITE PLAN
C1.0 SCALE: 1" = 10'



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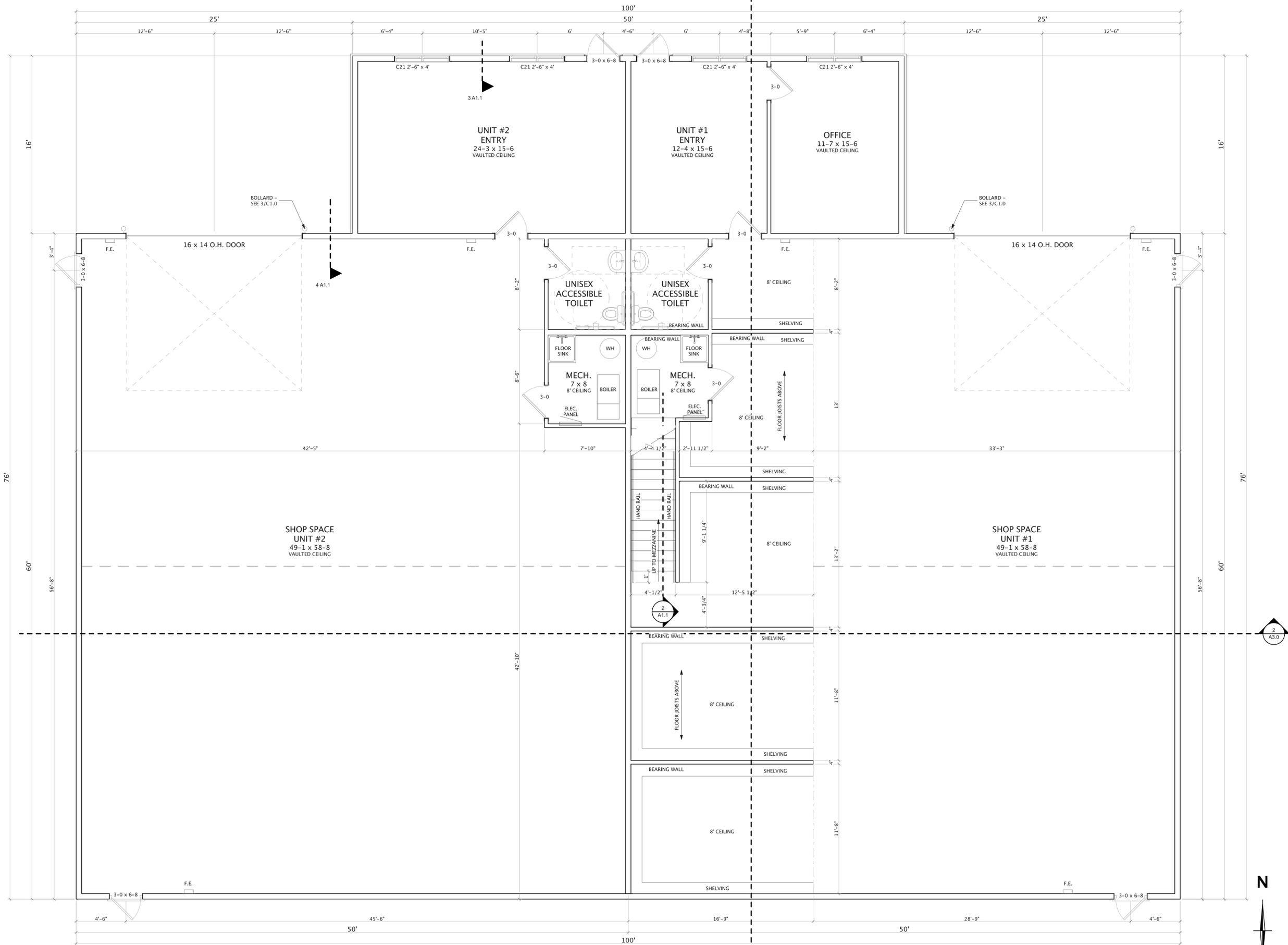
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SHEET #
A1.0
MAIN FLOOR



1 MAIN FLOOR PLAN = 6,800 SQ. FT.
A1.0 SCALE: 1/4" = 1'-0"





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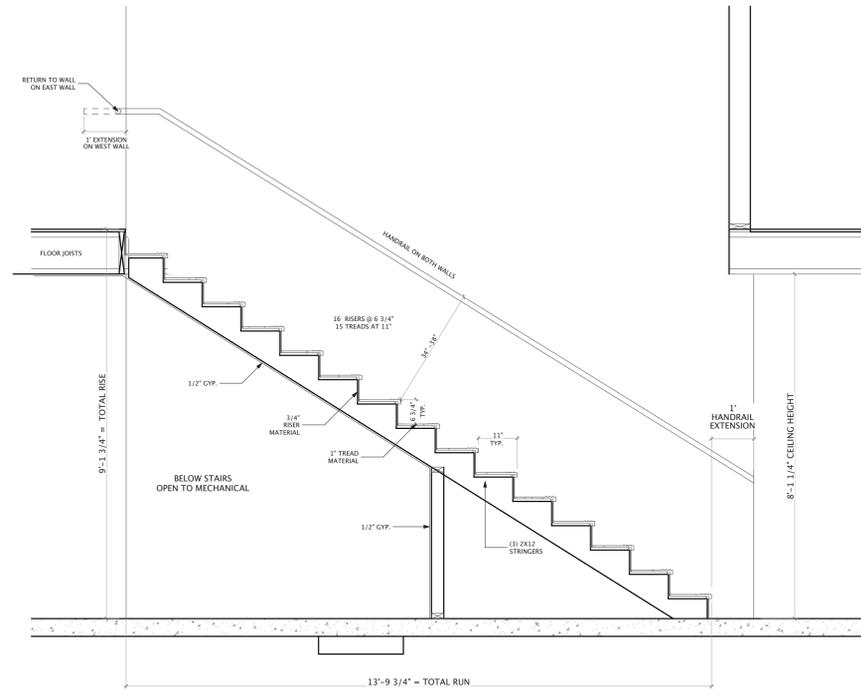
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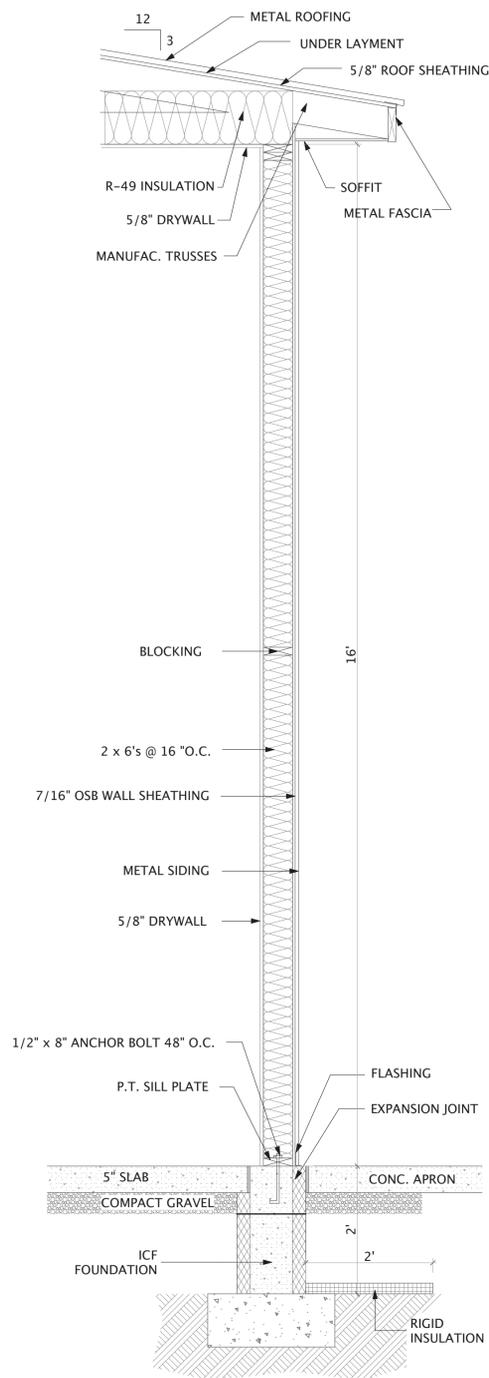
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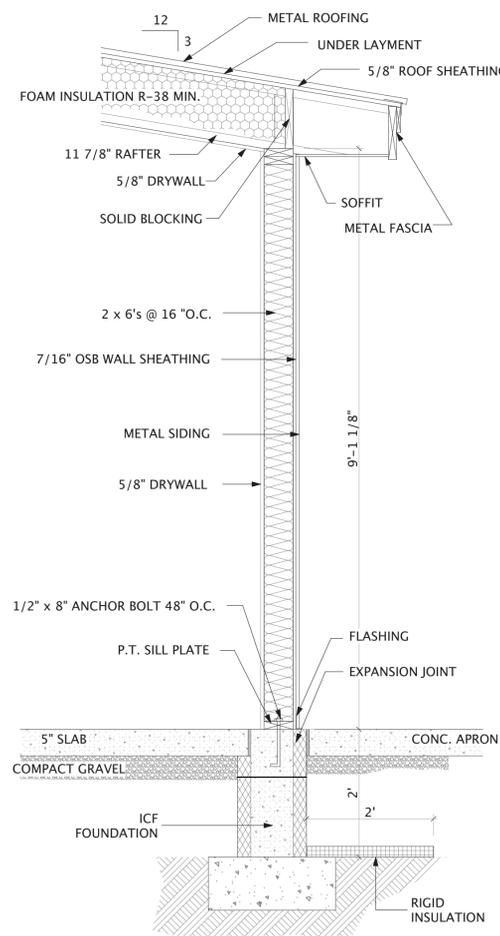
SHEET #
A1.1
MEZZANINE



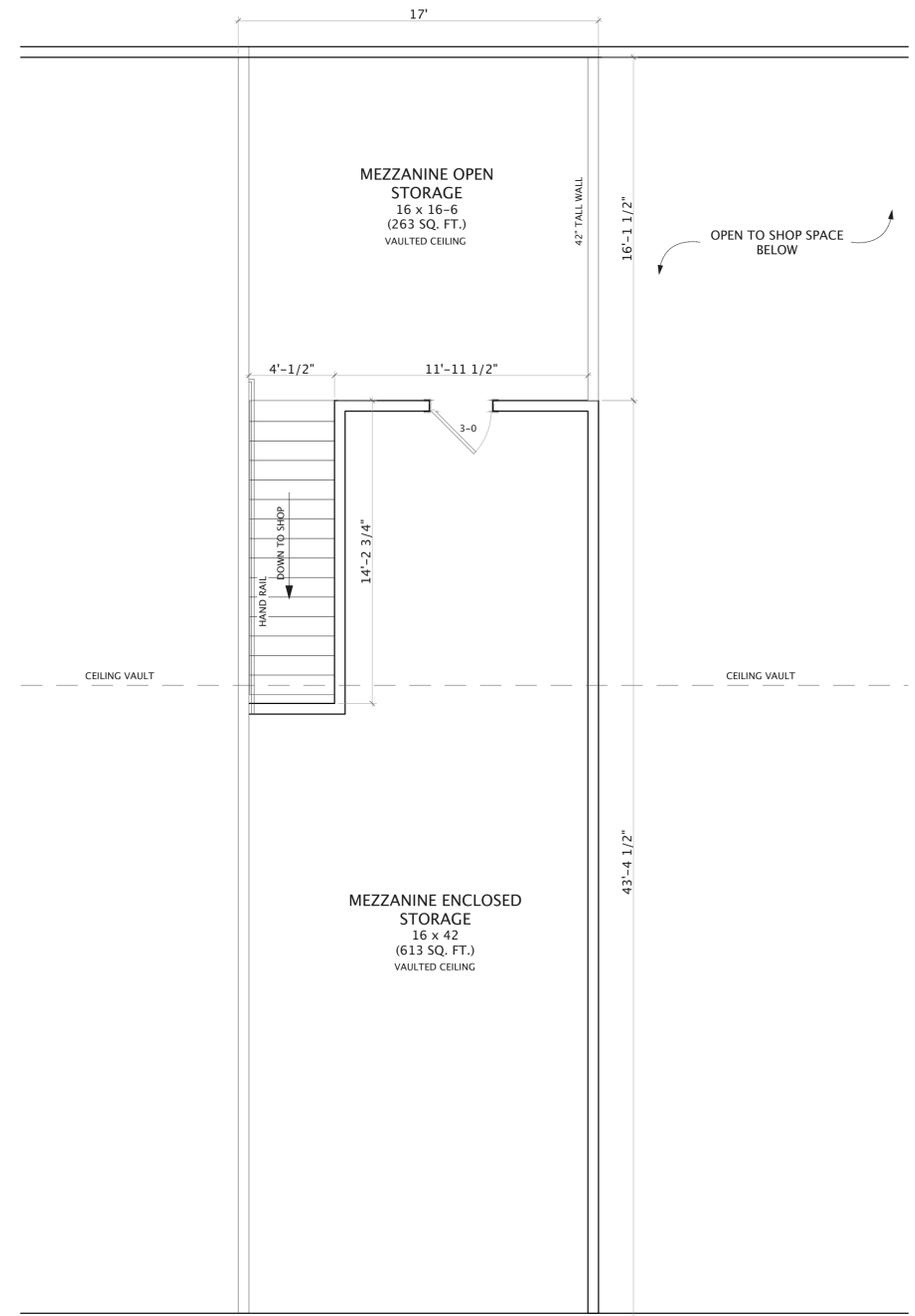
2 STAIR SECTION
A1.1 SCALE: 1/2" = 1'-0"



4 WALL SECTION
A1.1 SCALE: 3/4" = 1'-0"

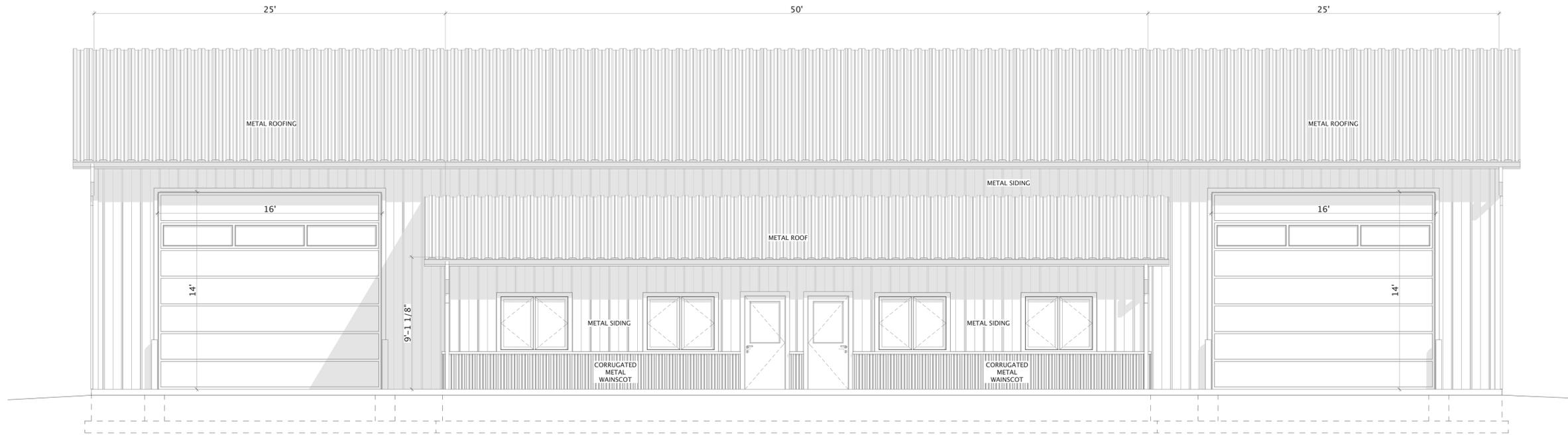


3 WALL SECTION
A1.1 SCALE: 3/4" = 1'-0"

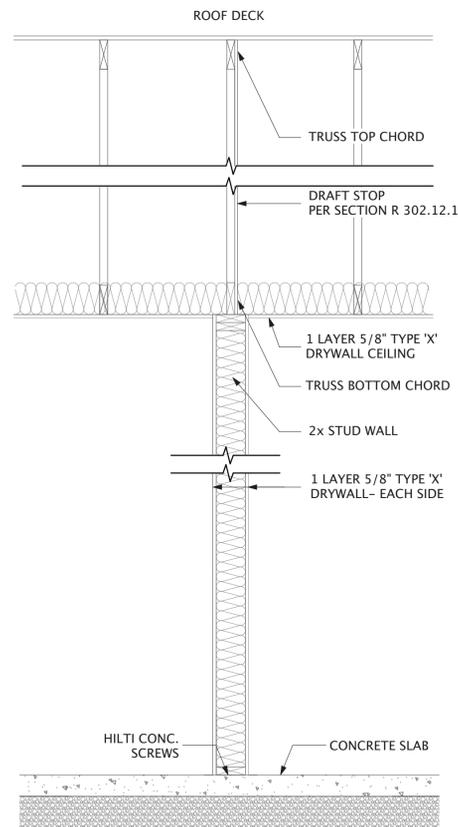


1 MEZZANINE = 624 SQ. FT.
A1.1 SCALE: 1/4" = 1'-0"

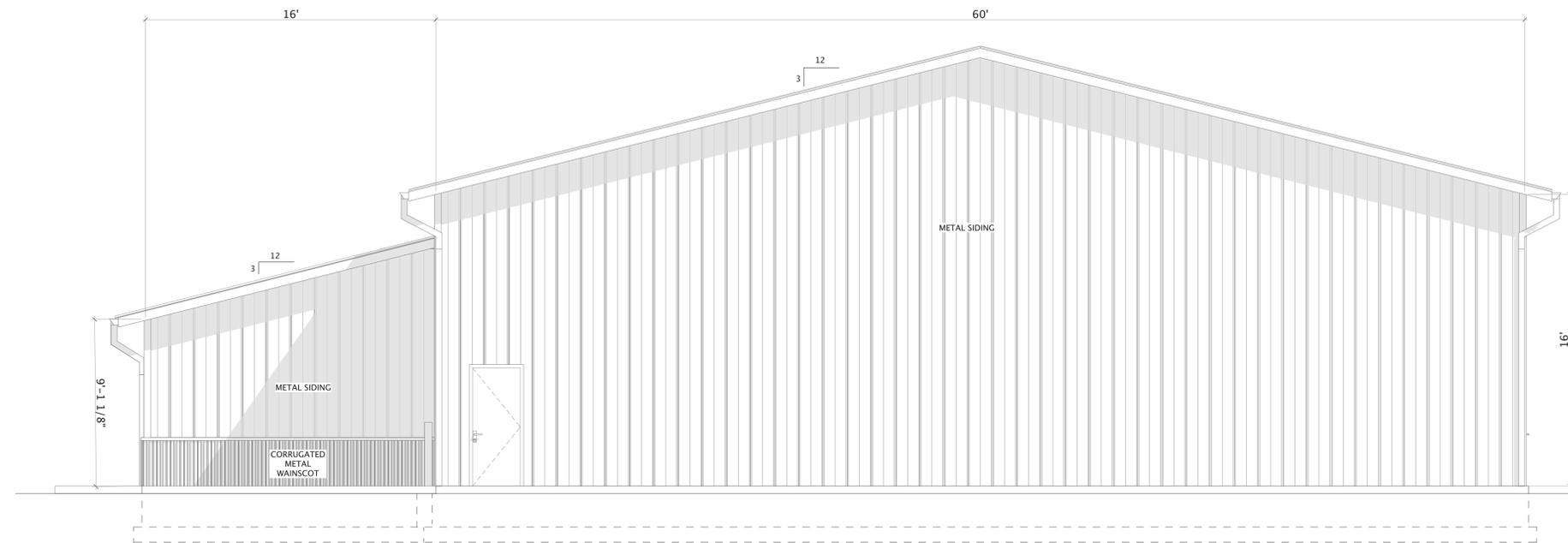




1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 1 HR. FIRE WALL DETAIL
SCALE: 3/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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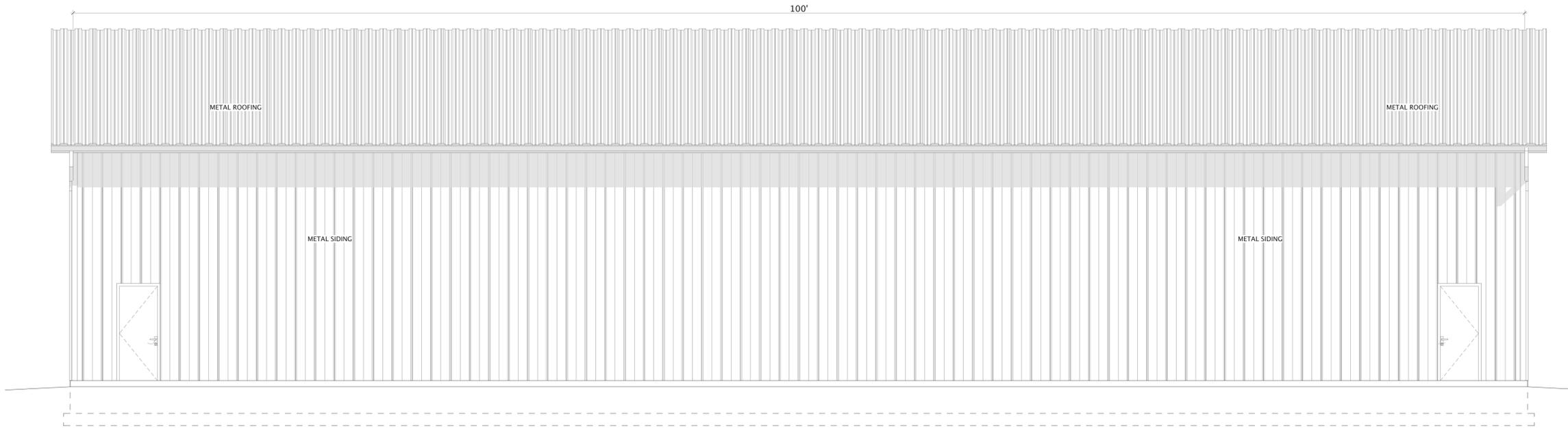
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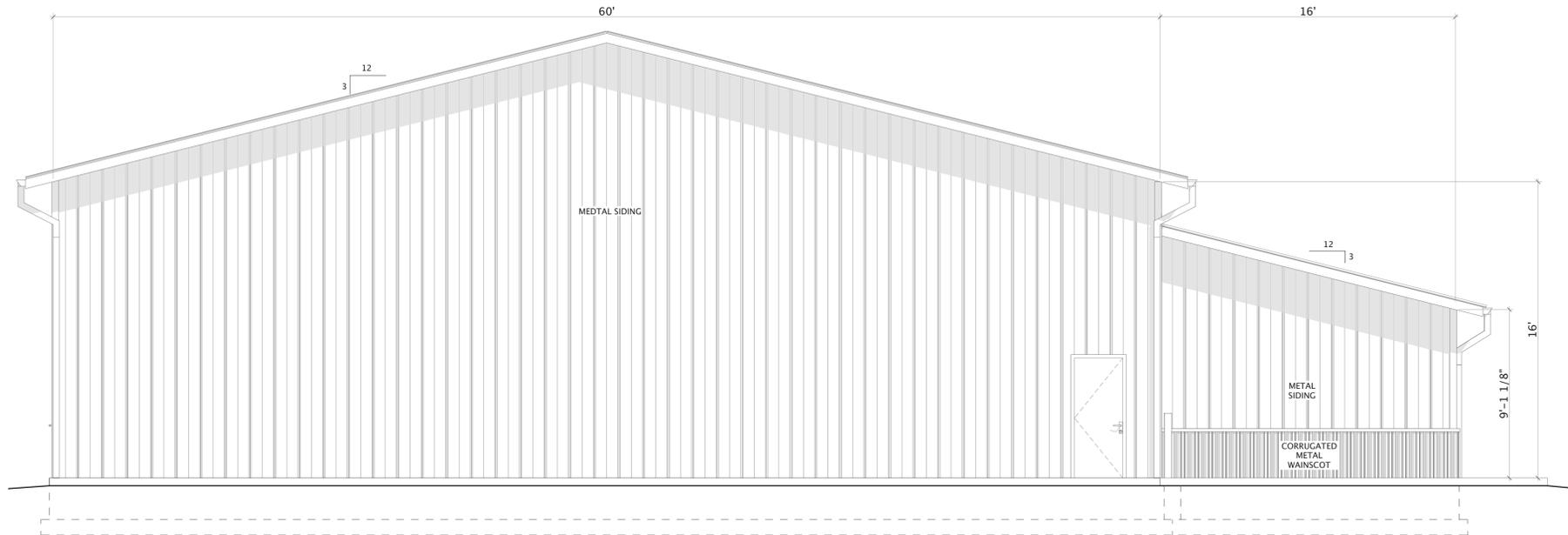
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SHEET #
A2.0
EXT. ELEV.



1 SOUTH ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



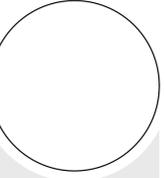
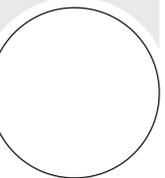
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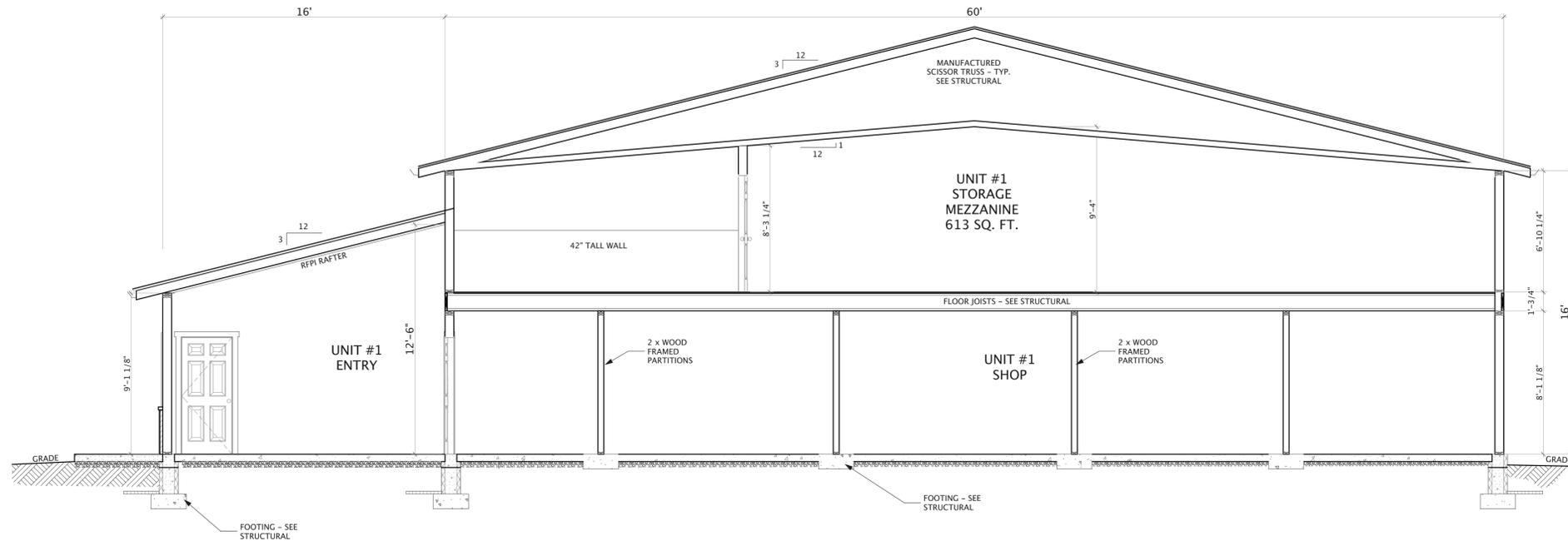
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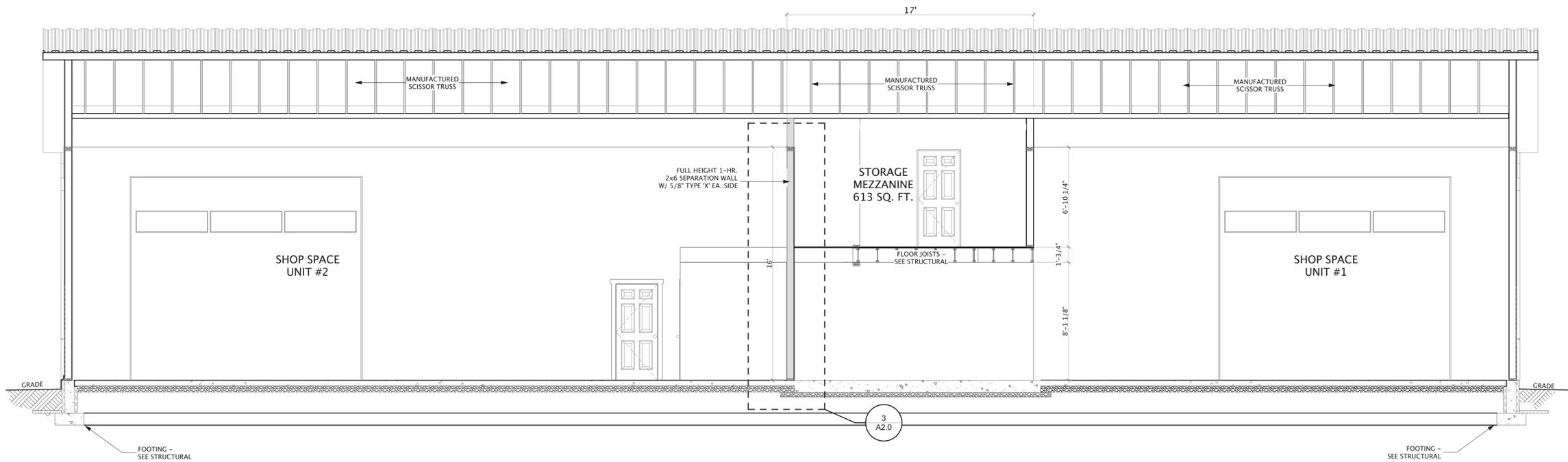
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SHEET #
A2.1
EXT. ELEV.



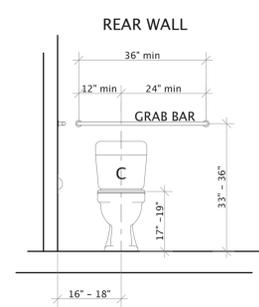
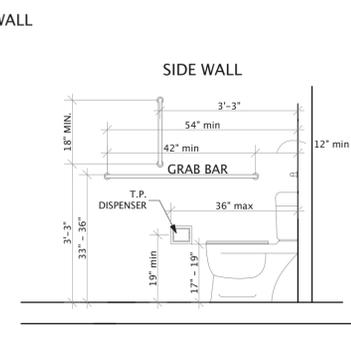
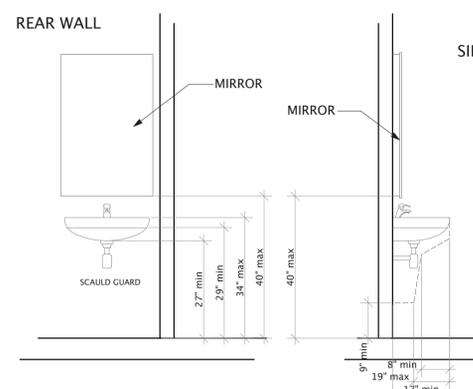
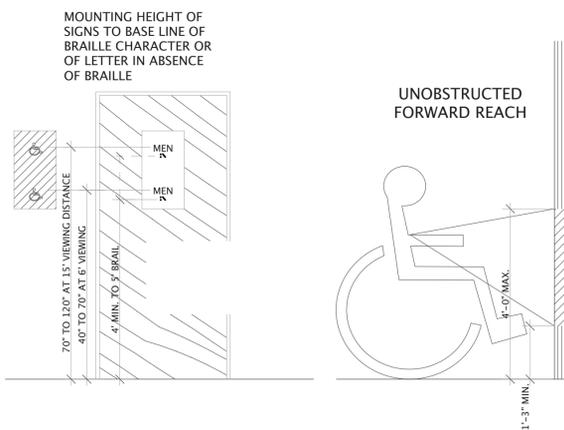
1 CROSS SECTION
A3.0 SCALE: 1/4" = 1'-0"



2 CROSS SECTION
A3.0 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.
2. PROVIDE BACKING FOR ALL TOILET ACCESSORIES.
3. ALL CONSTRUCTION METHODS AND FIXTURES TO MEET ADA CODES AND STANDARDS.



3 ACCESSIBILITY DETAILS
A3.0 SCALE: 1/2" = 1'-0"



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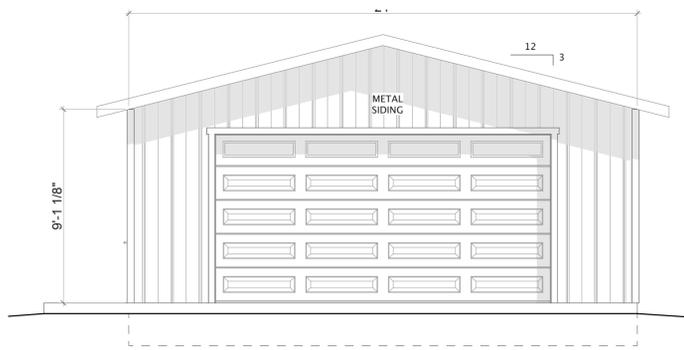
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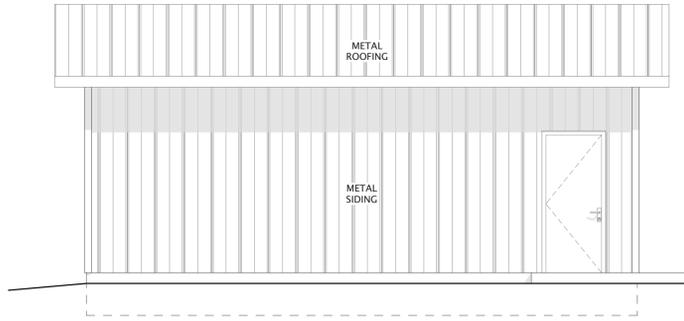
DATE: 04.05.2019
REVISION: 6

PROJECT NO.
1504

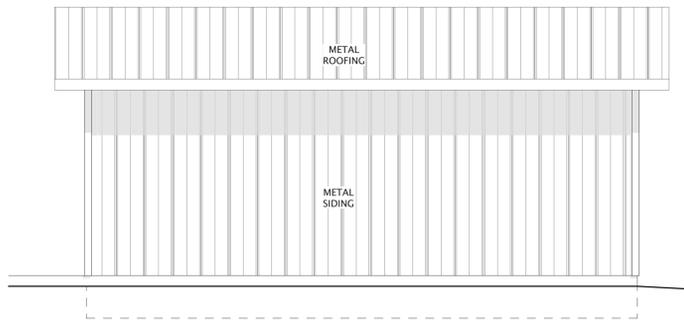
SHEET #
A3.0
EXT. ELEV.



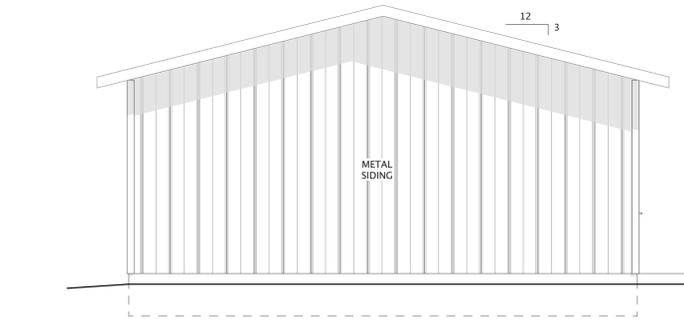
5 TYP. STORAGE BLDG. NORTH ELEV.
SCALE: 1/4" = 1'-0"



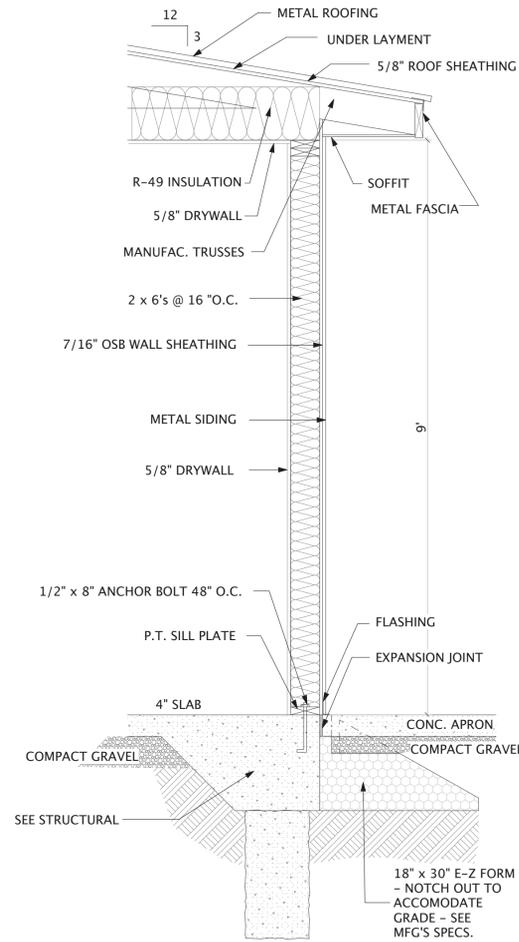
6 TYP. STORAGE BLDG. EAST ELEV.
SCALE: 1/4" = 1'-0"



7 TYP. STORAGE BLDG. - WEST ELEV.
SCALE: 1/4" = 1'-0"



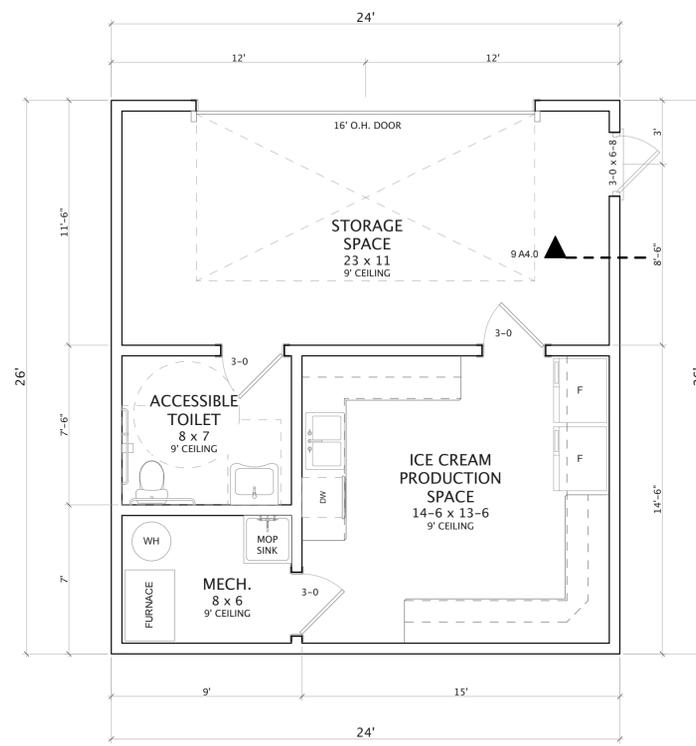
8 TYP. STORAGE BLDG. - SOUTH ELEV.
SCALE: 1/4" = 1'-0"



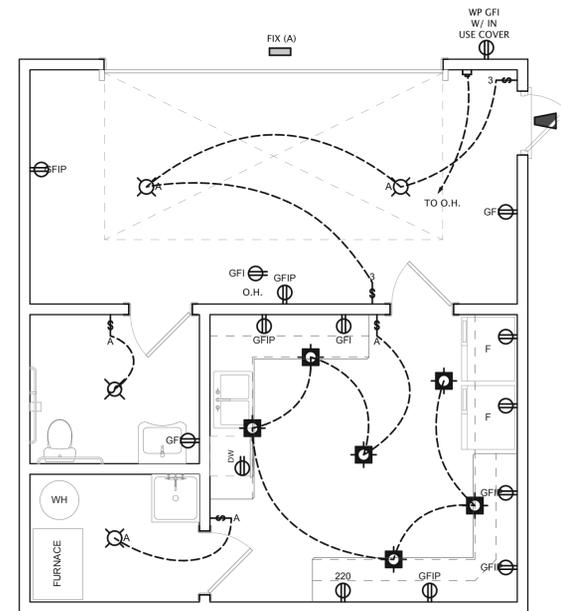
9 WALL SECTION
SCALE: 3/4" = 1'-0"

SYMBOL LIST

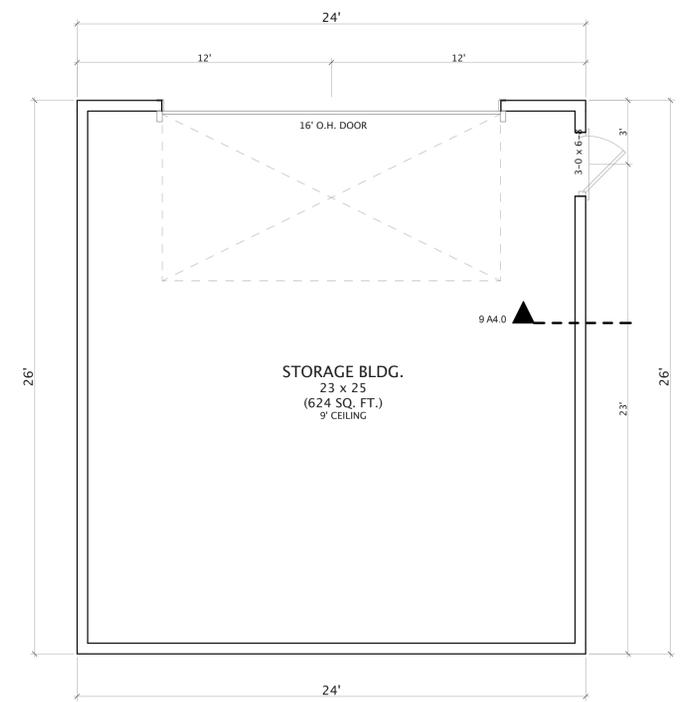
SWITCH DOUBLE POLE	TELEPHONE / TV / DATA
SWITCH SINGLE POLE	FAN WITH LIGHT
SWITCH 3 WAY	CEILING FIXTURE
SWITCH 4 WAY	TELEVISION CABLE
RECEPTACLE 220v.	VANITY LIGHT / WALL MOUNTED
GROUND FAULT CIRCUIT INTERRUPTER	RECESSED CAN LIGHTING
RECEPTACLE DUPLEX OUTLET	WP EXTERIOR RECESSED CAN LIGHTING (FIX C)
GROUND FAULT CIRCUIT PROTECTED	SUSPENDED 4' LED LIGHT
EXT. EMERGENCY LIGHT FIXTURE (FIX B)	EXT - FULL CUT OFF WALL MOUNT (FIX A)
CEILING FAN	INT. EMERGENCY LIGHT FIXTURE
	EXIT LIGHT



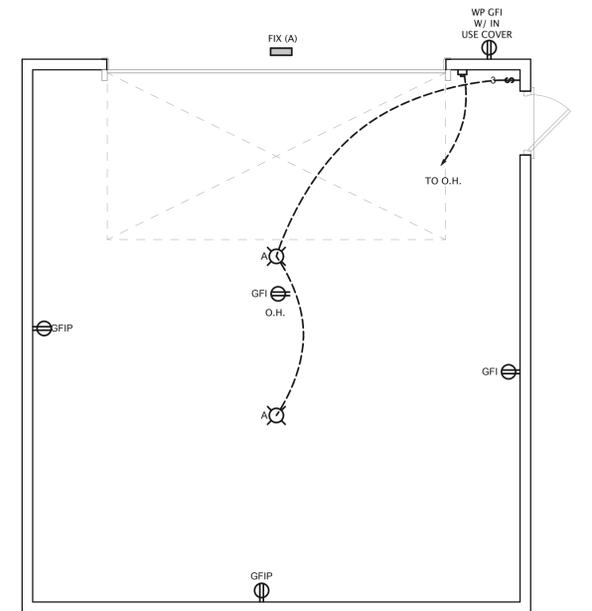
3 ICE CREAM PRODUCTION = 624 SQ. FT.
SCALE: 1/4" = 1'-0"



4 ICE CREAM BUILDING ELECTRICAL
SCALE: 1/4" = 1'-0"



1 TYP. STORAGE BUILDING = 624 SQ. FT.
SCALE: 1/4" = 1'-0"



2 TYP. STORAGE BUILDING ELECTRICAL
SCALE: 1/4" = 1'-0"

EXTERIOR LIGHT FIXTURE SCHEDULE

LETTER DESIG.	FIXTURE				LAMP		NOTES
	MANUFACTURER	CATALOG NO.	LOCATION	TYPE	TYPE	NO.	
A	LITHONIA	CSXW LED 30C 700 40K T3M MVOLT DBLXD	WALL	SURFACE	LED		
B	LITHONIA	AFN	WALL	CAN	LED 20WA		
C	LITHONIA	REAL6D6BNE6L600L30K.605C120V	SOFFIT	SURFACE	LED		



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE
930 12TH STREET
CODY, WYOMING 82414
307.587.6227 | 307.272.5709
@PRECISIONPLANANDDESIGN@GMAIL.COM

MEMBER ILBA no. 1271

PROJECT LOCATION
CODY, WY

KEITH PRYOR
ARCHITECT
1415 W YOUNG AVE. CODY, WY 82414
307.587.3509

HAZEL SHOP
LOREN HAZEL
3419 APPALACHIAN AVE.
CODY, WY 82414
P: 307.250.1418
@: electrical@hmail.com

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DATE: 04.05.2019
REVISION: 6

PROJECT NO.
1504

SHEET #
A4.0
STORAGE BLDGS.

EXTERIOR LIGHT FIXTURE SCHEDULE

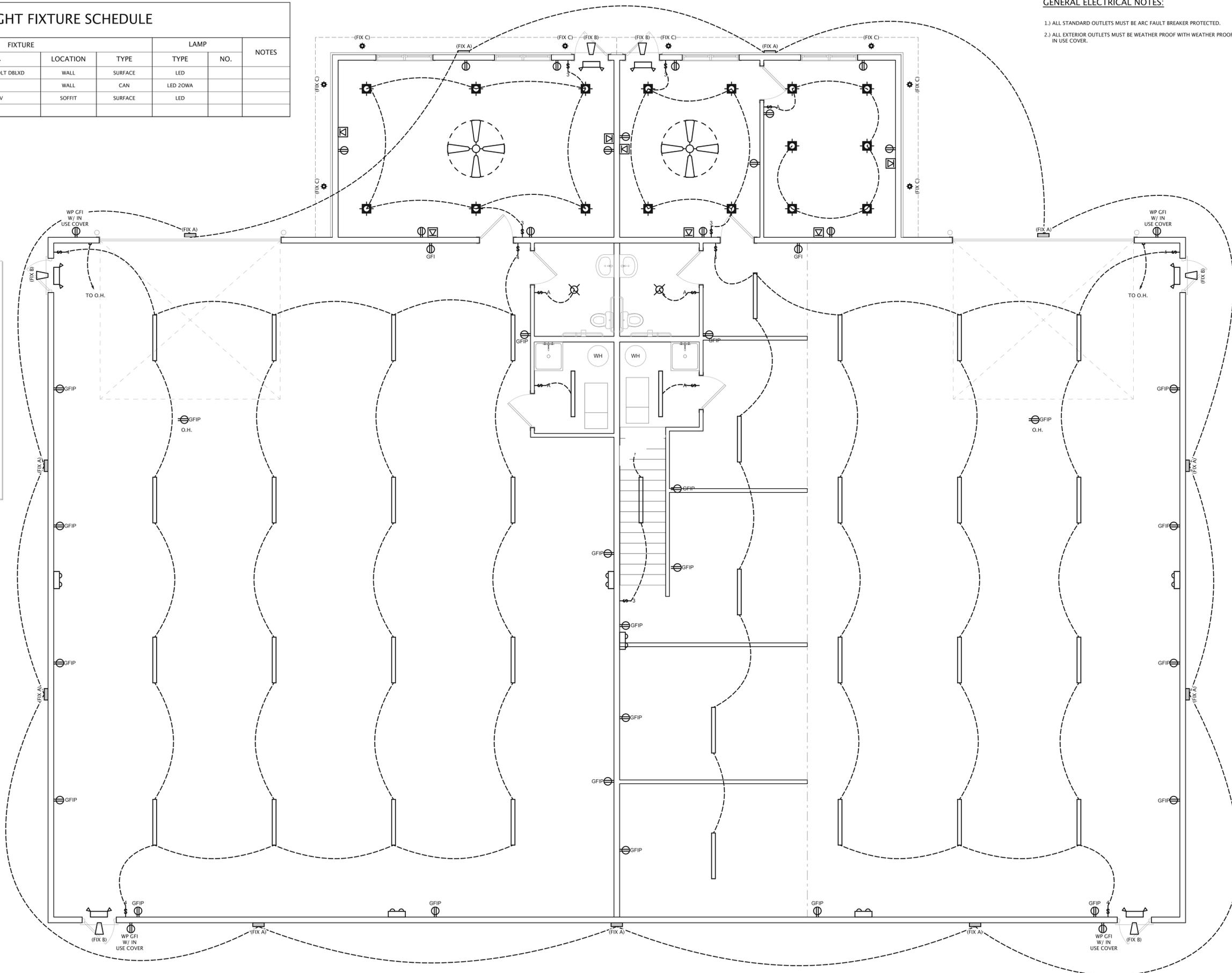
LETTER DESIG.	FIXTURE			LAMP		NOTES
	MANUFACTURER	CATALOG NO.	LOCATION	TYPE	NO.	
A	LITHONIA	CSXV LED 30C 700 40K T3M MVOLT DBLXD	WALL	SURFACE	LED	
B	LITHONIA	AFN	WALL	CAN	LED 20WA	
C	LITHONIA	REAL6D6BNE5L600L30K.60SC120V	SOFFIT	SURFACE	LED	

GENERAL ELECTRICAL NOTES:

- 1.) ALL STANDARD OUTLETS MUST BE ARC FAULT BREAKER PROTECTED.
- 2.) ALL EXTERIOR OUTLETS MUST BE WEATHER PROOF WITH WEATHER PROOF IN USE COVER.

SYMBOL LIST

2	SWITCH DOUBLE POLE	☒	TELEPHONE / TV / DATA
1	SWITCH SINGLE POLE	☒	FAN WITH LIGHT
3	SWITCH 3 WAY	☒	CEILING FIXTURE
4	SWITCH 4 WAY	☒	TELEVISION CABLE
220	RECEPTACLE 220v.	☒	VANITY LIGHT / WALL MOUNTED
GFI	GROUND FAULT CIRCUIT INTERRUPTER	☒	RECESSED CAN LIGHTING
GFIP	RECEPTACLE DUPLEX OUTLET	☒	WP EXTERIOR RECESSED CAN LIGHTING (FIX C)
GFIP	GROUND FAULT CIRCUIT PROTECTED	☒	SUSPENDED 4" LED LIGHT
(FIX B)	EXT. EMERGENCY LIGHT FIXTURE	☒	EXT - FULL CUT OFF WALL MOUNT
(FIX A)	CEILING FAN	☒	INT. EMERGENCY LIGHT FIXTURE
		☒	EXIT LIGHT



1
E1.0 MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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MEMBER ILBA no. 1271

PROJECT LOCATION
CODY, WY

KEITH PRYOR
ARCHITECT
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307.587.3509

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DATE: 04.05.2019
REVISION: 6

PROJECT NO.
1504

SHEET #
E1.0
MAIN ELEC.



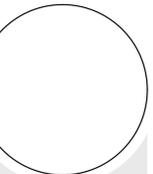
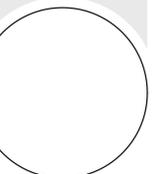
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ARCHITECT
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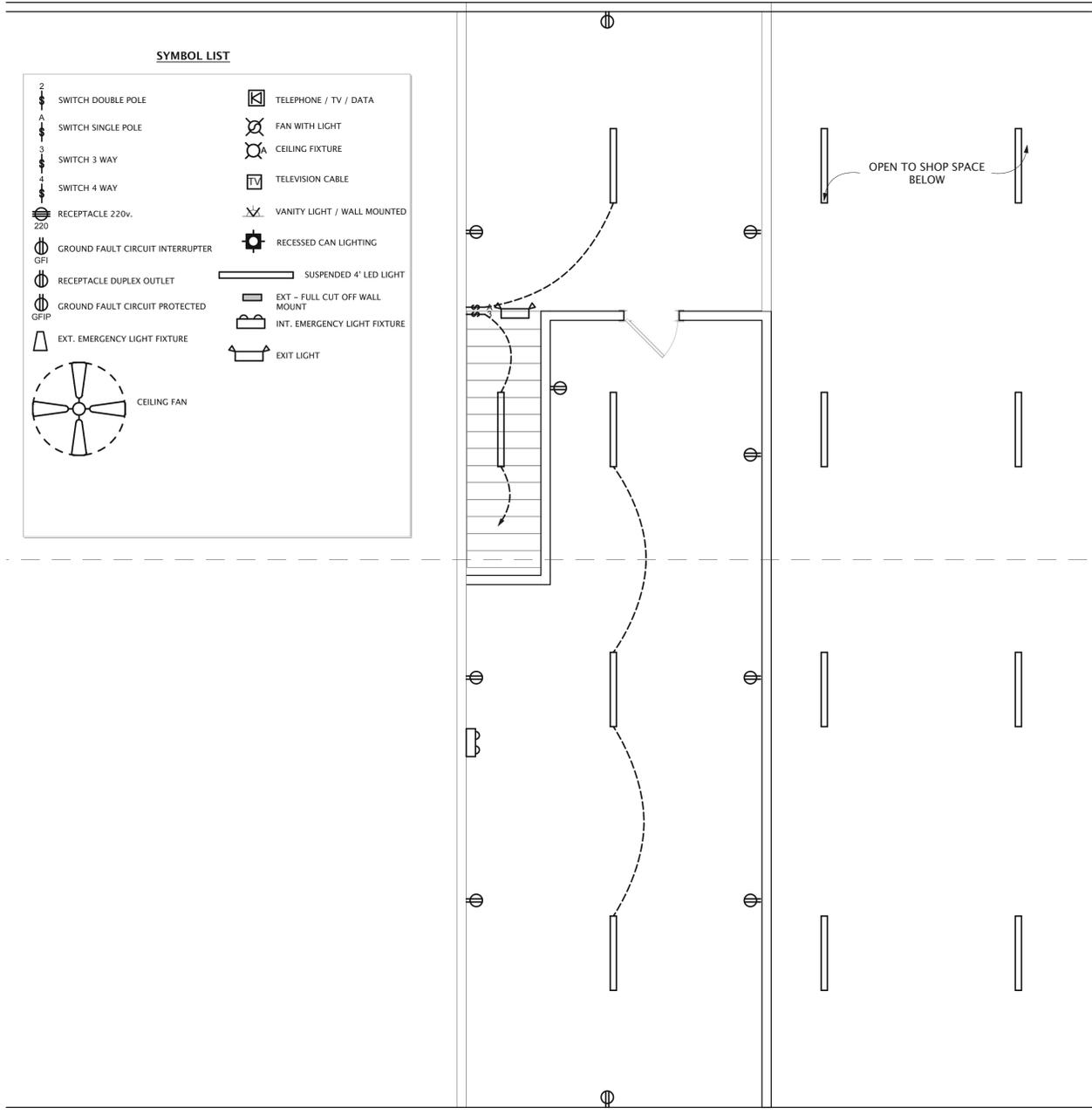
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P: 307.250.1418
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DATE: 04.05.2019
REVISION: 6

PROJECT NO.
1504

SHEET #
E1.1
MEZZ. ELEC.



SYMBOL LIST

2	SWITCH DOUBLE POLE	☑	TELEPHONE / TV / DATA
A	SWITCH SINGLE POLE	☒	FAN WITH LIGHT
3	SWITCH 3 WAY	☒	CEILING FIXTURE
4	SWITCH 4 WAY	☒	TELEVISION CABLE
220	RECEPTACLE 220V.	☒	VANITY LIGHT / WALL MOUNTED
GFI	GROUND FAULT CIRCUIT INTERRUPTER	☒	RECESSED CAN LIGHTING
RECEPTACLE DUPLEX OUTLET		☒	SUSPENDED 4' LED LIGHT
GFI-P	GROUND FAULT CIRCUIT PROTECTED	☒	EXT. - FULL CUT OFF WALL MOUNT
EXT. EMERGENCY LIGHT FIXTURE		☒	INT. EMERGENCY LIGHT FIXTURE
CEILING FAN		☒	EXIT LIGHT

1
E1.1 **MEZZANINE ELECTRICAL PLAN**
SCALE: 1/4" = 1'-0"



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 23, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	FINAL PLAT OF COUGAR WEST SUBDIVISION— A 12-LOT SUBDIVISION. SUB 2018-04	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT OVERVIEW

Jerry Thiel and Sons Construction and Kip B. Thiel Construction have submitted a final plat application for a 12-lot subdivision on a 2.23-acre property located between Cougar Avenue and West Avenue, about 150 feet east of North Street. The property is mostly within the residential R-3 zoning district, except the south 100 feet is zoned R-2. Eleven of the lots would be vacant and developed with single-family homes. One lot (Lot 10) would contain an existing single-family home. The final plat process includes approval of the construction drawings and the final plat survey. Both documents are attached.



SUBDIVISION REGULATIONS

The subdivision ordinance requirements were reviewed with the preliminary plat approval. The following are either outstanding items, or reflect changes from the preliminary plat review.

Cross-slope of street: The standard for cross-slope on a street is 2 percent. The construction plans now propose a slope of 1.25% on the cul-de-sac bulb, which is agreeable to Public Works, but requires a variance. The rest of the street is proposed with a series of basins sloped to curb cuts on the west side of the street. The

construction plans identify that cross slope of as ranging from 1.04% to 1.84 percent. Public Works is concerned that it will be difficult to construct the main section of the street with such a low slope and avoid puddling. They will be working with the applicant's engineer before the meeting to see what alternatives may be available (want to minimize the number of basins and get closer to 2% slope). A variance to the 2% is likely needed, but the extent of the variance is still being negotiated.

Utilities: The utility providers attended a coordination meeting in which the subdivision was discussed. They are all apparently fine with the plans, but have not all submitted written verification. To verify their approval, we are asking for their approval signatures on the construction plans prior to construction.

Water Rights: The water rights are being transferred off the property to a third party. Historically they have been transferred to the City, but the State Engineer's office prefers they be transferred elsewhere unless and until the city commences to expand their raw water (irrigation system). Approvals from Cody Canal has been obtained, an agreement is in place with the purchaser. The only item remaining to satisfy the City requirements is for the purchaser to enter into a contract with a surveyor or engineer to complete the transfer process with the State Engineers Office.

Maintenance of the Storm Water Facility: It was determined that the storm water facility could be located in the public right-of-way, but would have to be privately maintained. A note indicating responsibility for maintenance is on the final plat, but staff is asking for a formal agreement that outlines the expectations for maintenance, the collection of funds, and penalties for lack of participation.

Issuance of Building Permits: The subdivision ordinance notes that, "*No building shall be erected on any lot in any subdivision, nor shall a building permit be issued by the city for a building until all improvements reasonably expected and required by the city, such as streets, curb and gutter, sidewalk, sewer service, water service, etc., have been installed, approved and accepted by the city for the lot upon which the building is to be constructed.*" The applicant is requesting a variance to allow issuance of permits prior to completion of the subdivision infrastructure, with the commitment that no building will be issued a certificate of occupancy until the infrastructure is complete and accepted by the City. This is what the City allowed for the Amended Sunset Subdivision that was done by Harold Musser, which like this subdivision will have all lots developed with homes by the developer. Staff is not opposed to the request, provided it is also noted that no sales be completed prior to completion and acceptance of the infrastructure. For clarification, there are two area of infrastructure---those for Lots 11 and 12, and that for the rest of the lots. Staff would be willing to allow certificates of occupancy and sales based on completion of each area in which the lot is located.

Another option is to allow issuance of building permits but not record the final plat until the infrastructure is complete and accepted. Certificates of occupancy would not be

issued until the infrastructure was accepted and the plat recorded. This would necessitate a variance to the 100-days for recording the final plat.

The Conditions of Preliminary Plat approval were as follows, with their status noted:

Conditions:

1. Provide an updated preliminary plat with the following changes: *(Status: Done.)*
 - a. Reduce the cul-de-sac right-of-way to 100' in diameter.
 - b. Provide Lot 10 with a minimum of 30 feet of frontage on the cul-de-sac right-of-way.
 - c. Expand the 10-foot utility easement on the south side of Lots 9 and 10 to 20 feet to capture the existing overhead power line and align with the easement to the east. Label it as a utility and irrigation easement.
 - d. Dedicate an additional 10 feet of right-of-way for West Avenue (move lot line).
 - e. Show the improvements in the Cougar Avenue right-of-way (sidewalk, ADA ramps, curb radii, asphalt, street sign, removal of curb cut and replacement with standard curb, etc.)
 - f. Correct any errors (e.g. sizes and dimensions of Lots 10, 11 and 12 due to R/W dedication; update city utility phone numbers)
2. Cash in lieu of public use areas shall be provided. Final calculations will be made at time of final plat submittal and payment due prior to the mayor signing the final plat (2018 value= \$8,408.00). *(Status: Pay prior to mayor signing the final plat.)*
3. Provide irrigation easements as required by Cody Canal Irrigation District. Piping of the existing ditch/canal is the developer's responsibility and shall be to Cody Canal Irrigation District standards—coordinate costs and installation responsibilities with Cody Canal. *(Status: The ditch is private, and is provided with an easement. It will be piped per the construction plans.)*
4. A maintenance agreement and/or homeowner's association shall be established for maintenance of the storm water swale and any associated improvements. Submit the proposed agreement with the final plat. Also include an explanatory note referencing such on the final plat. *(Status: Note is added. Agreement is still pending.)*
5. The storm water basin shall be lined with decorative rock/cobble or grass. *(Status: The plans show "field rock" (see Sheet C0.07) on much but not all of the swale. The applicant should clarify if rock will continue to the edge of the swales, or if a native grass will be provided.)*
6. Provide dust control during subdivision development as needed to prevent dust impacts to neighboring properties. *(Status: Note on plans.)*
7. All structures not meeting setback requirements, with the exception of the existing house, must be removed prior to the final plat being recorded. All utilities serving the existing house from West Avenue must be provided with an easement or relocated into the 20-foot wide connection prior to the final plat being recorded (natural gas, other?). *(Status: Any remaining structures, other than the house will be removed as noted. However, the part about relocating utilities prior to the*

recording of the final plat will not work, as they are now relocating power, and bringing in the water service from the cul-de-sac. It is now proposed that timing be as follows: The house on lot 10 must be provided with the new water service prior to issuance of a building permit for Lot 12.)

8. Provide a final drainage report with the construction documents. *(Status: Done. Report is acceptable.)*
9. The final plat application and construction documents shall otherwise comply with the City subdivision ordinance. *(Status: Outstanding items are included as conditions of approval for the final plat. The construction plans are otherwise acceptable.)*

VARIANCES:

Variances are reviewed under the following standard of 11-5-2(B):

If during the approval process of a proposed subdivision it can be shown that strict compliance with the requirements of this title will result in extraordinary hardship to the subdivider due to unusual topography or other similar land conditions, or where the subdivider can show that variances will make a greater contribution to the intent and purpose of this title, the commission and council may, upon written request and proper justification, grant a variance to this title so that substantial justice may be done and the public interest secured; provided, that any such variance will not have the effect of nullifying the intent and purpose of this title.

POTENTIAL MOTION:

Recommend that the City Council approve the Cougar West Final plat and the following additional variances, subject to the listed conditions:

Additional Subdivision Variances:

1. Variance to permit a minimum cross-slope of 1.25 percent on the cul-de-sac bulb, and a cross slope of _____ on the straight portion of the street.
2. Variance to allow issuance of building permits per the method determined in the meeting. (No Certificates of Occupancy and no completion of lot sales until infrastructure is completed and accepted by the City, or other option relating to not recording final plat until later.)

Proposed Conditions:

1. Submit an updated construction plan set, based on the cross-slope discussion, for approval by Public Works.
2. Provide utility provider approval signatures on the construction plan set after it is approved by Public Works.

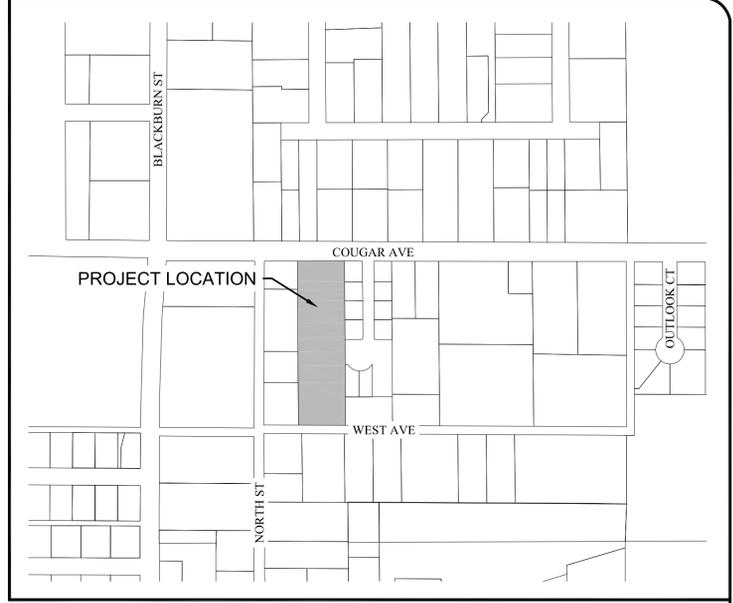
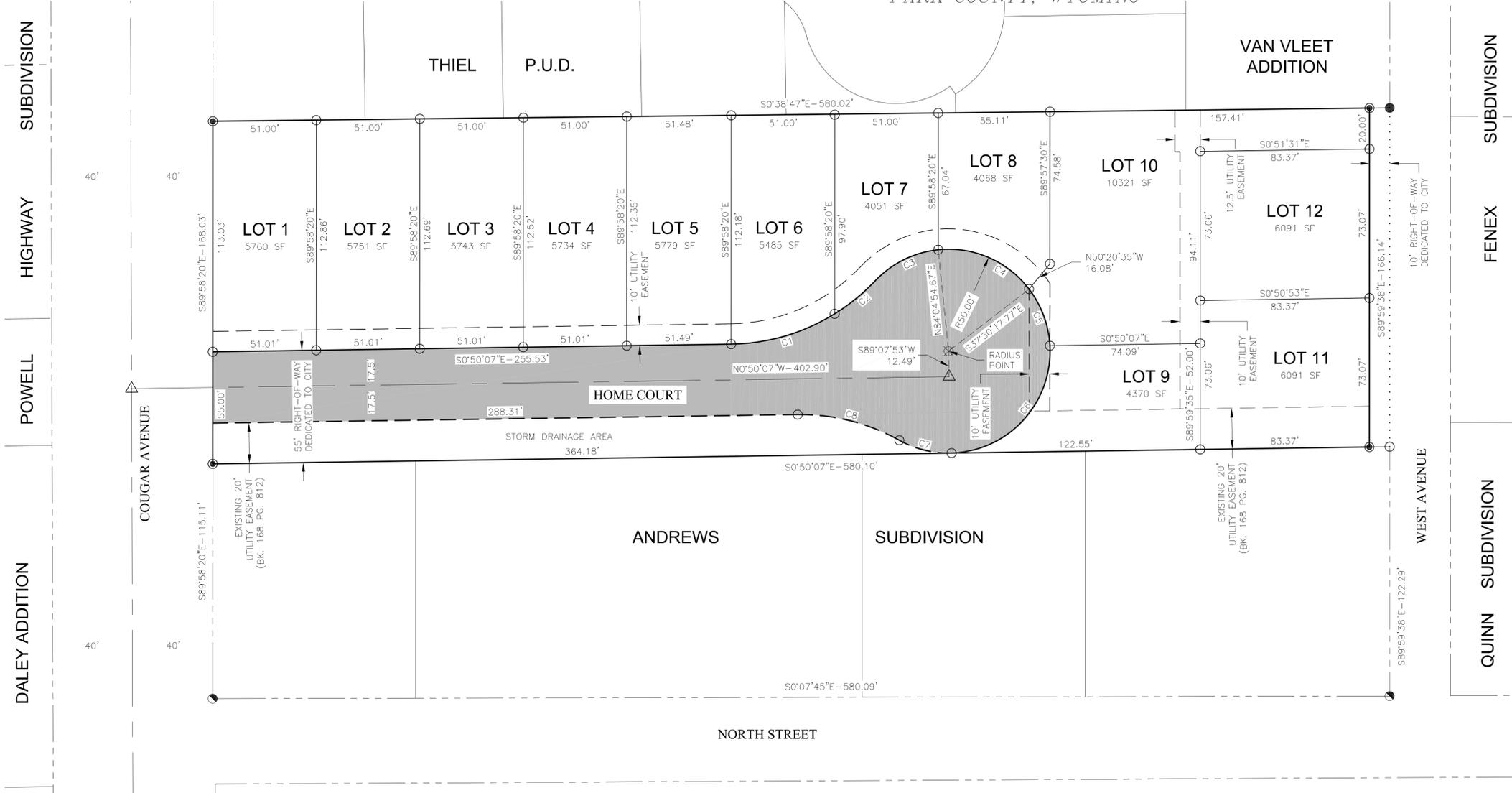
3. Provide a copy of a contract/agreement between the purchaser of the water rights and a WY licensed surveyor or engineer to complete the transfer process with the State Engineers Office. Submit prior to recording the final plat.
4. Provide a maintenance agreement outlines the expectations for maintenance of the storm water facility, the collection of funds, and penalties for lack of participation.
5. Prior to the mayor signing the final plat, pay the fee in lieu of public use area in the amount of \$8,408.00.
6. Prior to the mayor signing the final plat, pay applicable utility fees (electric fees and water taps at a minimum).

ATTACHMENTS:

Construction Plans and Final Plat

(Not attached but available: Submittal letter/corrections list, water right paperwork, title report, DEQ Notification of Coverage, utility ee calculations, and drainage report.)

COUGAR WEST SUBDIVISION
TRACT 71, RESURVEY, T.53N., R.101W.,
PARK COUNTY, WYOMING



VICINITY MAP
SCALE = 1:300

- NOTES**
- LOTS 1-10 WITHIN THIS SUBDIVISION FALL UNDER R-3 ZONE. LOTS 11-12 WITHIN THIS SUBDIVISION FALL UNDER R-2 ZONE.
 - THE PROPOSED USE OF LOTS WITHIN THIS SUBDIVISION IS SINGLE-FAMILY RESIDENTIAL.
 - THIS SUBDIVISION DOES NOT FALL WITHIN A FLOOD ZONE.
 - TOTAL ACREAGE FOR THIS SUBDIVISION IS 2.23± ACRES.
 - MAINTENANCE OF THE STORM DRAINAGE AREA IS THE RESPONSIBILITY OF THE OWNERS OF LOTS 1-10.

CITY PLANNING AND ZONING BOARD
APPROVED AS OF THE ____ DAY OF _____, 2019 BY THE PLANNING AND ZONING BOARD, CITY OF CODY, WYOMING.

CHAIRMAN _____

CITY COUNCIL
APPROVED AS OF THE ____ DAY OF _____, 2019 BY THE CITY COUNCIL OF CODY, WYOMING.

ATTEST: CITY CLERK _____ MAYOR _____

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	53.77'	100.00'	30°48'36"	S16° 14' 25"E	53.13'
C2	25.76'	100.00'	14°45'37"	S39° 01' 32"E	25.69'
C3	35.33'	50.00'	40°29'15"	N26° 09' 43"W	34.60'
C4	50.98'	50.00'	58°24'48"	N23° 17' 18"E	48.80'
C5	30.00'	50.00'	34°22'39"	N69° 41' 02"E	29.55'
C6	81.27'	50.00'	93°07'39"	S46° 33' 49"E	72.61'
C7	25.39'	50.00'	29°05'42"	S14° 32' 51"W	25.12'
C8	52.24'	100.00'	29°55'50"	N14° 07' 48"E	51.65'

CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: THAT KIP B. THIEL CONSTRUCTION, INC., A WYOMING CORPORATION, AND JERRY THIEL & SONS CONSTRUCTION, INC., A WYOMING CORPORATION, BEING THE OWNERS OF THE LAND DESCRIBED IN WARRANTY DEED DOC #2018-2968

THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE SUBDIVISION OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS.

THAT WE HEREBY DEDICATE HOME COURT AND WEST AVENUE AS SHOWN HEREON TO THE CITY OF CODY AS PUBLIC RIGHT-OF-WAY.

THAT WE HEREBY DEDICATE THE EASEMENTS AND RIGHTS-OF-WAY LABELED HEREON TO THE USES SO NOTED.

THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD.

AND, THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

AND THAT THE OWNERS OF LOTS 10-12 DO HEREBY AGREE TO PROMOTE AND PARTICIPATE IN AN IMPROVEMENT DISTRICT FOR CURB, GUTTER AND SIDEWALK ALONG THE NORTH SIDE OF WEST AVENUE WHEN DEEMED NECESSARY BY THE CITY OF CODY. AND FURTHER THAT THIS LANGUAGE SHALL BE CONTAINED IN EACH AND ALL CONVEYANCES OF RECORD.

IN WITNESS WHEREOF, THE SAID OWNERS KIP B. THIEL CONSTRUCTION, INC. AND JERRY THIEL & SONS CONSTRUCTION, INC., WITH FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES, HAVE CAUSED THEIR NAMES HEREON TO BE SUBSCRIBED THIS ____ DAY OF _____, 2019.

KIP THIEL, OWNER
KIP B. THIEL CONSTRUCTION, INC.

JERRY THIEL, OWNER
JERRY THIEL & SONS CONSTRUCTION, INC.

ACKNOWLEDGMENT:
STATE OF WYOMING,)
COUNTY OF PARK,)SS

THE FOREGOING OWNER(S) CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2019 BY KIP THIEL AND JERRY THIEL. WITNESS MY HAND AND OFFICIAL SEAL: (WYOMING STATE LAW REQUIRES A NOTARY SEAL TO BE AFFIXED HEREON)

NOTARY PUBLIC _____
MY COMMISSION EXPIRES: _____

DESCRIPTION OF LANDS

LOT 2 OF FENEX SUBDIVISION

RECORDER'S ACCEPTANCE

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER ON THIS ____ DAY OF _____, 2019, AND FILED FOR RECORD AT ____ M. UNDER DOCUMENT NUMBER _____ IN PLAT CABINET ____ AT PAGE ____.

PARK COUNTY CLERK AND RECORDER _____

BY: DEPUTY _____

CERTIFICATE OF SURVEYOR

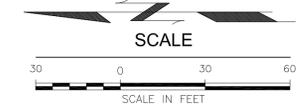
I, GARY G. CHRISTENSEN, BEING A REGISTERED LAND SURVEYOR IN THE STATE OF WYOMING, DO HEREBY CERTIFY THAT THIS PLAT AND FIELD SURVEY WERE MADE BY ME OR UNDER MY SUPERVISION AND THAT BOTH ARE ACCURATE TO THE BEST OF MY KNOWLEDGE AND IN COMPLIANCE WITH ALL STATE AND CITY STATUTORY PROVISIONS AND REGULATIONS. THIS RECORD OF SURVEY WAS CREATED FROM AN ACTUAL FIELD SURVEY PERFORMED ON 12/10/2018.



BASIS OF BEARINGS
THE CITY OF CODY HORIZONTAL AND VERTICAL CONTROL SYSTEM WAS USES AS THE BASIS OF BEARINGS.

GARY G. CHRISTENSEN
WYOMING PLS 13956

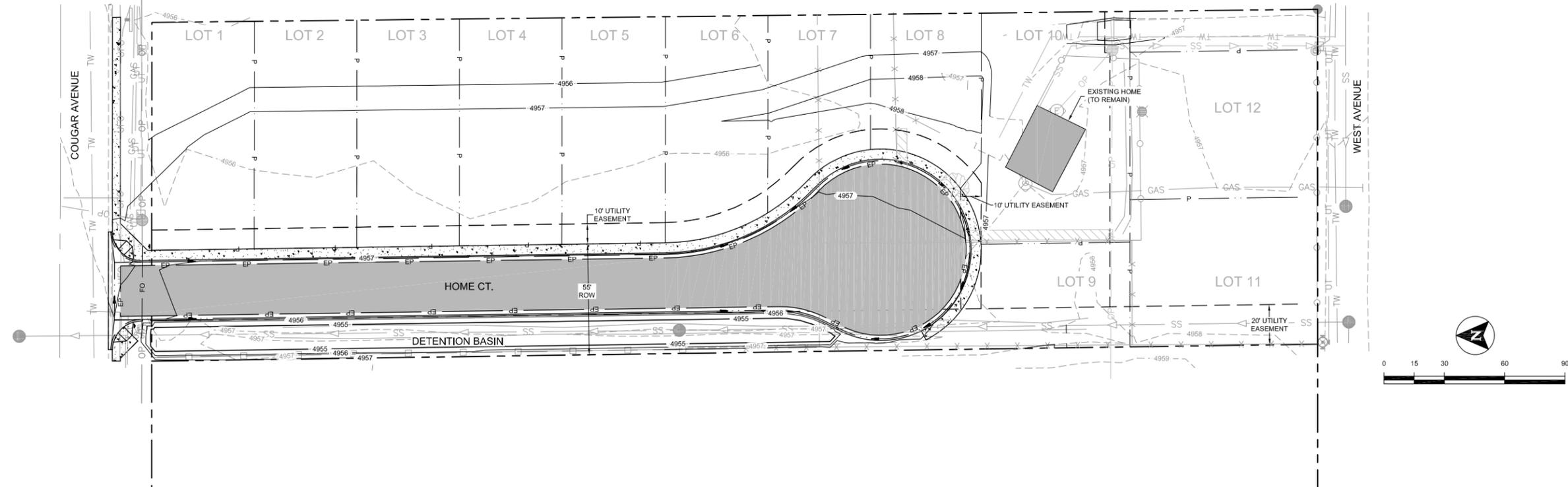
- LEGEND**
- NEW LOT LINE
 - EXISTING BOUNDARY
 - RIGHT-OF-WAY LINE
 - NEW EASEMENT LINE
 - EXISTING EASEMENT LINE
 - PROPERTY LINE TO BE AMENDED VIA RIGHT-OF-WAY DEDICATION
 - FOUND ALUMINUM CAP
 - FOUND IRON PIPE
 - SET 5/8"x24" REBAR WITH 2 1/2" ALUMINUM CAP
 - SET BRASS CAP
 - SET 3 1/2" BRASS CAP IN CONCRETE
 - MEASURED DATA (S0°50'07"E-259.83')
 - RECORD DATA (S0°18'55"E-578.84')



FINAL PLAT
COUGAR WEST SUBDIVISION
WITHIN
TRACT 71, RESURVEY,
T.53N., R.101W., 6TH P.M.,
PARK COUNTY, WYOMING
KIP B. THIEL CONSTRUCTION, CODY, WY
JERRY THIEL AND SONS CONSTRUCTION, CODY, WY

PROJECT NO:180480	SURVEYED BY:PD	REVIEWED BY:GCG
DATE SURVEYED:12/10/18	DRAFTED BY:TJH	REVISION NO:1

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GENERAL NOTES:

- ALL EXISTING UTILITIES SHOWN HERE-IN ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED NOR SHALL IT BE CONSIDERED COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL ONE CALL OF WYOMING 1-800-849-2476 AT LEAST 48 HOURS PRIOR TO DIGGING.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON AS-BUILT PLANS. CONTRACTOR SHALL VERIFY LOCATIONS PRIOR TO CONSTRUCTION OF NEW IMPROVEMENTS.
- ANY PERMITS REQUIRED BY LOCAL, STATE, OR FEDERAL AGENCIES FOR CONSTRUCTION OF THIS PROJECT ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE FOR MATERIALS TESTING AND 72 HOURS NOTICE FOR CONSTRUCTION STAKING.
- CONTRACTOR SHALL COORDINATE UTILITY SHUTDOWNS AS REQUIRED BY LOCAL, STATE, OR FEDERAL AGENCIES.
- CONTRACTOR SHALL OBTAIN AND REVIEW ALL NECESSARY STANDARDS, PLANS, AND SPECIFICATIONS IN DETAIL PRIOR TO START OF CONSTRUCTION. ALL DOCUMENTS, INCLUDING APPROVED PLANS, AND REFERENCED STANDARDS SHALL BE ON-SITE AT ALL TIMES. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO WORK IN THAT AREA.
- ALL ELEVATIONS SHOWN TO BE EXISTING ARE FROM A RECENT SURVEY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL SURVEY MONUMENTATION. IF ANY SURVEY MONUMENTS ARE DISTURBED OR DESTROYED, THE CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO RE-ESTABLISH AND RECORD THE MONUMENT CHANGE PER STATE LAW.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL SAFETY REGULATIONS INCLUDING, BUT NOT LIMITED TO, TRENCH SAFETY AND CONFINED SPACE ENTRY.
- ALL REVISIONS TO DRAWINGS SHALL BE APPROVED BY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING COMPLETE RECORD OF CHANGES AND SHALL MAKE SUCH RECORD AVAILABLE TO THE ENGINEER. THE ENGINEER SHALL PROVIDE AS-BUILT DRAWINGS TO OWNER AND CITY OF CODY FOR REVIEW AND APPROVAL PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- CONTRACTOR SHALL NOT INTERRUPT OR DISTURB ANY UTILITY FACILITY WITHOUT AUTHORITY FROM THE UTILITY COMPANIES. WHERE PROTECTION IS REQUIRED TO ENSURE INTEGRITY OF UTILITY FACILITIES (INCLUDING CITY-OWNED), CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY PROTECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL. ADJACENT PROPERTIES SHALL BE PROTECTED USING WHATEVER MEANS NECESSARY. FUGITIVE DUST FROM CONSTRUCTION ACTIVITIES SHALL BE CONTROLLED BY FREQUENT WATERING AND/OR CHEMICAL STABILIZATION AS NECESSARY. UNDER NO CIRCUMSTANCES SHALL ERODED MATERIAL BE ALLOWED TO LEAVE THE SITE. SILT FENCE, SEDIMENT TRAPS, INLET PROTECTION OR OTHER EROSION CONTROL DEVICES SHALL BE USED TO SATISFY THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN OR AS APPROVED BY WDEQ.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS (WPW) STANDARD SPECIFICATIONS LATEST REVISION UNLESS OTHERWISE NOTED ON THESE PLANS OR SEPARATE SPECIFICATIONS. IN THE ABSENCE OF GUIDANCE FROM WPW, FOLLOW SPECIFICATIONS ISSUED UNDER SEPARATE DOCUMENTS.
- ANY CONSTRUCTION DEBRIS SHALL BE CLEANED OFF PUBLIC STREETS, SIDEWALK, ETC. AT THE END OF EACH WORK DAY.
- DAMAGE TO ANY EXISTING PAVEMENT OR CONCRETE SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
- DAMAGE TO ANY EXISTING UTILITIES SHALL BE REPAIRED AT CONTRACTORS EXPENSE.

WATER GENERAL NOTES:

- PIPE DEFLECTION PER MANUFACTURERS RECOMMENDATIONS.
- A ONE AND ONE HALF (1.5) FOOT MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN ANY SEWER MAIN/SERVICE OR STORM DRAIN CROSSING A WATER MAIN. THE MINIMUM VERTICAL SEPARATION IS MEASURED FROM OUTSIDE OF WATER MAIN/SERVICE TO OUTSIDE OF SEWER MAIN OR STORM DRAIN.
- CONTRACTOR EXCEPTIONS OR DEVIATIONS FROM THE ABOVE MINIMUM CLEARANCES MUST BE APPROVED AND SHOWN ON THE APPROVED WATER AND SEWER PLANS. WHEN UTILITY CONFLICTS ARE FOUND DURING CONSTRUCTION, ALL CHANGES AND REVISIONS MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL MATERIALS ADDED AFTER JANUARY 1, 1993 WHICH MAY COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NATIONAL SANITATION FOUNDATION STANDARDS 60 AND 61.
- CONTRACTOR SHALL DISINFECT ALL PIPELINES AND APPURTENANCES AFTER THEY HAVE BEEN SUBJECT TO HYDROSTATIC AND LEAKAGE TESTING. PRIOR TO DISINFECTION, THE NEW LINES SHALL BE FLUSHED TO CLEAN ALL DIRT INSIDE. THE METHOD OF DISINFECTING SHALL CONFORM TO PROVISIONS OF AWWA C-601 (LATEST). THE CONCENTRATION OF THE DOSAGE APPLIED SHALL BE PRESCRIBED BY ENGINEER AND SHALL BE AT LEAST 50 PPM. IT SHALL NOT EXCEED 200 PPM. CHLORINATED WATER SHALL REMAIN IN THE PIPE LONG ENOUGH TO DESTROY ALL NON-SPORE FORMING BACTERIA (MIN. 24 HRS.).
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXPOSE EXISTING WATERLINES AT PROPOSED CONNECTIONS AND CROSSINGS AND VERIFY ELEVATIONS, LOCATIONS, AND SIZE OF EXISTING FACILITIES.
- CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION REQUESTING A SYSTEM SHUTDOWN FOR CONNECTIONS TO EXISTING SYSTEM. SAID NOTIFICATION SHALL BE MADE TO THE PUBLIC WORKS DIRECTOR A MINIMUM OF 2 WEEKS PRIOR TO REQUESTED SHUTDOWN.
- FITTING FOR TREATED AND RAW WATER MAINS SHALL BE AS APPROVED BY THE CITY ENGINEER AND CONFORMS TO THE WYOMING PUBLIC WORKS STANDARDS.
- GATE VALVES SHALL CONFORM TO AWWA C500. VALVES SHALL BE RESILIENT WEDGE GATE VALVES WITH NON-RISING STEMS, OPEN LEFT AND NUT OPERATED. THE VALVES SHALL HAVE MECHANICAL JOINT ENDS CONFORMING TO ANSI A21.11.
- ALL WORK ASSOCIATED WITH THESE DETAILS SHALL CONFORM TO THE WYOMING PUBLIC WORKS SPECIFICATIONS.
- PIPING FOR TREATED AND RAW WATER MAINS SHALL BE AWWA C-900 PVC DR18 CLASS 150 OR 200 BASED ON WATER MODELING.

SANITARY SEWER GENERAL NOTES:

- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE BELL AND SPIGOT PIPE CONFORMING TO THE FOLLOWING:
 - PVC PIPE SHALL CONFORM TO CELL CLASSIFICATION 12454-B AS GIVEN IN ASTM D 1784.
 - DIMENSIONS OF PIPE AND FITTINGS SHALL CONFORM TO ASTM D 3034 OR ASTM F 679 FOR SIZES OVER 15".
 - JOINTS IN ALL PVC SEWER PIPE SHALL BE WATER TIGHT WITH BELL AND SPIGOT ENDS WITH RUBBER O-RING GASKETS.
 - STANDARD PVC "Y" TYPE BRANCHES WILL BE REQUIRE FOR ALL SERVICES ON A NEW MAIN.

MATERIAL SPECIFICATIONS

- ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO 180.
- CRUSHED BASE COURSE:
 - THE MATERIAL PRODUCED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGH LIMIT ON ONE SIEVE TO THE LOW LIMIT ON AN ADJACENT SIEVE OR VICE VERSA.
 - THE PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE.
 - THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0(ZERO), THE LIQUID LIMIT SHALL NOT EXCEED 30.
 - ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27 & T-11:

SIEVE	% PASSING
1"	100
3/4"	90-100
1/2"	60-85
NO. 4	45-65
NO. 8	33-53
NO. 200	3-12
- AGGREGATE FOR HOT PLANT PAVEMENT MIX: IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS - LATEST EDITION.
 - FOR COMPACTED THICKNESS OF 3" OR LESS, USE WYDOT 1/2" MAXIMUM AGGREGATE.
 - FOR COMPACTED THICKNESS GREATER THAN 3", USE WYDOT 3/4" MAXIMUM AGGREGATE FOR FIRST LIFT, SECOND LIFT SHALL BE A MINIMUM COMPACTED THICKNESS OF 1 1/2", 1/2" MAXIMUM AGGREGATE.
 - MINERAL FILLER: FINELY GROUND PARTICLES OF LIMESTONE, HYDRATED LIME OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER.
- PRIMER: A CUT-BACK LIQUID ASPHALT OF THE MEDIUM CURING TYPE, GRADE C-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027. BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY BEGAN.
- TACK COAT: A CATIONIC SLOW SET EMULSIFIED ASPHALT MIXED WITH AN EQUAL AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH REQUIREMENTS OF ASTM D244. OTHER GRADES OF EMULSIFIED ASPHALT WILL BE CONSIDERED TESTING OR EXPERIENCE THAT ANOTHER GRADE IS MORE SUITABLE.
- MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF AI MS-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK.

AI MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

STABILITY (LB. MINIMUM)	1200
FLOW (0.01")	8 TO 16
PERCENT AIR VOIDS (%)	3 TO 5
VOIDS IN MINERAL AGGREGATE (%. MINIMUM)	15
- CONCRETE SPECIFICATIONS:
 - CEMENT SHALL BE PORTLAND CEMENT, TYPE II CONFORMING TO THE REQUIREMENTS OF ASTM C-150. (IF SPECIAL CONDITIONS WARRANT IT, THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE ENGINEER)
 - AGGREGATE GENERAL - GRAVEL, CRUSHED SLAG, CRUSHED STONE, OR OTHER INERT MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF INJURIOUS COATINGS.

C. FINE AGGREGATE:

- THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

COAL AND LIGNITE	0.3%
CLAY LUMPS	0.5%
OTHER DELETERIOUS SUBSTANCES	2.0%
- THE FINE AGGREGATE SHALL BE FREE FROM INJURIOUS AMOUNTS OF ORGANIC IMPURITIES.
- THE FINE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

SIEVE	% PASSING
3/8"	100
NO. 4	95-100
NO. 8	80-100
NO.16	50-85
NO.30	25-60
NO.50	5-30
NO.100	0-10
NO.200	0-4

D. COARSE AGGREGATE:

- THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

SOFT FRAGMENTS	1%
COAL AND LIGNITE	0.3%
CLAY LUMPS	0.3%
OTHER DELETERIOUS SUBSTANCES	2.0%
- WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES RATTLER METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%.
- THE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

SIEVE	% PASSING
1 1/2"	100
1"	95-100
1/2"	25-60
NO. 4	0-10
NO. 8	0-5
NO. 200	0-2

- ADMIXTURES AND AIR-ENTRAINING AGENTS SHALL BE APPROVED BY THE ENGINEER AS RECOMMENDED WITHIN THE REQUIRED MIX DESIGN AS PREPARED BY A QUALIFIED TESTING LABORATORY.
- ALL CONCRETE PLACED SHALL HAVE A SLUMP OF BETWEEN 1" AND 4" WHEN TESTED IN ACCORDANCE WITH AASHTO T-119.
- ALL CONCRETE PLACED SHALL MEET THE FOLLOWING MINIMUM STRENGTH REQUIREMENTS WHEN TESTED IN ACCORDANCE WITH ALL APPLICABLE ASTM STANDARDS:

LABORATORY MIXED SAMPLE	7 DAYS	2,860 PSI
	28 DAYS	4,000 PSI



BORDER SIZE	DESIGNED	DRAWN	CHECKED	APPROVED
22"x34"	JAM	JAM	JAM	JAM

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CONSTRUCTION SET

COUGAR WEST SUBDIVISION

GENERAL PLAN AND NOTES

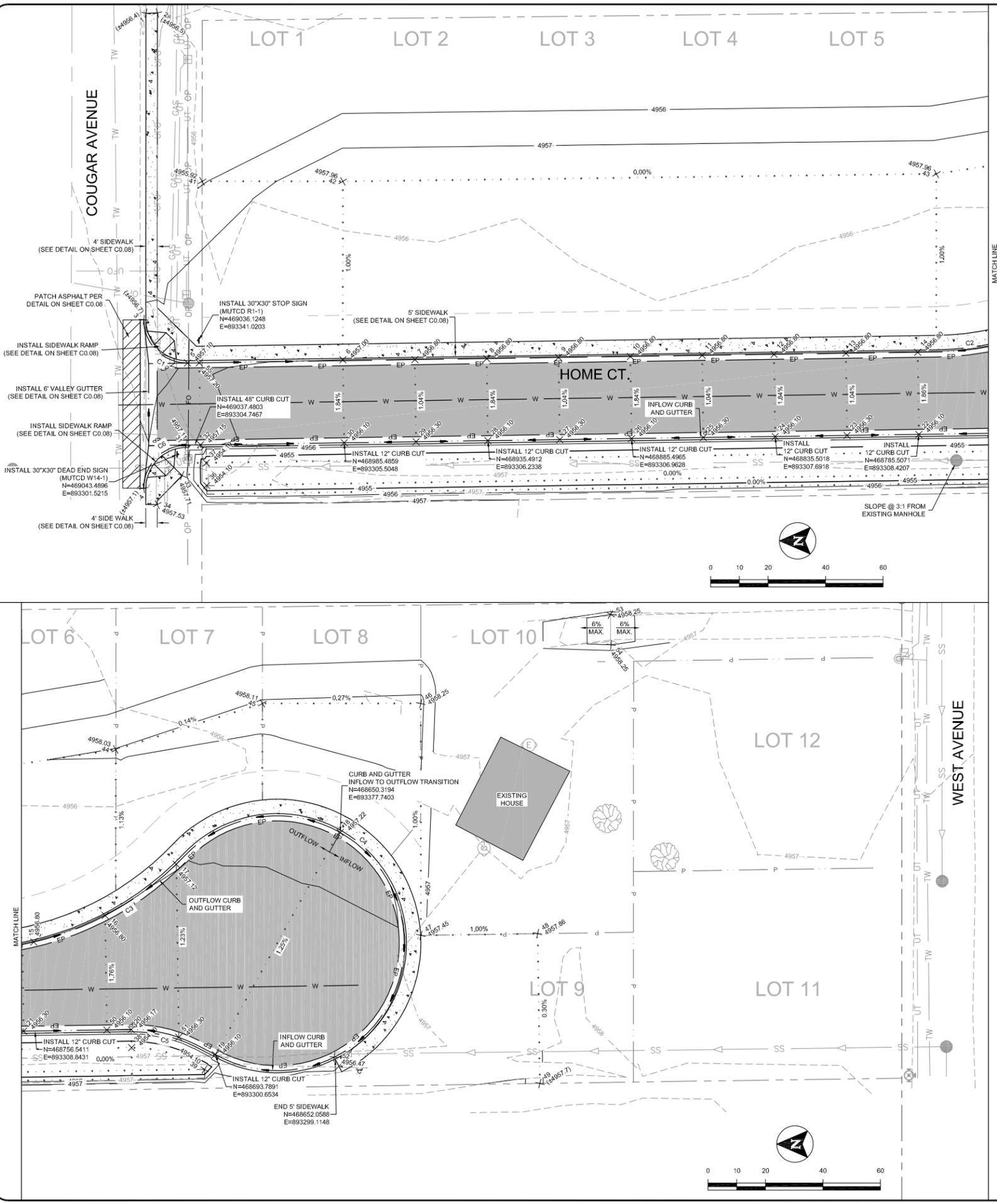
ATTENTION: 1/2" = 1'

IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET OR 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

DATE: APRIL 5, 2019
 PROJECT: 180480
 SHEET: **C0.02**

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CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	15.00'	23.74'	90°41'24"	S44°30'35"W	21.34'
C2	105.75'	18.54'	10°02'37"	N5°51'26"W	18.51'
C3	105.75'	30.60'	16°34'42"	N35°45'42"W	30.49'
C4	44.25'	139.02'	180°00'00"	N60°54'18"W	88.50'
C5	48.27'	16.85'	19°59'42"	N9°10'09"E	16.76'
C6	15.00'	23.32'	89°03'44"	N45°21'59"W	21.04'

Point Table				
Point #	Elevation	Northing	Easting	Description
1	4956.44	469054.44	893454.57	CONC.
2	4956.52	469050.44	893454.67	CONC.
3	4956.66	469055.23	893348.17	FL/PT
4	4957.14	469055.26	893289.73	FL/PT
5	4957.10	469040.01	893333.21	FL/PC
6	4957.00	468985.91	893334.30	FL
7	4956.80	468960.90	893334.37	FL
8	4956.80	468935.91	893334.73	FL
9	4956.80	468910.91	893335.10	FL
10	4956.80	468885.91	893335.46	FL
11	4956.80	468860.91	893335.82	FL
12	4956.80	468835.92	893336.19	FL
13	4956.80	468810.92	893336.55	FL
14	4956.80	468785.92	893336.92	FL/PC
15	4956.80	468756.99	893339.74	FL/PC
16	4956.80	468732.12	893348.93	FL/PCC
17	4957.12	468707.38	893366.75	FL/PC
18	4957.22	468650.32	893377.74	FL
19	4956.10	468693.79	893300.65	FL/PCC
20	4956.17	468723.05	893309.33	FL/PT
21	4956.30	468760.51	893308.79	FL
22	4956.14	468785.51	893308.42	FL
23	4956.30	468810.50	893308.06	FL
24	4956.10	468835.50	893307.69	FL
25	4956.30	468860.50	893307.33	FL
26	4956.10	468885.50	893306.96	FL
27	4956.30	468910.49	893306.60	FL
28	4956.10	468935.49	893306.23	FL
29	4956.30	468960.49	893305.87	FL
30	4956.10	468985.49	893305.50	FL
31	4957.11	469040.48	893304.70	FL/PC
32	4957.15	469035.48	893304.78	FL
33	4957.71	469041.88	893294.11	CONC.
34	4957.53	469050.52	893284.06	CONC.
36	4954.10	469033.33	893290.66	BOTT
37	4954.10	469033.43	893298.55	BOTT
38	4954.10	468722.96	893303.08	BOTT/PC
39	4954.10	468697.53	893295.55	BOTT/PT
41	4955.92	469034.90	893396.23	FG
42	4957.96	468985.96	893396.21	FG
43	4957.96	468779.42	893398.85	FG
44	4958.03	468728.44	893406.57	FG
45	4958.11	468677.41	893422.57	FG
46	4958.25	468622.31	893422.55	FG
47	4957.45	468622.26	893342.05	FG
48	4957.86	468581.62	893342.64	FG
49	4957.70	468580.86	893290.65	FG
50	4956.10	468731.54	893309.21	FL
51	4956.30	468706.50	893306.66	FL
52	4956.47	468652.40	893299.78	FL/PCC
53	4958.25	468556.27	893453.45	FG
54	4958.25	468556.06	893442.95	FG
55	4957.20	469035.90	893333.27	FL/PC

NOTE:
 1. PLANS DO NOT SHOW PROPOSED DRIVEWAY LOCATIONS. INSTALL BYPASS SIDEWALK WHERE DRIVEWAYS ARE INSTALLED. SEE TYPICAL APPROACH AND BYPASS SIDEWALK DETAILS ON SHEET C0.08.
 2. SPOT ELEVATIONS SHOWN WITH "E" INDICATE MATCHING EXISTING ELEVATIONS.

LEGEND
 - - - - - PROPOSED BREAK LINE
 [Hatched Box] ASPHALT PATCH

Professional Engineer
JOSHUA MORRIS, P.E.
 License No. 18894
 State of WYOMING

BORDER SIZE	22" x 34"
DESIGNED	JAM
DRAWN	KEIS
CHECKED	WFR
APPROVED	JAM

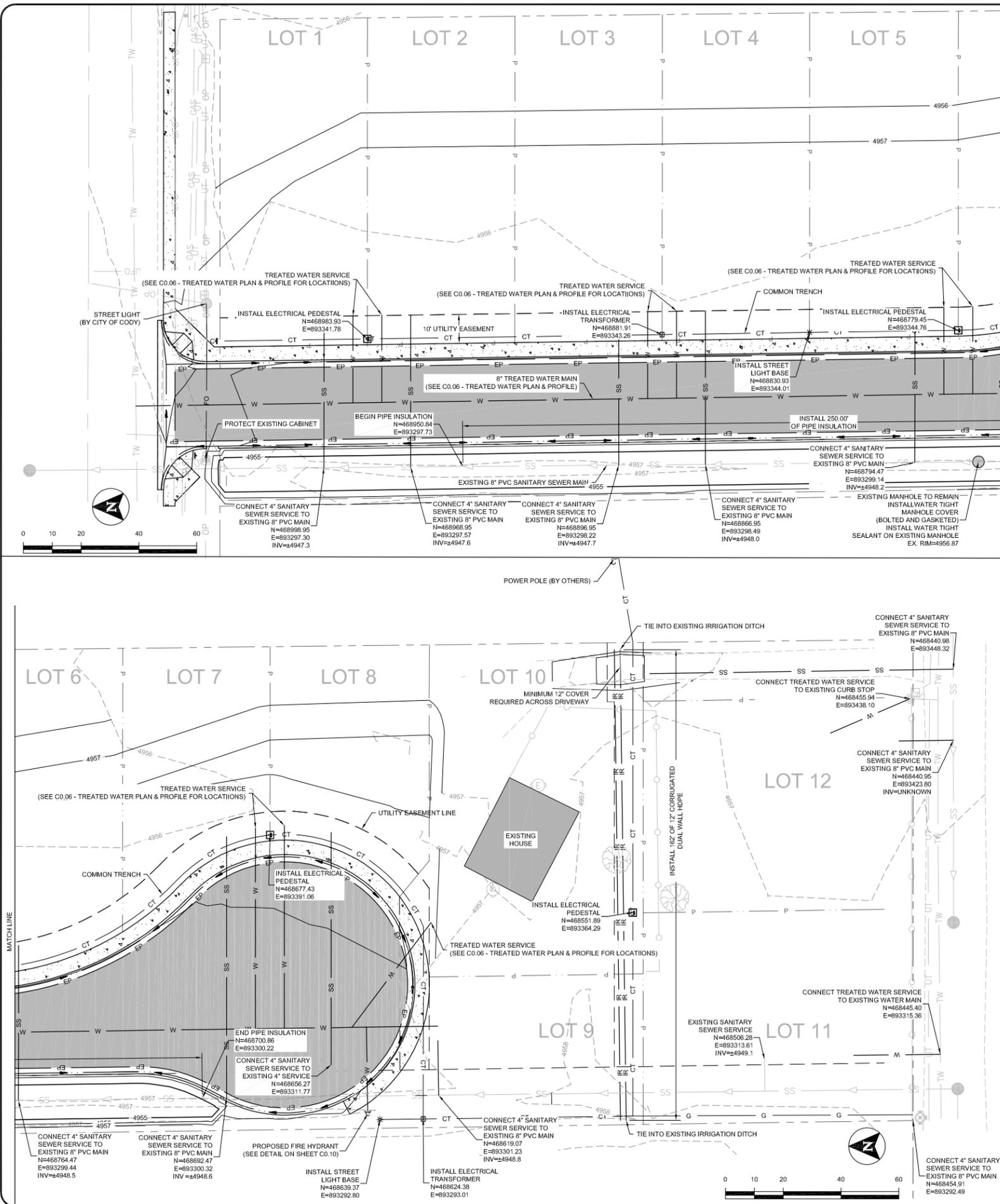
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CONSTRUCTION SET
COUGAR WEST SUBDIVISION
SITE LAYOUT AND GRADING PLAN

ATTENTION:
 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

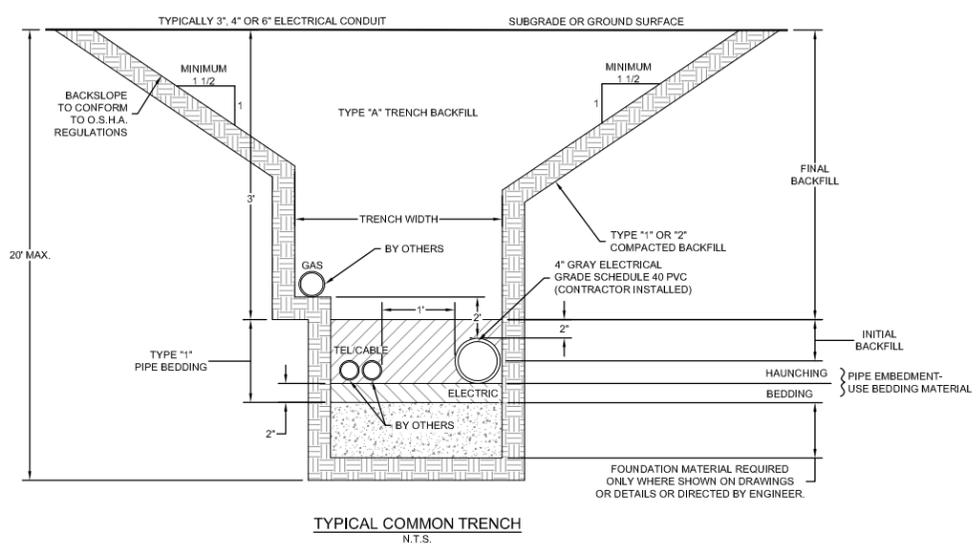
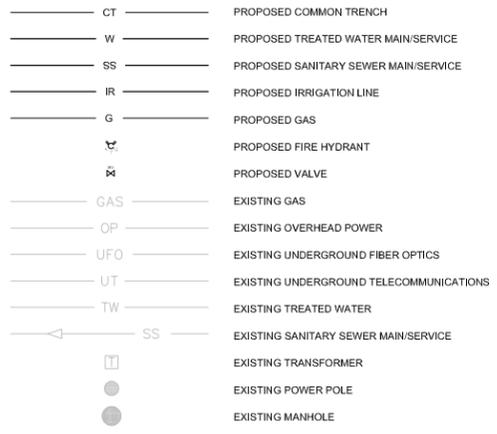
DATE: APRIL 5, 2019
 PROJECT: 180480
 SHEET: **C0.04**

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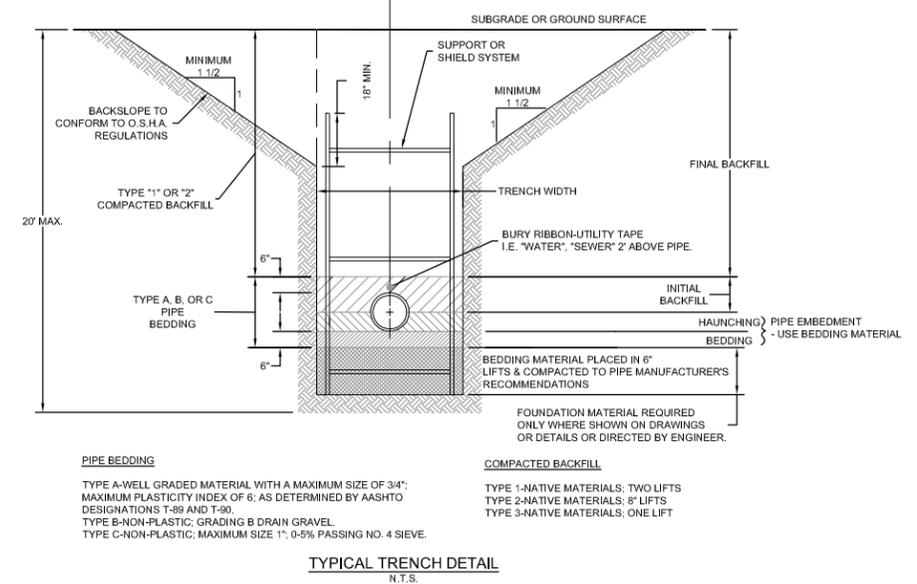
- NOTE:**
- COMMON TRENCH INCLUDES UNDERGROUND POWER, NATURAL GAS, AND TELECOMMUNICATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ELECTRICAL CONDUIT.
 - CONTRACTOR MUST COORDINATE WITH OTHER UTILITIES FOR INSTALLATION OF THEIR LINES IN THE COMMON TRENCH.

LEGEND



NOTE:

IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MAXIMUM ALLOWABLE SLOPE FOR ALL TRENCHES LESS THAN 20' DEEP WILL BE 1 1/2H: 1V. COMPLY WITH ALL APPLICABLE SAFETY REQUIREMENTS.



IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MAXIMUM ALLOWABLE SLOPE FOR ALL TRENCHES LESS THAN 20' DEEP WILL BE 1 1/2H: 1V. COMPLY WITH ALL APPLICABLE SAFETY REQUIREMENTS.



BORDER SIZE	DESIGNED	DRAWN	CHECKED	APPROVED
22"x34"	JAM	KEIS	WFR	JAM

NO.	DATE	DESCRIPTION

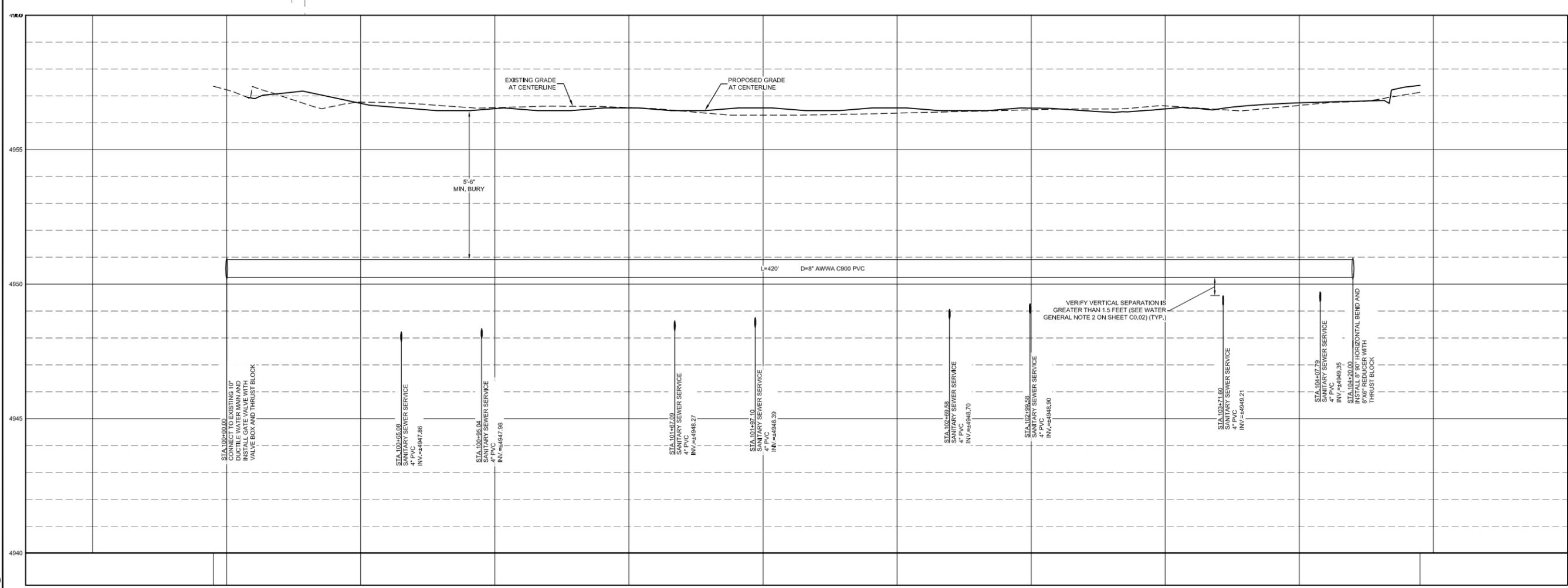
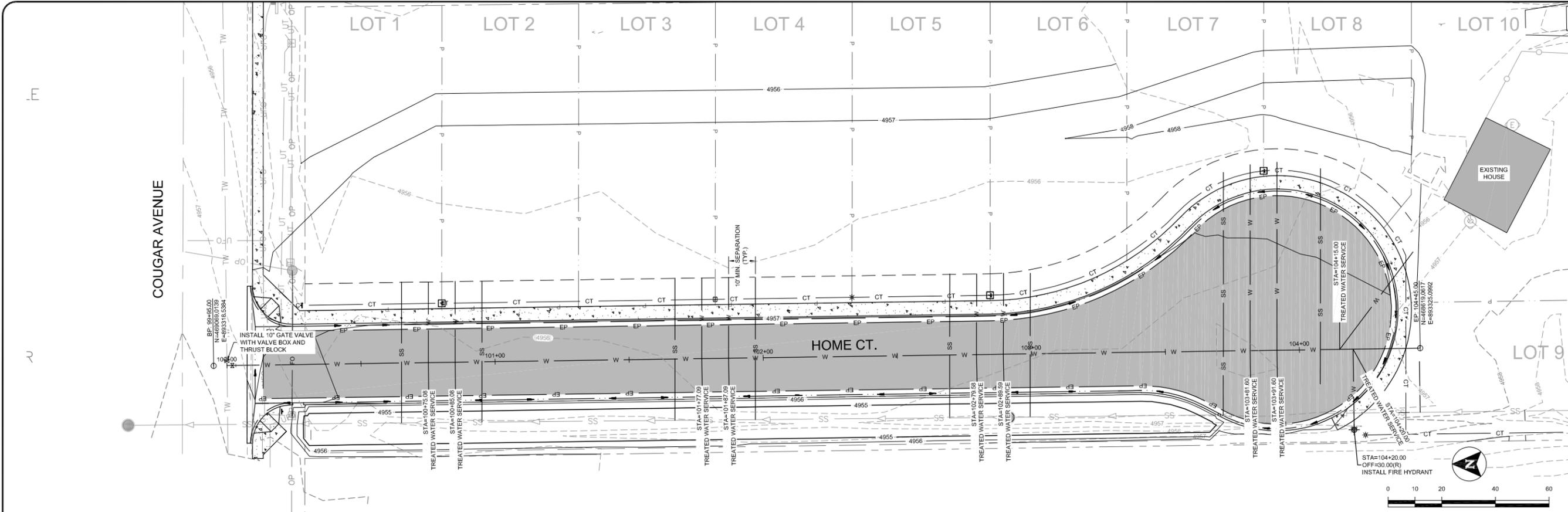
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**CONSTRUCTION SET
COUGAR WEST SUBDIVISION
UTILITY LAYOUT PLAN**

ATTENTION:
IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET OR 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE: APRIL 5, 2019
PROJECT: 180480
SHEET: **C0.05**

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	DRAWN		
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	APPROVED		

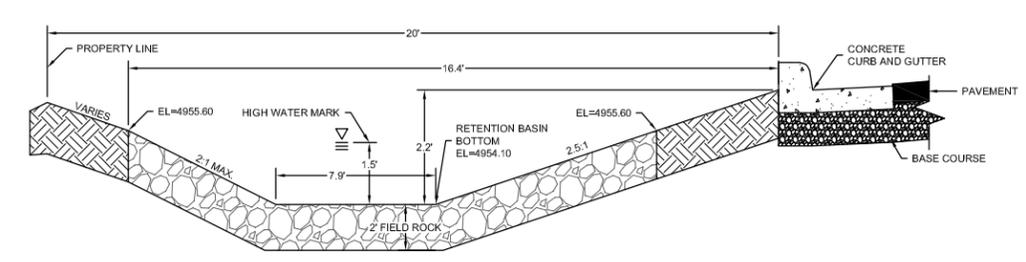
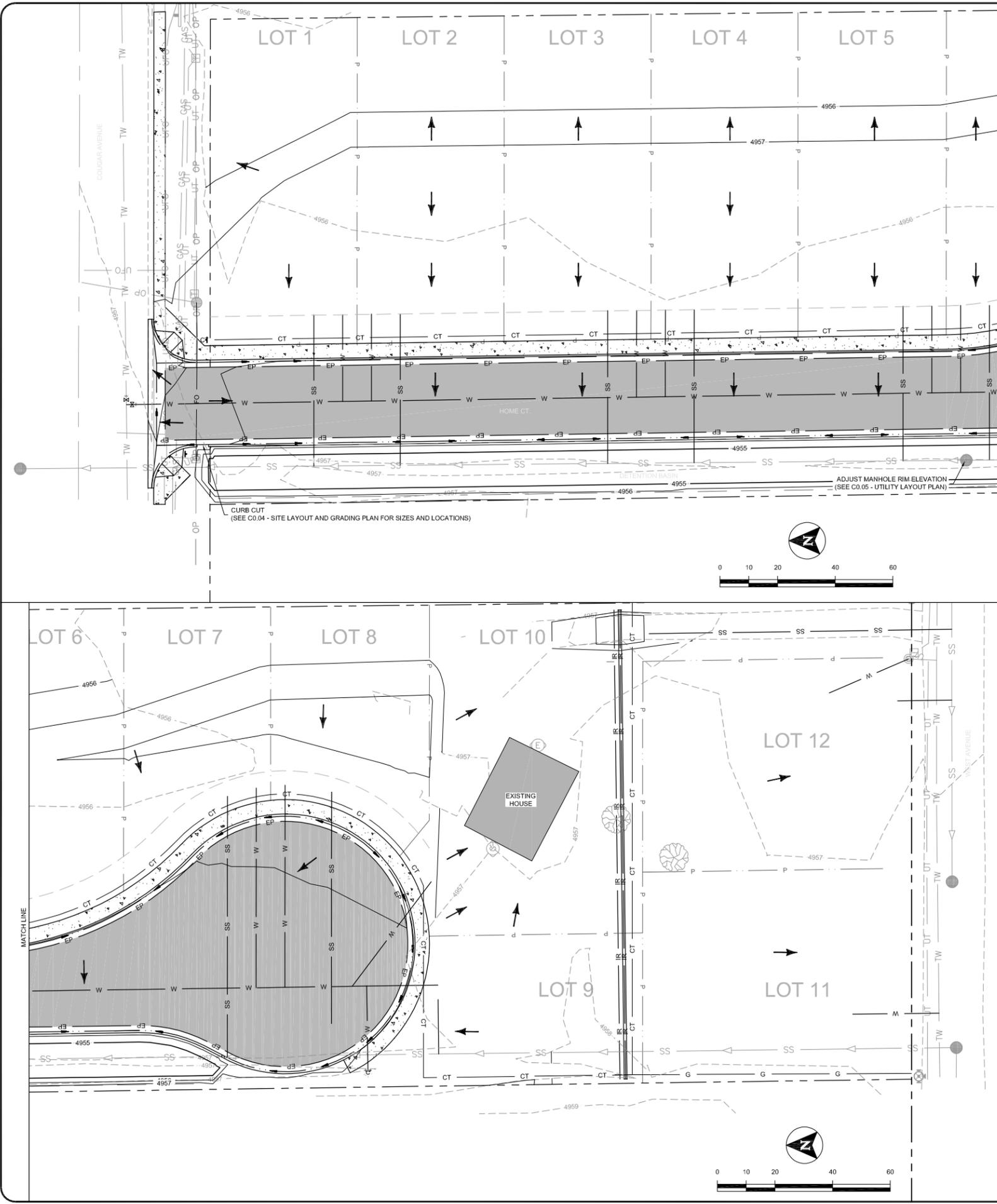
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CONSTRUCTION SET
COUGAR WEST SUBDIVISION
 TREATED WATER PLAN & PROFILE

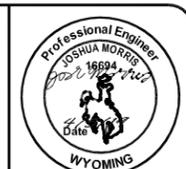
ATTENTION:
 IF THIS BAR DOES NOT MEASURE
 1" ON 22x34 SHEET or 1/2" ON
 11x17 SHEET, THEN DRAWING IS
 NOT TO SCALE

DATE: APRIL 5, 2019
 PROJECT: 180480
 SHEET: **C0.06**

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NOTE:
 1. FIELD ROCK MUST HAVE A MINIMUM POROSITY OF 35% AS DETERMINED BY ASTM C29.



BORDER SIZE		DESIGNED		DRAWN		CHECKED		APPROVED	
22x34"		JAM		JAM		JAM		JAM	
NO.	REVISIONS	DATE	DESCRIPTION						

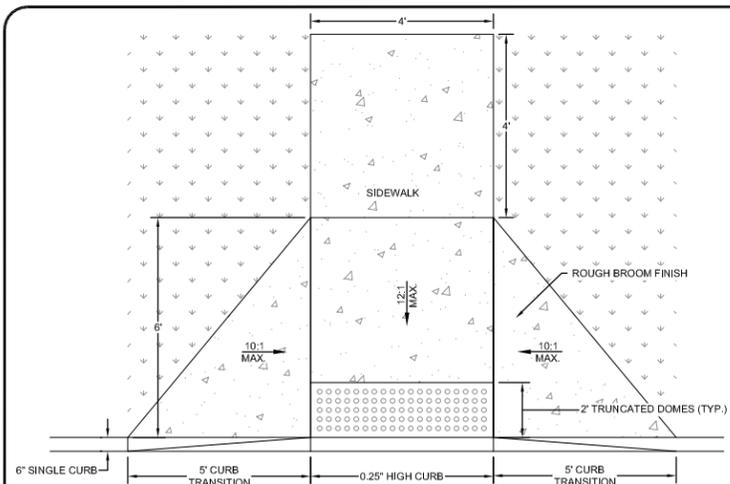
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CONSTRUCTION SET
COUGAR WEST SUBDIVISION
 DRAINAGE PLAN

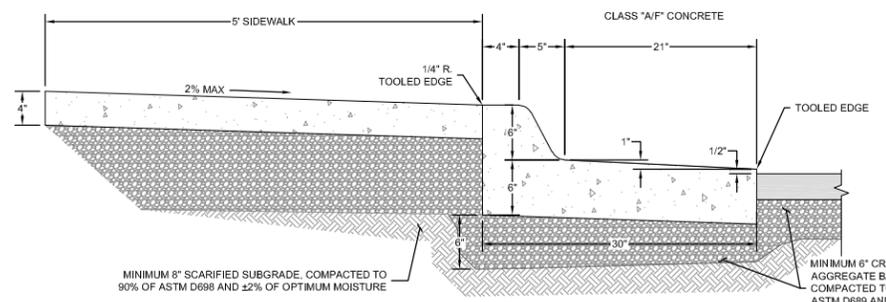
ATTENTION:
 0 1
 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

DATE: APRIL 5, 2019
 PROJECT: 180480
 SHEET: **C0.07**

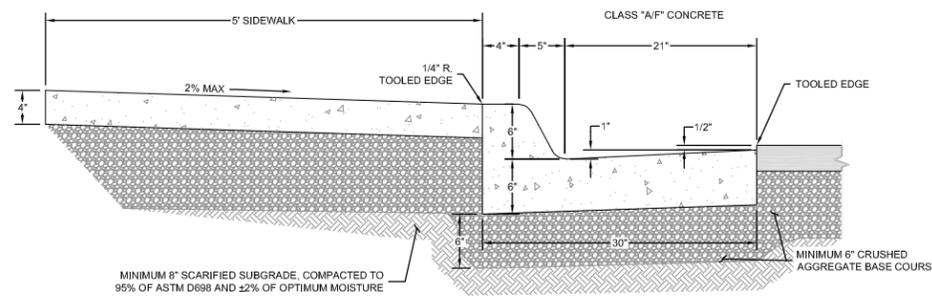
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SIDEWALK RAMP DETAIL
N.T.S.



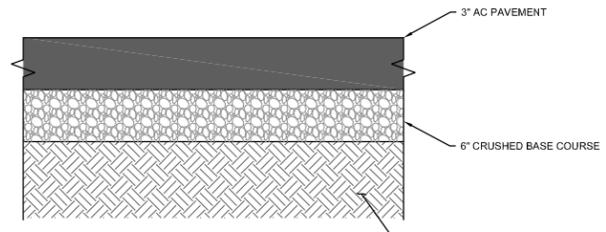
OUTFLOW CURB AND GUTTER DETAIL
N.T.S.



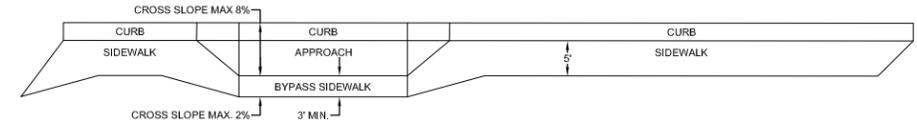
INFLOW CURB AND GUTTER DETAIL
N.T.S.

CURB AND GUTTER NOTES:

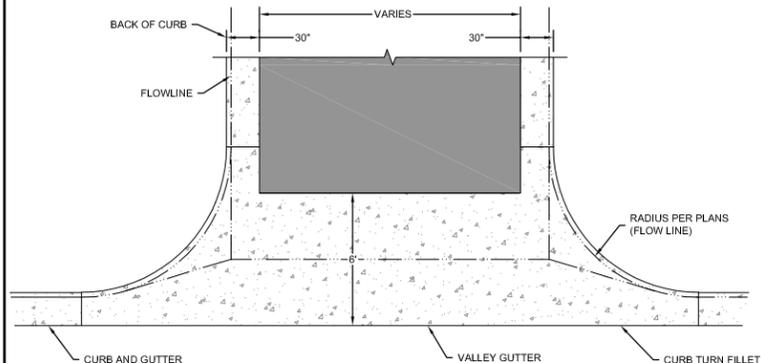
- 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT POINT OF CURVATURE, POINT OF TANGENCY, CURB TURNS, AGAINST STRUCTURES, RAMPS, WALLS, AT TERMINATIONS TO EXISTING SIDEWALKS, AND 50' MAX SPACING. CONTRACTION JOINTS SHALL BE 5 FT. O.C. TO COMPLY WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
- FIBER REINFORCED CONCRETE OR #3 BARS @ 12" O.C. EACH WAY MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.
- INSTALL CONTRACTION JOINTS 5' O.C. IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
- CLASS A/F CONCRETE.
- NO CURB OR GUTTER SHALL BE PLACED WITHOUT A FINAL INSPECTION BY THE ENGINEER.



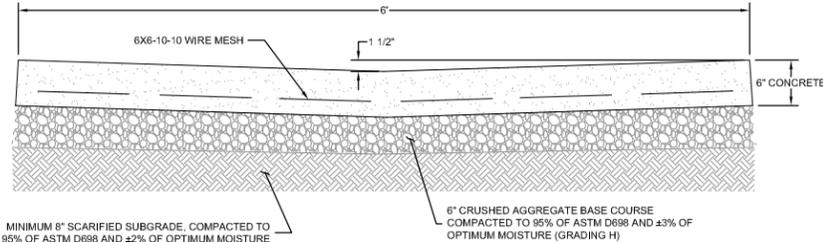
PERMANENT RESURFACING FOR UTILITY CUTS
N.T.S.



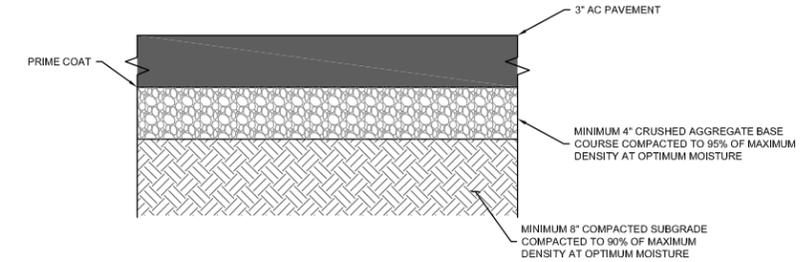
TYPICAL APPROACH & BYPASS SIDEWALK DETAIL
N.T.S.



CURB FILLET AT STREET AREA DETAIL
N.T.S.



6" VALLEY GUTTER SECTION
N.T.S.



MOORE CT. ASPHALT PAVEMENT SECTION
N.T.S.



BORDER SIZE	DESIGNED	DRAWN	CHECKED	APPROVED
22x34"	JAM	KEIS	WFR	JAM
DATE	NO.	REVISIONS	DESCRIPTION	NO.

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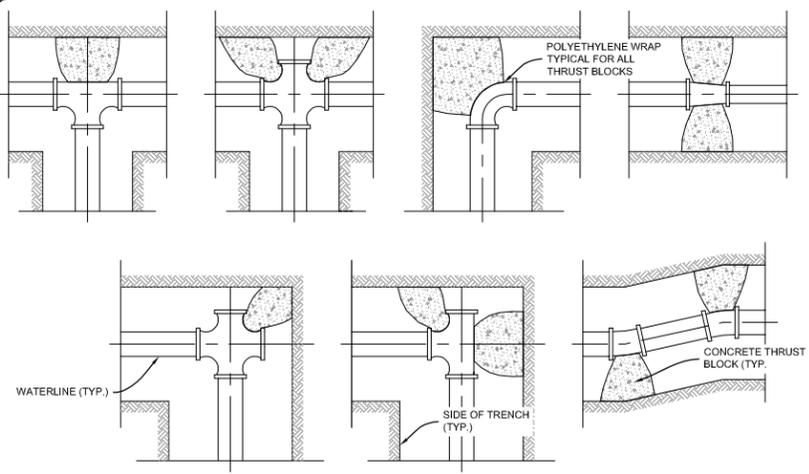
CONSTRUCTION SET
COUGAR WEST SUBDIVISION
STREET DETAILS

ATTENTION: 1/2" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE

DATE: APRIL 5, 2019
PROJECT: 180480
SHEET: **C0.08**

K:\180480\3_Acadwg\Sheets\C0.08 STREET DETAILS.dwg - 4/18/2019 2:27:16 PM, KSchubel
K:\180480\3_Acadwg\Sheets\C0.08 STREET DETAILS.dwg - 4/17/2019

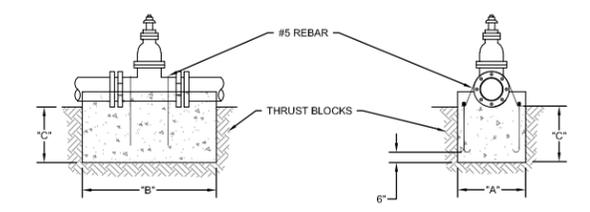
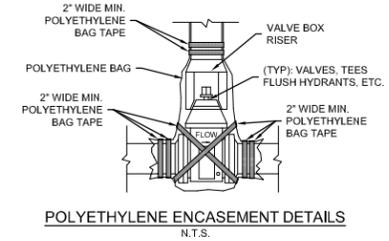
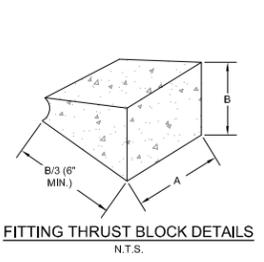
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CONCRETE THRUST BLOCKS

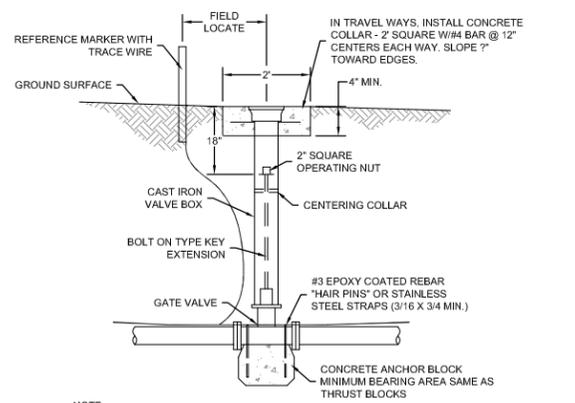
FITTING SIZE	MINIMUM DIMENSIONS FOR THRUST BLOCKING									
	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-7"	1'-2"	1'-8"	1'-6"	1'-8"	0'-10"	1'-7"	0'-8"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-8"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-8"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-6"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-8"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-8"	4'-6"	3'-3"	3'-3"

- NOTES:**
- FITTINGS TO BE SEPARATED FROM BLOCKS WITH AN APPROVED BOND BREAKER, SUCH AS POLY WRAP.
 - ALL BLOCKS TO BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.



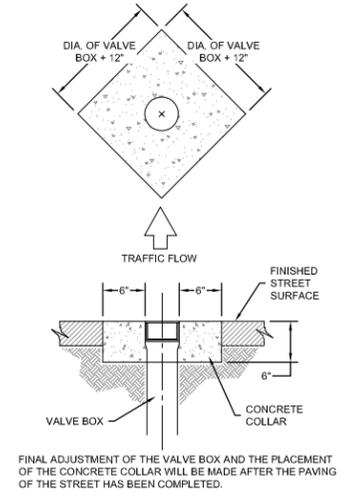
ANCHOR ROD SIZE	MINIMUM DIMENSIONS FOR VALVE THRUST BLOCKING							
	3/4"	3/4"	3/4"	1"	1 1/8"	1 1/4"	1 3/8"	
VALVE SIZE	2", 4", 6" & 8"	10"	12"	14"	16"	18"	24"	
150 PSI	"A"	2'-0"	2'-6"	3'-0"	3'-5"	4'-4"	5'-5"	6'-5"
	"B"	2'-0"	2'-6"	3'-0"	3'-0"	3'-0"	3'-0"	4'-0"
	"C"	2'-0"	2'-0"	2'-8"	3'-0"	3'-0"	3'-0"	4'-0"

- NOTES:**
- PRESSURES SHOWN ABOVE ARE MAXIMUM WORKING PRESSURE IN THE SYSTEM.
 - TO BE INSTALLED AT THE LOCATIONS SHOWN ON PLANS, OR AS CALLED FOR BY THE ENGINEER.
 - COAT EXPOSED PORTIONS OF ANCHOR RODS WITH "KOPPERS" BITUMASTIC NO. 50 COATING OR APPROVED EQUAL.
 - VALVES TO BE SEPARATED FROM BLOCKS WITH POLYETHYLENE WRAP.
 - THRUST BLOCKS WILL BE PRECAST CONCRETE.

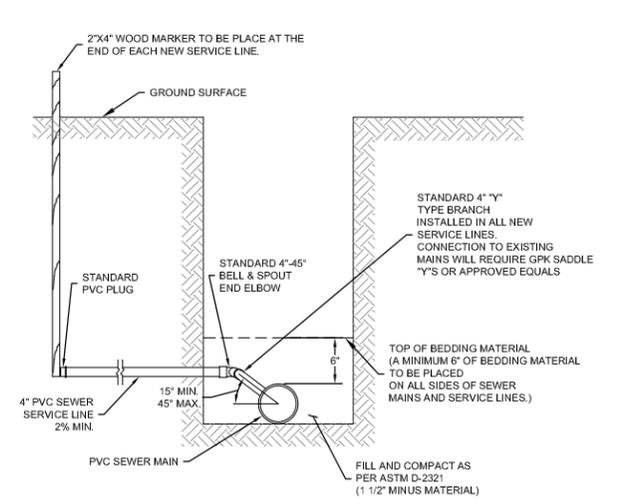


- NOTE:**
- ON GRAVEL SURFACED ROADS MAINTAINED BY BIG HORN COUNTY, SET CONCRETE COLLAR AND TOP OF VALVE BOX 6" BELOW ROAD SURFACE. PROVIDE ANCHOR BLOCK AT LOCATIONS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.

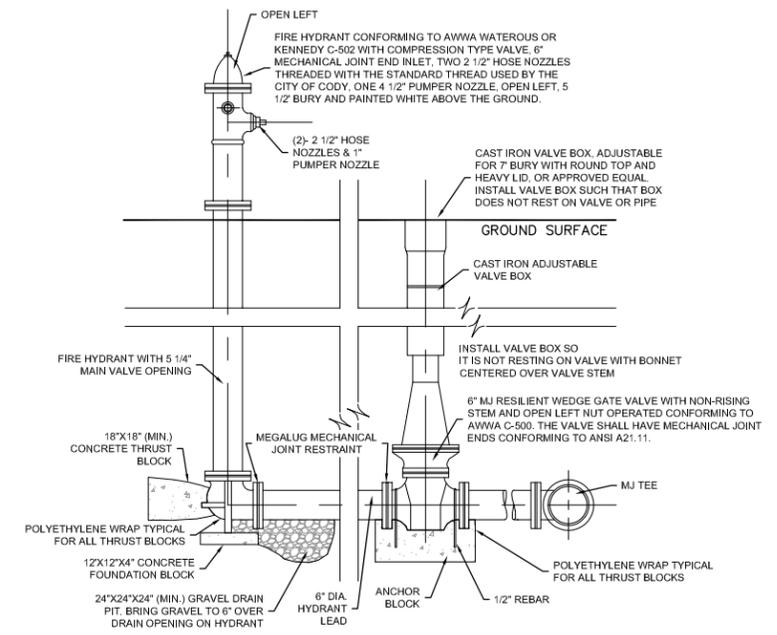
BURIED VALVE DETAIL
N.T.S.



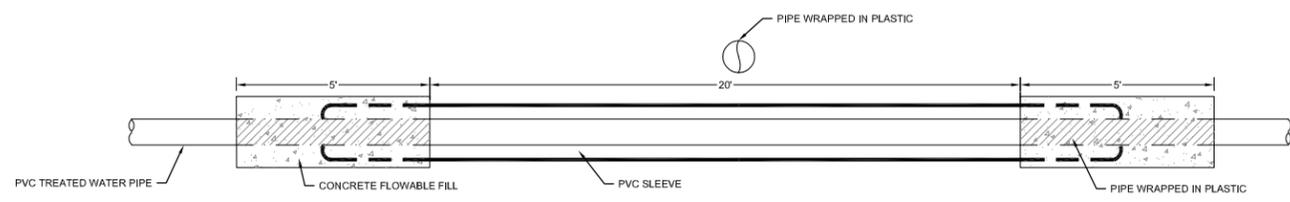
GATE VALVE SURFACE PAD
CITY OF CODY
N.T.S.



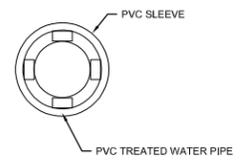
SANITARY SEWER SERVICE DETAIL
CITY OF CODY
N.T.S.



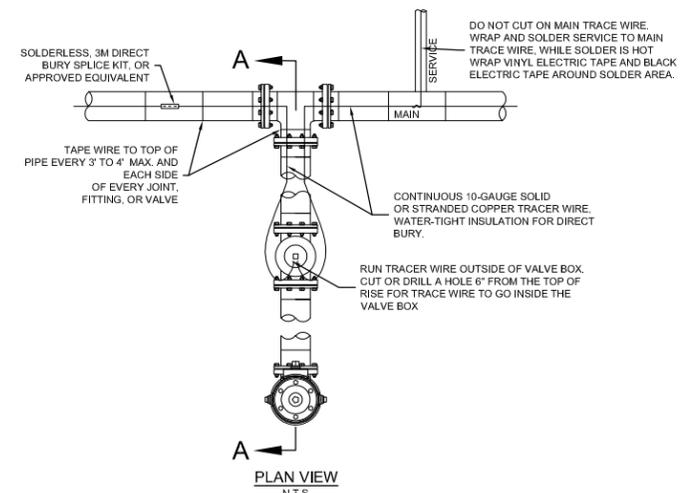
FIRE HYDRANT, VALVE & THRUST BLOCK DETAIL
CITY OF CODY
N.T.S.



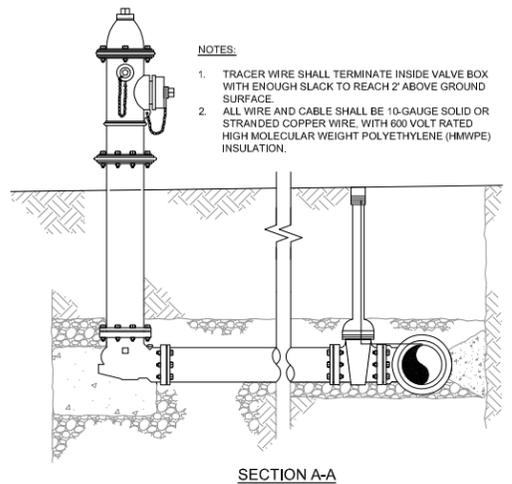
- NOTES:**
- 10" MIN. SLEEVING MUST OCCUR



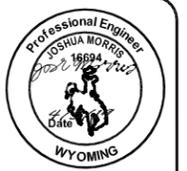
PIPE CROSSING DETAIL
N.T.S.



TRACER WIRE DETAIL
CITY OF CODY
N.T.S.



- NOTES:**
- TRACER WIRE SHALL TERMINATE INSIDE VALVE BOX WITH ENOUGH SLACK TO REACH 2' ABOVE GROUND SURFACE.
 - ALL WIRE AND CABLE SHALL BE 10-GAUGE SOLID OR STRANDED COPPER WIRE, WITH 600 VOLT RATED HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE) INSULATION.



BORDER SIZE	DESIGNED					DRAWN					CHECKED					APPROVED				
	22x34"	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN	JAN			
NO.																				

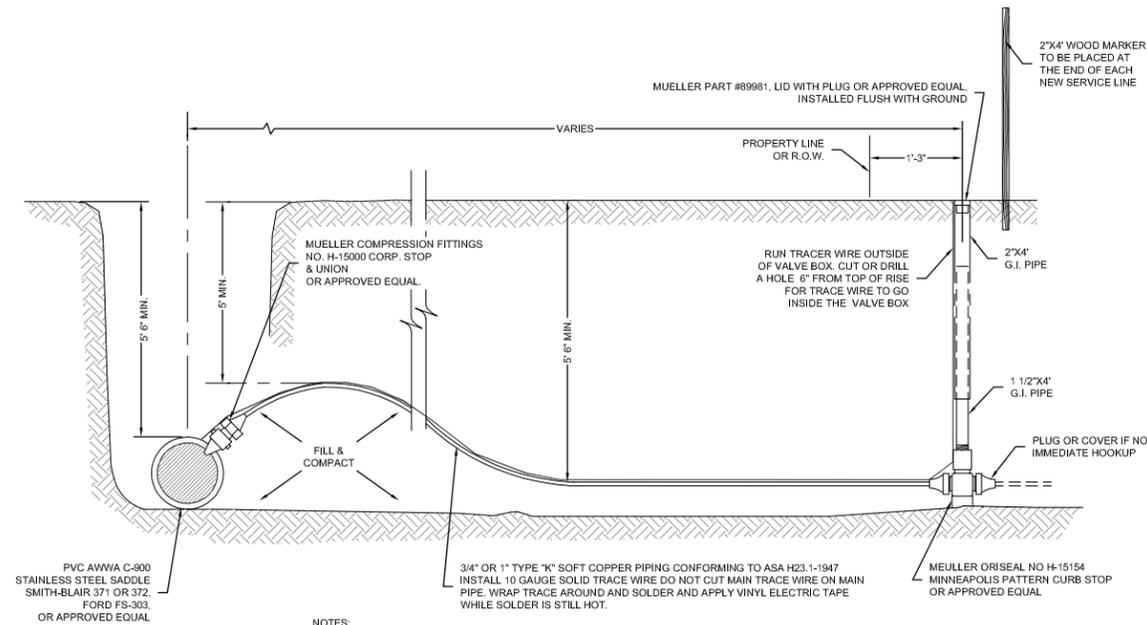
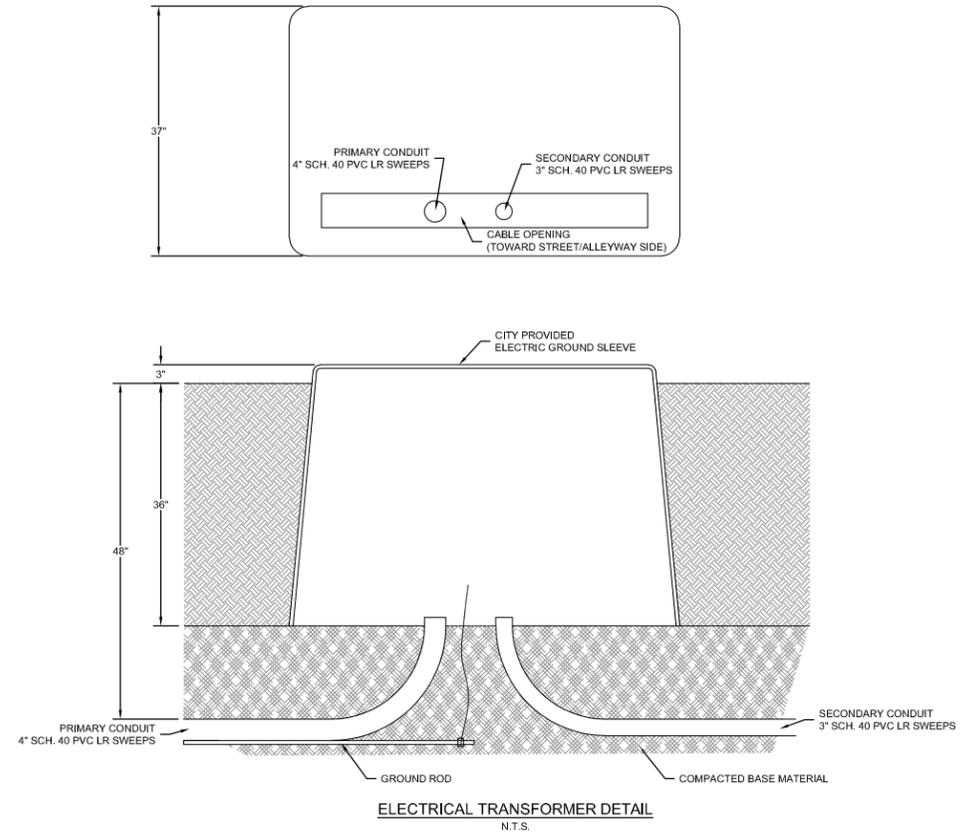
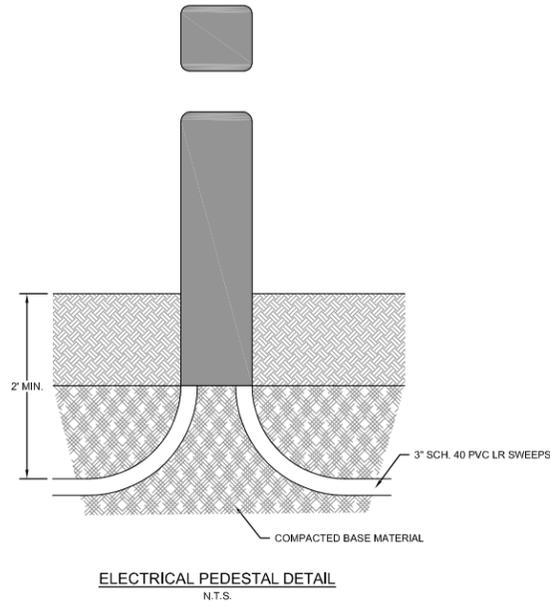
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CONSTRUCTION SET
COUGAR WEST SUBDIVISION
UTILITY DETAILS - SHEET 1

ATTENTION:
IF THIS BAR DOES NOT MEASURE 1" ON 22x34 SHEET or 1/2" ON 11x17 SHEET, THEN DRAWING IS NOT TO SCALE.

DATE: APRIL 5, 2019
PROJECT: 180480
SHEET: **C0.09**

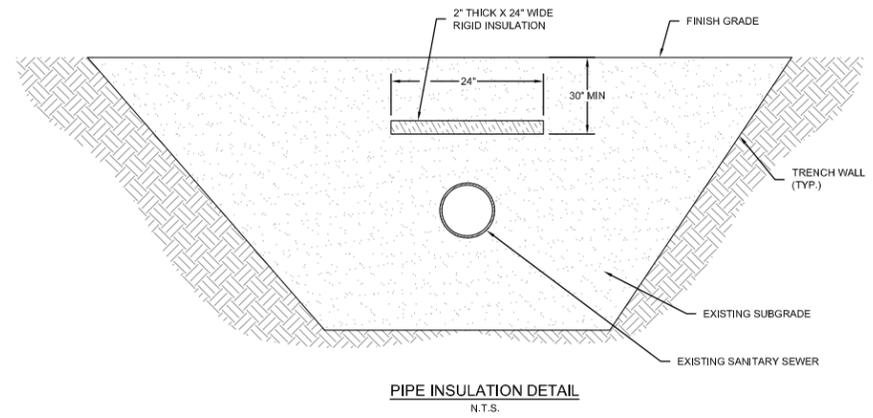
K:\1804803_Acadwg\Sheets\CO_10 UTILITY DETAILS - SHEET 2.dwg, 4/18/2019 2:27:20 PM, KSchiebel



NOTES:

1. DOUBLE BACKFLOW PREVENTION CHECK VALVES MUST BE INSTALLED FOR ALL RESIDENTIAL SERVICES.
2. PLEASE CONTACT THE CITY OF CODY FOR DETERMINATION OF NEEDS FOR COMMERCIAL SERVICES.

TREATED WATER SERVICE DETAIL
CITY OF CODY
N.T.S.



PIPE INSULATION DETAIL
N.T.S.



BORDER SIZE	22x34"
DESIGNED	JAM
DRAWN	KEB
CHECKED	WFR
APPROVED	JAM
DATE	
NO.	

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CONSTRUCTION SET
COUGAR WEST SUBDIVISION
UTILITY DETAILS - SHEET 2

ATTENTION:
0 1/2 1
IF THIS BAR DOES NOT MEASURE
1" ON 22x34 SHEET or 1/2" ON
11x17 SHEET, THEN DRAWING IS
NOT TO SCALE

DATE: April 17, 2019
PROJECT: 180480
SHEET: