

CITY OF CODY
PLANNING, ZONING, AND ADJUSTMENT BOARD
TUESDAY, JANUARY 22, 2019
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call meeting to order.
2. Roll Call, excused members
2. Pledge of Allegiance
3. Approval of Agenda
4. Approval of Minutes of the January 8, 2019 regular meeting.
5. NEW BUSINESS:
 - A. Site plan review for the City of Cody Wastewater Treatment Facility Phase 2, located west of West Cooper Lane on existing City property.
 - B. Review a request to rezone 2221 Cougar Avenue from High Density Residential (R-4) to limited Business (D-1).
 - C. Review the site plan for the Hampton Inn, located at 8 Southfork Road.
6. P & Z Board matters (announcements, comments, etc.)
7. Council Update
8. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning, and Adjustment
Board Tuesday, January 8, 2019

A meeting of the City of Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, January 8, 2019 at 12:00 pm.

Present: Sandi Fisher; Richard Jones; Erynne Selk; Klay Nelson; Stan Wolz; Buzzy Hassrick; Todd Stowell, City Planner; Scott Kolpitcke, City Attorney; Bernie Butler, Administrative Coordinator; and Glenn Nielson, Council Liaison.

Absent: Kayl Mitchell

Richard Jones called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Stan Wolz made a motion, seconded by Buzzy Hassrick, to approve the agenda for January 8, 2019. Vote on the motion was unanimous, motion carried.

Rich Jones asked for nominations for the Chairman and Vice Chairman for the 2019 Planning, Zoning, and Adjustment Board.

Richard Jones nominated Kayl Mitchell for Chairman. Richard Jones made a motion, seconded by Stan Wolz, to elect Kayl Mitchell as Chairman of the 2019 Planning, Zoning, and Adjustment Board. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick nominated Erynne Selk for Vice Chairman. Richard Jones made a motion, seconded by Buzzy Hassrick, to elect Erynne Selk as Vice Chairman of the 2019 Planning, Zoning, and Adjustment Board. Vote on the motion was unanimous, motion carried.

Richard Jones made a motion, seconded by Stan Wolz to approve the minutes from the November 27, 2018 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

A. Todd Stowell presented the updated landscape plan for Mountain Equipment, located at 3202 Big Horn Avenue.

Richard Jones made a motion, seconded by Buzzy Hassrick, to approve the updated landscape for Mountain Equipment with staff recommendations 1 through 3 in the staff report. Vote on the motion was unanimous, motion approved.

B. Todd Stowell presented the preliminary plat for the Cougar West Subdivision, a 12-lot subdivision on 2.23-acre property, located between Cougar Avenue and West Avenue. Eleven lots would be vacant and developed with single family homes. One lot (lot 10) contains an existing single-family home.

Todd Stowell reviewed the subdivision ordinance requirements, noting in the staff report when a variance from the standard is involved for this subdivision.

Property developer Kip Thiel discussed an assessment fee agreement with the City of Cody for future maintenance of the stormwater swale. Todd Stowell stated the subdivision ordinance currently requires the lot owners to provide their own agreement.

Stan Wolz made a motion, seconded by Sandi Fisher, to recommend to the City Council to approve the preliminary plat for the Cougar West Subdivision, with the staff report subdivision variances 1 through 3 and conditions 1 through 9 in the staff report. Vote on the motion was unanimous, motion approved.

P & Z Board Matters – None

Council Updates – None

Staff Items – None

Buzzy Hassrick made a motion, seconded by Sandi Fisher, to adjourn the meeting. Vote on the motion was unanimous, motion approved.

There being no further business to come before the Board, Vice Chairpman Erynne Selk adjourned the meeting at 12:53 p.m.

Bernie Butler, Administration Coordinator

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JANUARY 22, 2018	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: WASTEWATER TREATMENT FACILITY PHASE 2 UPGRADES. SPR 2018-26	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

The Cody Public Works Department has submitted an application for buildings and improvements associated with upgrades at the wastewater treatment facility. Major improvements include installation of lining and internal components in a new treatment cell (PC1), a new blower building to provide the air for aeration in the new cell, a UV disinfection system (in a new building), and an effluent irrigation system to utilize the effluent for on-site irrigation, as well as continuing to irrigate the nearby cemetery. Some pipeline extensions, changes to the electrical service, and fill to create the building pad for the UV building are also proposed.

The location is approximately west of West Cooper Lane on existing City property. The site plan and building details are attached.

REVIEW CRITERIA:

The property is located within the Industrial "E" zoning district, which is interpreted to permit wastewater treatment facilities and structures accessory thereto. The Industrial zoning district requires all structures in the district to be "architecturally compatible", and reviewed by the Planning and Zoning Board.

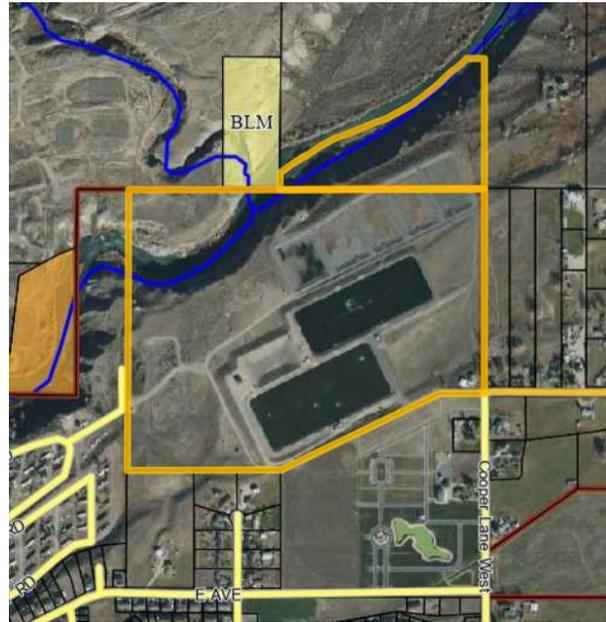
In addition, section 9-2-3 of the City code states, "Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting."

This review does not go into the details of the treatment processes, as those components are under the purview of the Department of Environmental Quality. However, it does identify the general components and activities of each improvement as they relate to site plan conditions.

STAFF COMMENTS:

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONE</i>
North	No development within 2,800 feet.	'E' and County Indust.
East	1,000' from PC1 to nearest private property	County R-1/2
South	550' from PC1 to Pleasant View Subdivision and cemetery property.	E and R-2
West	Green Acres Mobile Home Park approx. 1,000 feet.	Mobile Home Park



Architecture:

The blower building would measure 40' by 60' (2,400 sq. ft.) and be approximately 20 feet in total height (wall height of 15'). It would be metal sided and metal roofed in the same colors as the recently built pre-treatment building (photo shown here). See sheets BB-1 and 2 for the floor plan and elevation.



The UV treatment building would measure 26' by 40' (1,040 sq. ft.) and be approximately 18 feet in total height (above finished grade). It also would be metal sided and metal roofed in the same colors. See Sheets AVB-1 through 4.

It is noted that the UV building will be constructed on a new elevated pad, which is about 10 feet higher than existing grade—refer to sheet UVB-0.

Landscaping:

No formal landscaping is proposed in conjunction with this project. However, the effluent water that leaves the UV treatment building can either be discharged to the river, or used for irrigation. The City has previously allowed the cemetery to utilize some of that discharged water for irrigating the cemetery—they have had their own UV treatment system and irrigation ponds. The new setup will have the new UV building treating all of the discharge water, after which it can be directed to the river, the cemetery system, or a new city irrigation system. By keeping discharges to the river under 1 million gallons per day, it avoids the next tier of EPA regulations and permitting.

The city irrigation system would consist of distribution piping to three “zones”, with 3-4 high-capacity nozzle sprinklers in each zone. The estimated diameter of each sprinkler coverage is 230 feet.

As the effluent water is treated to the same level that the cemetery water currently is, there are not anticipated to be any odors from the sprinkler discharge. It is also noted that the sprinklers are far enough from the river cliffs and cell embankments that they should not spray water directly onto those areas (concerns for surface erosion and ground saturation causing slides). To minimize runoff from the irrigation areas, they will be seeded with grass and monitored to avoid overirrigation runoff.

Storm Water:

The blower building is directly adjacent to the sewer cells, so any runoff will simply run into the treatment facility. The UV building is only 1,040 square feet and water is expected to runoff the pad area in a rip rap spillway on the embankment, all on city property (see sheet UVB-0).

Access:

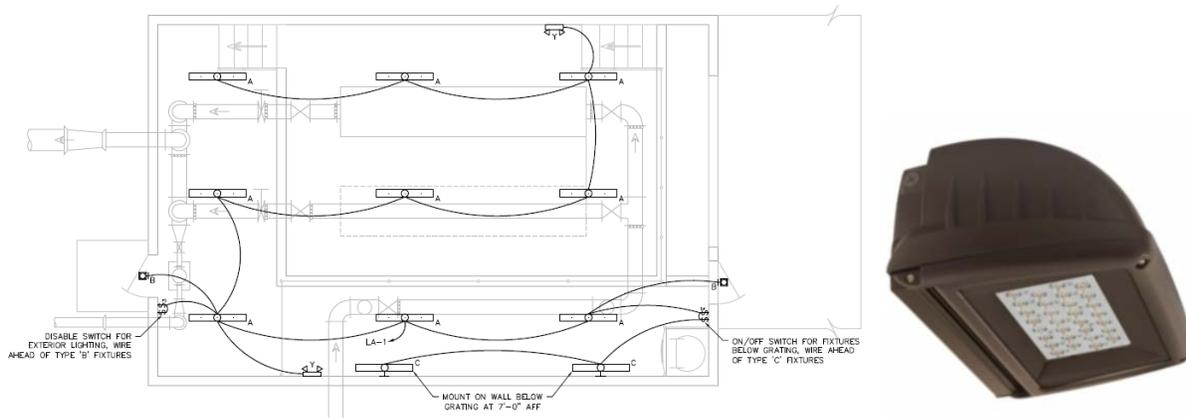
Access to the facility is existing, and the interior access drives are in place.

Utilities

The proposal includes modifications to the electrical system to provide a master meter system (as opposed to meters on each building), which has been coordinated with the City electric division. Being City property, utility easements are not needed.

Exterior Lighting

The only exterior lighting will be over the exterior doors of the buildings—two on the UV building and four on the blower building. The blower building exterior lights are shown as being controlled with the interior lights, meaning they would not be on except when the interior lights are on. The UV building appears to have separate switching. The fixtures are full cut-off LEDs.



Setbacks and Buffers

The Industrial E zone does not have any buffer requirements. Applicable setbacks are met.

Slope Stability

Planning staff is not yet 100% comfortable that the work associated with the UV building pad will not cause or be affected by slope stability issues (too many bad experiences with landslides). The building pad for the UV building will add approximately 900,000 pounds to the top of a cliff that is likely at or near its angle of repose (maximum slope that it is still stable). Adding significant weight to the top of a hillside is not generally wise. It is requested that the applicants engineer give a description of their engineering analysis and conclusions to the Planning and Zoning Board regarding the stability of the slope and addition of the UV building pad.

It is noted that if a landslide were to occur and take out the UV building, the UV building is so not fundamental that it would shut down the entire treatment facility—once the effluent leaves the rapid infiltration pits (RIP) it is suitable for discharge into the river.



ATTACHMENTS:

Site plan, floor plan, elevation.

ALTERNATIVES:

Approve or deny the site plan, with or without changes.

RECOMMENDATION:

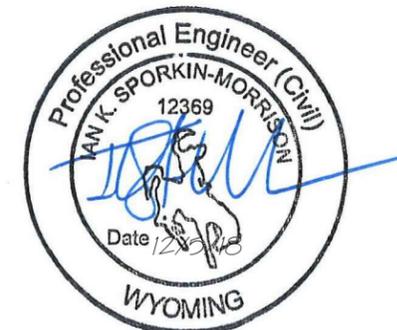
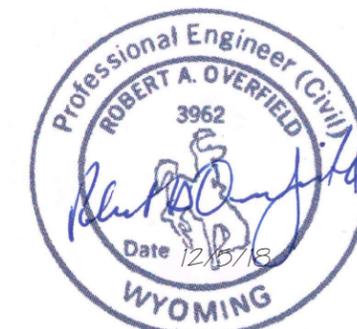
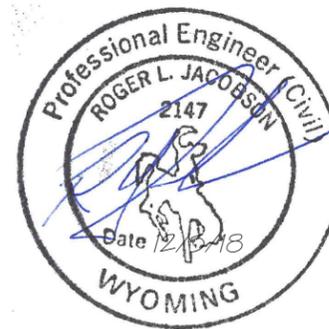
Approve the application subject to following.

1. The irrigation on the property must be managed and monitored so that the irrigation areas are not overwatered to the point of causing runoff over the hillside.
2. The project must otherwise comply with the submitted application and applicable building, fire, and electrical codes.



VICINITY MAP
SCALE: 1" = 1000'

CITY OF CODY WASTEWATER TREATMENT FACILITY PHASE 2 UPGRADE NOVEMBER, 2018



P:\2014\14111 Wwf Bldg\sect\14111_PTB_PHASE 2.dwg T-1 12/4/18 UN

DATE	DRAWING LOG	CHECKED	APPROVED
10/3/18	ORIGINAL DRAWING	IKSM	RAO

DRAWN BY: CRA
JOB NO. 14111
FIELD BOOK NO. OFFICE

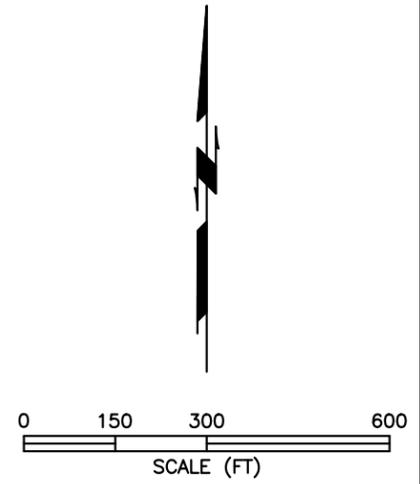
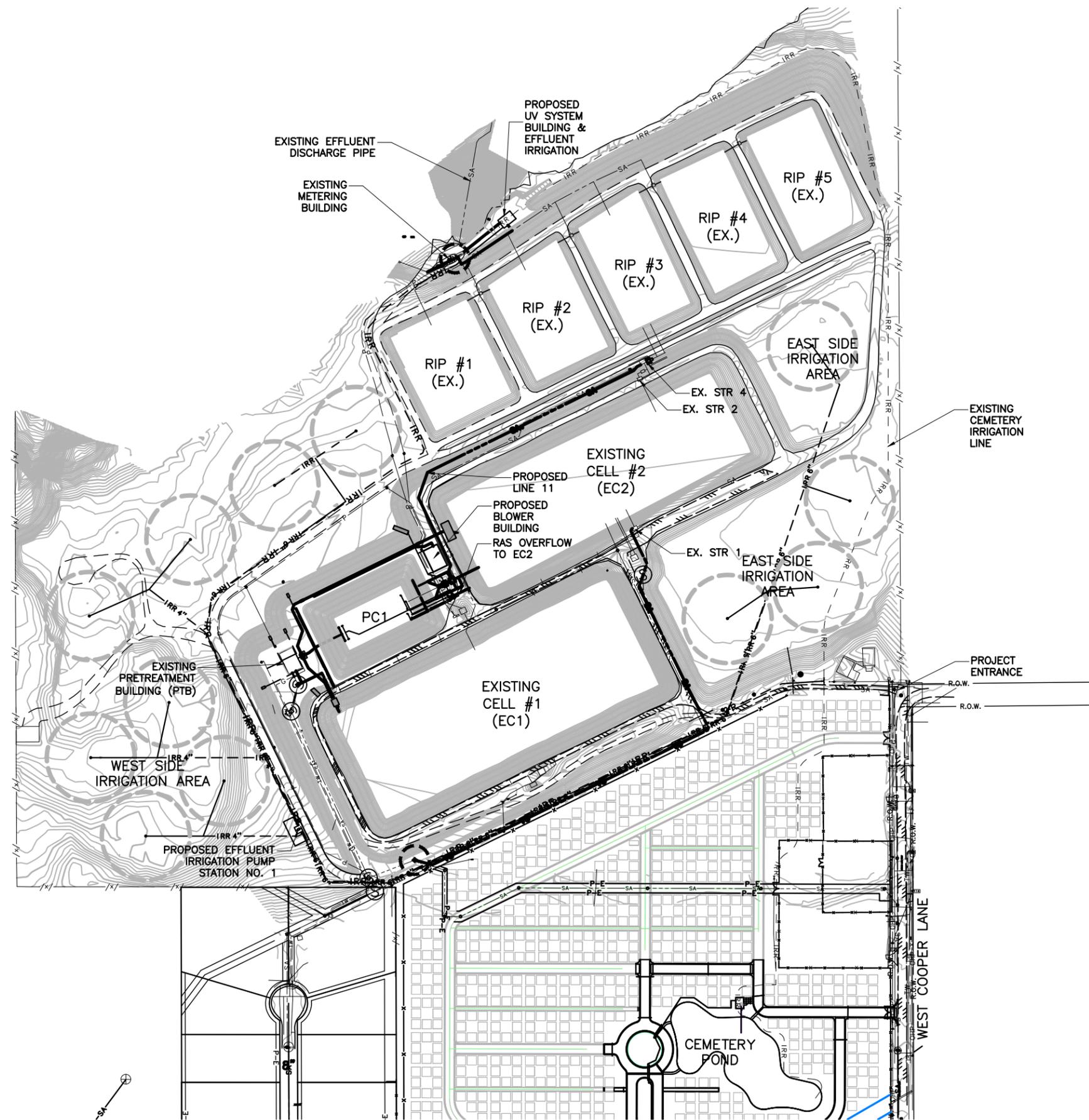


ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:
CITY OF CODY, WYOMING

PROJECT: WWTF PHASE 2 UPGRADE
TITLE: TITLE SHEET

T-1



P:\2014\14111_WWTF_Bldg\ecod\c3d_Base_Model_14111.dwg PHASE 2 OVERVIEW MAP 12/4/18 IAN

DATE	DRAWING LOG	BY	CHECKED	APPROVED
11/16/18	EDITS	IKSM	RAO	
10/4/18	EDITS	IKSM	RAO	
07/18/18	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM
 JOB NO. 14111.04
 FIELD BOOK NO. 540

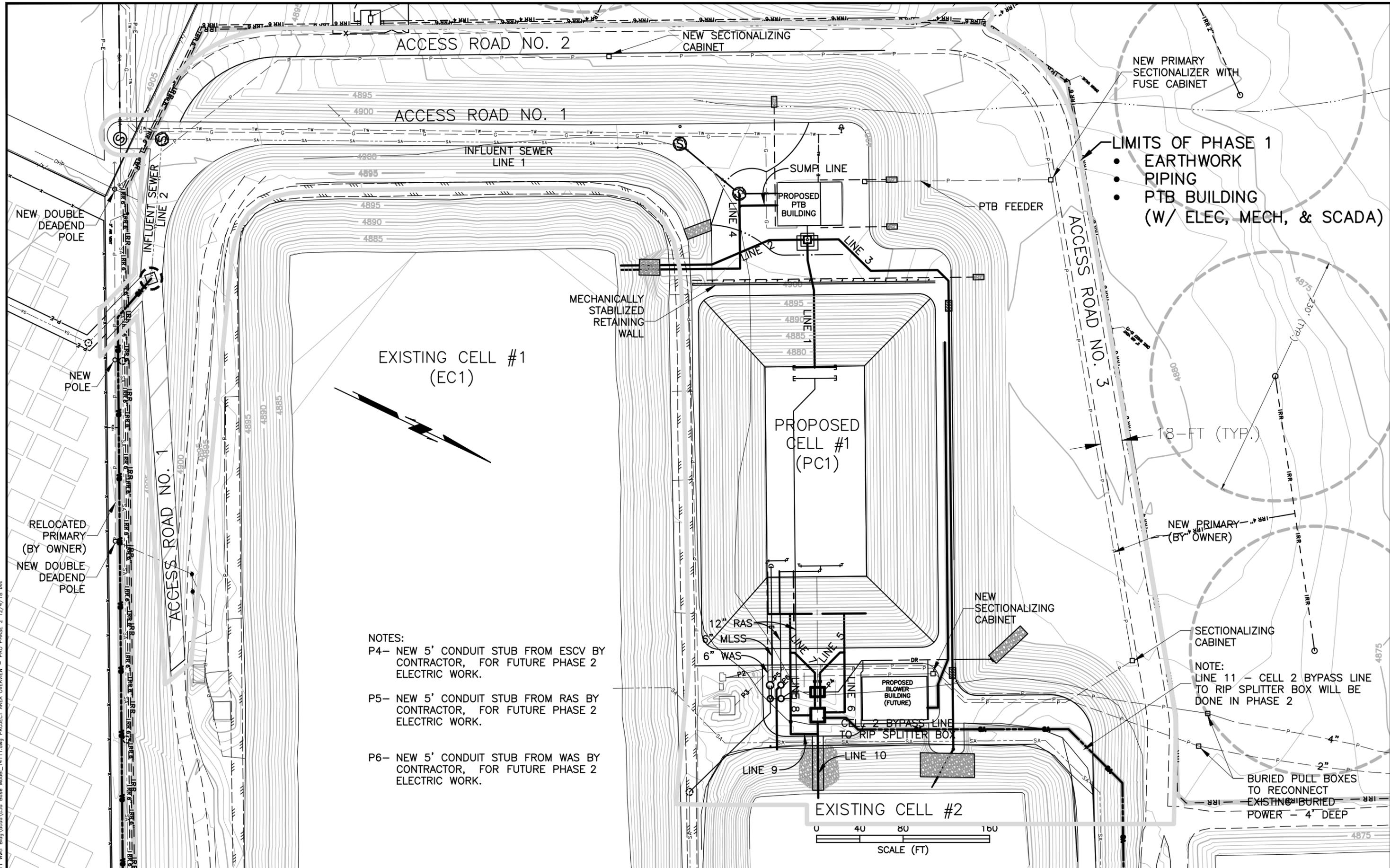


ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:
CITY OF CODY, WYOMING

PROJECT: **WWTF PHASE 2 UPGRADE**
 TITLE: **PHASE 2 OVERVIEW MAP**

F:\2014\14111 Wwf Blg\ecsd\c3d Base Model_14111.dwg PROJECT AREA OVERVIEW - PRO PHASE 2 12/4/18 IAN



NOTES:
 P4- NEW 5' CONDUIT STUB FROM ESCV BY CONTRACTOR, FOR FUTURE PHASE 2 ELECTRIC WORK.
 P5- NEW 5' CONDUIT STUB FROM RAS BY CONTRACTOR, FOR FUTURE PHASE 2 ELECTRIC WORK.
 P6- NEW 5' CONDUIT STUB FROM WAS BY CONTRACTOR, FOR FUTURE PHASE 2 ELECTRIC WORK.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
11/14/18	ORIGINAL DRAWING	IKSM	RAO	RAO

DRAWN BY: IKSM
 JOB NO. 14076
 FIELD BOOK NO. 540

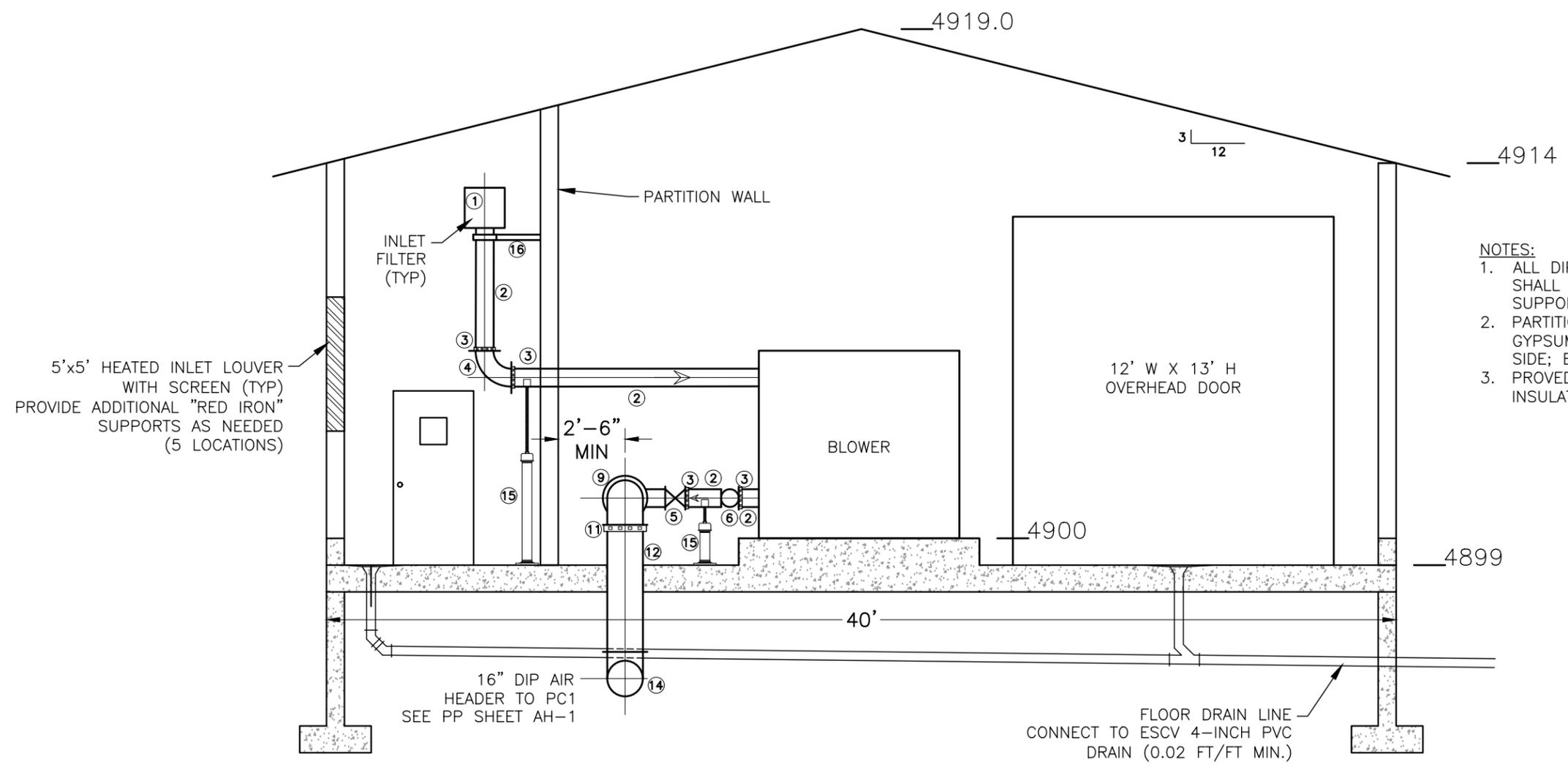

ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:
CITY OF CODY, WYOMING

PROJECT: **WWTF PHASE 2 UPGRADE**
 TITLE: **PROPOSED CELL #1 OVERVIEW**

- PIPING IDENTIFICATION LEGEND**
- ① INTAKE AIR FILTER BY EDI
 - ② 8" FLGxPE DIP SPOOL
 - ③ 8" EBAA SERIES 1000 FLG ADAPTOR
 - ④ 8" FLG 90° ELBOW
 - ⑤ 8" FLG GATE VALVE
 - ⑥ 8" FLG SILENT CHECK VALVE
 - ⑦ 12"x8" FLG TEE
 - ⑧ 12"x8" FLG REDUCER
 - ⑨ 16" FLG 90° ELBOW
 - ⑩ 12" FLGxPE SPOOL
 - ⑪ 12" EBAA SERIES 1000 FLG ADAPTOR
 - ⑫ 16" FLGxPE SPOOL
 - ⑬ 16"x12" FLG REDUCER
 - ⑭ 16" MJ 90° ELBOW
 - ⑮ PIPE SUPPORT
 - ⑯ STEEL BRACING

- NOTES:**
1. ALL DIP AIR PIPING INSIDE THE BLOWER BUILDING SHALL BE SUPPORTED USING ADJUSTABLE PIPE SUPPORTS AS SHOWN IN THE STANDARD DETAILS.
 2. PARTITION WALL - 6" COLD FORMED STEEL; 5/8" GYPSUM BOARD WITH LEVEL 4 FINISH - EACH SIDE; EXTEND TO FULL INTERIOR BUILDING HEIGHT.
 3. PROVED 5-1/2" SOUND ATTENUATION BATTING INSULATION IN ALL PARTITION WALLS.



SECTION A-A
SCALE: 1"=5'

F:\2014\14111_WWTF_Bldg\ecad\14111_BLOWER BUILDING.dwg BB-2 11/19/18 IAN

DATE	DRAWING LOG	BY	CHECKED	APPROVED
11/19/18	EDITS	IKSM	RAO	
10/04/18	EDITS	IKSM	RAO	RAO
8/10/18	EDITS	IKSM	RAO	RAO
03/29/17	ORIGINAL DRAWING	IKSM	RLJ	RAO

DRAWN BY: IKSM
JOB NO. 14111.04
FIELD BOOK NO. 540

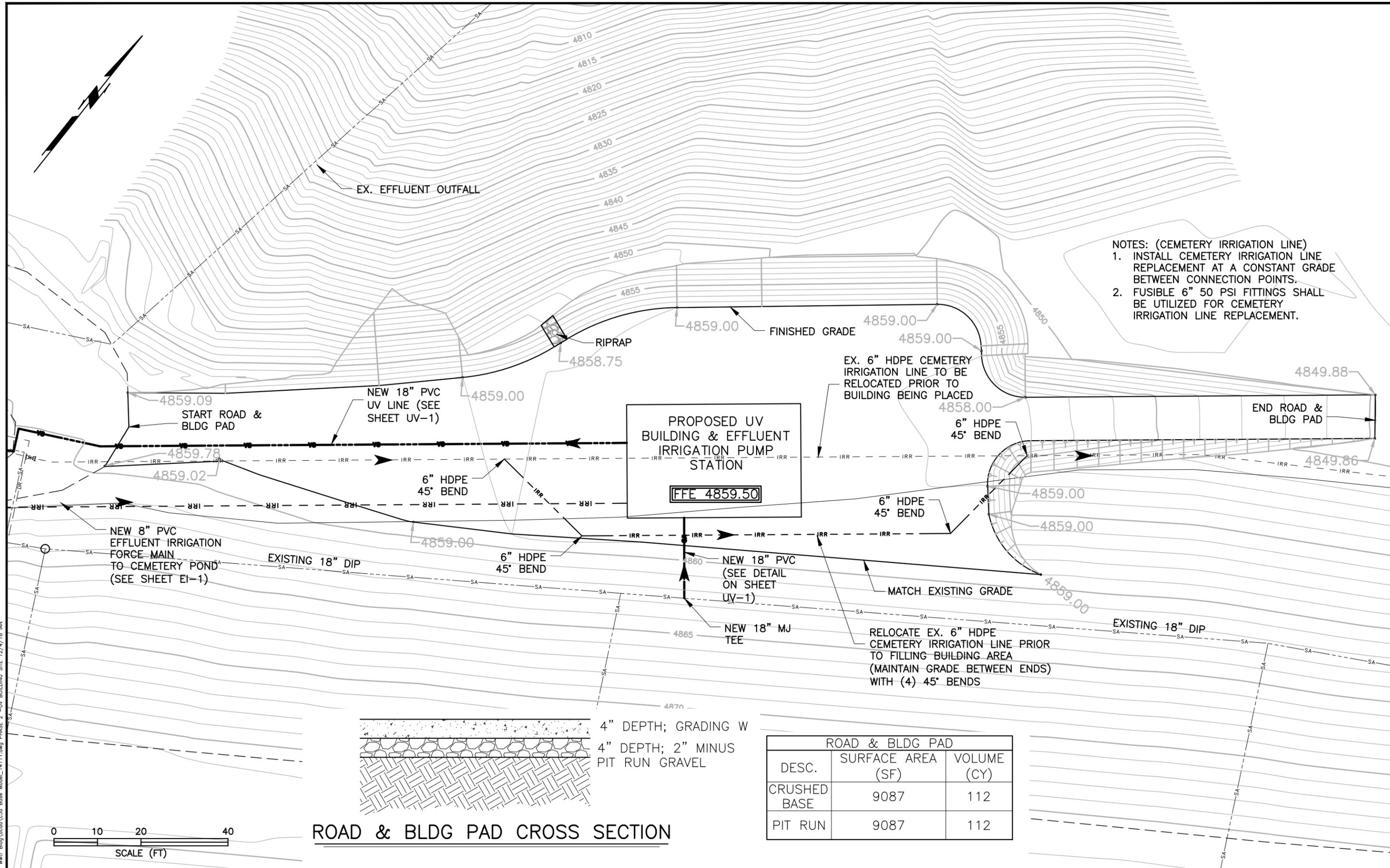
ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: CITY OF CODY, WYOMING

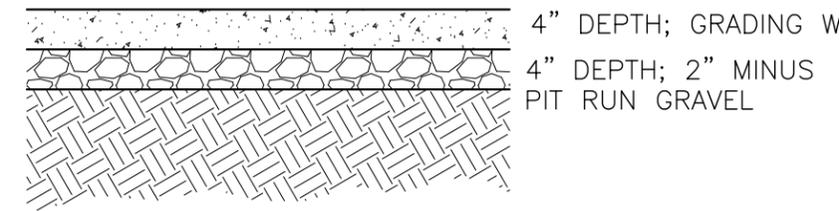
PROJECT: WWTF PHASE 2 UPGRADE
TITLE: BLOWER BLDG SECTION A-A

BB-2

F:\2014\14111 Wwf Bldg\cadd\c3d Base Model_14111.dwg PHASE 2 -UV BUILDING SITE 12/4/18 JAN

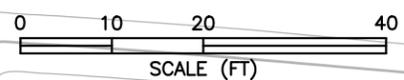


- NOTES: (CEMETERY IRRIGATION LINE)
1. INSTALL CEMETERY IRRIGATION LINE REPLACEMENT AT A CONSTANT GRADE BETWEEN CONNECTION POINTS.
 2. FUSIBLE 6" 50 PSI FITTINGS SHALL BE UTILIZED FOR CEMETERY IRRIGATION LINE REPLACEMENT.



ROAD & BLDG PAD CROSS SECTION

ROAD & BLDG PAD		
DESC.	SURFACE AREA (SF)	VOLUME (CY)
CRUSHED BASE	9087	112
PIT RUN	9087	112



DATE	EDITS	DRAWING LOG	BY	CHECKED	APPROVED
11/19/18	EDITS		IKSM	RAO	
10/10/18	EDITS		IKSM	RAO	RAO
7/12/18	DES PHASE 2 EDITS		IKSM	RLJ	RAO
03/29/17	ORIGINAL DRAWING		IKSM	RLJ	RAO

DRAWN BY: IKSM
JOB NO. 14111.04
FIELD BOOK NO. 540

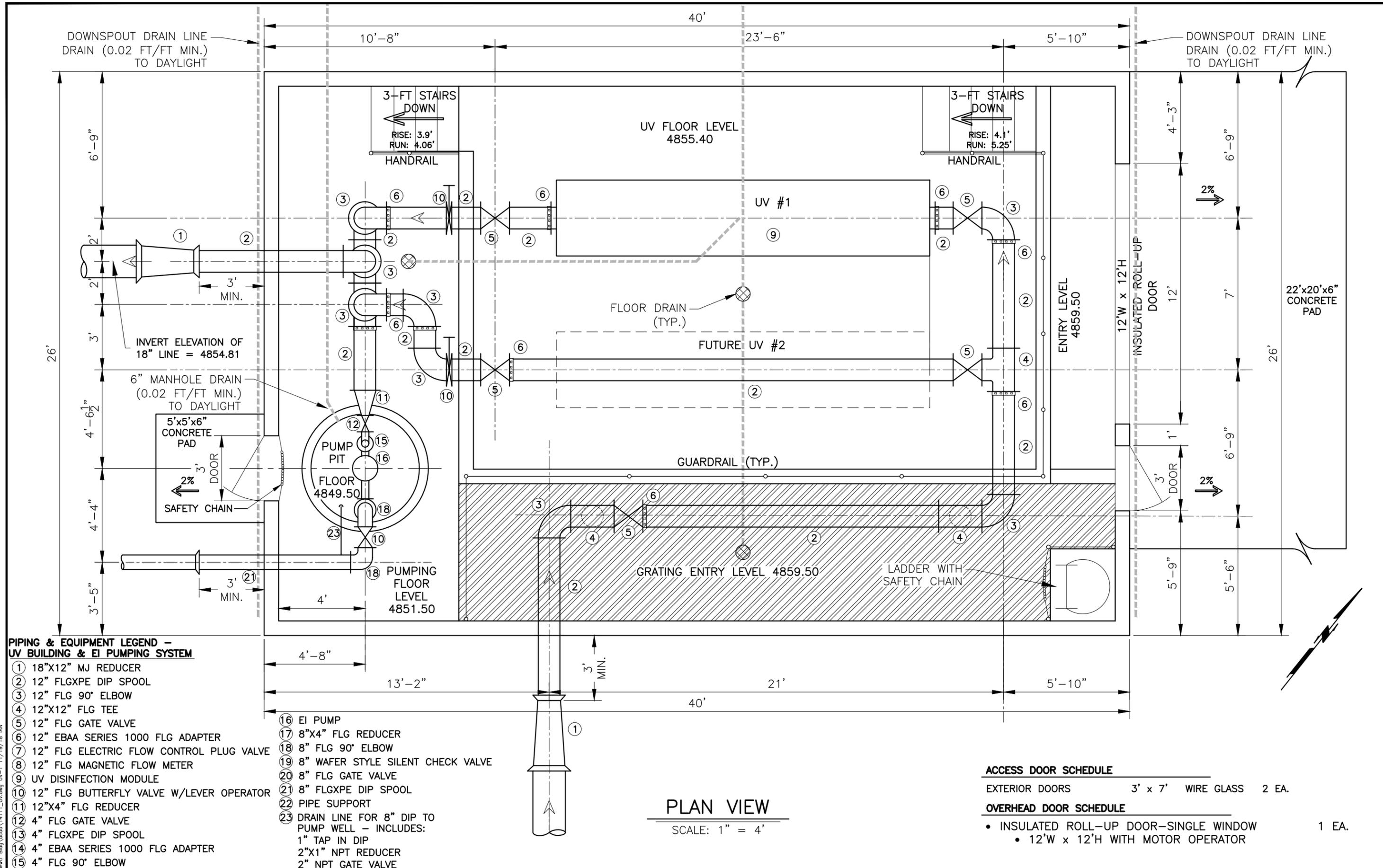


ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:
CITY OF CODY, WYOMING

PROJECT: **WWTF PHASE 2 UPGRADE**
TITLE: **UV BLDG SITE PLAN**

UVB-0



- PIPING & EQUIPMENT LEGEND -
UV BUILDING & EI PUMPING SYSTEM**
- ① 18"x12" MJ REDUCER
 - ② 12" FLGXPE DIP SPOOL
 - ③ 12" FLG 90° ELBOW
 - ④ 12"x12" FLG TEE
 - ⑤ 12" FLG GATE VALVE
 - ⑥ 12" EBAA SERIES 1000 FLG ADAPTER
 - ⑦ 12" FLG ELECTRIC FLOW CONTROL PLUG VALVE
 - ⑧ 12" FLG MAGNETIC FLOW METER
 - ⑨ UV DISINFECTION MODULE
 - ⑩ 12" FLG BUTTERFLY VALVE W/LEVER OPERATOR
 - ⑪ 12"x4" FLG REDUCER
 - ⑫ 4" FLG GATE VALVE
 - ⑬ 4" FLGXPE DIP SPOOL
 - ⑭ 4" EBAA SERIES 1000 FLG ADAPTER
 - ⑮ 4" FLG 90° ELBOW
 - ⑯ EI PUMP
 - ⑰ 8"x4" FLG REDUCER
 - ⑱ 8" FLG 90° ELBOW
 - ⑲ 8" WAFER STYLE SILENT CHECK VALVE
 - ⑳ 8" FLG GATE VALVE
 - ㉑ 8" FLGXPE DIP SPOOL
 - ㉒ PIPE SUPPORT
 - ㉓ DRAIN LINE FOR 8" DIP TO PUMP WELL - INCLUDES:
1" TAP IN DIP
2"x1" NPT REDUCER
2" NPT GATE VALVE

- ACCESS DOOR SCHEDULE**
- | | | |
|----------------|--------------------|-------|
| EXTERIOR DOORS | 3' x 7' WIRE GLASS | 2 EA. |
|----------------|--------------------|-------|
- OVERHEAD DOOR SCHEDULE**
- INSULATED ROLL-UP DOOR-SINGLE WINDOW 1 EA.
 - 12'W x 12'H WITH MOTOR OPERATOR

PLAN VIEW
SCALE: 1" = 4'

P:\2014\14111 Wwf Bldg\14111_UV.dwg UV-1 11/19/18 JAN

DATE	DRAWING LOG	CHECKED	APPROVED
11/19/18	EDITS	IKSM	RAO
11/2/18	EFF IRR EDITS	IKSM	RLJ RAO
10/10/18	EDITS	IKSM	RAO RAO
11/22/17	PHASE 2 DESIGN	IKSM	RLC RLC

DRAWN BY: IKSM
JOB NO. 14111.04
FIELD BOOK NO. N/A

ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

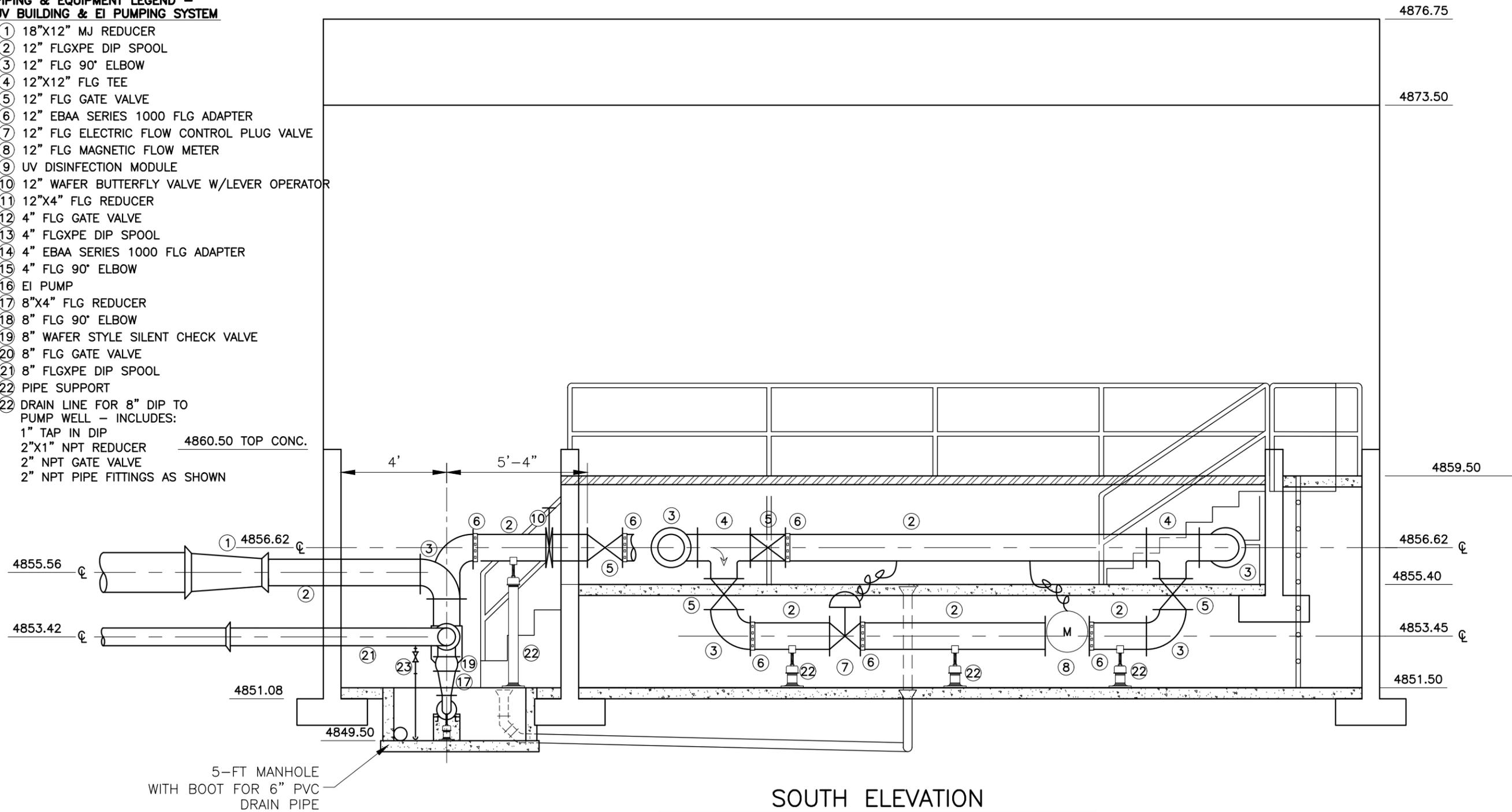
OWNER: CITY OF CODY, WYOMING

PROJECT: WWTF PHASE 2 UPGRADE
TITLE: UV BLDG PLAN VIEW

UVB-1

**PIPING & EQUIPMENT LEGEND –
UV BUILDING & EI PUMPING SYSTEM**

- ① 18"X12" MJ REDUCER
- ② 12" FLGXPE DIP SPOOL
- ③ 12" FLG 90° ELBOW
- ④ 12"X12" FLG TEE
- ⑤ 12" FLG GATE VALVE
- ⑥ 12" EBAA SERIES 1000 FLG ADAPTER
- ⑦ 12" FLG ELECTRIC FLOW CONTROL PLUG VALVE
- ⑧ 12" FLG MAGNETIC FLOW METER
- ⑨ UV DISINFECTION MODULE
- ⑩ 12" WAFER BUTTERFLY VALVE W/LEVER OPERATOR
- ⑪ 12"X4" FLG REDUCER
- ⑫ 4" FLG GATE VALVE
- ⑬ 4" FLGXPE DIP SPOOL
- ⑭ 4" EBAA SERIES 1000 FLG ADAPTER
- ⑮ 4" FLG 90° ELBOW
- ⑯ EI PUMP
- ⑰ 8"X4" FLG REDUCER
- ⑱ 8" FLG 90° ELBOW
- ⑲ 8" WAFER STYLE SILENT CHECK VALVE
- ⑳ 8" FLG GATE VALVE
- ㉑ 8" FLGXPE DIP SPOOL
- ㉒ PIPE SUPPORT
- ㉓ DRAIN LINE FOR 8" DIP TO PUMP WELL – INCLUDES:
1" TAP IN DIP
2"X1" NPT REDUCER
2" NPT GATE VALVE
2" NPT PIPE FITTINGS AS SHOWN



SOUTH ELEVATION

SCALE: 1" = 4'

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DATE	EDITS	DRAWING LOG	CHECKED	APPROVED
11/19/18	EDITS		IKSM RAO	
11/2/18	EFF IRR EDITS		IKSM RLJ	RAO
7/16/18	DES PHASE 2 EDITS		IKSM RAO	RAO
11/22/17	PHASE 2 DESIGN		IKSM RLC	RLC

DRAWN BY: IKSM
JOB NO. 14111
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

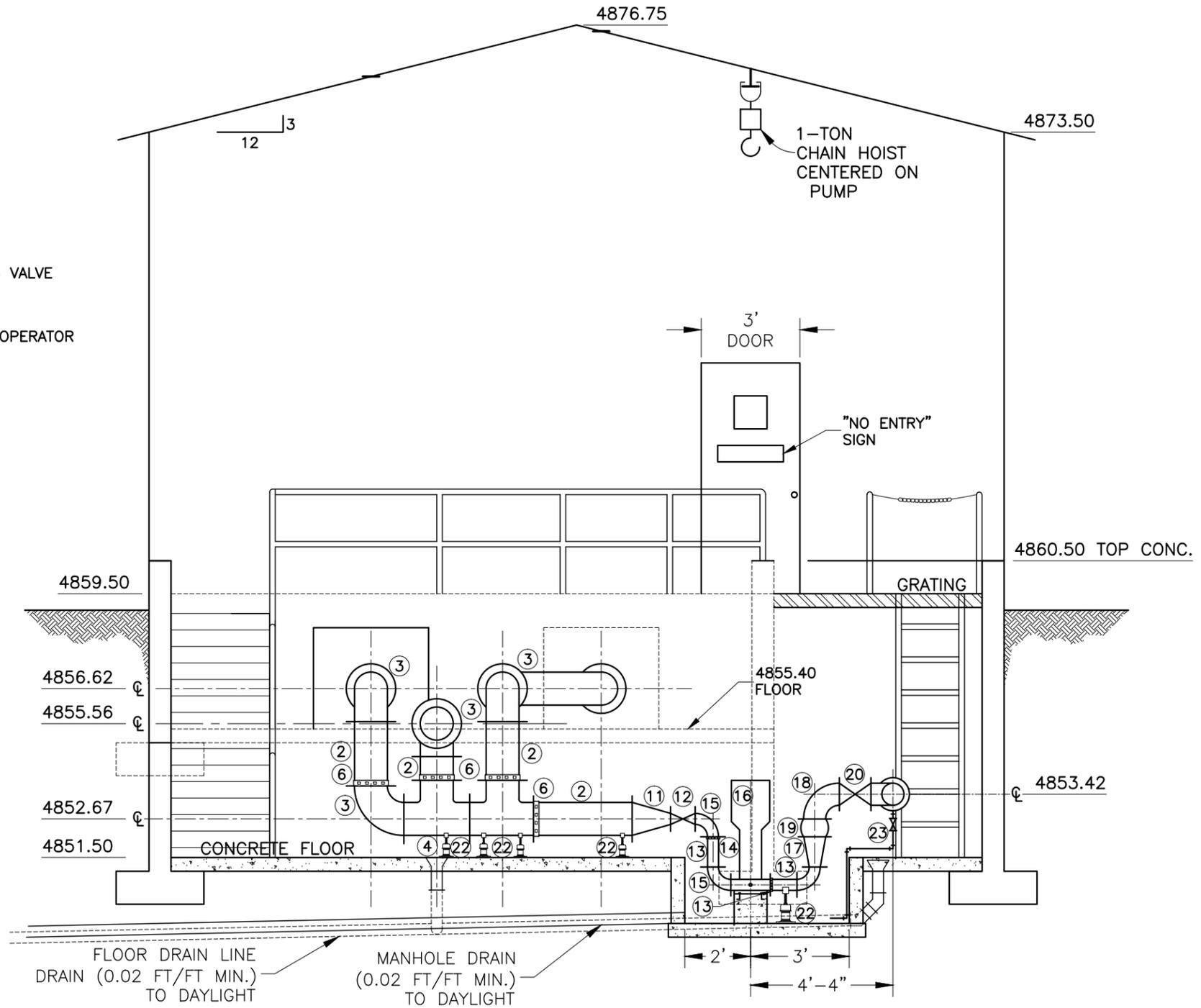
OWNER:
CITY OF CODY, WYOMING

PROJECT: **WWTF PHASE 2 UPGRADE**
TITLE: **UV BLDG SOUTH ELEVATION**

UVB-2

**PIPING & EQUIPMENT LEGEND –
UV BUILDING & EI PUMPING SYSTEM**

- ① 18"X12" MJ REDUCER
- ② 12" FLGXPE DIP SPOOL
- ③ 12" FLG 90° ELBOW
- ④ 12"X12" FLG TEE
- ⑤ 12" FLG GATE VALVE
- ⑥ 12" EBAA SERIES 1000 FLG ADAPTER
- ⑦ 12" FLG ELECTRIC FLOW CONTROL PLUG VALVE
- ⑧ 12" FLG MAGNETIC FLOW METER
- ⑨ UV DISINFECTION MODULE
- ⑩ 12" WAFER BUTTERFLY VALVE W/LEVER OPERATOR
- ⑪ 12"X4" FLG REDUCER
- ⑫ 4" FLG GATE VALVE
- ⑬ 4" FLGXPE DIP SPOOL
- ⑭ 4" EBAA SERIES 1000 FLG ADAPTER
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- ⑯ EI PUMP
- ⑰ 8"X4" FLG REDUCER
- ⑱ 8" FLG 90° ELBOW
- ⑲ 8" WAFER STYLE SILENT CHECK VALVE
- ⑳ 8" FLG GATE VALVE
- ㉑ 8" FLGXPE DIP SPOOL
- ㉒ PIPE SUPPORT
- ㉓ DRAIN LINE FOR 8" DIP TO PUMP WELL – INCLUDES:
1" TAP IN DIP
2"X1" NPT REDUCER
2" NPT GATE VALVE
2" NPT PIPE FITTINGS AS SHOWN



EAST ELEVATION

SCALE: 1" = 4'

P:\2014\14111 Wwf Bldg\sect\14111_UV.dwg UV-3 11/19/18 JAW

DATE	EDITS	DRAWING LOG	CHECKED	APPROVED
11/19/18	EDITS		IKSM	RAO
11/2/18	EFF IRR EDITS		IKSM	RLJ RAO
10/10/18	EDITS		IKSM	RAO RAO
11/22/17	PHASE 2 DESIGN		IKSM	RLC RLC

DRAWN BY: IKSM
JOB NO. 14111.04
FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:

CITY OF CODY, WYOMING

PROJECT:

WWTF PHASE 2 UPGRADE

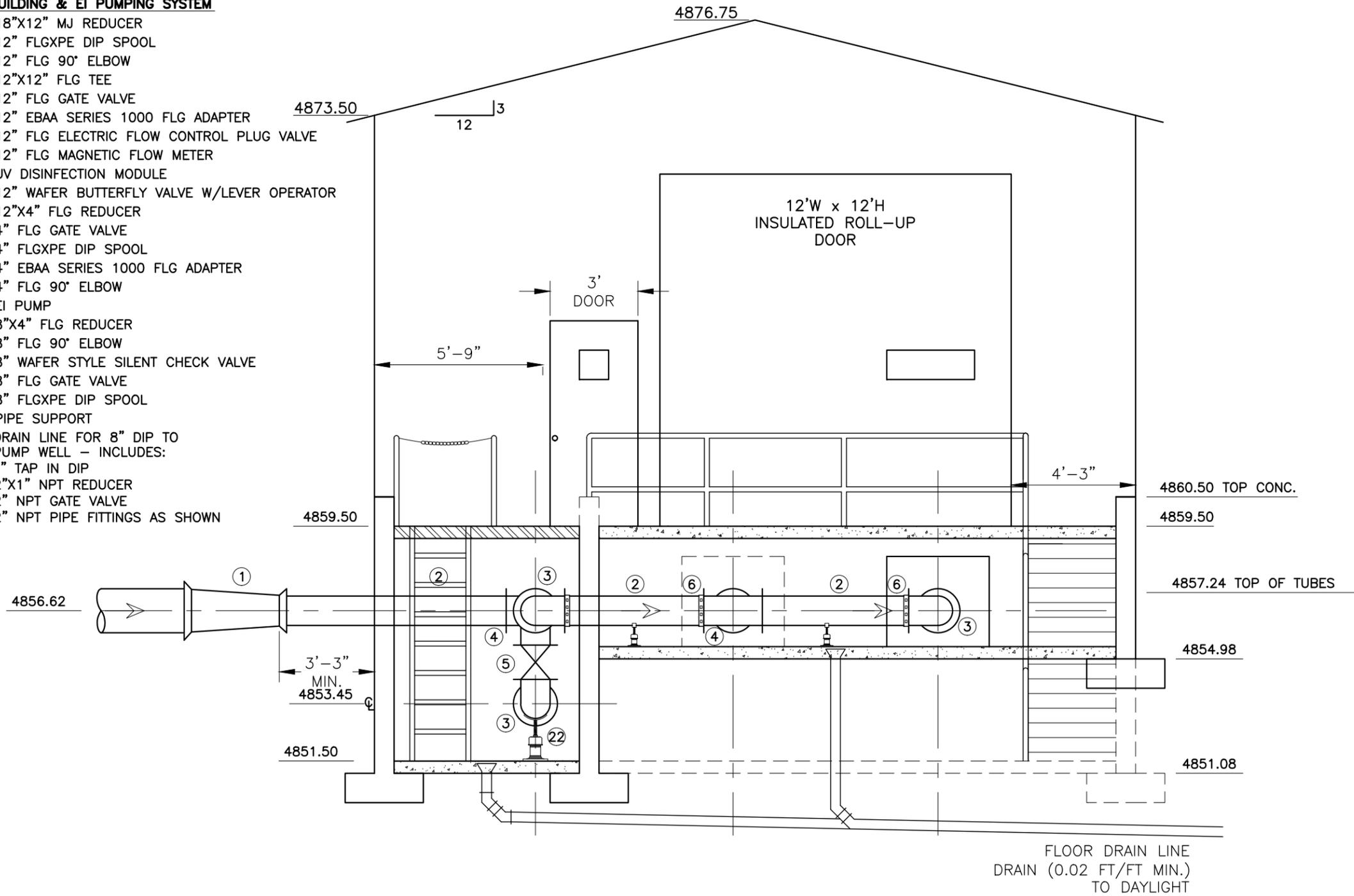
TITLE:

UV BLDG EAST ELEVATION

UVB-3

**PIPING & EQUIPMENT LEGEND -
UV BUILDING & EI PUMPING SYSTEM**

- ① 18"X12" MJ REDUCER
- ② 12" FLGXPE DIP SPOOL
- ③ 12" FLG 90° ELBOW
- ④ 12"X12" FLG TEE
- ⑤ 12" FLG GATE VALVE
- ⑥ 12" EBAA SERIES 1000 FLG ADAPTER
- ⑦ 12" FLG ELECTRIC FLOW CONTROL PLUG VALVE
- ⑧ 12" FLG MAGNETIC FLOW METER
- ⑨ UV DISINFECTION MODULE
- ⑩ 12" WAFER BUTTERFLY VALVE W/LEVER OPERATOR
- ⑪ 12"X4" FLG REDUCER
- ⑫ 4" FLG GATE VALVE
- ⑬ 4" FLGXPE DIP SPOOL
- ⑭ 4" EBAA SERIES 1000 FLG ADAPTER
- ⑮ 4" FLG 90° ELBOW
- ⑯ EI PUMP
- ⑰ 8"X4" FLG REDUCER
- ⑱ 8" FLG 90° ELBOW
- ⑲ 8" WAFER STYLE SILENT CHECK VALVE
- ⑳ 8" FLG GATE VALVE
- ㉑ 8" FLGXPE DIP SPOOL
- ㉒ PIPE SUPPORT
- ㉓ DRAIN LINE FOR 8" DIP TO PUMP WELL - INCLUDES:
1" TAP IN DIP
2"X1" NPT REDUCER
2" NPT GATE VALVE
2" NPT PIPE FITTINGS AS SHOWN



WEST ELEVATION

SCALE: 1" = 4'

P:\2014\14111 Wwf Bldg\sect\14111_UV.dwg UV-4 11/19/18 JMN

DATE	DRAWING LOG	CHECKED	APPROVED
11/19/18	EDITS	IKSM	RAO
11/2/18	EFF IRR EDITS	IKSM	RLJ
7/16/18	DES PHASE 2 EDITS	IKSM	RAO
11/22/17	PHASE 2 DESIGN	IKSM	RLC

DRAWN BY: IKSM
JOB NO. 14111.04
FIELD BOOK NO. N/A

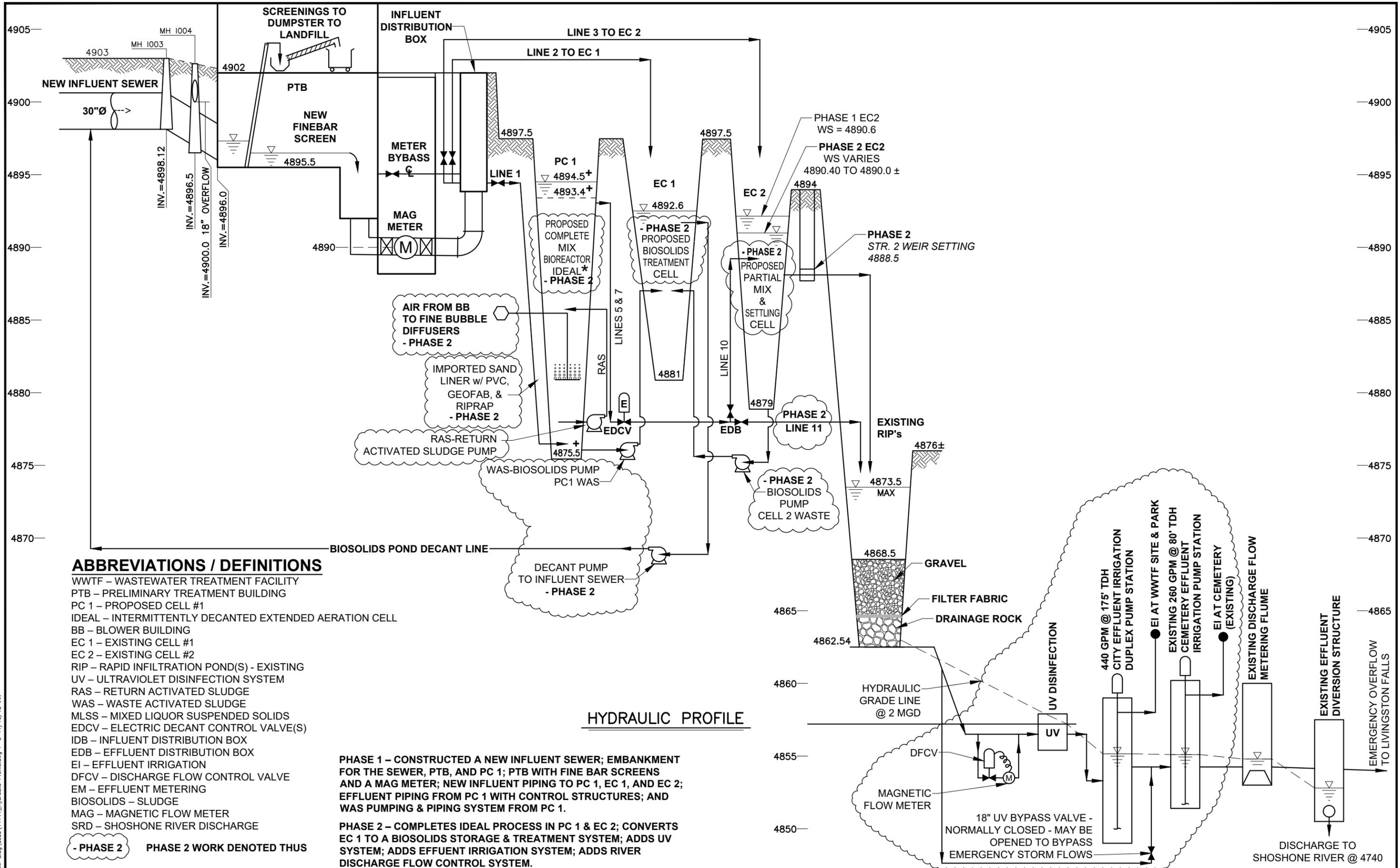


ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER:
CITY OF CODY, WYOMING

PROJECT: **WWTF PHASE 2 UPGRADE**
TITLE: **UV BLDG WEST ELEVATION**

UVB-4



ABBREVIATIONS / DEFINITIONS

- WWTF – WASTEWATER TREATMENT FACILITY
- PTB – PRELIMINARY TREATMENT BUILDING
- PC 1 – PROPOSED CELL #1
- IDEAL – INTERMITTENTLY DECANTED EXTENDED AERATION CELL
- BB – BLOWER BUILDING
- EC 1 – EXISTING CELL #1
- EC 2 – EXISTING CELL #2
- RIP – RAPID INFILTRATION POND(S) - EXISTING
- UV – ULTRAVIOLET DISINFECTION SYSTEM
- RAS – RETURN ACTIVATED SLUDGE
- WAS – WASTE ACTIVATED SLUDGE
- MLSS – MIXED LIQUOR SUSPENDED SOLIDS
- IDB – INFLUENT DISTRIBUTION BOX
- EDB – EFFLUENT DISTRIBUTION BOX
- EI – EFFLUENT IRRIGATION
- DFCV – DISCHARGE FLOW CONTROL VALVE
- EM – EFFLUENT METERING
- BIO-SOLIDS – SLUDGE
- MAG – MAGNETIC FLOW METER
- SRD – SHOSHONE RIVER DISCHARGE

- PHASE 2 PHASE 2 WORK DENOTED THUS

PHASE 1 – CONSTRUCTED A NEW INFLUENT SEWER; EMBANKMENT FOR THE SEWER, PTB, AND PC 1; PTB WITH FINE BAR SCREENS AND A MAG METER; NEW INFLUENT PIPING TO PC 1, EC 1, AND EC 2; EFFLUENT PIPING FROM PC 1 WITH CONTROL STRUCTURES; AND WAS PUMPING & PIPING SYSTEM FROM PC 1.

PHASE 2 – COMPLETES IDEAL PROCESS IN PC 1 & EC 2; CONVERTS EC 1 TO A BIOSOLIDS STORAGE & TREATMENT SYSTEM; ADDS UV SYSTEM; ADDS EFFLUENT IRRIGATION SYSTEM; ADDS RIVER DISCHARGE FLOW CONTROL SYSTEM.

HYDRAULIC PROFILE

DATE	EDITS	DRAWING LOG	CHECKED	APPROVED
10/4/18			IKSM	RAO
11/22/17			IKSM	RLC
08/26/16			IKSM	RAO
06/23/15			CRA	RAO

DRAWN BY: IKSM
 JOB NO. 14111.04
 FIELD BOOK NO. N/A



ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: **CITY OF CODY, WYOMING**

PROJECT: **WWTF PHASE 2 UPGRADE**
 TITLE: **HYDRAULIC PROFILE**

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	JANUARY 22, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	REQUEST TO REZONE 2221 COUGAR AVENUE FROM HIGH-DENSITY RESIDENTIAL (R-4) TO LIMITED BUSINESS (D-1). FILE: ZON 2019-01	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Veritas Splendor Counseling, represented by Justin McColl as contract purchaser of 2221 Cougar Avenue, has submitted an application to rezone 2221 Cougar Avenue from High-Density Residential (R-4) to Limited Business (D-1). The property currently contains a boarded up two-story house that is planned to be demolished.

The subject property is 0.46 acres in size and located on the northwest corner of Cougar Avenue and 23rd Street.

Existing Conditions:



Existing Zoning:



Neighboring Properties:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Single-family dwelling	High-density Residential (R-4)
East	Townhouses/duplexes and assisted living facility.	Open business/Light Industrial (D-3), with PUD designation.

South	Single-family residence	Residential (R-2)
West	Single-family dwellings	Residential (R-2)

Photos of 2111 Cougar and surrounding properties:



Neighbors to west and south:



Existing Zoning, Proposed Zoning and Planned Uses:

The existing zoning of the property is high-density residential (R-4), which allows all forms of residential development, from single-family homes to 3-story apartment complexes. It also allows daycare facilities, group homes, schools, and short-term rentals.

The Limited Business (D-1) zone is the next step above the R-4 zone, and the least intense of the commercial zones (D-1, D-2 and D-3). The D-1 zone would allow all of the uses of the R-4 zone, plus professional offices, storage facilities, and most retail businesses that are not auto-oriented (no auto repair, no drive-thrus, no restaurants, no hotels, no public entertainment venues, etc.). For a complete list of permitted uses see City of Cody Code 10-10A-2.

The D-1 zone does limit building size to 5,000 square feet on any one story and no more than 10,000 square feet total (no limit on number of stories). It also limits hours of operation to between 6:00 a.m. and 10:00 p.m.

The applicant has indicated that their plan is to construct an office building for their counseling business, of about 2,000 square feet in size. The building is planned to be single-story and have a residential look. Off-street parking for employees and customers would be provided. Based on a 2,000 square foot building size, the city parking ordinance would require a minimum of eight parking spaces.

PROCEDURE:

The following section is found in the City of Cody code.

10-5-1: CITY COUNCIL AUTHORITY: The city council may by ordinance at any time, on its own motion or petition, or upon the recommendations by the planning and zoning commission, amend, supplement or change the regulations or districts herein or subsequently established; provided, however, that a public hearing shall first be held in relation thereto, after one publication of notice of the time, place and purpose of such hearing, in an official newspaper, at least fifteen (15) days prior to such hearing.

Due to time limits related to the purchase of the property and required notice timelines, the public hearing has been advertised to occur with the City Council on February 5th. However, the notice of the public hearing (sent January 11, 2019) noted the review by the Planning and Zoning Board at this meeting, and the opportunity for public comment.

REVIEW CRITERIA:

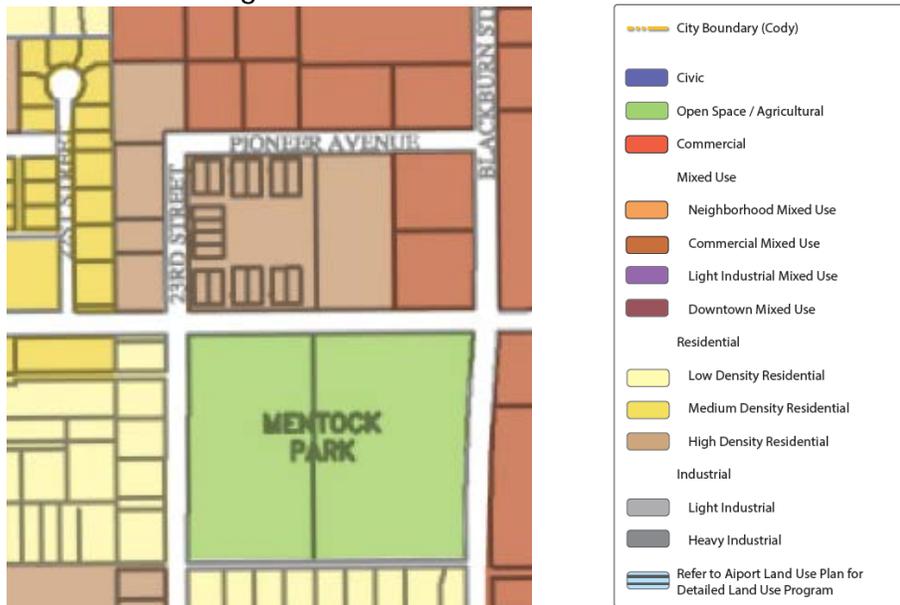
Rezoning is a legislative action, subject to the full discretion of the governing body. The Cody zoning ordinance does not have specific criteria outlined for granting or denying rezoning requests. For the purpose of providing guidance, staff will refer to the following general standards for zoning that are found in Wyoming state law, Section 15-1-601(d). Please note that the standards are in the context of initially adopting an overall zoning plan for a community, yet they can provide guidance for reviewing site specific proposals as well.

(d) All regulations shall be made:

(i) In accordance with a comprehensive plan and designed to:

Staff Comment: The City adopted a new comprehensive plan in March of 2014. Per the master plan "*The Future Land Use Map...will be the guide for future zoning and development within the City.*" The portion of the Future Land Use Map for this area is below, which shows the property as high-density residential. The Open Business/Light Industrial (D-3) zoned property to the east is also shown as high-density residential in the master plan, as it contains residential development and an assisted living facility. However, the Master Plan specifically states that, "*the boundaries between land use designation are not rigid and can accommodate reasonable rezone requests that may*

encroach across boundaries depicted on the map." The master plan does show commercial land in the general area to the north and east.



(A) Lessen congestion in the streets;

Staff Comment: There is no significant problem with traffic congestion at the intersection of Cougar Avenue and 23rd Street, so the rezone is not expected to result in a situation that would create traffic congestion.

(B) Secure safety from fire, panic and other dangers;

Staff Comment: Any new construction or use would need to comply with applicable development codes, which codes are intended to ensure that adequate protections occur so as to secure safety from fire, panic, or other physical dangers.

(C) Promote health and general welfare;

Staff Comment: The zone change would expand the opportunity for more jobs and services to help meet community needs; thereby contributing to personal and community health and welfare. Whether this can be done without significant impacts to the health or general welfare of persons in the area needs to be considered. Input from the neighbors and discussion with the applicant is needed in this respect.

(D) Provide adequate light and air;

Staff Comment: This standard is typically related to providing sufficient open space and setbacks. (The language originally developed to address tenement housing conditions of the early 1900's.) Current building codes and zoning setbacks/buffers are intended to meet this requirement. If the rezone is granted, a 15-foot landscape buffer and a 6-foot tall solid fence would be required along the north and west boundaries of any development of the site.

(E) Prevent the overcrowding of land;

Staff Comment: What constitutes “overcrowding” is subject to personal interpretation. The proposal for a 2,000 square foot, single-story building, with about 8 parking spaces is far from overcrowding, when compared to what could be developed under the current R-4 zone (3 stories of residential development, up to 85% lot coverage). However, if the rezone is simply granted, there is nothing preventing the owner from developing any permitted D-1 use on the property, in accordance with applicable standards and Board review. If other potential D-1 uses are a concern, the city has the option of using development agreements proposed by the applicant to limit the intensity of development that could be developed. That being said, I do not believe the City has ever limited the intensity to less than what would be permitted under the prior zoning.

(F) Avoid undue concentration of population;

Staff Comment: The potential population estimates, if the property were residentially developed, would not be expected to be significantly different between the R-4 and D-1 zoning district. With the contemplated office building, no more than about 10 people would be on site at any one time, and generally only during regular office hours.

(G) Facilitate adequate provisions for transportation, water, sewerage, schools, parks and other public requirements.

Staff Comment: The property has access to all standard utilities and other public facilities necessary for development. Commercial zoning typically does not increase demand for schools or parks.

(ii) With reasonable consideration, among other things, of the character of the district and its peculiar suitability for particular uses;

Staff Comment:

It is necessary to consider what other uses would have a potential to be conducted on the property under the D-1 zoning. As mentioned in the introduction, D-1 zoning permits retail uses such as hardware stores, grocery stores, bakeries, and clothing stores. However, it does not permit the more intense retail uses like drive-thrus, restaurants, hotels, auto repair, banks, public entertainment venues, and vehicle sales lots. While the intent of the D-1 zone is to permit services normally accessory to a residential area with only moderate interference to the neighborhood, staff is concerned that the standard D-1 requirements are inadequate to ensure compatibility with the surrounding residential development when it comes to the retail type uses. While the potential for the retail type D-1 uses would appear inappropriate, that is not the applicant’s fault—we just don’t have a professional office only zone (which we should address later this year.) The professional office uses, being of a generally more compatible nature than retail (no delivery trucks/loading docks, typical office hours only, no “public assembly” type activities, etc.) seem to be reasonable for this property.

(iii) With a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the city or town; and

Staff Comment: This determination needs the input of the public hearing. Based on feedback from a couple of phone calls, the planned counseling office appears to be acceptable to at least some of the neighbors. However, as often occurs with rezone requests, they are concerned with what may occur if the plan changes, whether initially or after some time.

(iv) With consideration given to the historic integrity of certain neighborhoods or districts and a view to preserving, rehabilitating and maintaining historic properties and encouraging compatible uses within the neighborhoods or districts, but no regulation made to carry out the purposes of this paragraph is valid to the extent it constitutes an unconstitutional taking without compensation.

Staff Comment: The property itself may have had some historic components, but the existing building is in a state of disrepair with significant structural issues (apparently the foundation). The small house to the north was originally built in 1935 and likely has some history, as it appears to be one of the original farm houses in the neighborhood. However, the assessor has a value of only \$37,974 for all buildings on that property.

As an overall neighborhood though, the housing is much newer and not of the nature of a historic district.

OTHER:

Significant Changes:

When reviewing rezones, it is beneficial to consider whether there has been a change in circumstances since the property was designated with its current zone. It appears that the property has been zoned multi-family since it was annexed into the city in 1978. (The property to the east has been zoned commercial since that time as well.)

Almost all development in the immediate area has occurred since 1978, and the property itself has a building that suffered fire damage since that time. In addition, the city population, as well as well as the demand for services and commercial activity, has more than doubled. There have been significant changes to the neighborhood.

Proximity to Like Zoning:

The subject property abuts commercial zoning to the east. While the commercial zoning is of a different variety, the D-1 zone has historically been used as a separation between more intensive commercial zones and residential zoning, without respect to size of the individual D-1 zone. As such, it does not constitute a 'spot zone', which is to be avoided. Examples of using the D-1 in this manner are shown here:





Public Hearing:

Please note that this staff report was prepared without the benefit of the information that will be provided at the public hearing. All public comments need to be considered.

ATTACHMENTS:

Applicant's Letter

ALTERNATIVES:

Recommend approval or denial of the requested rezone to the City Council. Approval could be accompanied by a development agreement negotiated with the applicants.

RECOMMENDATION:

The Planning and Zoning Board will need to provide a recommendation to the City Council.

Based on the information provided thus far, staff would recommend a rezone to Limited Business (D-1) only if the applicants are agreeable to a development agreement limiting development to the R-4 and professional office type uses only (no retail or mini-storage uses). Further consideration to neighboring properties, if needed, could be provided through the site plan review process.

Veritatis Splendor Counseling

1735 Sheridan Ave, Suite #237

Cody, WY 82414

307-213-4341

justin@vscounseling.org

01/08/2019

City of Cody
ATT: Community Development Department
PO BOX 2200
Cody, WY 82414

Dear Counsel Members and Planning and Zoning Board,

We are requesting a zoning change at 2221 Cougar Avenue from residential to a limited business D-1 zone. Veritatis Splendor counseling has served the Cody community for the past 10 years as an outpatient mental health counseling practice. We offer services predominantly during daytime business hours (7am to 6pm) and we do not house our clients. Spirituality and mental wellness are at the core of our work. We want to affirm and grow the dignity of the human person by implementing evidence-based counseling techniques and affirming Christian values and beliefs.

It must be noted that the existing yellow building will be removed from the property. It is our desire to build a calm and peaceful office space (around 2000 square feet) designed to accommodate higher functioning clients. Our intention is to develop a single-story building that respects the privacy and confidentiality of our clients. The building will have a residential-type look, hopefully, reflecting a Western esthetic. Off-street parking for staff and clients will be provided. This should reduce the traffic impact on Cougar avenue.

The above location is situated near the middle school and two grade schools. Parents, who would like counseling services for their children afterschool, may appreciate this easily accessible location. Also, it is important to note that there are limited counseling services on this end of town. Therefore, the growing residential and business populations on this side of Cody will also gain easy access to high quality mental health services. Finally, there are many businesses already established on Cougar Ave and around Mentock Park. We believe that our counseling practice would fit well into this growing business area.

We hope that moving our practice onto Cougar Ave will benefit both the community and our small business. Thank you for your willingness to consider our request.

Sincerely,



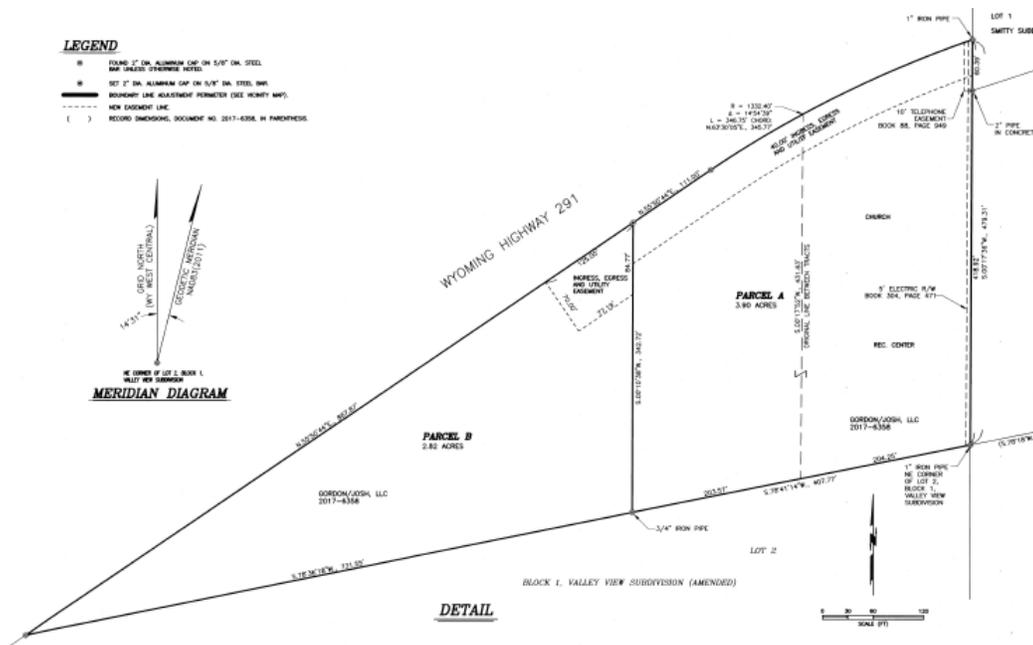
Justin McColl MA LPC

CITY OF CODY PLANNING, ZONING AND ADJUSTMENT BOARD STAFF REPORT

MEETING DATE:	JANUARY 22, 2019	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: HAMPTON INN AND SUITES. SPR 2018-24	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

JPK TR Cody, LLC has submitted a site plan application for construction of a 92-room Hampton Inn & Suites hotel, and associated site improvements. The hotel would be located on Parcel B shown on the survey below, which is near the bottom of the Southfork Hill, at 8 Southfork Road.



NORTHWEST ELEVATION ①

DEVELOPMENT DESCRIPTION
NEW CONSTRUCTION:
4 STORY
58,150 SF - 92 KEY HOTEL

The 4-story building would have a footprint of 14,984 square feet, and 58,160 square feet of total floor area. Civil plans, and selected architectural, electrical, and other building plans are attached. While additional plan sheets have been provided to staff, the attached sheets show the main components and general layout of the items reviewed by the Planning and Zoning Board. If any Board members wish to see additional details, the full plans are available.



Existing Conditions:



REVIEW CRITERIA:

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for

approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

Applicable standards of the zoning district are also reviewed.

STAFF COMMENTS:

The property is located within the Open Business/Light Industrial (D-3) zoning district, which permits hotels. The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North/West	Property used for Game & Fish check station, across Southfork Road (Highway 291).	D-3
East	Vacant church buildings.	D-3
South	Vacant hillside--Valley View subdivision on top of hillside above.	D-3

Architecture:

The proposal is for a 4-story building, with a flat roof surrounded by parapet walls to help screen roof-mounted equipment and provide variation to the roofline. Variation in the exterior walls is provided by an interesting use of colors to create a faux recessed window look to the central rooms on the front of the building, stepping of wall sections forward/back, and further visually breaking up the 257'6" long and 57'6" tall building through the use of different materials and colors. The lower portions of the exterior walls would have a tile-look finish. The brown areas would have a wood look. The rest of the exterior would have an EIFS (stucco) finish in the colors indicated.

Material Legends

	P1 EFIS - BENJAMIN MOORE COLOR: CHINA WHITE - OC-141
	P2 EFIS - BENJAMIN MOORE COLOR: GRAY OWL - 2137-60
	P3 EFIS - BENJAMIN MOORE COLOR: COVENTRY GRAY - HC-169
	P4 EFIS - BENJAMIN MOORE COLOR: GALVESTON GRAY - AC-27
	P5 EFIS - BENJAMIN MOORE COLOR: CHAMPION COBALT - 2061-20
	WOOD LOOK RAIN SCREENING STONEWOOD - STANDARD - COLOR: MAMBO - 2588-CB
	TILE LOOK RAIN SCREENING STONEWOOD - STANDARD - COLOR: FASHION GREY - 5619-CB
	WINDOW FRAMES



SOUTHWEST ELEVATION ②

Samples of wood and tile panels from Stonewood manufacturer:



The Board will need to determine if the architectural features of the building are acceptable. Staff is pleased to see the variety of color and quality materials, as well as the other architectural components mentioned.

Landscaping:

The landscaping is of a quality design and would cover effectively everywhere available outside of the parking spaces, drive aisles, and building pads. They even have some landscaping extending into the WYDOT right-of-way along Southfork Road. The landscaping plan is found on Sheet 6 or 7. The designer is the same one that the cemetery district has used on their recent projects (Steiner Thuesen), which landscaping has been done with professional quality. The plants selected for this project appear suitable for the area and contain a variety of trees, shrubs, perennials, and ornamental grasses. A rock mulch groundcover (e.g. crushed limestone or similar) would be the primary groundcover.

Along the Southfork property line, a cobble-lined swale (dry creek) would be used, along with seeding of the slopes with a dryland grass mix. A note is included on the landscape plan that the landscape area may need soil fill due to the amount of cobble

present. Irrigation will be with city water. Plans indicate a 1 ½" irrigation service with backflow prevention, but the irrigation water distribution plan is not available at this time.

The property is within the Entry Corridor Overlay zone (refer to City Code 10-17), which specifies minimum standards for landscaping. The proposed landscaping plan exceeds the standards of the entry corridor overlay ordinance. The landscaping component of this project is a good example for others.

Access and Parking:

Access to the project is from Highway 291, which is managed by WYDOT. The applicant was required by WYDOT to provide a traffic study to analyze the traffic impacts of this project on the highway system. The initial study did not account for existing or planned traffic from the lot to the east that also shares the same access connection, nor did it look at traffic entering or exiting the site, nor the capacity of the unsignalized intersection of Highway 291 and Highway 14/16/20. The study has recently been revised to consider these items, but WYDOT has not had sufficient time to fully analyze the study and determine if they need any modifications to the access proposal.

Based on the updated study, the applicant has already moved the approach about 60 feet to the southwest (as shown on the current site plan), which helps provide a number of benefits from a traffic engineering perspective. However, City staff (P.W. and Planning) would prefer that the approach be shifted about another 20 feet to the southwest, and further away from the intersection with Highway 14/16/20. This would better align the approach with the drive aisle to the front of the hotel, effectively creating a 4-way intersection with all four legs aligned, whereas now it has legs that are offset. Perhaps more importantly though, it would provide additional stacking length for vehicles waiting to enter the site, and more separation from the intersection of Highway 291 and Highway 14/16/20.

The traffic study effectively notes that it would not be uncommon for as many as three vehicles to be stacked up on Highway 291 waiting to enter the site. However, in worst-case scenarios, that number could be much more.

Section 10-16-8(D) of the city code is as follows:

D. Entrances/Exits: The city engineer shall determine and specify the locations, widths, and designs of all approaches to and from all city streets. The parking lot designer and city engineer shall consider and apply appropriate access management techniques consistent with professional engineering practices, such as those found in the "Access Management Manual" (2003 or current edition, transportation research board), to preserve street capacity, minimize safety issues, and minimize future costs to the city. The access management requirements of the city engineer shall be incorporated in the

parking lot/access design; provided, any appeal to such requirements from the applicant may be presented to the planning, zoning, and adjustment board for a ruling. For access to state highways, access management techniques shall be determined through consultation and permitting with WYDOT prior to city approval of the parking plan. (See also WYDOT "Access Manual", 2005 or current edition.)

As the WYDOT access permit is still outstanding, the Board cannot take final action on the parking/access component of the site plan. By not taking final action, the Board reserves the ability to require improvements associated with the WYDOT decision, and its effect on the site plan.

With the approach relocated, the existing approach needs to be closed. At a minimum, the site plan (Page 2 of 7) needs to show the curbing on the northeast side of the approach extending to tie into the existing curbing to the northeast of the approach that is being closed. If material is to be removed from the closed approach, it should be noted on the demolition plan and addressed in the WYDOT encroachment permit(s).

The relocation of the approach moves it beyond the end of the existing access easement for the lot to the east (Parcel A). The property owner will need to extend the access easement to encompass the new approach location. It does not need to be as wide as the existing easement. The easement should be created and recorded prior to issuance of the building permit.

Dimensionally, the parking spaces and aisles meet the minimum standards. The Parking ordinance recommends that parking for hotels be provided at a ratio of 1.1 spaces per rentable room plus 1 space per hotel vehicle, and 0.75 spaces per employee on the maximum shift. The application notes that this would be 109 spaces. However, staff has noted that that in practice that number is excessive, as it doesn't fully consider that many of the employees arrive after several guests have left for the day, and that in Cody many of the housekeeping employees usually don't drive. Using the ratio of 1.1 spaces per room would seem to be adequate for all guests and employees. For 92 rooms that would be 101 spaces. The plan has 108 spaces shown. The additional spaces would allow excess room for trailers and RVs.

Analysis has been provided that fire trucks and emergency vehicles can maneuver in all areas necessary through the parking lot without the need for backing to make a corner. Buses would not be able to turn around at the southwest end of the parking lot without some backing.

Exterior Lighting

Lighting details are provided on Sheets E1.0, E1.1, and the photometric plan (shows illumination levels across site in foot candles). The lighting plan has not been updated to reflect the reconfigured parking area on the northeast end of the project.

The lighting plan utilizes full-cutoff and shielded fixtures in all cases except the ground mounted flood lights (S2) designed to illuminate the front (north side) of the building, and the low-illumination wall fixtures that are shielded with translucent glass/plastic (P1). All of the planned fixtures are indicated below.

C4: (Recessed can lights under portico) Not shown.

L8:



P1:



S:



S2:



S3:



S4 (T4M), S5 (T3M), and S6 (T5M):



The rope lighting (S above) is located at the ends of the building in a cove that wraps around the blue colored area. It will create a glow effect, but is not directly visible.

Fixture S2 is the spotlight fixture designed to illuminate the front of the building. Staff has some concern that the spotlights towards the west end of the building and on the front corners of the portico could cause glare issues for vehicles traveling north on the Southfork Hill. Careful coordination with the landscaping and/or shielding should be able to avoid the issue. Also, the fixtures should be carefully aimed, so as to not spill excessive light above the walls of the building.

The parking lot fixtures are apparently proposed to be mounted on 25' poles—verbal from designer. With a standard 3-foot base, they are in line with heights authorized for other large commercial projects.

The overall lighting plan definitely illuminates the project, but does not result in excessive light spillage beyond the property lines, other than the immediate area of the two lights along the east side. However, with the revised parking lot layout, those lights will likely be shifted a few feet away from the line than where originally planned.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There is no immediately adjacent residential zoning that would trigger buffer or setback requirements. There are no specified zoning setbacks or building height limits in this zone. The building meets applicable setbacks under the building code.

Storm Water Plan:

An analysis of the storm water was provided by the applicant's engineer. The storm water will be managed as noted in the grading and drainage plan (Sheets 3 and 4) and storm water report. Much of the parking area will be graded to a created rock-lined stream bed along the northwest side of the property, where it will flow at 0.5% to an infiltration basin at the southwest end of the property. Water from the roof will be collected through internal piping, out the east end of the building, down along the south property line to the infiltration basin. That pipe will also be used to discharge water from the swimming pool and hot tub when maintenance necessitates.

Details that lack or are not clear from the grading and drainage plan include:

- a. Construction details for the curb cuts;
- b. Size, slope, and elevation of the piping from the roof drainage to the infiltration basin;
- c. How the infiltration basin will be lined (cobble or grass);
- d. How erosion will be controlled at the outlet of the roof drain pipe (rip rap or grass)
- e. How runoff from the property to the south will be directed in the area south of the hotel building. (Verbal that a ditch will be installed to the infiltration basin.)

Snow Storage

Snow storage is not shown, although the infiltration basin would be available. Occasional piles in some of the parking spaces along the dry stream bed would also be acceptable, as maximum capacity in the winter is unlikely, and the piles would be in an area that they could melt directly into the storm water system.

Utility Services

The planned utilities are shown on sheet 5. The applicant is proposing that the sewer and water line extensions be private lines, which is acceptable to the City, so long as it is

okay with DEQ. That question is still outstanding. Construction details for the water and sewer extensions have been provided for Public Works and DEQ review.

The electrical service work has been coordinated with the City, and estimates for materials provided to the applicant. It is noted that Sheet E1.0 has the transformer and other utility boxes in the wrong place—that location conflicts with the fire lane access along the south of the project. Sheet 5 shows the proper transformer location, but lacks the other utility boxes.

Natural gas and telecommunication services are to be coordinated directly with those providers.

Utility fees have been calculated and the numbers provided to the applicant.

Signage

A sign application is not included. The exterior signage will require review and permitting at the staff level. It is noted that the monument sign location shown on Sheet E1.0 is in the WYDOT right-of-way, which is not authorized at this time and is doubtful it will be authorized by WYDOT.

Hydrants/Fire Line

The water line extension provides the required fire hydrant. The building will have fire sprinklers throughout. Water pressure and flow is good in the main. The design of the fire sprinkler system design, with flow rates and pressures will be reviewed with the building permit.

Frontage Status

The frontage is entirely state highway. The needed curb and gutter at, and east of the entrance, was noted previously. The rest of the property frontage has no curb and gutter. There is no sidewalk along the frontage. The nearest sidewalk ends near the intersection with Highway 14/16/20. Installation of sidewalk along this section of curbing would be appropriate. However, with the rural nature of the highway design as it goes up Southfork Hill, installation of a pathway would be more appropriate than a sidewalk along that stretch. If the City had a detailed trail design for the area (have concept only), installation at this time may be reasonable, but since we don't it seems inappropriate to require the applicant to design and install such. However, the project should not be done in a manner that precludes future pedestrian facilities (pathway) along the Southfork Road.

Currently, there is land at the bottom of the highway slope to fit a trail. However, the grading plan apparently shows the infiltration basin tying into the highway slope so that no flat area would remain. The City requests that a minimum 10-foot wide strip of flat land remain within the WYDOT right-of-way southwest of the entrance to the south property line. If the Board agrees, we will relay that request to WYDOT to consider in

their permitting of all work within the right-of-way.

Garbage

The dumpster enclosure area is in the island near the southwest end of the parking lot. It is designed for a capacity of three dumpsters.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the site plan, with or without changes.

RECOMMENDATION:

Due to the outstanding items, it is recommended that the Board continue their review at a following meeting. Also, by not taking final action the Board reserves the ability to require improvements associated with the WYDOT decision, and its effect on the site plan.

However, if it helps the applicant's schedule, those components that are now fully detailed and agreeable at this time can be authorized on the basis that no changes to those items are made, other than as required by conditions noted herein. Any outstanding items or changes otherwise made to the plans would need to be reviewed by the Board in the future.

Outstanding items/changes needed:

1. Provide WYDOT's review of the proposed access and any modifications required thereby.
2. Provide permits from WYDOT for all work within the right-of-way (utilities, any additional grading, new approach, removal of approach, curb and gutter, sidewalk).
3. Preserve a minimum 10-foot wide level strip in the WYDOT right-of-way for a future pathway, from the approach to the south property line.
4. Provide written documentation from the owner of the lot to the east (Parcel A) that the approach and other improvements in their access easement are acceptable.
5. Provide information on the pipe size, grade, and elevation of the roof drain pipe to the infiltration basin.
6. Add details for the infiltration basin, including: lining with cobble or grass, erosion control for pipe outlets, any modifications to slope on the west side due to the required 10' level strip.

7. Provide a detail for the curb cuts.
8. Clearly show a drainage ditch or method of conveying storm water along the south property line to the infiltration basin.
9. Any details or considerations that the Public Works director determines is lacking in the storm water/drainage plan.
10. Add curbing to extend to the northeast, tying into the existing curb. Also add sidewalk from the east property line extended north, along the back of the new curbing and around the radius of the approach into the site (design to be reviewed).
11. Update the plumbing plan (Sheet P1.1B) to reflect the change from a 3" to 4" domestic water service. Provide an estimated maximum flow rate to verify the proper sizing of the water meter, prior to issuance of a building permit.
12. Provide information on your research as to whether there is any old septic tank or drain field to address.
13. Provide details on the elevation/slopes of the dumpster enclosure floor and adjacent pad (to verify a person can roll out the dumpsters for collection, but they won't roll on their own).
14. Update Sheet E1.0 and E1.1 to detail the correct transformer and utility box locations, reflect the modifications to the parking lot in the northeast area, and remove the monument sign from the WYDOT right-of-way (unless permitted otherwise by WYDOT).
15. Identify the height of the parking lot light poles on the plans (25').
16. Add a note on the site plan about installation of the irrigation distribution conduits and electrical conduits prior to construction of the parking lot facilities.
17. Provide the updated architectural/utility plans for review (coordinate with civil plans).

Recommended Conditions of Approval:

1. Unless otherwise specified by WYDOT, shift the approach so that it lines up with the drive aisle to the front of the hotel (approximately 20 feet), to avoid the offsets at the "intersection".
2. Extend the access easement to include the new approach, prior to issuance of a building permit.
3. No lighting shall cause glare impacts to neighboring properties or drivers on the highways. Utilize landscaping and shielding as needed.

4. Applicable city utility fees are to be paid with the building permit fee.
5. Obtain the necessary WY DEQ approvals of the sewer and water plans, prior to their construction.
6. The project must otherwise comply with the approved site plan and applicable building, fire, and electrical codes.
7. A building permit must be obtained within three years or this authorization will expire.

SITE DEVELOPMENT PLANS FOR HAMPTON INN & SUITES CODY, WYOMING

OWNER: JPK TR CODY LLC
P.O. BOX 15
ABERDEEN, SD 57402

GENERAL NOTES

1. SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ET. AL. RELATED TO THIS PROJECT INCLUDE (BUT MAY NOT BE LIMITED TO) THE FOLLOWING:
-SURVEY: "RECORD OF SURVEY SHOWING BOUNDARY LINE ADJUSTEMENT" PREPARED BY ENGINEERING ASSOCIATES, P.O. BOX 1900, CODY, WY 82414; DATED 8-3-2018.
-GEOTECHNICAL: "GEOTECHNICAL INVESTIGATION REPORT, PROPOSED HAMPTON INN, 8 SOUTHFORK ROAD, CODY, WYOMING" PREPARED BY GEOSCIENCE, PLLP, 2728 GREGORY DRIVE NORTH, BILLINGS, MT 59102; DATED 8-17-2018.
-WYDOT PERMITS: ACCESS, LANDSCAPING, AND FENCE REMOVAL AGREEMENTS.
CONTACT WYDOT MAINTENANCE FOREMAN IN CODY, 307-587-2220.
CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS AND FAMILIARIZING THEMSELVES WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.

2. ENSURE COMPLETE ADHERANCE TO AND COMPLETION OF ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.

3. DO NOT BURY DEBRIS ON THE SUBJECT SITE AND DISPOSE OF ALL UNSUITABLE EXCAVATED HAZARDOUS MATERIAL, AND DEBRIS (SOLID WASTE) IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

4. ENSURE ALL SHORING REQUIRED DURING EXCAVATION IS PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS AND ANY ADDITIONAL PROVISIONS AS FIELD CONDITIONS DICTATE.

5. DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. REPAIR DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC.

6. DETERMINE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. NOTIFY OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.

7. ENSURE ALL CONTRACTORS CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY.

8. ENSURE ALL CONTRACTORS HAVE THEIR CGL POLICIES ENDORSED TO NAME SAGE CIVIL ENGINEERING, AND ITS SUB-CONSULTANTS AS ADDITIONAL INSURED(S) AND PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ENSURE ALL CONTRACTORS FURNISH SAGE CIVIL ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ENSURE ALL CONTRACTORS, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS SAGE CIVIL ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

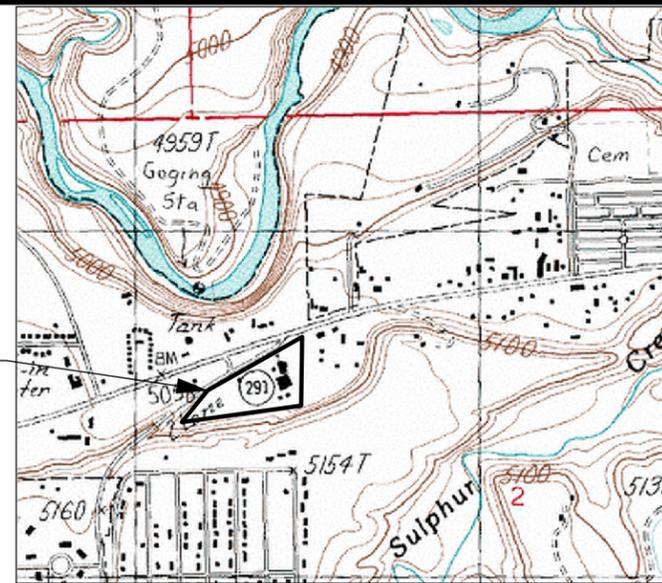
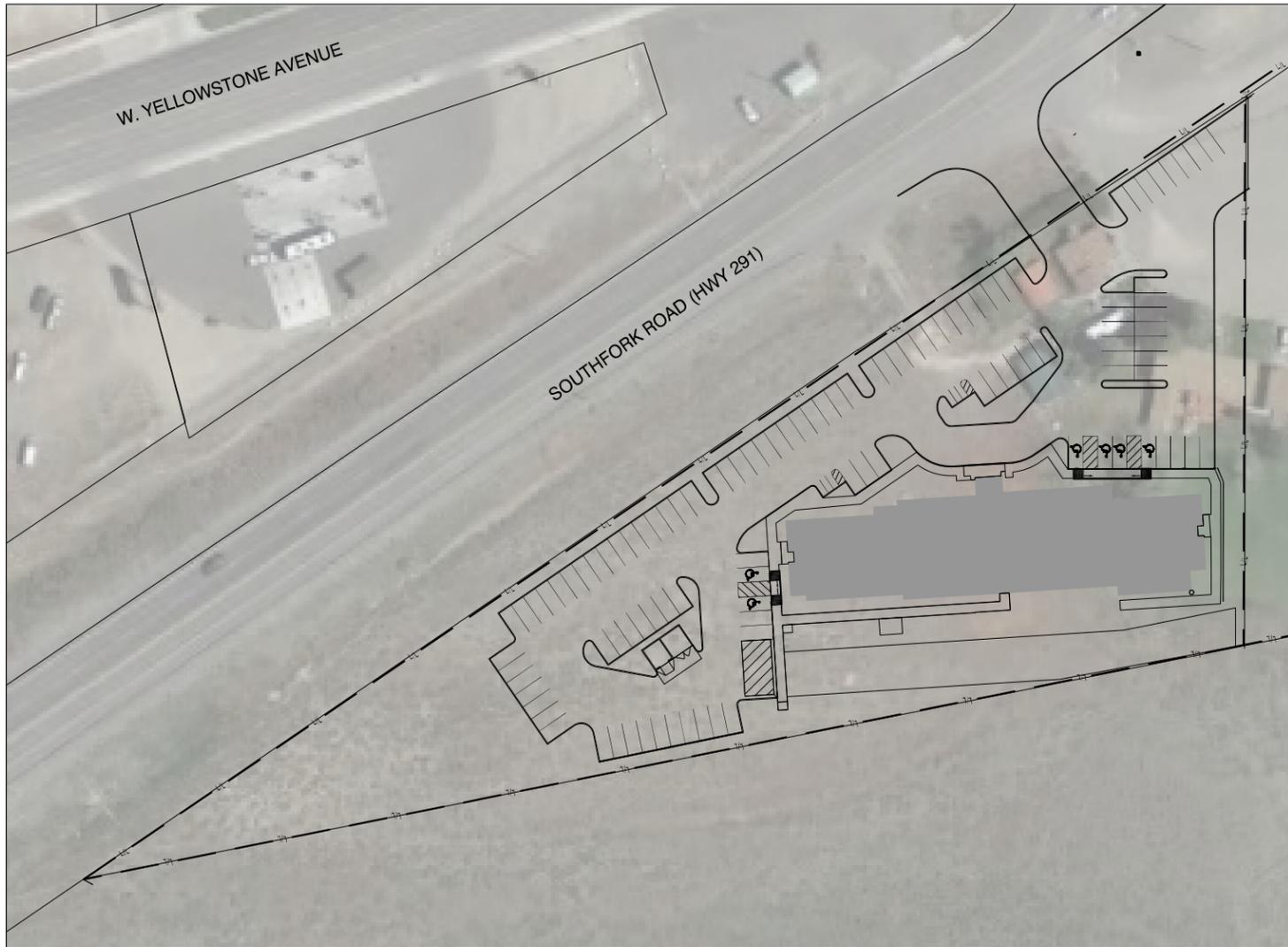
9. THE PROFESSIONAL ACTIVITIES OF SAGE CIVIL ENGINEERING, AND THE PRESENCE OF SAGE CIVIL ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL NOT RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. SAGE CIVIL ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY.

10. SUBMIT TO THE ENGINEER FOR REVIEW, APPROVAL, OR OTHER APPROPRIATE ACTION SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA FOR ITEMS SPECIFIED ON THE CIVIL PLAN SHEETS. SUCH REVIEWS, ETC. ARE ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT. REVIEWS WILL NOT BE PROVIDED FOR THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS. SAGE CIVIL ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS. REVIEW OF A SPECIFIC ITEM WILL NOT INDICATE THAT SAGE CIVIL ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF SAGE CIVIL ENGINEERING IN WRITING BY THE CONTRACTOR. SAGE CIVIL ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

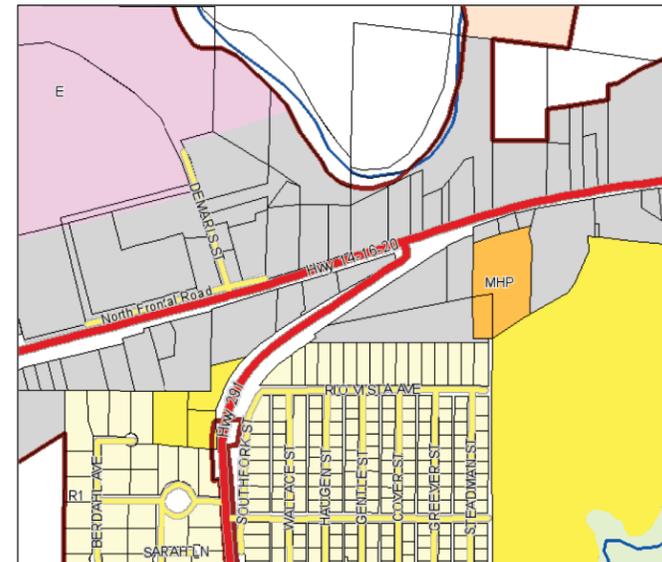
11. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, SAGE CIVIL ENGINEERING AND/OR THE OWNER'S REPRESENTATIVE, AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS PROJECT SHALL BE SUBMITTED TO NON-BINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.

12. INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUB-CONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.

13. PAY ALL COSTS TO CORRECT ANY WORK COMPLETED, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING FROM DEVIATING FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, IF PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER IS NOT OBTAINED. INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.



VICINITY MAP



CITY OF CODY ZONING DISTRICTS

- MOBILE HOME PARK (MHP)
- MEDIUM-LOW DENSITY RESIDENTIAL (R2)
- OPEN BUSINESS/LIGHT INDUSTRIAL (D3)
- INDUSTRIAL (E)

SHEET TITLE	SHEET NUMBER
DEMOLITION & EROSION/SEDIMENT CONTROL PLAN	1
SITE PLAN	2
GRADING PLAN	3
DRAINAGE PLAN	4
UTILITY PLAN	5
LANDSCAPE PLAN	6
DETAILS	7



ACEC
AMERICAN COUNCIL OF ENGINEERING COMPANIES
of Wyoming

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
WWW.SAGECIVILENGINEERING.COM

SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.

UTILITY DEMOLITION NOTES

1. POWER: NOTIFY THE CITY OF CODY WHEN POWER SERVICES ARE TO BE REMOVED. THE CITY ELECTRICAL DEPARTMENT WILL REMOVE EXISTING CABLE, POLES, AND TRANSFORMERS.
2. SANITARY SEWER: CUT AND CAP EXISTING SANITARY SEWER SERVICES.
3. TREATED WATER SERVICE: CLOSE CORPORATION STOP. CUT AND REMOVE SERVICE LINES.
4. TELEPHONE: DISCONNECT EXISTING TELEPHONE CABLES AT PEDESTAL. NOTIFY CENTURY LINK (307-587-4287) OF ACTIVITIES PRIOR TO DISCONNECTING.
5. GAS: EXPOSE SERVICE LINES AT THE MAIN. CONTACT ENERGY WEST (307-587-4281) TO DISCONNECT SERVICE.

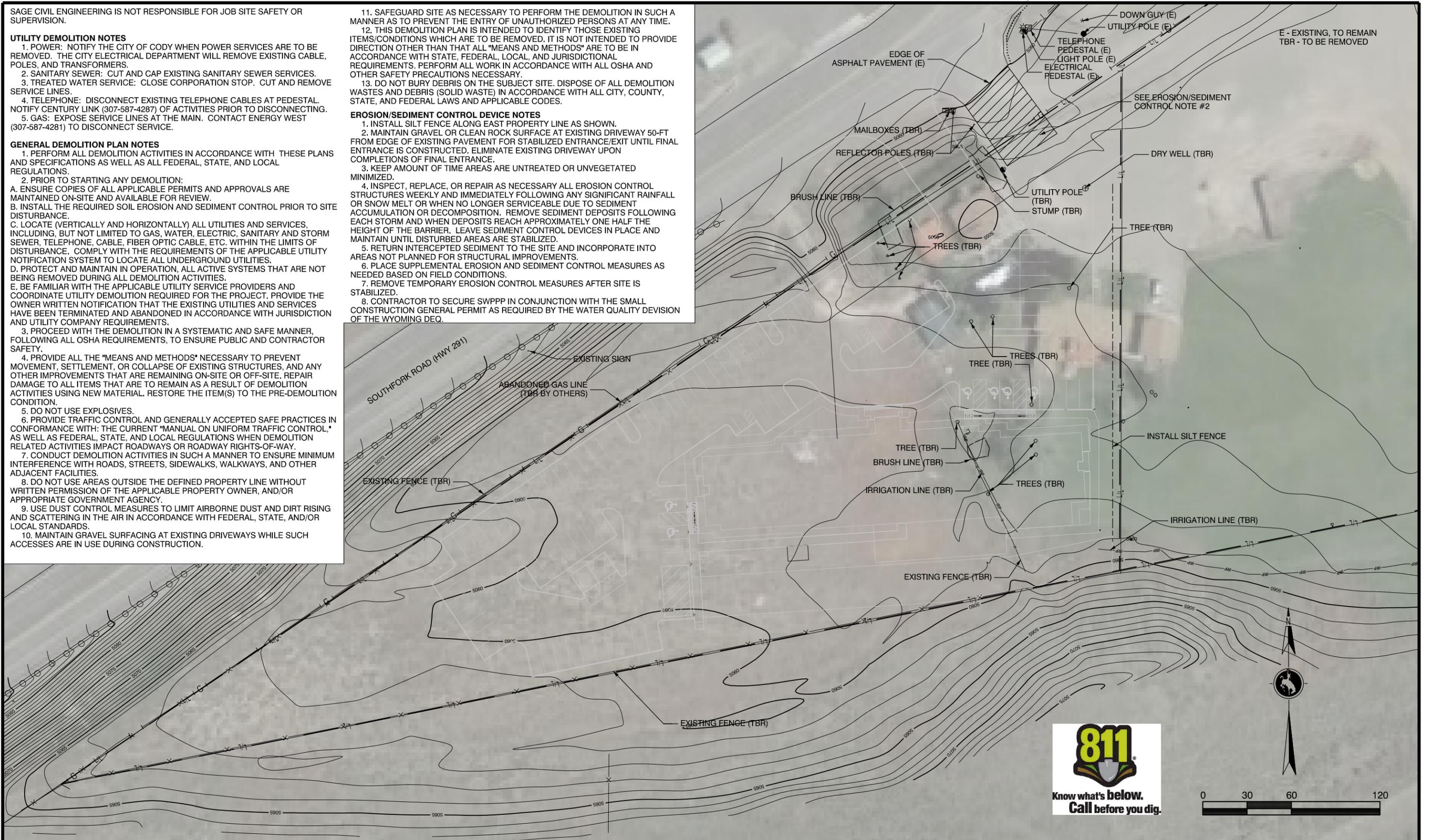
GENERAL DEMOLITION PLAN NOTES

1. PERFORM ALL DEMOLITION ACTIVITIES IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
2. PRIOR TO STARTING ANY DEMOLITION:
 - A. ENSURE COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON-SITE AND AVAILABLE FOR REVIEW.
 - B. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL PRIOR TO SITE DISTURBANCE.
 - C. LOCATE (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
 - D. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - E. BE FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDERS AND COORDINATE UTILITY DEMOLITION REQUIRED FOR THE PROJECT. PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
3. PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
4. PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON-SITE OR OFF-SITE. REPAIR DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF DEMOLITION ACTIVITIES USING NEW MATERIAL. RESTORE THE ITEM(S) TO THE PRE-DEMOLITION CONDITION.
5. DO NOT USE EXPLOSIVES.
6. PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
7. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES.
8. DO NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE APPLICABLE PROPERTY OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
9. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS.
10. MAINTAIN GRAVEL SURFACING AT EXISTING DRIVEWAYS WHILE SUCH ACCESSES ARE IN USE DURING CONSTRUCTION.

11. SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
12. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL "MEANS AND METHODS" ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. PERFORM ALL WORK IN ACCORDANCE WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY.
13. DO NOT BURY DEBRIS ON THE SUBJECT SITE. DISPOSE OF ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) IN ACCORDANCE WITH ALL CITY, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

EROSION/SEDIMENT CONTROL DEVICE NOTES

1. INSTALL SILT FENCE ALONG EAST PROPERTY LINE AS SHOWN.
2. MAINTAIN GRAVEL OR CLEAN ROCK SURFACE AT EXISTING DRIVEWAY 50-FT FROM EDGE OF EXISTING PAVEMENT FOR STABILIZED ENTRANCE/EXIT UNTIL FINAL ENTRANCE IS CONSTRUCTED. ELIMINATE EXISTING DRIVEWAY UPON COMPLETIONS OF FINAL ENTRANCE.
3. KEEP AMOUNT OF TIME AREAS ARE UNTREATED OR UNVEGETATED MINIMIZED.
4. INSPECT, REPLACE, OR REPAIR AS NECESSARY ALL EROSION CONTROL STRUCTURES WEEKLY AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. REMOVE SEDIMENT DEPOSITS FOLLOWING EACH STORM AND WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. LEAVE SEDIMENT CONTROL DEVICES IN PLACE AND MAINTAIN UNTIL DISTURBED AREAS ARE STABILIZED.
5. RETURN INTERCEPTED SEDIMENT TO THE SITE AND INCORPORATE INTO AREAS NOT PLANNED FOR STRUCTURAL IMPROVEMENTS.
6. PLACE SUPPLEMENTAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED BASED ON FIELD CONDITIONS.
7. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SITE IS STABILIZED.
8. CONTRACTOR TO SECURE SWPPP IN CONJUNCTION WITH THE SMALL CONSTRUCTION GENERAL PERMIT AS REQUIRED BY THE WATER QUALITY DEVISION OF THE WYOMING DEQ.



DATE	REVISION DESCRIPTION	JOB NO.	2017-17
11/13/2018	PRELIMINARY DRAWINGS	DRAWN BY:	BTM
01/17/2019	P & Z REVISIONS	CHECKED BY:	BTM
		APPROVED BY:	DRS

DEMOLITION & EROSION/SEDIMENT CONTROL PLAN

**HAMPTON INN & SUITES
JPK TR CODY, LLC**



2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
WWW.SAGECIVILENGINEERING.COM



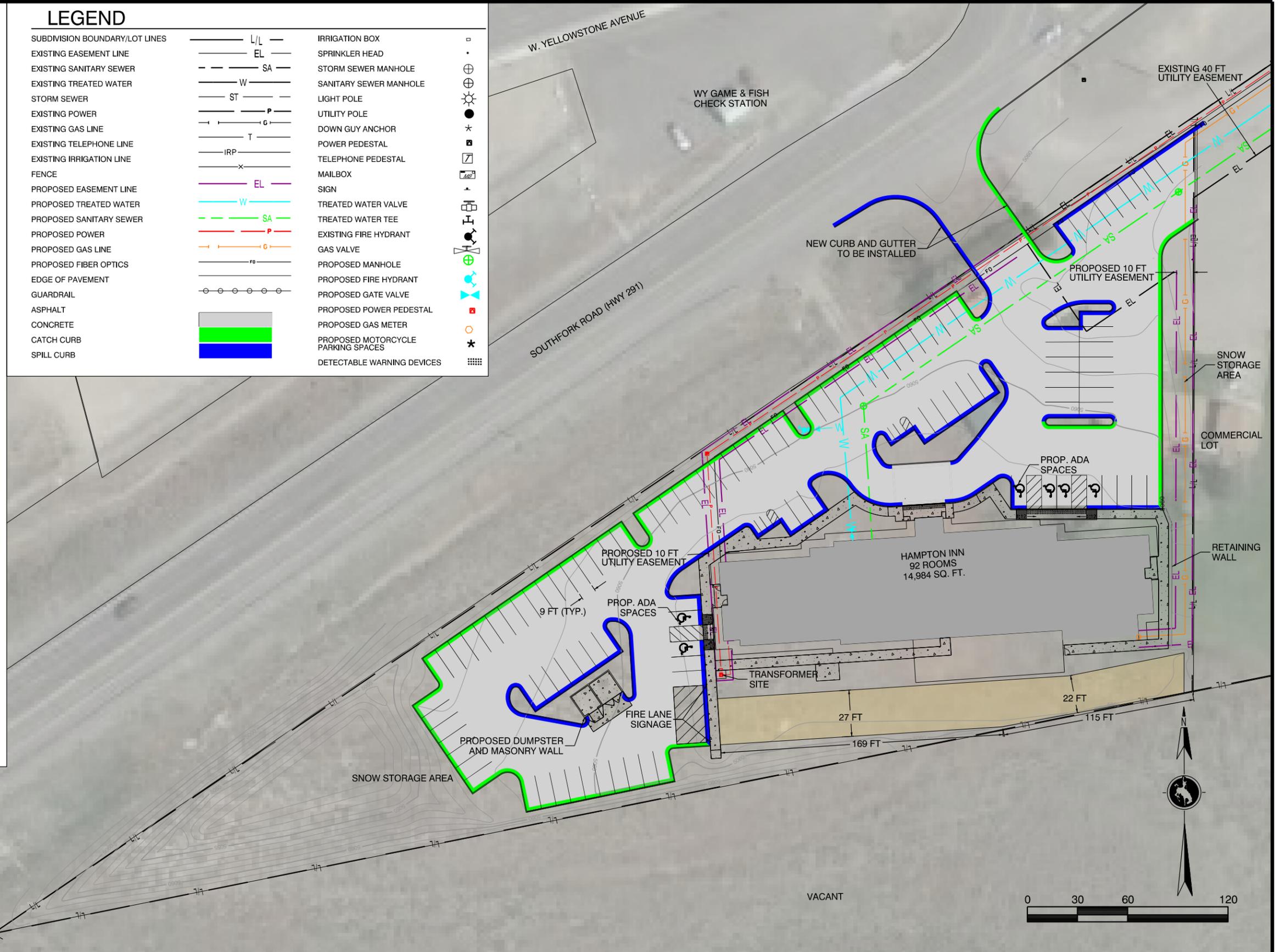
SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS OR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM SAME. SAGE CIVIL ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

SITE PLAN NOTES

1. THESE PLANS REFERENCE A SURVEY PREPARED BY:
ENGINEERING ASSOCIATES
P.O. BOX 1900
CODY, WY 82414
DATED: 8-3-2018
2. COMPLETE ALL WORK WITHIN THE HIGHWAY RIGHT-OF-WAY AND ACCESS IN ACCORDANCE WITH THE APPROVED WYDOT ACCESS PERMIT. BEFORE BEGINNING WORK, CONTACT WYDOT CREW FOREMAN, CODY, 307-587-2220. PROVIDE A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH WYDOT'S "TRAFFIC CONTROL FOR ROADWAY WORK OPERATIONS" MANUAL. AFTER COMPLETION, CONTACT ABOVE PERSON FOR INSPECTION OF THE WORK.
3. CONSTRUCT CURB & GUTTER IN HIGHWAY RIGHT-OF-WAY IN CONFORMANCE WITH WYDOT STANDARD PLAN 608-01A.
4. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO SAGE CIVIL ENGINEERING'S BENCHMARK(S) AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
5. CONSTRUCT ALL ADA PARKING FACILITIES TO MEET CURRENT ADA REQUIREMENTS. ENSURE DETECTABLE WARNING DEVICES CONFORM TO WYDOT STANDARD PLAN 608-01A.
6. PRIOR TO STARTING CONSTRUCTION, ENSURE ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.
7. PERFORM ALL WORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
8. FOR ADA PARKING AND STOP SIGN PANELS, USE 0.125-INCH THICK SHEET ALUMINUM MADE USING 5052-H38 OR 6061-T6 ALLOY IN ACCORDANCE WITH ASTM B 209. FOR REFLECTIVE SHEETING, USE AN ENCAPSULATED GLASS BEAD, ENCAPSULATED PRISMATIC, OR NONMETALLIC, MICROPRISMATIC REFLECTIVE MATERIAL PRECOATED WITH ADHESIVE BACKING PROTECTED BY A TREATED PLASTIC LINER AND IN ACCORDANCE WITH AASHTO M 268 (ASTM D 4956).
9. USE COMMERCIAL MANUFACTURED HIGHWAY STRIPING PAINT. APPLY AT A WET-PAINT THICKNESS OF 16 MIL.
10. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN IS A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
11. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
12. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO SAGE CIVIL ENGINEERING AT THE TIME OF PLAN PREPARATION. FIELD VERIFY EXISTING CONDITIONS AND NOTIFY SAGE CIVIL ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
13. VERIFY ALL DIMENSIONS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
14. REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
15. USE CONCRETE MEETING THE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS CLASS 4000 UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
16. USE CRUSHED BASE MEETING THE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS GRADING W, OR AS APPROVED BY THE OWNER.

LEGEND

SUBDIVISION BOUNDARY/LOT LINES	L/L	IRRIGATION BOX	□
EXISTING EASEMENT LINE	EL	SPRINKLER HEAD	•
EXISTING SANITARY SEWER	SA	STORM SEWER MANHOLE	⊕
EXISTING TREATED WATER	W	SANITARY SEWER MANHOLE	⊕
STORM SEWER	ST	LIGHT POLE	☀
EXISTING POWER	P	UTILITY POLE	⊙
EXISTING GAS LINE	G	DOWN GUY ANCHOR	*
EXISTING TELEPHONE LINE	T	POWER PEDESTAL	⊕
EXISTING IRRIGATION LINE	IRP	TELEPHONE PEDESTAL	⊕
FENCE	X	MAILBOX	Ⓜ
PROPOSED EASEMENT LINE	EL	SIGN	Ⓢ
PROPOSED TREATED WATER	W	TREATED WATER VALVE	⊕
PROPOSED SANITARY SEWER	SA	TREATED WATER TEE	⊕
PROPOSED POWER	P	EXISTING FIRE HYDRANT	⊕
PROPOSED GAS LINE	G	GAS VALVE	⊕
PROPOSED FIBER OPTICS	FO	PROPOSED MANHOLE	⊕
EDGE OF PAVEMENT	EP	PROPOSED FIRE HYDRANT	⊕
GUARDRAIL	○	PROPOSED GATE VALVE	⊕
ASPHALT	■	PROPOSED POWER PEDESTAL	⊕
CONCRETE	■	PROPOSED GAS METER	⊕
CATCH CURB	■	PROPOSED MOTORCYCLE PARKING SPACES	Ⓜ
SPILL CURB	■	DETECTABLE WARNING DEVICES	■



DATE	REVISION DESCRIPTION	JOB NO. 2017-17
11/13/2018	PRELIMINARY DRAWINGS	DRAWN BY: BTM
01/17/2019	P & Z REVISIONS	CHECKED BY: BTM
		APPROVED BY: DRS

SITE PLAN

HAMPTON INN & SUITES
JPK TR CODY, LLC

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
WWW.SAGECIVILENGINEERING.COM



GRADING NOTES

1. PERFORM SITE GRADING IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. REMOVE AND REPLACE WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT EXCAVATED OR FILLED AREAS AS OUTLINED IN THE GEOTECHNICAL REPORT. PROVIDE A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN WYOMING, VERIFYING MOISTURE CONTENT AT TIME OF PLACEMENT AND THAT ALL FILLED AREAS AND SUB-GRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. ENSURE SUB-BASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT IS FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. REMOVE MATERIAL DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE WITH APPROVED FILL MATERIAL COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

2. PROVIDE AND PLACE BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT OR WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND AS COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.

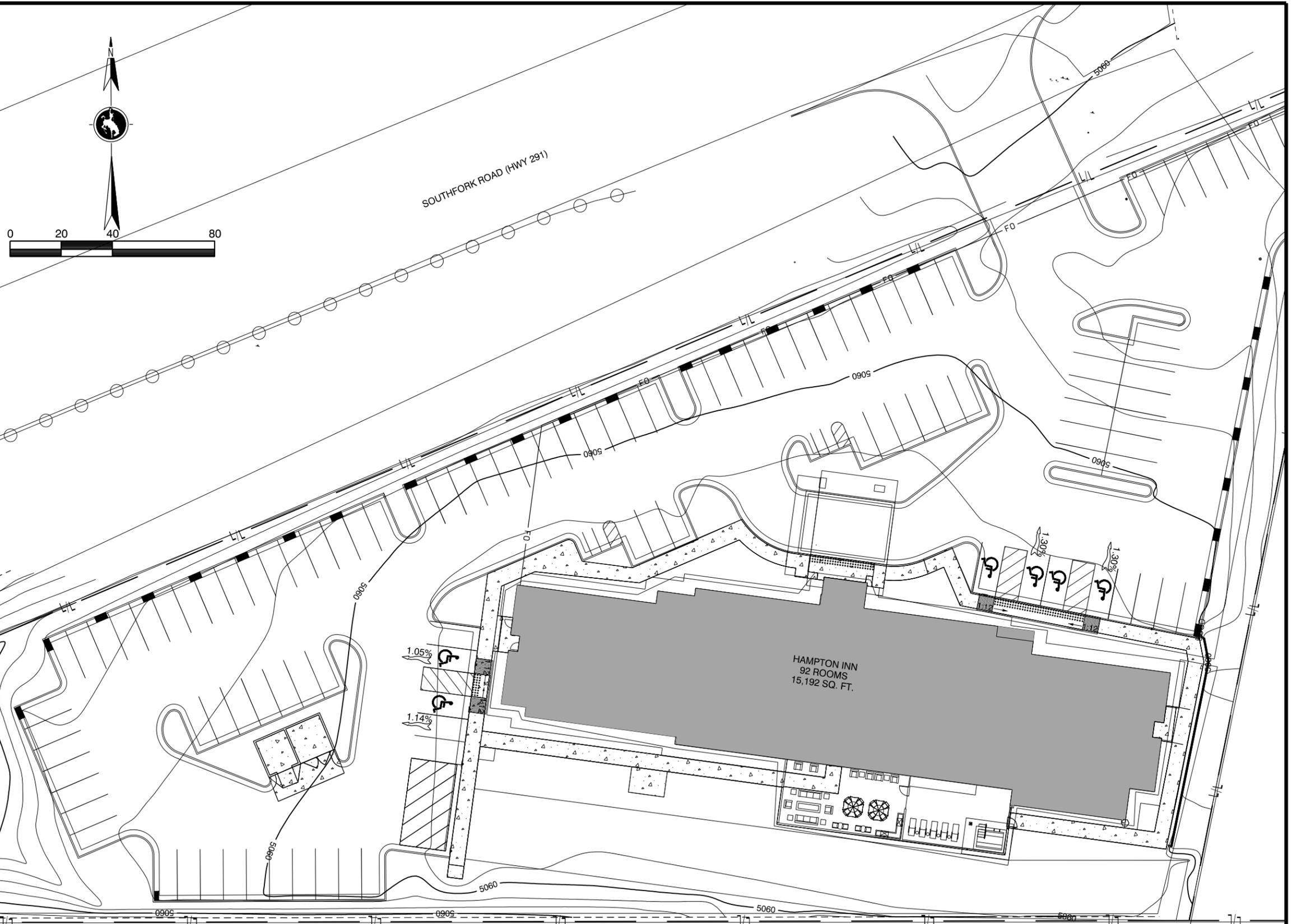
3. COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. DETERMINE AND UTILIZE THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.

4. ADJUST EXISTING MANHOLES AND WATER VALVE BOXES TO REMAIN TO MATCH FINAL GRADES.

5. VERIFY EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ENSURE 0.50% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.0% MINIMUM ON ASPHALT, TO PREVENT PONDING. IDENTIFY TO THE ENGINEER IN WRITING ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S RISK.

6. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.

7. SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.



DATE	REVISION DESCRIPTION	JOB NO.
11/13/2018	PRELIMINARY DRAWINGS	2017-17
01/17/2019	P & Z REVISIONS	

DRAWN BY:	BTM
CHECKED BY:	BTM
APPROVED BY:	DRS

GRADING PLAN

**HAMPTON INN & SUITES
JPK TR CODY, LLC**

2824 BIG HORN AVE.
CODY, WY 82414
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LEGEND

- CATCH CURB
- SPILL CURB
- FLOW ARROW
- CURB CUT

W. YELLOWSTONE AVENUE

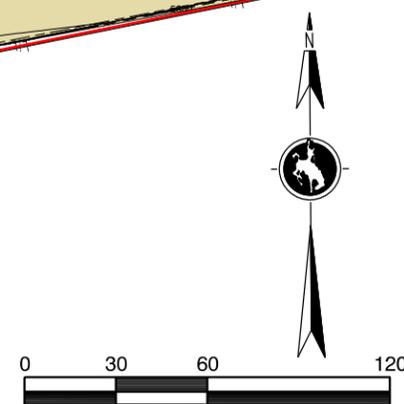
SOUTHFORK ROAD (HWY 291)

DRY STREAM BED
SLOPE = 0.5%

BOTTOM
ELEV. = 5051 ±

BURIED PVC
DRAIN PIPE

HAMPTON INN
92 ROOMS
15,192 SQ. FT.



REVISION		JOB NO.
DATE	DESCRIPTION	2017-17
11/13/2018	PRELIMINARY DRAWINGS	DRAWN BY: BTM
11/21/2018	DRAINAGE REPORT SUBMITTAL	CHECKED BY: BTM
01/17/2019	P & Z REVISIONS	APPROVED BY: DRS

DRAINAGE PLAN

HAMPTON INN & SUITES
JPK TR CODY, LLC

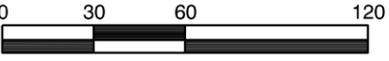
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LEGEND

SUBDIVISION BOUNDARY/LOT LINES	L/L	IRRIGATION BOX	□
EXISTING EASEMENT LINE	EL	SPRINKLER HEAD	•
EXISTING SANITARY SEWER	SA	STORM SEWER MANHOLE	⊕
EXISTING TREATED WATER	W	SANITARY SEWER MANHOLE	⊕
STORM SEWER	ST	LIGHT POLE	☀
EXISTING POWER	P	UTILITY POLE	•
EXISTING GAS LINE	G	DOWN GUY ANCHOR	*
EXISTING TELEPHONE LINE	T	POWER PEDESTAL	⊕
EXISTING IRRIGATION LINE	IRP	TELEPHONE PEDESTAL	⊕
FENCE	X	MAILBOX	Ⓜ
PROPOSED EASEMENT LINE	EL	SIGN	Ⓢ
PROPOSED TREATED WATER	W	TREATED WATER VALVE	⊕
PROPOSED SANITARY SEWER	SA	TREATED WATER TEE	⊕
PROPOSED POWER	P	EXISTING FIRE HYDRANT	⊕
PROPOSED GAS LINE	G	GAS VALVE	⊕
PROPOSED FIBER OPTICS	FO	PROPOSED MANHOLE	⊕
EDGE OF PAVEMENT	—	PROPOSED FIRE HYDRANT	⊕
GUARDRAIL	—	PROPOSED GATE VALVE	⊕
ASPHALT	—	PROPOSED POWER PEDESTAL	⊕
CONCRETE	—	PROPOSED GAS METER	⊕
CATCH CURB	—	PROPOSED MOTORCYCLE PARKING SPACES	⊕
SPILL CURB	—	DETECTABLE WARNING DEVICES	⊕

W. YELLOWSTONE AVENUE



REPLACE SECTION CABINET WITH 200 AMP FUSE CABINET

PROPOSED UTILITY EASEMENT

CUT IN 10 IN. X 8 IN. TEE
INSTALL (2) 10 IN. GATE VALVES
AND (1) 8 IN. GATE VALVE

INSTALL PER WYDOT
UTILITY SERVICE/REPAIR PERMIT

EXISTING 40-FT
EASEMENT

SOUTHFORK ROAD (HWY 291)

EXISTING INGRESS, EGRESS,
AND UTILITY EASEMENT

WATER MAIN - 8-INCH PVC, CLASS 235
SEWER MAIN - 6-INCH PVC, SDR 35

SECTIONALIZING
CABINET

PROPOSED UTILITY EASEMENT
FIRE DEPARTMENT
CONNECTION LOCATION

PROPOSED UTILITY
EASEMENT

TRANSFORMER
SITE

RETAINING
WALL

UTILITY PLAN NOTES

- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE. CONFIRM WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. CONFIRM ALL UTILITY SERVICE CONNECTION POINTS IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. REPORT DISCREPANCIES IMMEDIATELY IN WRITING TO THE ENGINEER. FIELD VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- INSTALL UTILITIES IN ACCORDANCE WITH CITY OF CODY STANDARD DETAILS AND/OR WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS (WPWSS) AND DETAILS. THESE NOTES TAKE PRECEDENCE OVER STANDARDS, IF CONFLICTING. CURRENT CITY OF CODY CONSTRUCTION DETAILS ARE AVAILABLE ON THE CITY'S WEBSITE: www.cityofcody-wy.gov.
- REFERENCE THE CITY OF CODY ELECTRICAL DIVISION 2018 ELECTRICAL DISTRIBUTION STANDARDS MANUAL.
- VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE PROJECT LIMITS. USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. REPAIR AT NO COST TO THE OWNER DAMAGES TO ANY EXISTING UTILITIES CAUSED DURING CONSTRUCTION.
- REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT SCOPE OF WORK PRIOR TO THE INITIATION OF CONSTRUCTION. NOTIFY SAGE CIVIL ENGINEERING IN WRITING PRIOR TO THE START OF CONSTRUCTION OF CONFLICTS WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- ENSURE FAMILIARITY WITH APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS. COORDINATE WITH UTILITY SERVICE PROVIDERS REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. PROVIDE THE OWNER WRITTEN NOTIFICATION THAT EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- COORDINATE SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. MEET JURISDICTION UTILITY REQUIREMENTS AND COORDINATE THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. NOTIFY ENGINEER OF CONFLICTS WITH THESE PLANS PRIOR TO CONSTRUCTION.
- INSTALL WATER AND SEWER MAINS IN ACCORDANCE WITH APPROVED PLANS. MAINTAIN A MINIMUM OF 10-FT HORIZONTAL SEPARATION BETWEEN TREATED WATER AND SANITARY SEWER MAINS.
- INSTALL ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. UNDERGROUND IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- USE POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, CLASS 235.
- USE VALVES APPROVED BY THE CITY OF CODY.
- ENSURE CAST IRON FITTINGS ARE CLASS 350 AND CONFORM TO AWWA C 110 OR AWWA C153 FOR COMPACT FITTINGS.
- PLACE COMMERCIALY AVAILABLE POLYETHYLENE TAPE MANUFACTURED FOR PROTECTION, EARLY IDENTIFICATION, AND ACCURATE LOCATION OF UNDERGROUND UTILITIES. ENSURE PROPER COLOR PER A.P.W.A. COLOR CODE. CITY OF CODY WILL PROVIDE TAPE FOR ELECTRICAL TRENCH. PLACE ±18 INCHES ABOVE CONDUIT.
- USE 10 AWG INSULATED, NYLON JACKETED TRACE WIRE COPPER CONDUCTOR.
- USE 18-8 TYPE 304 STAINLESS STEEL TAPPING SLEEVE. USE FLANGES MEETING AWWA C207 CLASS D ANSI, 150 LB DRILLING. USE SLEEVES RATED TO 2500 PSI HYDROSTATIC WORKING PRESSURE AND TO WITHSTAND TEST PRESSURES IN ACCORDANCE WITH WPWSS SECTION 02670, HYDROSTATIC TESTING. USE 18-8 TYPE STAINLESS STEEL COATED BOLTS AND NUTS.
- WHEN INSTALLING SEWER TIE-IN AT EXISTING MANHOLE, MATCH ALL PIPE ELEVATIONS WITH REBUILT TROUGHS IN THE BOTTOM OF THE MANHOLE AND SEAL PENETRATIONS.
- REPLACE EXISTING SECTIONALIZING CABINET WHERE THE NEW LINE ORIGINATES WITH A 200-AMP FUSE CABINET TO PROVIDE FUSE PROTECTION FOR THE NEW LINE.
- ADD SECTIONALIZING CABINET AT THE 880-FT POINT OF THE NEW LINE DUE TO KEEP CONDUIT SWEEPS PER CABLE RUN TO THREE, MAXIMUM.
- A 500 KVA TRANSFORMER (208Y/120 VOLT SECONDARY) WILL BE USED.
- CONTRACTOR TO INSTALL 4-IN SCHEDULE 40 PVC CONDUIT WITH 36-IN RADIUS SWEEPS TO MEET CITY SPECIFICATIONS. CONDUIT DEPTH SHALL BE 48-IN AND CONDUIT SHALL BE BEDDED (SEE DETAIL SHEET).
- CONTRACTOR SHALL INSTALL THE FOLLOWING CITY-PROVIDED MATERIALS: 1) GROUND SLEEVE FOR THE SECTIONALIZING CABINET, 2) FIBERGLASS TRANSFORMER BOX PAD, AND 3) GROUND RODS FOR EACH LOCATION PER CITY SPECIFICATIONS.
- UTILITY CONTACTS INCLUDE BUT NOT LIMITED:

CITY OF CODY 307-527-7511	BLACK HILLS ENERGY 307-587-4281	TCT WEST 307-586-3800
SPECTRUM 866-874-2389	CENTURY LINK 877-837-5738	

DATE	DESCRIPTION
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DRAWN BY: TSW
CHECKED BY: TSW
APPROVED BY: DRS

UTILITY PLAN

HAMPTON INN & SUITES
JPK TR CODY, LLC

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
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LEGEND

- EDGING
- 3'-5' LANDSCAPE BOULDERS
- WINTERCREEPR - GROUNDCOVER
- IRRIGATED TURF LAWN
- DRYLAND GRASS
- ROCK MULCH
- STORMWATER RETENTION AREA - COBBLE BOTTOM
- RIVER ROCK ON SIDES OF DRAIN SWALE
- WASHED ROCK STREAM BED/DRAIN SWALE

PLANT SCHEDULE:

KEY	COMMON NAME	BOTANICAL NAME
TREE		
	FAT ALBERT SPRUCE	PICEA PUNGENS 'FAT ALBERT'
	AMUR MAPLE	ACER GINNALA
	BOULEVARD LINDEN	TILIA AMERICANA 'BOULEVARD'
	SKYLINE HONEYLOCUST	GLEDISTIA TRIACANTHOS VAR. INERMIS 'SKYCOLE'
	QUAKING ASPEN	POPULUS TREMULOIDES
	DOUBLE FLOWERING PLUM	PRUNUS TRILOBA
SHRUBS		
	SKY HIGH JUNIPER	JUNIPERUS SCOPULORUM 'BAILIGH'
	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS VAR. NAUSEOSUS
	BUFFALO JUNIPER	JUNIPERUS SABINA - BUFFALO
	FRAGRANT SUMAC	RHUS AROMATICA
	LITTLE MOSES BURNING BUSH	EUONYMUS ALATUS 'ODOM' LITTLE MOSES
	DIABOLO NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MONLO'
PERENNIALS AND ORNAMENTAL GRASSES		
	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'
	OVERDAM FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'OVERDAM'
	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTURM'
	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'
	BLUE OAT GRASS	HELIOTRICHON SEMPERVIRENS
	MAY NIGHT SALVIA	SALVIA NEMROSA 'MAINACHT'

NOTES:
 1. FILL MATERIAL MAY NEED REPLACED WITH SOIL FOR LANDSCAPED AREAS DUE TO THE AMOUNT OF COBBLE PRESENT.
 2. LANDSCAPING SHALL BE MODIFIED TO PROVIDE CLEARANCES NOTED ON PAGE 30 OF THE ELECTRICAL DISTRIBUTION STANDARDS MANUAL.



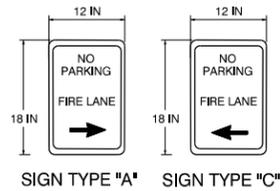
DATE	REVISION DESCRIPTION	JOB NO.	2017-17
11/13/2018	PRELIMINARY DRAWINGS	DRAWN BY:	TSW
01/17/2019	P & Z REVISIONS	CHECKED BY:	TSW
		APPROVED BY:	DRS

LANDSCAPE PLAN

HAMPTON INN & SUITES
 JPK TR CODY, LLC

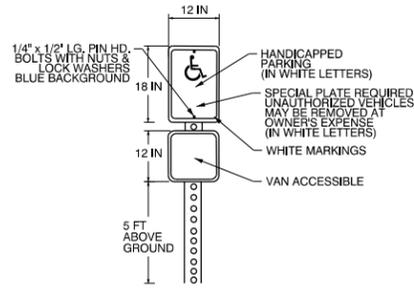
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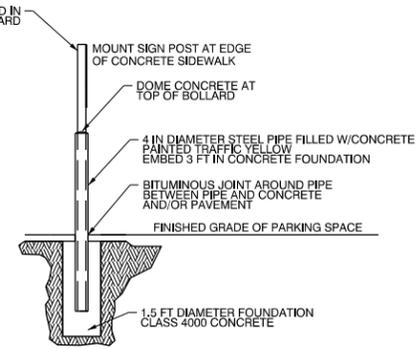


SIGN TYPE "A" SIGN TYPE "C"

FIRE LANE SIGN DETAILS

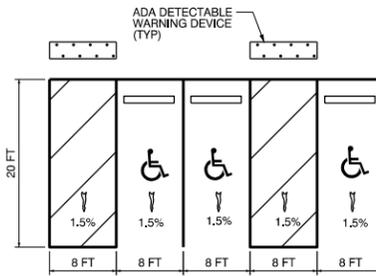


HANDICAPPED PARKING SIGN DETAIL

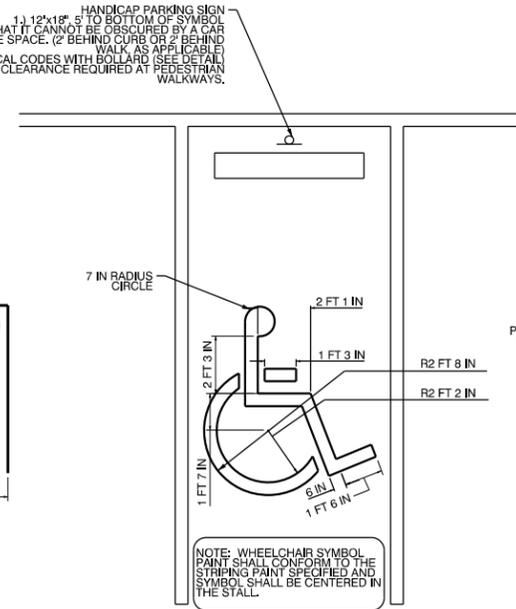


HANDICAPPED PARKING SIGN BOLLARD DETAIL

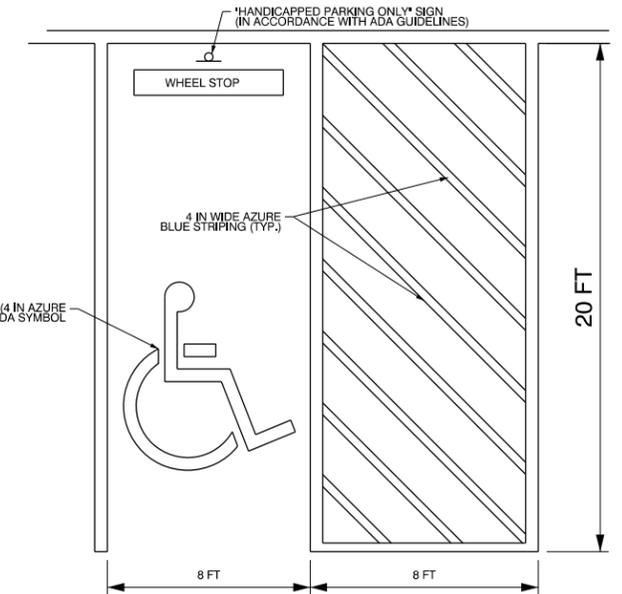
NOTES:
 1.) BOLLARDS READ AT FIRE HYDRANTS, WATER METERS, SPRINKLER RISER & ALL UTILITIES AT LOCATIONS SHOWN ON THESE DRAWINGS INTERIOR & EXTERIOR.
 2.) HEIGHT OF PIPE ABOVE GRADE: 4 FT FOR PARKING AREAS, 5 FT FOR ALL OTHERS.



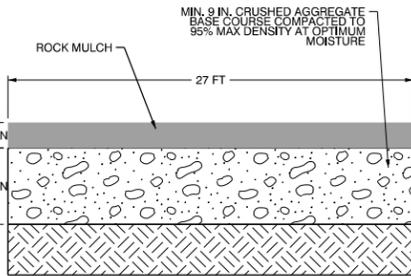
ADA PARKING DETAILS



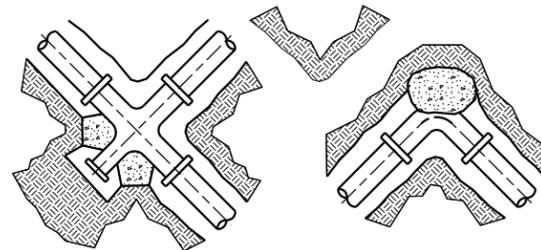
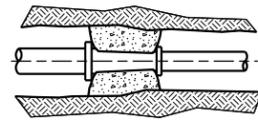
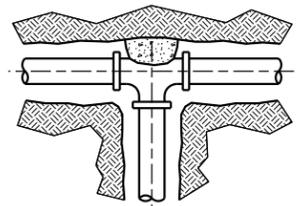
ADA STRIPING DETAILS



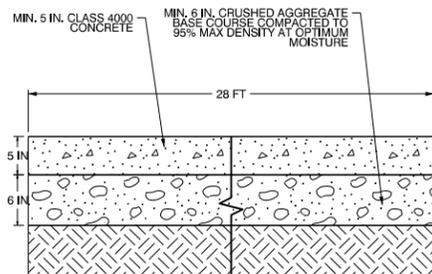
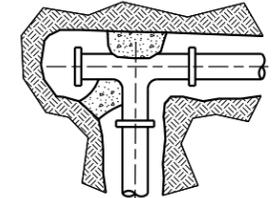
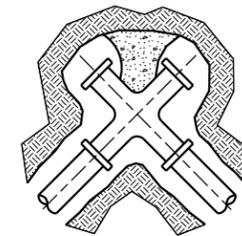
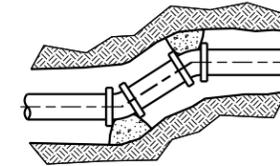
NOTE: ALL PAVEMENT STRIPING AND MARKINGS SHALL CONSIST OF CHLORINATED RUBBER PAINT APPLIED TO A DRY SURFACE WHEN THE TEMPERATURE IS GREATER THAN 40°F. PAINT SHALL BE APPLIED AT A MINIMUM OF 0.015" (15 MIL) FILM THICKNESS.



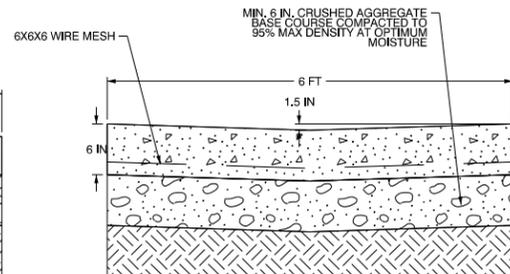
FIRE LANE CROSS SECTION DETAIL



CONCRETE THRUST BLOCKS

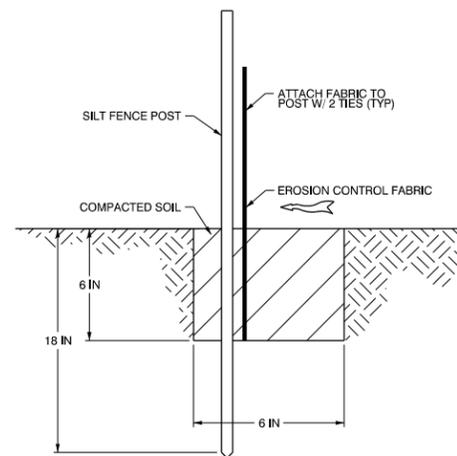


DUMPSTER/STORAGE SLAB

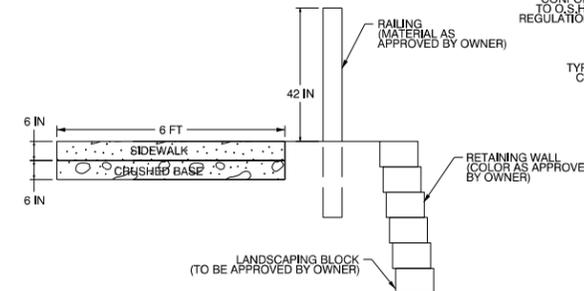


TYPICAL VALLEY PAN DETAIL

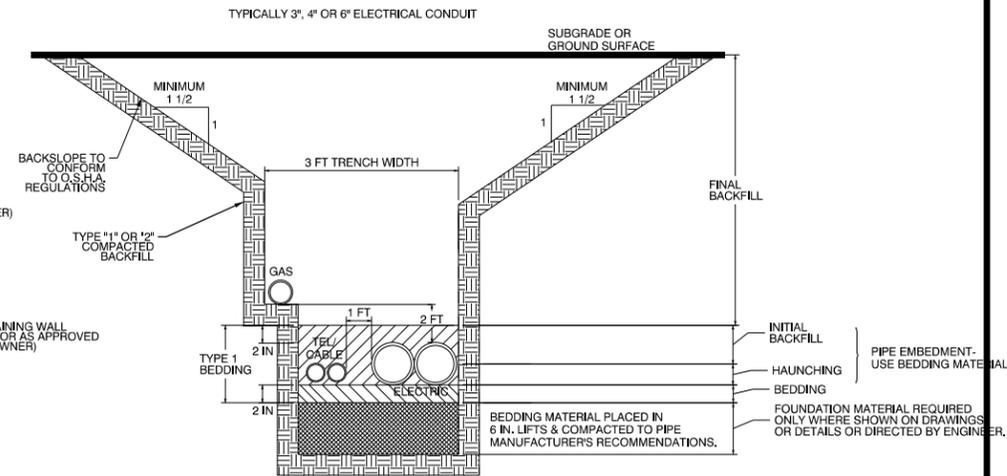
NOTE: FIBER REINFORCED CONCRETE OR #3 BARS @ 12 IN. O.C. EACH WAY MAY BE SUBSTITUTED FOR WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.



SILT FENCE DETAIL



RAILINGS & RETAINING WALL DETAIL



TYPICAL TRENCH DETAIL - ELECTRICAL

IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MAXIMUM ALLOWABLE SLOPE FOR ALL TRENCHES LESS THAN 20 FT. DEEP WILL BE 1.5H:1V. COMPLY WITH APPLICABLE SAFETY REQUIREMENTS.

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DRAWN BY:	BTM
CHECKED BY:	BTM
APPROVED BY:	DRS

DETAILS

**HAMPTON INN SITE PLAN
TKO HOTELS**

2824 BIG HORN AVE.
CODY, WY 82414
PHONE: (307) 527-0915
WWW.SAGECIVILENGINEERING.COM





central design group

Hampton Inn & Suites PROPOSED ELEVATIONS

Cody, Wyoming



NORTHWEST ELEVATION ①

DEVELOPEMENT DESCRIPTION

NEW CONSTRUCTION:
4 STORY
58,160 SF - 92 KEY HOTEL



Project Site Location



Material Legends

-  P1 EFIS - BENJAMIN MOORE
COLOR: CHINA WHITE - OC-141
-  P2 EFIS - BENJAMIN MOORE
COLOR: GRAY OWL - 2137-60
-  P3 EFIS - BENJAMIN MOORE
COLOR: COVENTRY GRAY - HC-169
-  P4 EFIS - BENJAMIN MOORE
COLOR: GALVESTON GRAY - AC-27
-  P5 EFIS - BENJAMIN MOORE
COLOR: CHAMPION COBALT - 2061-20
-  WOOD LOOK RAIN SCREENING
STONEWOOD - STANDARD -
COLOR: MAMBO - 2588-CB
-  TILE LOOK RAIN SCREENING
STONEWOOD - STANDARD -
COLOR: FASHION GREY - 5619-CB
-  WINDOW FRAMES

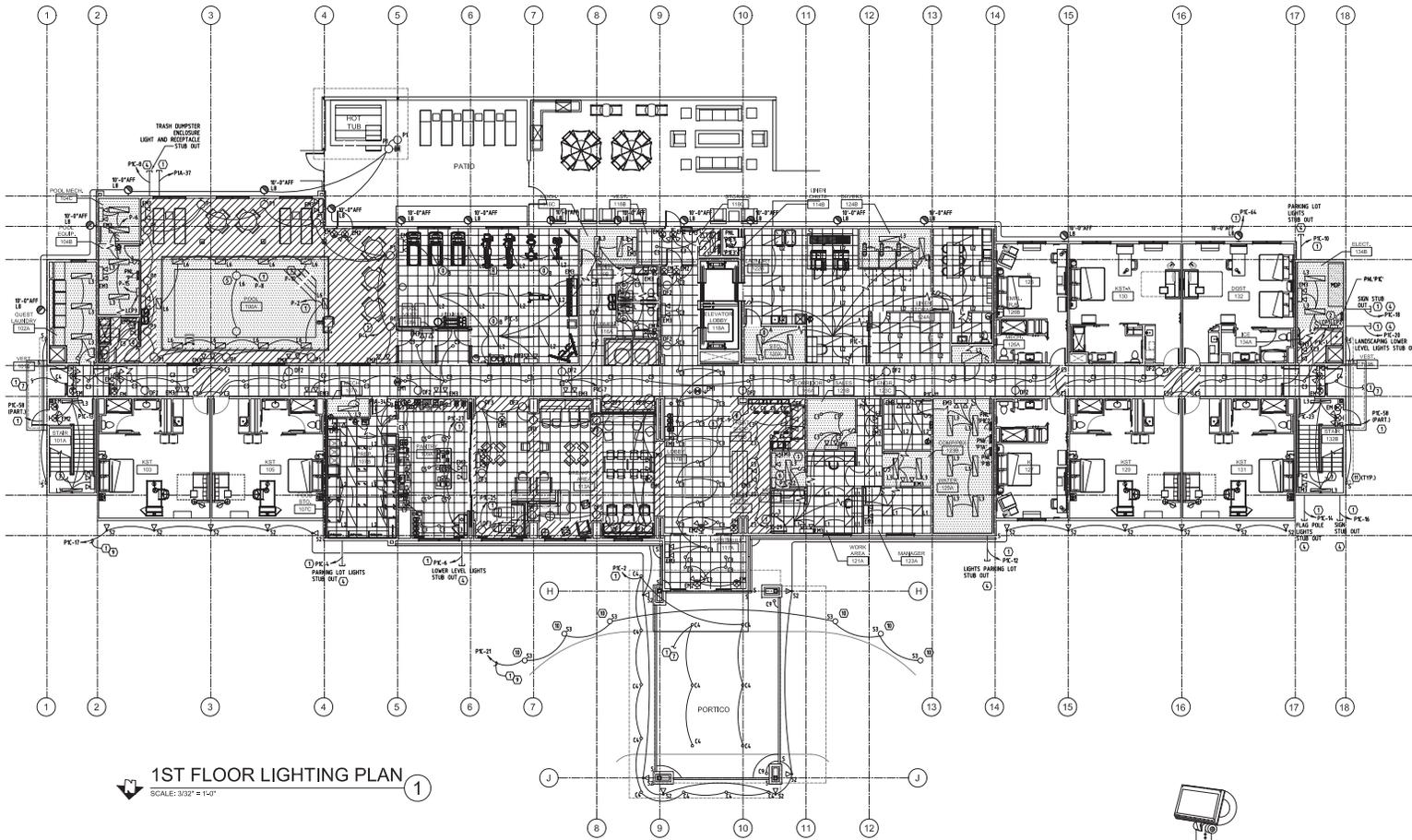


SOUTHWEST ELEVATION ②

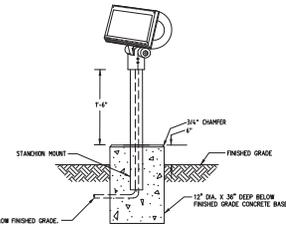
ARCHITECTURE | PLANNING | INTERIOR DESIGN | PROCUREMENT

3200 Penn Terrace, Suite 100 | Columbia, Missouri 65202 | 573.441.9391

CDG II © 2018



1ST FLOOR LIGHTING PLAN
SCALE: 3/32" = 1'-0"



GROUND MOUNT FLOOD DETAIL
SCALE: NONE

- SHEET NOTES** KEY NOTE SYMBOL = (C)
- GENERAL NOTES**
1. PROVIDE AN UN-SWITCHED CONNECTION FROM LOCAL CIRCUIT TO ALL EXIT SIGNAL INDICATOR LIGHTS AND BATTERY BACKS TO INSURE THEY REMAIN ENERGIZED AT ALL TIMES AND DO NOT REVERT TO BATTERY OPERATION EXCEPT THE LIGHTS ARE SWITCHED.
 2. SEE TYPICAL UNIT PLANS ON SHEET E3.1 AND E3.2 FOR ADDITIONAL WORK.
- KEY NOTES**
1. CONNECT FLOOR LIGHT CONTROL PANEL, SEE LIGHTING CONTROL PANEL SCHEDULES FOR ADDITIONAL INFORMATION; SEE SHEET E.1.1.
 2. LIGHTING CONTROL PANELS, SEE LIGHTING CONTROL PANEL SCHEDULE ON SHEET E.1.1 AND REFER DIAGRAM ON SHEET E.1.1 FOR ADDITIONAL INFORMATION.
 3. CIRCUIT SHALL CONTINUE TO FLOOR ABOVE.
 4. COORDINATE WITH CIVIL.
 5. COORDINATE POOL LIGHT WITH POOL SUPPLIER AND PROVIDE ALL GRONDING REQUIREMENTS FOR REC. ARTICLE 100.
 6. PROVIDE 250VA INVERTER WALL MOUNTED, QUALITY GEAR LETS. PROVIDE BACK AS REQUIRED FOR WALL MOUNTING.
 7. CONNECTED TO 250W POWER INVERTER WITH BATTERY BACK UP IN WORK AREA PER PARTIAL CIRCUIT.
 8. (ITP) PROVIDE J-BOX WITH 3/4" AT EACH SHELF LEVEL FOR LED STRIP LIGHTING APPROX. 30' LENGTH PROVIDE WITH ALL ACCESSORIES AND POWER SUPPLIES FOR A COMPLETE OPERATIONAL SYSTEM. COORDINATE WITH MECHANICAL CONTRACTOR.
 9. 2-4/8" x 8" O.D. IN 1 1/2" THROUGHOUT.
 10. CONFIRM EXACT LOCATION WITH CIVIL/ARCHITECT.
 11. INSTALL TYPE S LIGHTS IN VERTICAL COVE. REFER TO ARCHITECTURAL.

JOB NUMBER	17041
ISSUE DATE	11-09-18
REVISIONS	



Hampton Inn & Suites
8 SOUTH FORK ROAD
CODY, WYOMING

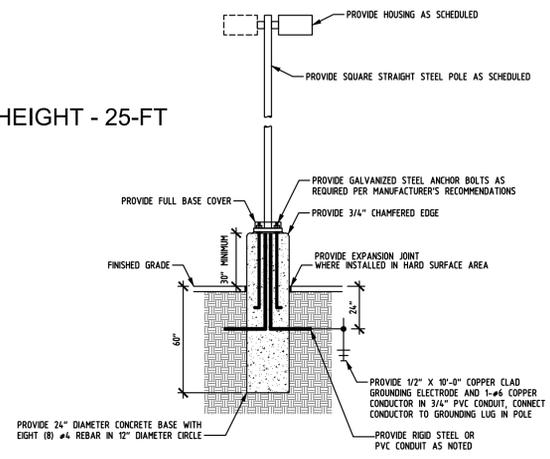
ARCHITECTURE | PLANNING | INTERIOR DESIGN | PROCUREMENT
CENTRAL DESIGN GROUP II • 1402 HATHMAN PL., SUITE 100 • COLUMBIA, MISSOURI, 65201 • TEL: 573-441-9391



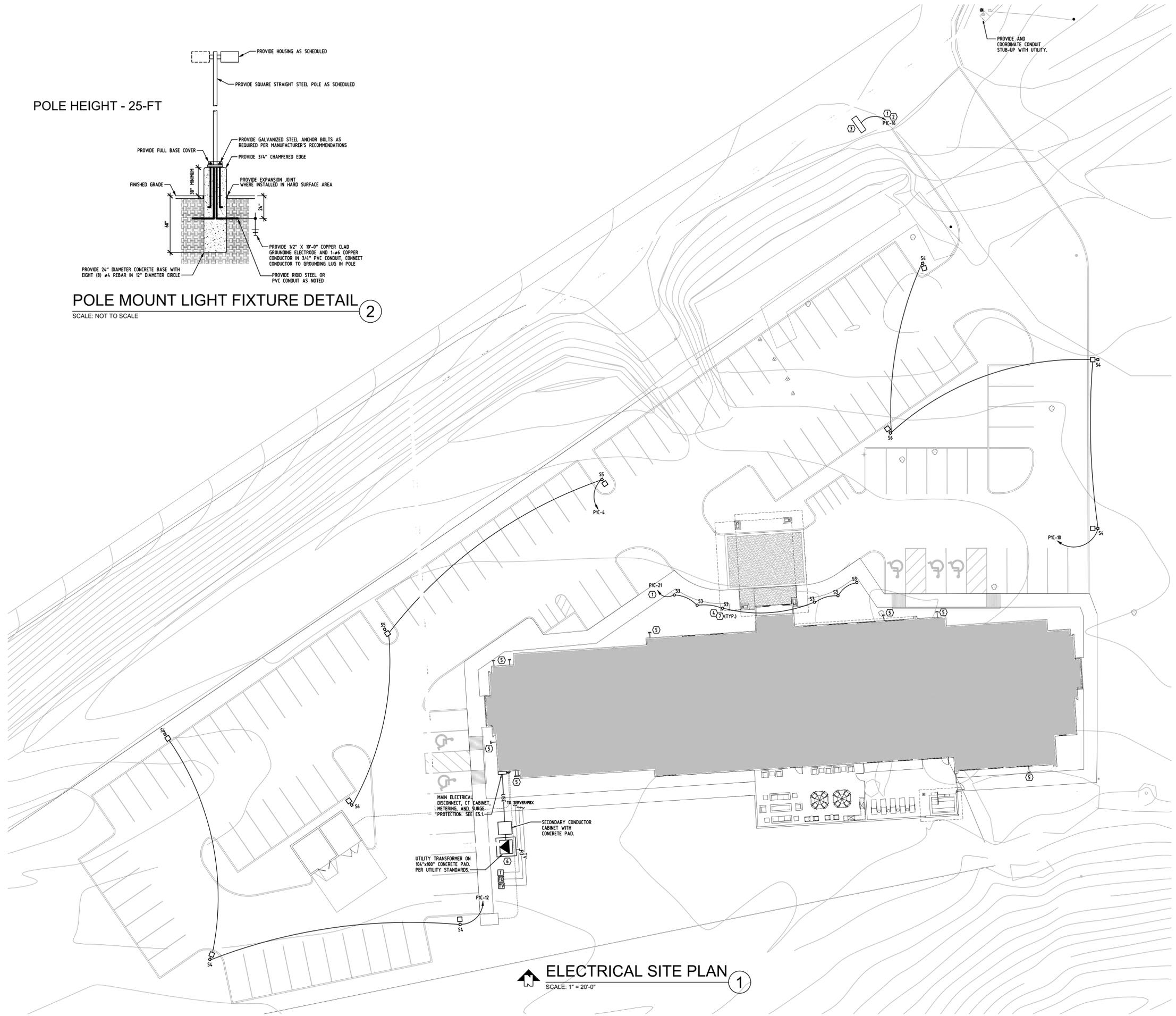
FLOOR PLAN 1ST FLOOR - LIGHTING
E1.1

AES ADVANCED ENGINEERING SYSTEMS
www.aes-usa.com PROJECT # 18-127
4630 ANTELOPE CREEK RD. STE 200 P. 402-488-0075
LINCOLN, NE 68506 F. 402-488-0272

POLE HEIGHT - 25-FT



POLE MOUNT LIGHT FIXTURE DETAIL ②
SCALE: NOT TO SCALE



ELECTRICAL SITE PLAN ①
SCALE: 1" = 20'-0"

SHEET NOTES

POINT OF CONTACT KEY NOTE SYMBOL = (X)
 COMPANY: NORTHWESTERN ENERGY
 ADDRESS: 121 EAST GRIFFIN DR., BOZEMAN, MONTANA 59715
 NAME: BRENDAN ELKIN
 PHONE: (406) 274-5920
 EMAIL: BRENDAN.ELKIN@CONTRACTOR.NORTHWESTERN.COM

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE APPLICABLE LAWS AND REGULATIONS OF THE STATE OF MONTANA, WITH ALL REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), STATE OF MONTANA ADOPTIONS AND ALL AUTHORITIES HAVING JURISDICTION. IN THE EVENT OF CONFLICT BETWEEN THESE PLANS AND GOVERNING LAWS, THE MORE STRICT SHALL APPLY.
- THESE PLANS ARE SCHEMATIC IN NATURE. THROUGH A LOT OF DETAILS MAY BE SHOWN, THEY ARE NOT INTENDED TO SHOW EVERY DETAIL. THE INTENT IS TO DEFINE A GENERAL SCOPE OF WORK. THE CONTRACTOR SHALL VISIT JOB SITE PRIOR TO BIDDING TO SEE ACTUAL CONDITIONS.
- COMPLIANCE WITH THE WYOMING DIG LAW REQUIRES THAT ALL PERSONS, PRIOR TO DIGGING ANY HOLE OR TRENCH, SHOULD CONTACT THE "WYOMING 811" NUMBER 811 OR 1-800-849-2476. THIS SHOULD BE DONE A MINIMUM OF 48 HOURS, EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO ACTUAL NEED. TO ARRANGE FOR LOCATION OF UNDERGROUND UTILITY CABLES AND EQUIPMENT. ACTUAL LOCATING OF THE CABLES AND EQUIPMENT WILL THEN BE DONE BY EACH UTILITY. GENERAL SERVICE OR RESIDENTIAL CUSTOMERS MUST MAKE SEPARATE ARRANGEMENTS FOR LOCATION OF THEIR NON-UTILITY-OWNED UNDERGROUND FACILITIES SITUATED UPON THEIR OWN PROPERTY.
- UTILITY LOCATIONS ARE SUBJECT TO INTERPRETATION. LOCATIONS ARE APPROXIMATE AND NO GUARANTEE IS MADE OR IMPLIED AS TO THEIR ACCURACY. FURTHER VERIFICATION MAY BE REQUIRED TO IDENTIFY UTILITIES. CONTACT LOCAL UTILITY COMPANIES FOR REQUIREMENTS. COORDINATION ON CONDUIT AND/OR CABLE SHALL BE DONE PRIOR TO INSTALLATION. ALL INSTALLATIONS MUST BE INSTALLED PER LOCAL UTILITY STANDARDS AND INSPECTED PRIOR TO BEING COVERED.
- CONTRACTOR SHALL INCUR ALL COST FOR CLEARING EITHER OVERHEAD OR UNDERGROUND ROUTES, INCLUDING TREE REMOVAL, BUILDING AND/OR FOUNDATION OR RUBBLE REMOVAL AND ANY OTHER OBSTACLES ENCOUNTERED.
- REFER TO ELECTRICAL/TELECOM RISER DIAGRAMS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE WORK REQUIRED BY LOCAL UTILITIES.
- CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS WITH LOCAL COMPANIES REGARDING ADD-TO-CONTRACTOR COST. ADD TO CONSTRUCTION COST SHALL BE INCLUDED AS ALLOWANCE AND NOT PART OF THE CONTRACTOR BID.
- UTILITIES SHOWN ARE PRELIMINARY. COORDINATE WITH CIVIL AND UTILITIES EXACT LOCATIONS AND ALL REQUIREMENTS.
- PROVIDE EXTERNAL GLARE SHIELDS FOR PARKING LOT POLE LIGHTS IF REQUIRED BY THE CITY OF CODY FOR GLARE ISSUES ON SOUTH FORK ROAD.

KEY NOTES

- CONNECT THRU LIGHTING CONTROL PANEL. PROVIDE 2-#8CU, #10CU GND THROUGHOUT.
- CONNECT THROUGH STUB-OUT (SEE SHEET E10)
- MONUMENT SIGN. VERIFY EXACT LOCATION WITH ARCHITECT AND CIVIL.
- COORDINATE BOLLARD LOCATIONS WITH ARCHITECT/ OWNER.
- STUB-OUTS. SEE SHEETS E11 AND E21 FOR MORE INFORMATION.
- PROVIDE STEEL REINFORCED 8" THICK CONCRETE HOUSEKEEPING PAD WITH (4) 10" DIAMETER CONCRETE SUPPORT COLUMNS DOWN TO BELOW FROST DEPTH.
- CONFIRM EXACT LOCATION WITH CIVIL/ ARCHITECT.

JOB NUMBER
17041
 ISSUE DATE
11-09-18
 REVISIONS
 ADD 01 12/14/18



Hampton Inn & Suites
 8 SOUTHFORK ROAD
 CODY, WYOMING
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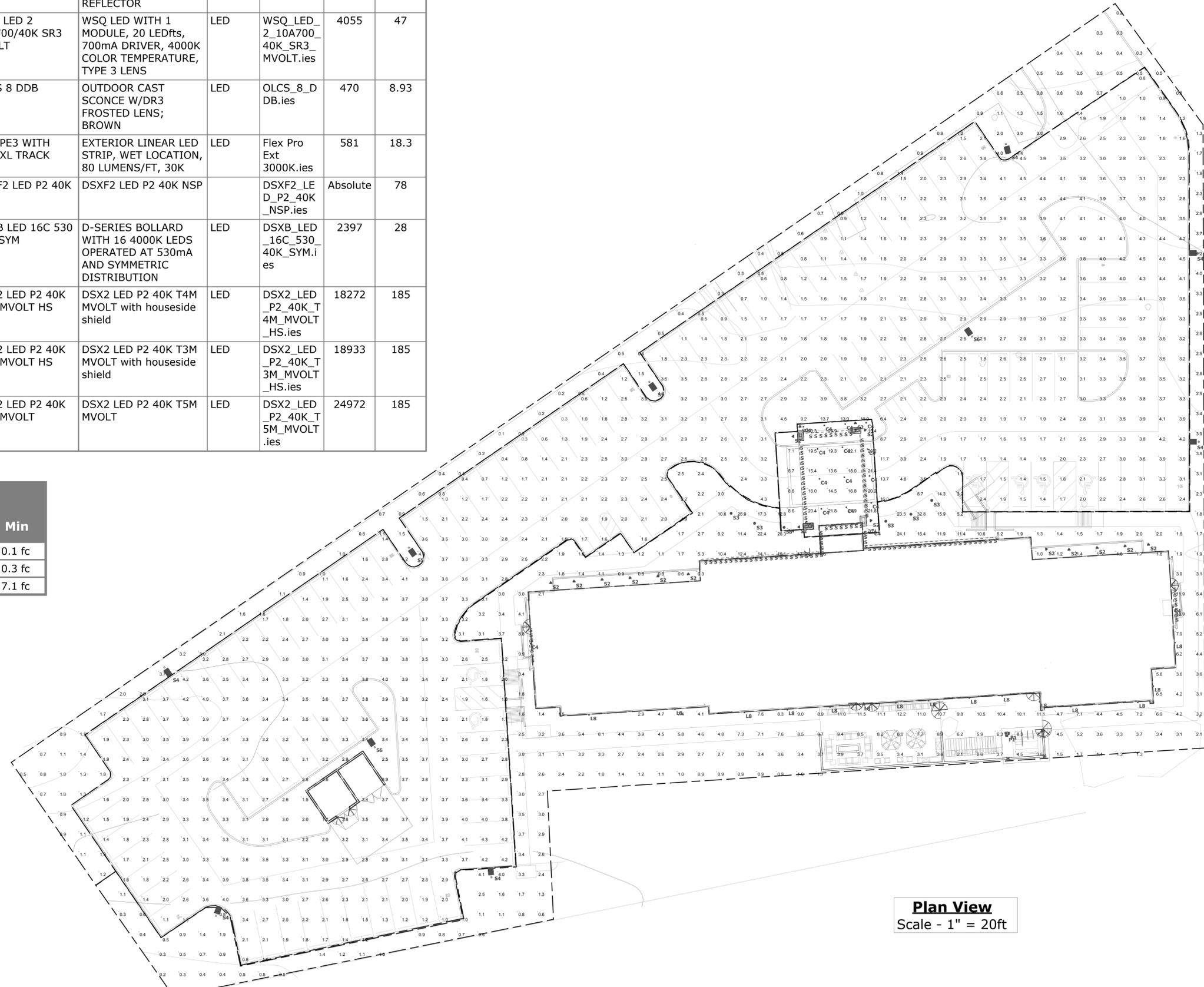


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SITE PLAN - ELECTRICAL
E1.0

LLF									
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	Wattage
○	C4	17	Lithonia Lighting	LDN6 30/10 LO6AR LSS	6IN LDN, 3000K, 1000LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR	LED	LDN6_30_10_LO6AR_LSS.ies	993	12.75
○	L8	15	Lithonia Lighting	WSQ LED 2 10A700/40K SR3 MVOLT	WSQ LED WITH 1 MODULE, 20 LEDfts, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	LED	WSQ_LED_2_10A700_40K_SR3_MVOLT.ies	4055	47
□	P1	2	Lithonia Lighting	OLCS 8 DDB	OUTDOOR CAST SCONCE W/DR3 FROSTED LENS; BROWN	LED	OLCS_8_D_DB.ies	470	8.93
—	S	122	ACCLAIM LIGHTING	FLEXPE3 WITH FLKEXL TRACK	EXTERIOR LINEAR LED STRIP, WET LOCATION, 80 LUMENS/FT, 30K	LED	Flex Pro Ext 3000K.ies	581	18.3
△	S2	2	Lithonia Lighting	DSXF2 LED P2 40K NSP	DSXF2 LED P2 40K NSP		DSXF2_LED_P2_40K_NSP.ies	Absolute	78
○	S3	6	Lithonia Lighting	DSXB LED 16C 530 40K SYM	D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 530mA AND SYMMETRIC DISTRIBUTION	LED	DSXB_LED_16C_530_40K_SYM.ies	2397	28
□	S4	6	Lithonia Lighting	DSX2 LED P2 40K T4M MVOLT HS	DSX2 LED P2 40K T4M MVOLT with houseside shield	LED	DSX2_LED_P2_40K_T4M_MVOLT_HS.ies	18272	185
□	S5	2	Lithonia Lighting	DSX2 LED P2 40K T3M MVOLT HS	DSX2 LED P2 40K T3M MVOLT with houseside shield	LED	DSX2_LED_P2_40K_T3M_MVOLT_HS.ies	18933	185
□	S6	2	Lithonia Lighting	DSX2 LED P2 40K T5M MVOLT	DSX2 LED P2 40K T5M MVOLT	LED	DSX2_LED_P2_40K_T5M_MVOLT.ies	24972	185

Statistics			
Description	Avg	Max	Min
Landscaping	3.7 fc	32.8 fc	0.1 fc
Parking Lot	2.8 fc	16.0 fc	0.3 fc
Porte Cochere	17.4 fc	26.4 fc	7.1 fc



Plan View
Scale - 1" = 20ft

DRAINAGE REPORT

For

Hampton Inn & Suites
8 Southfork Road – Cody, WY

Owner
JPK TR Cody

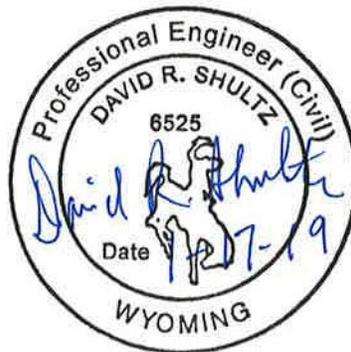
P.O. Box 15
Aberdeen, SD 57402

Engineer



SAGE CIVIL ENGINEERING
ENGINEERS | SURVEYORS

2824 Big Horn Ave.
Cody, WY 82414



January 17, 2019

Introduction - Property Description

This project location is southwest of the intersection of WY 14/16/20 and Southfork Road (Hwy. 291) within lot 71 and 72, Resurvey T.52N., R.102W., 6th P.M. Park County, Wyoming, and consists of 2.82 acres/122,840 ft².

The site is zoned D-3 but was previously a residence. All buildings have been removed leaving a vacant lot and ground cover of predominantly gravel and natural grass and sagebrush. The existing terrain slopes generally from southwest to northeast, with historical runoff collecting on the property to the east of the subject lot and to the highway right-of-way. The subject property was recently split from the property to the east and was previously owned by a single owner.



Photo 1 - Existing Conditions

Purpose of Drainage Plan

This drainage plan outlines the proposed measures to handle storm water runoff for this development. Drainage calculations have been performed and subsequent storm water facilities will be constructed as shown on the drainage plan.

Description of Basins and Facilities

Proposed for the site is a 4-story, 92-room hotel. Surrounding the hotel will be sidewalks and landscaping, paved parking, drainage facilities, and a fire access to be surfaced with clean crushed rock.

Post-development configuration of the property will result in three separate drainage basins.

Drainage Basin 1 includes the entrance drive and the portion of the parking area generally east of the building entrance. Although some runoff should be expected to percolate within the landscaped areas within the basin, the runoff, which will amount to less than half the historic runoff from this property, will continue to flow to the north and east to the historic collection points.

Drainage Basin 2 includes the remainder of the property apart from the hotel roof and will drain generally away from the building in the north, south, and west directions. The runoff will percolate and evaporate as it travels but will eventually collect in a large storm water disposal area in the southwest corner of the property. A landscaping agreement with WYDOT has been approved that will allow the developer to make aesthetic improvements to the highway right-of-way north of the development. These improvements will include a "dry stream bed" feature that will channel runoff along the property line, southwesterly toward the large percolation area.

Drainage Basin 3 is the building roof. Runoff from the roof will be directed to internal downspouts which will connect to a buried drain pipe discharge into the percolation area. Drains for the pool and hot tub will also be connected to this pipe, however draining of the pools will not be undertaken during a design storm event.

SCE has performed percolation tests throughout the city and designed numerous drainage facilities for developments in this area based on these tests, and the facilities all function satisfactorily. Percolation rates for the underlying gravel have been found to range from $\frac{3}{8}$ inch per minute to greater than $\frac{3}{4}$ inch per minute. Percolation trenches planned for this project will be constructed providing drainage directly into the cobble soils, and a conservative percolation rate of $\frac{1}{4}$ inch per minute was used for calculations.

Percolation Trench Maintenance: Cobble will be cleaned or replaced if void spaces become filled with sediment or other debris to the point the facilities become ineffective.

Calculations

The storm drainage runoff calculations used the following data:

Applicable C values are:

C _{Pavement/Concrete/Building}	= 0.90
C _{Compacted Gravel}	= 0.60
C _{Landscaping/Unimproved/Percolation Areas}	= 0.30

Existing Conditions: As mentioned in the Introduction, all runoff appears to collect on the area east of the subject property. Therefore, the Existing Conditions runoff calculation is considered the amount of historical runoff to leave the property. The existing ground cover consists of compacted gravel and unimproved (natural) vegetation.

Unimproved	= 84,900 sf
Compacted Gravel	= 37,940 sf

Post-Development Conditions:

Drainage Basin 1

Landscaping/Percolation Areas	= 7,503 sf
Pavement/Sidewalk	= 20,824 sf

Drainage Basin 2

Landscaping/Percolation Areas	= 33,108 sf
Compacted Gravel (Fire Lane)	= 7,372 sf
Pavement/Sidewalk	= 38,888 sf

Drainage Basin 3

Building Roof Area	= 15,145 sf
--------------------	-------------

Per the City's SWMP, section 3.6.4, the design storm is to be based on a 25-year, 2-hour event for percolation trenches, therefore the Intensity (I) = 0.66 in/hr. Storm volume calculations are shown beginning on the next page.

EXISTING CONDITIONS	Area	C x A	Q	V 2hrs
	(ft ²)	(ac)	(cfs)	(ft ³)
Unimproved (C=0.30)	84900	0.5847	0.386	2779
Compacted Gravel (C=0.60)	37940	0.7839	0.517	3725
Total			0.903	6504

POST-DEVELOPMENT CONDITIONS	Area	C x A	Q	V 2hrs
	(ft ²)	(ac)	(cfs)	(ft ³)
Drainage Basin 1				
Landscape/Perc Trench (C=0.30)	7503	0.0517	0.034	246
Pavement/Sidewalk (C=0.90)	20824	0.4302	0.284	2045
Basin 1 Total			0.318	2290

POST-DEVELOPMENT CONDITIONS	Area	C x A	Q	V 2hrs
	(ft ²)	(ac)	(cfs)	(ft ³)
Drainage Basin 2				
Landscape/Perc Trench (C=0.30)	33108	0.2280	0.150	1084
Compacted Gravel (C=0.60)	7372	0.0508	0.034	241
Pavement/Sidewalk (C=0.90)	38888	0.8035	0.530	3818
Basin 2 Total			0.714	5143

POST-DEVELOPMENT CONDITIONS	Area	C x A	Q	V 2hrs
	(ft ²)	(ac)	(cfs)	(ft ³)
Drainage Basin 3				
Building Roof (C=0.90)	15145	0.3129	0.207	1487
Basin 3 Total			0.207	1487

The total volume of water required to be disposed is the volume from Drainage Basins 2 and 3, which equals 6,630 ft³.

Percolation Trench Summary

A geotechnical investigation was performed on the property that indicates the gravel/cobble layer that is typical of this area and which provides excellent percolation is generally covered with approximately one foot of topsoil. The percolation area to which all runoff will be directed will be created by excavating material to be used as embankment for the site. The table below illustrates the volume of runoff that would be disposed by percolation-only. Although the Total Volume Disposed by percolation is slightly less than the total storm water generated per the tables above, the volume of the perc area after excavation is expected to provide 40,000 to 50,000 cubic feet of storage volume, far-exceeding the necessary volume.

	Percolation Area	Storage Volume	Percolation Rate		Volume Percolated During Storm	Total Volume Disposed
	(ft ²)	(ft ³)	(in/minute)	(ft/sec)	(ft ³)	(ft ³)
Drainage Basin 1						
Historic Flow Area						0
Drainage Basin 2 & 3						
Southwest Perc Area	2414	0	0.25	0.000347	6035	6035
Total Volume Disposed						6035