

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, NOVEMBER 13, 2018  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call to Order by Chairman Heidi Rasmussen
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the October 9, 2018 regular meeting.
6. NEW BUSINESS:
  - A. Downtown Architectural District review for a sign at the Cody Country Art League, located at 836 Sheridan Avenue.
  - B. Site Plan Review to install a modular duplex for seasonal employee housing for "The Cody" hotel, located at 240 West Yellowstone Avenue.
  - C. Site Plan Review for Eagle Recovery Repair Shop and Storage Yard, located at 534 Blackburn Street.
7. P & Z Board matters (announcements, comments, etc.)
8. Council Update
9. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning, and Adjustment**  
**Board Tuesday, October 09, 2018**

A meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, October 09, 2018 at 12:00 pm.

Present: Heidi Rasmussen, Chairperson; Buzzy Hassrick; Sandi Fisher; Kayl Mitchell; Richard Jones; Todd Stowell, City Planner; Sandra Kitchen, Deputy City Attorney; Glenn Nielson, Council Liaison;

Absent: Erynne Selk, Curt Dansie

Chairperson Heidi Rasmussen, called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Buzzy Hassrick made a motion, seconded by Sandi Fisher to approve the agenda for October 9, 2018. Vote on the motion was unanimous, motion carried.

Kayl Mitchell made a motion, seconded by Buzzy Hassrick to approve the minutes from the September 25, 2018 meeting. Vote on the motion was unanimous, motion carried.

**NEW BUSINESS:**

A. Todd Stowell presented a minor commercial review for Windsor Castle Daycare located at 1827 Stampede Avenue.

Richard Jones made a motion seconded by Kayl Mitchell, to approve the project as proposed, subject to the exterior lighting meeting the limits in the staff report. Vote on the motion was unanimous, motion approved.

B. Todd Stowell discussed the proposal to amend the Trailhead Planned Unit Developments (PUDs) plan relating to Accessory Dwelling Units (ADU). Staff proposed sending a postcard “ballot” to the property owners in the Trailhead PUD asking questions about allowing AUDs in Trailhead. Developer Ed Higbie talked about the PUD being set up to only allow single family homes. He liked the idea of sending postcard to the property owner, but suggested rearranging the questions on the ballot.

Richard Jones made a motion seconded by Buzzy Hassrick to recommend the City Council amend the Trailhead PUD plan based on the input from the property owners (ballots and public hearings).

P & Z Board Matters – None

Council Updates – None

Staff Items – None

Richard Jones made a motion seconded by Buzzy Hassrick to adjourn the meeting.

Vote on the motion was unanimous, motion approved.

There being no further business to come before the Board, Chairperson Heidi Rasmussen adjourned the meeting at 12:33 p.m.

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Bernie Butler, Administration Coordinator

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	NOVEMBER 13, 2018	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	DOWNTOWN ARCHITECTURAL DISTRICT REVIEW: CODY COUNTRY ART LEAGUE SIGN. SGN 2018-30	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

The Cody Country Art League has submitted an application to install a 2-foot by 8-foot wall sign on the west side of the building at 836 Sheridan Avenue. The Art League can be accessed through the Visitor Center’s main lobby or from a door on the west side of the building. The Art League is expanding their hours and will be open at times when the rest of the visitor’s center is not, so it is necessary to add a sign to identify the west entrance that will be open when the main entrance is not.



**REVIEW CRITERIA:**

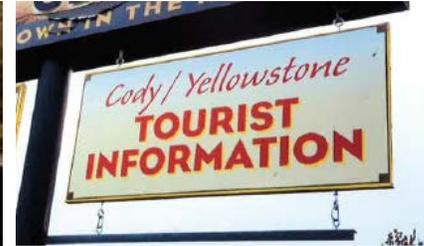
The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *“The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

The sign must also meet the size and location requirements of the sign code.

**STAFF COMMENTS:**

The property is in the downtown architectural district but in the D-2 sign district (outside of the downtown sign district). As such the D-2 sign district standards apply.

The proposed sign is 16 square feet in size and it will not be illuminated. The design is intended to match the color and font used on the existing hanging signs on the building (near main entry) and on the freestanding sign.



The new wall sign complies with the D-2 sign district size and location requirements, and all wall signage is well within the total amount allowed (300 sq. ft.).

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The new sign is modest in size and of a quality design that should integrate well with the existing signage.

**RECOMMENDATION:**

Approve the wall sign for the Cody Country Art League as proposed.

October 30, 2018

## **Sign Plan Review**

Cody Country Art League  
836 Sheridan Ave.  
Cody, Wy. 82414  
307-587-3597  
art@codycountryartleague.com  
Contact – Jody Horvath

Permanent Sign Request for a sign directing customers to west door of building that opens directly into Art League. The sign will be made by Steve Shearer at Applied Graphics and his recommendation is to attach to the building with 1" x 4" or 2" x 4" frame built to mount the sign and screw the frame to the building.

Sign Dimensions – 2' x 8' Yellow background with red lettering. See attached.

Currently, there is not any signage on the Visitor Center building indicating the Art League except for a small hanging sign in front of the doors leading into the Visitor Center. That hanging sign is 1' by 6'. It cannot be seen until directly in front of the building.

The Art League is expanding its hours of operation and will be open at times during the winter that the Visitor Center is not open. The intention is to direct people to the west door during these times and to increase awareness of the Art League.

Thank you for your consideration.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	NOVEMBER 13, 2018	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: DUPLEX FOR SEASONAL HOUSING. SPR 2018-23	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Kelly Cody WY Hotel Ventures, the owner of "The Cody" hotel has submitted an application to install a 16-foot by 80-foot modular duplex on their property for seasonal employee housing. The duplex would not be on the same lot as the hotel, but on the lot formerly operated as an RV park, which is 240 West Yellowstone Avenue. The site plan shows the approximate location of the proposed duplex.



**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.

**STAFF COMMENTS:**

The property is zoned Open Business/Light Industrial (D-3), which allows all forms of residential housing except mobile homes, as well as most commercial and light industrial uses. The proposed duplex is modular in construction, meaning it was constructed in accordance with the building codes in effect at the time it was constructed and is designed to be placed on a permanent foundation. It was constructed in 2011 under the 2009 building codes. It is not a manufactured home as it was not constructed under the HUD code, although it has a similar appearance.



The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Friends of Park County History open space across highway.	D-3
East	Vacant lot and The Cody hotel.	D-3
South	Residences on bench above—300'+	R-1 Residential
West	Cody Holiday Lodge (motel).	D-3

Architecture:

The modular duplex meets the residential architectural standards of the zoning ordinance since it provides a minimum 3:12 pitched roof with 1-foot minimum eaves (on ends) and will be placed on a permanent foundation.

The duplex has typical horizontal lap-style siding, vinyl windows, and a metal roof. The color scheme is tan/brown. The location of the duplex would be at the “back” of the lot, about 15 feet from the base of the hillside (minimum setback for building code purposes) in a location where some RV spaces were once used. The location is approximately 350 feet from the Yellowstone highway.

The Board will need to determine if the architectural components of the structures are acceptable. Due to the significant distance from the highway and adjacent residential development, staff is not overly concerned with the lack of architectural enhancements on the building. The fact that it will be placed on a permanent foundation can also provide a more traditional look if done in with a traditional crawl space or “pit set” method. Those methods place the floor level closer to the ground and avoids the elevated appearance of a mobile home with skirting.

Landscaping: The property is within the entry corridor overlay district, which requires landscaping for new development and redevelopment in the amount of up to 5% of the developable area. In this instance, the Board could consider the trees and grass that remain from the former RV park as meeting the landscaping requirement for the time being. At such time as the front portion of the property develops, the trees and grass could either be enhanced or replaced.

Access and Parking:

The applicant indicates that the duplex would be occupied only seasonally (tourist season) by their employees. The employees are typically foreign and do not drive. The parking ordinance allows the Board to consider each situation uniquely, so it could be determined that no parking is required. If parking is required it could easily be provided by installing a gravel pad next to the end of the duplex. Access is provided effectively to the front door by an existing looped gravel driveway. Due to the minimal amount of new traffic, no upgrade to the highway approach is necessary.

### Exterior Lighting

Exterior lighting includes two typical porch lights. Due to the low intensity and location, no glare impacts are anticipated.

### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. In practice, the city has not required the standard 15-foot commercial buffer/fence requirement between a commercial and residential property when the commercial land only contains a residential use, such as this case.

### Storm Water Plan:

A storm water plan is not required for small residential developments such as this.

### Snow Storage

The duplex is not planned to be occupied in the winter.

### Utility Services

The duplex will utilize an existing water service and sewer service on the property. As additional dwelling units are being added, connection and impact fees appear to be applicable. The amounts will be calculated by Public Works and will need to be paid at the time of the building permit.

A new electrical service will be run to the duplex from an existing power pole directly to the west. For the applicant's benefit, here are specific details about the electrical service:

- The developer shall provide the service size for this building as soon as possible so that we can insure that the transformer has sufficient capacity to serve the additional load of the duplex. If the transformer has to be upsized to serve the duplex, the developer will pay the cost of the new transformer less the depreciated cost of the old transformer.
- The power to this building would be taken from an overhead transformer mounted on a power pole located at the base of the hill west of the building site. The developer shall install an underground service lateral from this power pole then east to the building service equipment.
- The service equipment shall be permanently mounted on the building. Options for service are:
  1. If the tenants will pay the monthly electrical service, the service equipment shall be a two-meter bank located on the west wall of the structure.
  2. If the developer intends to pay for the electrical service and the building will stay under single ownership, a single meter could be used to serve the entire building at this time. This single meter would be installed on the west facing wall of the building.
- Any service lateral installed shall meet City specifications as outlined in the 2018 Electrical Distribution Standards Manual available in the planning office.

- The developer's contractor shall provide and install the service lateral conduit, cable and connectors. The contractor shall provide all material for the riser on the power pole (including a weather head) but the City will install the riser on the power pole and make the connection of the service lateral to the transformer.

If any natural gas or telecommunication services are planned, the applicant will need to coordinate with those providers.

#### Signs

No new signs are proposed.

#### Hydrants/Fire Protection

The duplex will rely on a fire hydrant next to the highway and The Cody parking lot for fire protection. The hydrant is about 400 feet away, which meets fire code for the situation.

#### Frontage Status

Curb, gutter, sidewalk and streetlights exist along the full property frontage.

#### Garbage

Garbage collection will be from a dumpster, which is to be located along the outer edge of the loop road, preferably near the duplex.

#### **ATTACHMENTS:**

None.

#### **ALTERNATIVES:**

Approve or deny the site plan with or without changes.

#### **RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items:

1. The modular duplex must be placed on a permanent foundation. It is recommended that the foundation be of a style that allows the floor of the duplex to be near the ground, so as to avoid the look of an elevated mobile home with skirting.
2. The applicant is responsible to either protect, or properly cap and remove, any utilities from the former RV park that conflict with placement of the duplex, and document the work for the file.
3. Occupancy of each dwelling (half of duplex) is limited to the zoning definition of one family (no more than 5 unrelated individuals). If any unit of the duplex will be occupied by other than the hotel's workers, two parking spaces shall be provided for each unit.
4. The project must otherwise comply with the project description and site plan as explained in the application and staff report.

5. Obtain building permits, as specified by the Building Official and pay applicable utility fees. The project must comply with applicable building, fire and electrical codes. (Remember the 15-foot building code setback from the base of the hill.) Necessary building permits must be obtained within two years or this authorization will expire.

# CITY OF CODY PLANNING, ZONING AND ADJUSTMENT BOARD STAFF REPORT

<b>MEETING DATE:</b>	NOVEMBER 13, 2017	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: EAGLE RECOVERY REPAIR SHOP AND STORAGE YARD. SPR 2018-22	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Michael & Carisa Wood of Eagle Recovery have submitted an application to construct a 5,000 square foot vehicle repair shop, towing storage yard, and associated site improvements at 534 Blackburn Street. The property includes two lots that total about 1.2 acres. (Lots 2A and 4 on survey.)



**REVIEW CRITERIA:**

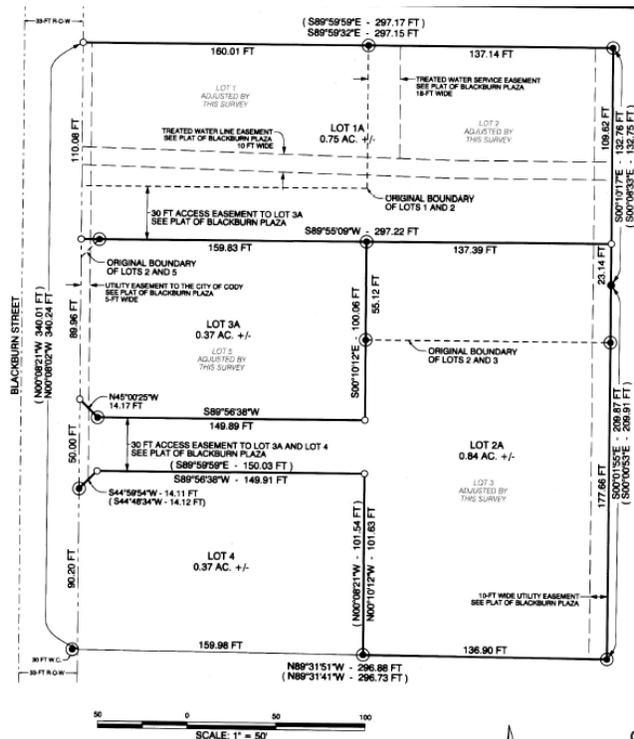
Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible.*

*Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan*



*conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

In addition, the site plan is reviewed for compliance with specific development standards of the zoning ordinance.



**STAFF COMMENTS:**

The property is zoned Open Business/Light Industrial (D-3), which allows vehicle repair shops and similar uses. In practice, towing businesses have been permitted in the D-3 zone. However, the D-3 zone does not permit junk yards or vehicle recycling/dismantling yards—an industrial zone is needed for those activities. The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant lot and Roofing Business	D-3
East	Residential dwelling, Yellowstone Behavioral Health.	R-3 Residential D-3 (Yellowstone B.H.)
South	Harry Jackson Studio building.	D-3
West	UPS distribution facility.	D-3

**Architecture:**



The architectural elevations of the building are attached. The building would face north, with the west end (right side of above rendering) facing Blackburn Street. The metal building would be enhanced with the use of wood and stone veneer at the entry to the office area. In addition, the office area has a lower height, which also helps break up the visual size of the building. The use of tall windows in the office area, the 4:12 pitched roof, and the matching roof, trim and overhead doors further improve the appearance.

The building has a similar look and color scheme as the Cody CrossFit building that was built on Blackburn Street next to Mentock Park. The Board will need to determine if the architectural components of the building are acceptable. Staff has no concerns with the architectural components of the building.

#### Landscaping:

Landscaping includes a grass area near the entrance. Two shrubs and three trees would also be installed along the street frontage. A gravel groundcover would be under the trees and extend around the south and east sides of the building. The type of gravel is not identified. If something other than a river cobble or decorative rock (e.g. limestone, scoria) is proposed the applicant will need to discuss the plan with the Board. The type of shrubs and trees will need to be climate and location appropriate and should be identified to staff before planting. Also, the method of irrigation should be identified on the plans (likely need conduit under sidewalk).

#### Access and Parking:

The 30-foot wide access easement along the north side of the lot with the shop is proposed to be paved. It is noted that the parking ordinance only requires the approach area to be paved. All other parking and access areas can be crushed base course (gravel). The site plan shows a large flare where the access road connects to Blackburn Street. A standard curved radius of 15 or 20 feet needs to be used instead—as is shown on the drainage plan drawing.

In assessing parking needs, the applicant indicates that it is rare to have more than a couple of customers at a time. Vehicles will be either towed in or dropped off. If dropped off, they anticipate the person to park near the office and the vehicle taken almost immediately into either the shop or the fenced yard. To better accommodate the customers visiting the site, it is recommended that an additional space be marked to the east of the ADA space.

A maximum of 5 employees are anticipated to be working in the shop building at any one time. Their vehicles, along with a number of vehicles used in the towing business are proposed to be parked in the fenced yard. While not all of those “spaces” are formally marked, it is simply a management issue to be sure enough of the storage yard is left available for employee and business vehicles. Provided the parking situation

functions as explained, there appears to be adequate parking proposed. For comparison purposes, the parking ordinance recommendation for auto repair shops is four spaces per bay, which would mean twenty spaces for this facility.

The storage yard has recently been graveled with base course, as is required for parking areas. However, it is not known if the work included proper grading to address storm water runoff, and the area is not mentioned in the grading or storm water plan. If additional grading is determined necessary, the final surface will need to have the required gravel (base course) surface.

### Exterior Lighting

The exterior lighting details are included on Sheet E1.0. You will see fixtures "E", "G" and "H". Fixture "G" area simply the recessed can lights in the entry porch, and Fixture "H" is an emergency batter pack light, only illuminated when power is disrupted. Fixture E is a full cutoff LED wall pack, that comes in different illumination levels ranging from 7,500 to 12,000 lumens and different distribution patterns. 7,500 lumens is equivalent to about 450 watts of incandescent light and 12,000 lumens approximately 750 watts of incandescent light. The proposed lighting levels or patterns are not specified in the application. The applicant will be asked to provide detail for the meeting.



The applicant may want to reconsider whether the large wallpacks are necessary along the south and west sides of the building, or if less intense fixtures would be sufficient. If the wallpacks are used there they should have a wide pattern (Type II) and be of the lowest wattage, where the fixtures on the north and east sides of the building should probably have a forward throw pattern.

### Neighborhood Compatibility, Setbacks and Buffers, Fencing and Height Requirements

There are no specified zoning setbacks or building height limits in this zone other than the buffer and fence requirement when to residential zoning. The storage yard borders residential zoning for much of its eastern boundary. Per the zoning code the buffer is to consist of a 15-foot wide landscaped strip on the commercially zoned property, and the fence is to be at least 6 feet high and "of sufficient density or construction that prevents visual contact from opposite sides." [see 10-10C-4, and related definitions]

In addition, the city nuisance ordinance has specific requirements for storage of wrecked vehicles that also requires "the area within which the vehicles are kept to be fenced on all sides, and the fence is to be a lawful six foot (6') fence or wall which complies with city ordinances, and which provides a solid visual screen."

In addition, the vehicles are to "be maintained and stored in an orderly manner which does not create fire hazard, does not otherwise create a risk to the health and safety of the public, and does not devalue or detract from the use or enjoyment of property in the

immediate vicinity.”

The applicant has recently installed a 6-foot chain link fence and began to install slats in it. Staff advised him prior to obtaining the fence permit that it was not clear that slats in a chain link fence met the screening requirements of the code and that the Planning and Zoning Board would be consulted on the question. Here are photos of a portion of the fence. While at one angle it provides good screening, at others not so much. A solid cedar or vinyl fence would clearly provide more screening, but are the slats sufficient for one or more sides?



The site plan does not show the required 15-foot buffer. The date the application was submitted did not allow time to process a special exemption to consider if the buffer could be altered or waived. Without an exemption, the requirement applies. If the applicant desires to modify or eliminate the 15-foot buffer requirement a special exemption would be necessary. It is recommended that the applicant discuss the situation with the affected neighbors.

Storm Water Plan:

A detailed storm water plan has been submitted. In summary, storm water is apparently planned to be collected from the roof and taken to two drainage swales, one at each end of the building.

The storm water plan needs amended to include the entire project area—it does not include the paved access road and the storage yard. Conceptually, the runoff from those areas can likely be retained by installing a swale/ditch and/or berm at the north end of the storage yard and being sure the grading works to get the water there. The

plan will also need to include gutters and piping to get the roof run off to the drainage swales.

To accommodate the applicant's tight time schedule for installing the building foundation, we would be okay authorizing concrete work (only) to occur prior to review and approval of an updated storm water plan.

### Snow Storage

The snow storage area is shown in the gravel area east of the building. This location will allow the snow to melt into the drainage swale, if graded properly.

### Utility Services

The building will utilize domestic water, power, gas, and sewer service. In order to maintain sufficient cover over the water line, it should be installed so it does not run underneath the drainage swale. Also, the gas line conflicts with a tree placement, so it should be shifted as well—it may also have a cover issue if run in under the swale, and may more easily be moved.

Utility fees will apply for connection to the water and sewer system, and will need to be paid at the time of the building permit.

A city overhead power line runs along the east side of the property, within a 10-foot wide utility easement. The storage yard will need to be organized in a way that the electric crew can access the poles in the event of needed maintenance or an emergency.

The source for electrical service (120/240 volt single phase) is a pad-mounted transformer located on the north side of the paved access road where it comes off of Blackburn Street. There is sufficient capacity to supply this building. The electrical contractor is responsible for providing and installing all service lateral material and equipment for the building.

### Electrical Service Comments:

- Minimum of 3" schedule 40 conduit buried at a depth of no less than 24". All conduit sweeps must be 36" radius.
- The City of Cody will connect the service lateral to the transformer once the permanent service is applied for and the service equipment has been inspected and approved.
- Temporary service can be supplied from the pad-mounted transformer or from the secondary pole that supplies the existing house east of the site. All material required for the temporary service will be provided and installed by the contractor.
- A utility easement must be provided for any portion of the service lateral that crosses property not owned by the developer

### Signs

Sign details are not included in the application. A separate application will be needed for staff review.

### Hydrant

The building relies on the fire hydrant directly across the street for fire protection.

### Frontage Status

The frontage of the property is not currently improved to full city street standards, lacking curb and gutter, sidewalk, and streetlights. As done for other recent projects on Blackburn Street, it is proposed that the frontage improvements not be installed at this time due to the lack of similar improvements to connect into. The property is already obligated to participate in any improvement district for their installation at such time the City determines improvements are necessary. The commitment is found in the subdivision plat from when the property was divided in 2009.

There is a wide area between the edge of Blackburn Street and the property line. The site plan indicates gravel extending to the street. The shoulder of Blackburn Street cannot contain round rock or decorative rock, but can be “freshened up with the appropriate kind of gravel. Coordinate details with Public Works through the encroachment permit process. All work within the city right-of-way requires an encroachment permit, including landscaping, grading, utility installation, and any other excavation.

### Garbage

The existing dumpster will be able to be moved from next to Blackburn Street to the north side of the access road—not the south side. It should be kept back at least 50 feet from Blackburn Street to help minimize its visibility.

### **ATTACHMENTS:**

Application materials.

### **ALTERNATIVES:**

Approve or deny the site plan with or without changes.

### **RECOMMENDATION:**

Provided, a plan for addressing all outstanding details is made, it is recommended that the Planning and Zoning Board approve the project subject to the following conditions:

1. Prior to issuance of a building permit, provide an updated site plan with the corrections noted in the staff report—water line location, gas line location, gutters and piping for roof runoff, additional parking space near office, radii on access road, details on type of gravel/rock for landscaping and along Blackburn Street, types of shrubs and trees, method of irrigation, dumpster location, and details of 15-foot buffer (unless modified or waived through the special exemption process).

2. Provided an updated storm water plan for review and approval by the City engineer. The plan must also include the area of the access road and the storage yard. No construction, other than installation of the building foundation and utilities, shall occur before the updated storm water plan is approved.
3. Any applicable city utility fees (water, sewer, electrical) are to be paid prior to building permit issuance—coordinate with Public Works.
4. All areas used for parking or active vehicle use must have a gravel surface, or better.
5. A street encroachment permit must be obtained for all work within the street right-of-way (e.g. utility connections).
6. Once constructed, the applicant's engineer is to certify that the storm water system was constructed as designed, or equivalent.
7. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
8. A building permit must be obtained within three years or this authorization will expire.
9. The authorized use of the project is for vehicle repair and a towing/storage yard. No wrecking, dismantling, crushing, recycling, or other junk yard activities shall occur.
10. (Any conditions relating to fencing?)
11. (Any conditions relating to lighting?)

# THE EAGLE RECOVERY SHOP

BY PRECISION PLAN AND DESIGN INC.



## OWNER INFORMATION

**OWNERS:** MIKE WOOD  
**MAILING ADDRESS:** 1320 32nd St. CODY, WYOMING 82414  
**PHONE:** 307.587.8697 | 307.899.3032  
**EMAIL:** eaglerecovery307@gmail.com  
**PROPERTY ADDRESS:** BLACKBURN CODY, WYOMING 82414  
**BUILDER:** TIM PORTER  
**MAILING ADDRESS:** CODY, WYOMING 82414  
**PHONE:** -  
**EMAIL:** -

## SHEET INDEX

- T1.0 TITLE SHEET
- C1.0 ARCHITECTURAL SITE PLAN
- C1.1 CIVIL - SITE DRAINAGE
- C1.2 CIVIL - SITE DETAILS
- A1.0 MAIN FLOOR PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- E1.0 ARCHITECTURAL ELECTRICAL PLAN

### PROJECT DATA

OCCUPANCY CLASSIFICATION:	B and S1
AREAS:	B 956 S.F. S1 3896 S.F.
TOTAL:	4852 S.F.
OCCUPANCY:	B 10 (100 gross) S1 19 (200 gross)
TOTAL:	29

### EXTERIOR COLORS

WALLS:	LIGHT GRAY
WINDOWS:	CHARCOAL
DOORS:	CHARCOAL
TRIM / FACIA:	CHARCOAL
GUTTERS:	CHARCOAL
METAL ROOF:	CHARCOAL

### PROJECT

EAGLE RECOVERY  
 Project Location:  
 BLACKBURN PLAZA  
 MINOR SUBDIVISION - LOT #4  
 Cody, Wyoming 82414

ARCHITECT:  
**KEITH PRYOR**  
 Cody, Wyoming 82414  
 (307) 899-5273

DRAFTING:  
**Precision Plan and Design, Inc.**  
 930 12th Street  
 Cody, Wyoming 82414  
 (307) 587-6227

STRUCTURAL ENGINEER:  
**Krivonen Associates, Inc.**  
 1004 Division St., 3rd Floor  
 Billings, MT 59101  
 (406) 259-1184

CIVIL ENGINEER:  
**Engineering Associates**  
 902 13th St.  
 Cody, WY 82414  
 (307)-587-4911  
 ELECTRICAL ENGINEER:  
**SIMPLICITY**  
 P.O. BOX 51272  
 Billings, MT 59105 - 1272  
 (406) 254-7157

### PLAN ABBREVIATIONS / SYMBOLS

SQ. FT. TYP.	SQUARE FEET TYPICAL
N.I.C.	NOT IN CONTRACT
O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED
FL.	FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
N.T.S	NOT TO SCALE
D.F.	DRINKING FOUNTAIN
P.T.	PRESSURE TREAT
O.C.	ON CENTER
T.B.D.	TO BE DETERMINED
MFG.	MANUFACTURED
SIM.	SIMILAR
F.E.	FIRE EXTINGUISHER
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	DETAIL/ENLARGED FLOOR PLAN/DRAWING
	DOOR TAG
	WINDOW TAG
	WALL TYPE TAG



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
 CODY, WYOMING 82414

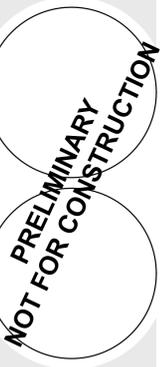
307.587.6227 | 307.272.5709

@PRECISIONPLANDESIGN@GMAIL.COM

MEMBER ILBA no. 1271

PROJECT LOCATION  
 CODY, WY

A NEW SHOP FOR:  
**EAGLE RECOVERY**  
 MIKE AND CARISA WOOD  
 1320 32ND ST.  
 CODY WYOMING 82414  
 307.587.8697  
 307.899.3032  
 eaglerecovery307@gmail.com



NOTE:  
 ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 10.31.18  
 REVISION: 3

PROJECT NO.  
**1596**

SHEET #  
**T1.0**  
 TITLE SHEET

NOTE:  
 CONTRACTOR MUST VERIFY ALL SIZES AND DIMENSIONS. PLANS ARE NOT ENGINEERED. FOR BEAM AND ALL STRUCTURAL MEMBER SIZES PLEASE CONSULT A STRUCTURAL ENGINEER. ALL SIZES SUBJECT TO CHANGER PER STRUCTURAL ENGINEER. ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.



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eaglerecovery307@gmail.com

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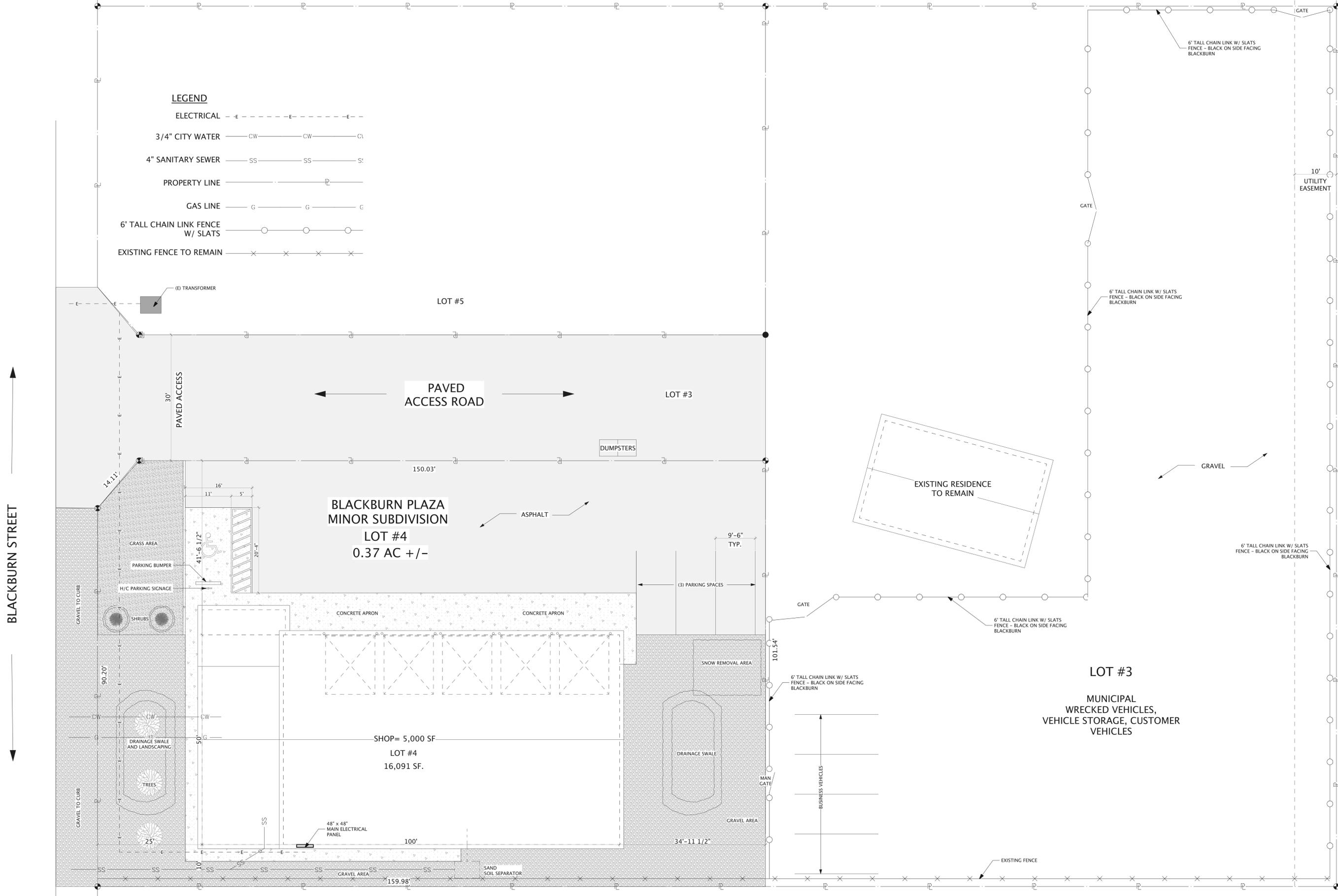
DATE: 10.31.18  
REVISION: 3

PROJECT NO.  
**1596**

SHEET #  
**C1.0**  
SITE PLAN

**LEGEND**

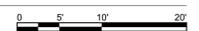
- ELECTRICAL - E - - - - E - - - - E - - - - E - - - -
- 3/4" CITY WATER - CW - - - - CW - - - - CW - - - -
- 4" SANITARY SEWER - SS - - - - SS - - - - SS - - - -
- PROPERTY LINE - P - - - - P - - - - P - - - -
- GAS LINE - G - - - - G - - - - G - - - -
- 6' TALL CHAIN LINK FENCE W/ SLATS - O - - - - O - - - - O - - - -
- EXISTING FENCE TO REMAIN - X - - - - X - - - - X - - - -



BLACKBURN STREET

1  
C1.0

**SITE PLAN**  
SCALE: 1" = 10'

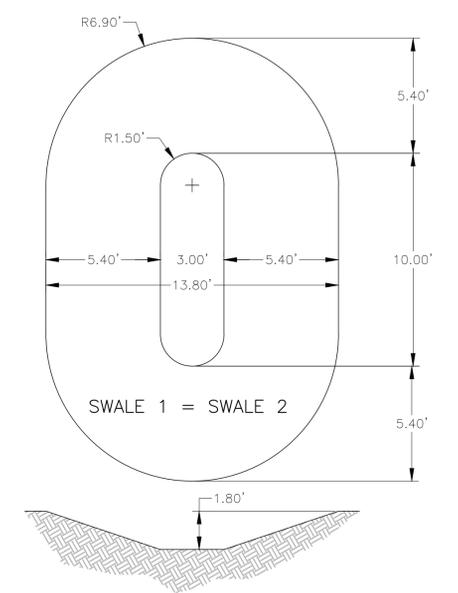


602 BLACKBURN STREET  
HARRY JACKSON STUDIOS

**LEGEND**

- ⊙ FOUND ALUMINUM CAP MONUMENT.
- SUBJECT PROPERTY LINE.
- OHP OVERHEAD ELECTRICAL LINE.
- TEL BURIED TELEPHONE LINE.
- P BURIED POWER
- TW BURIED TREATED WATER LINE.
- SA BURIED SANITARY SEWER LINE.
- G BURIED GAS LINE.
- F BURIED FIBER OPTIC
- EDGE OF ASPHALT SURFACE.
- EDGE OF GRAVEL
- x — x — x CHAIN LINK FENCE
- TW — TW — TW PROPOSED TREATED WATER SERVICE
- SA — SA — SA PROPOSED SANITARY SEWER SERVICE
- P — P — P PROPOSED POWER
- G — G — G PROPOSED GAS
- ST — ST — ST PROPOSED ROOF DOWN SPOT DRAIN
- PROPOSED BERM
- ▨ PROPOSED ASPHALT
- ▨ PROPOSED CONCRETE
- ▨ PROPOSED LAWN
- ▨ PROPOSED GRAVEL
- 3795 — 3794 MAJOR & MINOR CONTOUR LINES.
- PEDESTAL; TRANSFORMER.
- ▶ DIRECTIONAL FLOW.
- POWER POLE.
- ⊥ UTILITY PIPE LINE VALVES.
- ⊙ EX. MANHOLE AS NOTED
- ⊕ FIRE HYDRANT
- ⊠ POWER TRANSFORMER
- ⊙ PROPOSED SEWER CLEAN OUT
- ← OVERLOT RUNOFF
- + 4958.20 PROPOSED FINISHED GRADE

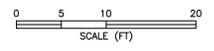
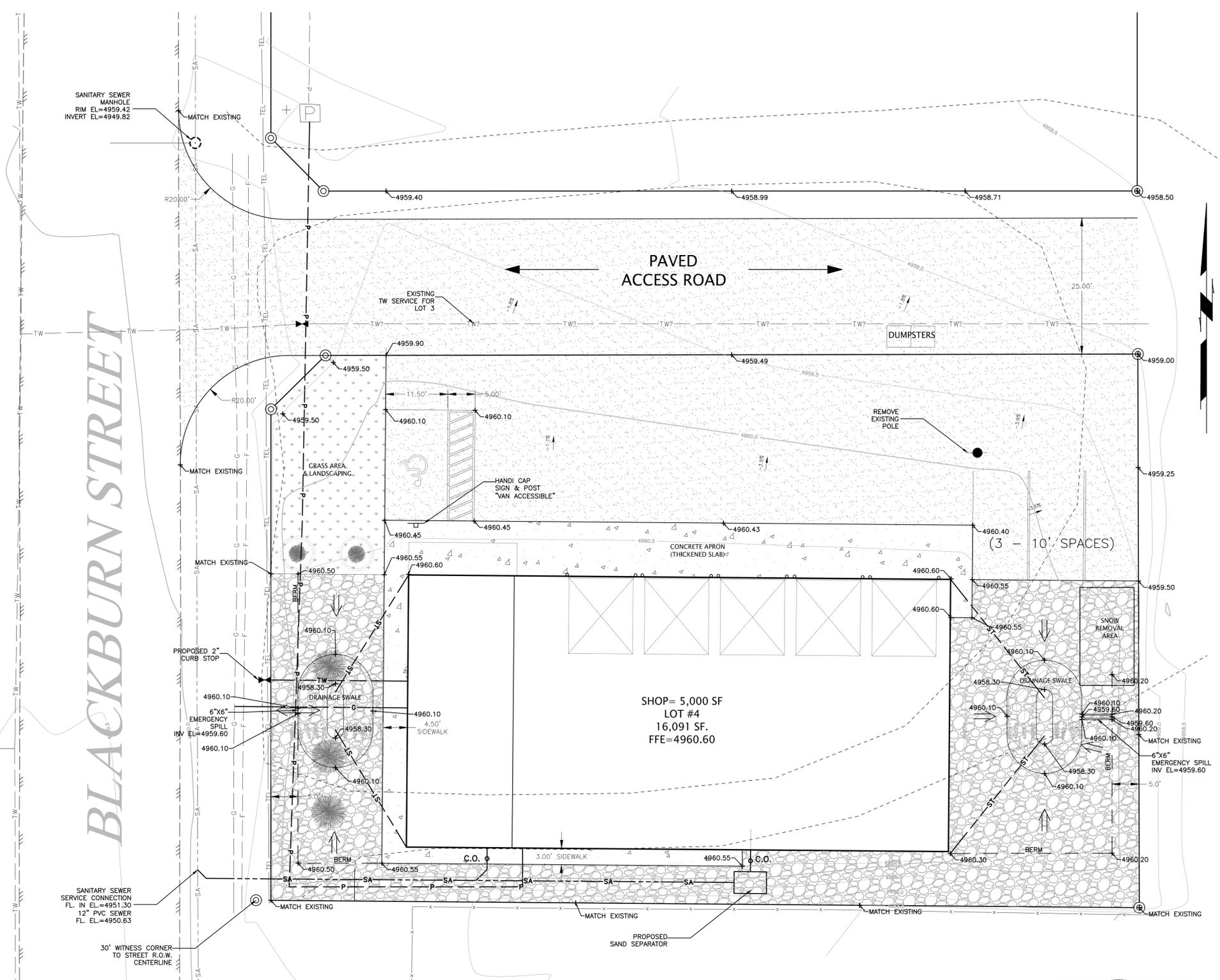
**PARKING:**  
 3 - 10' X 20' SPACES  
 1 - 11.5' X 20' HANDICAP SPACES  
 4 - TOTAL SPACES



**DRAINAGE SWALE LAYOUT**

NOT TO SCALE

NOTE: SEE PLAN FOR DESIGN ELEVATIONS AND EMERGENCY SPILL LOCATION



NOTE: ALL CONSTRUCTION WORK TO BE DONE IN ACCORDANCE TO CITY OF CODY STANDARDS AND WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.

DATE	DRAWING LOG	BY	CHECKED	APPROVED
10/29/18	EDITS	IKSM	RAO	
10/26/18	ORIGINAL DRAWING	IKSM	RAO	RAO

DRAWN BY: IKSM  
 JOB NO. 18101  
 FIELD BOOK NO. 500  
 DRAWING NO. BASE



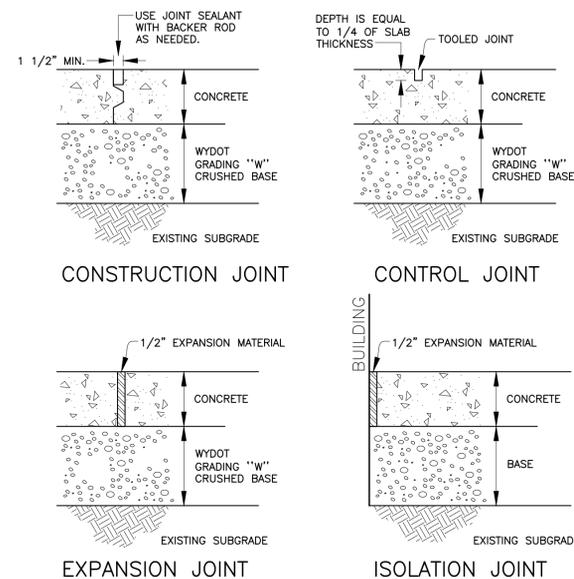
ENGINEERING ASSOCIATES - CODY, WYOMING  
 CONSULTING ENGINEERS & SURVEYORS

OWNER: EAGLE RECOVERY

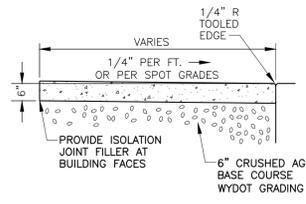
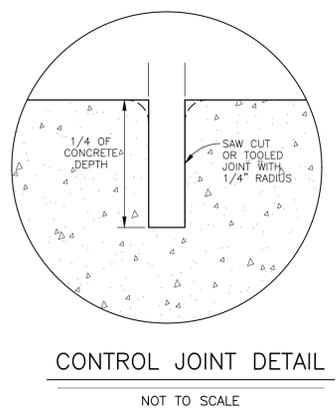
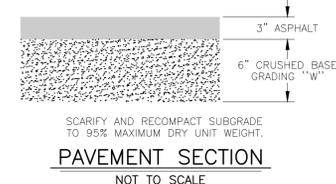
PROJECT: EAGLE RECOVERY SHOP  
 TITLE: SITE GRADING PLAN

C1.1  
 SHEET 1 OF 2

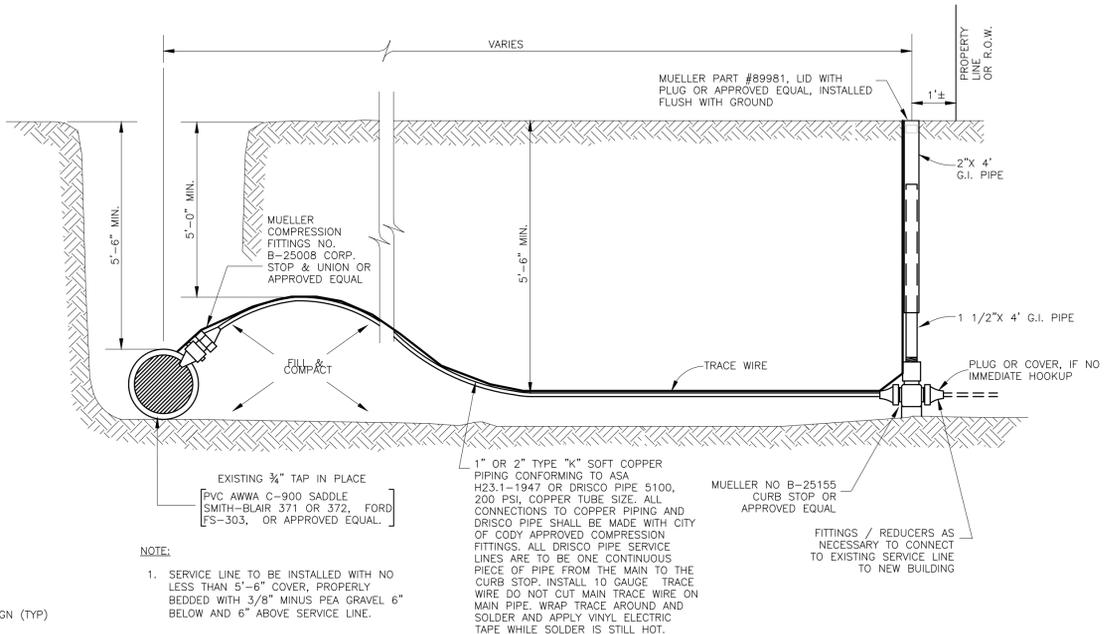
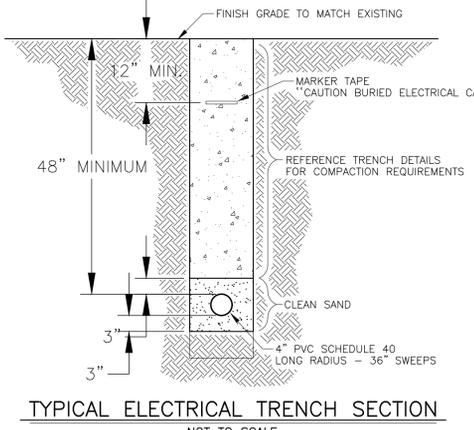
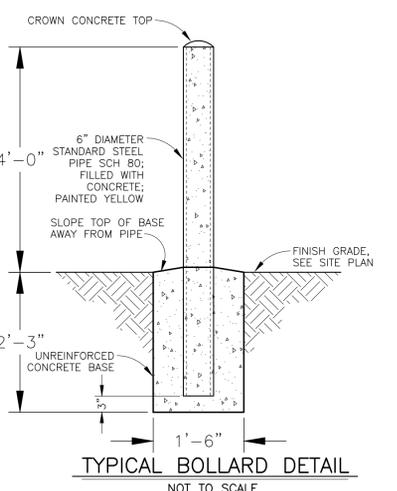
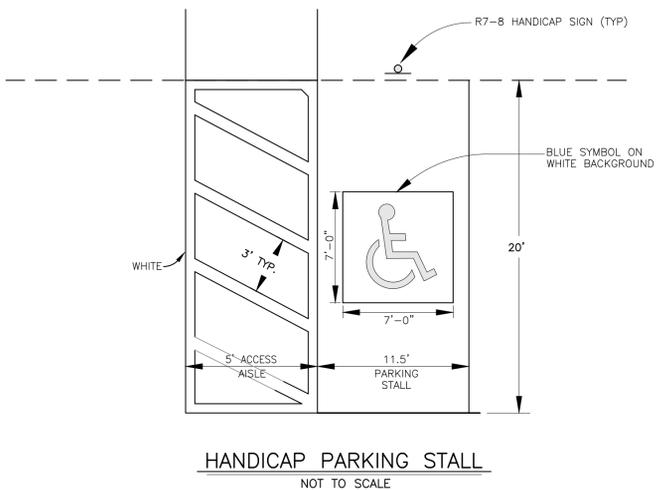
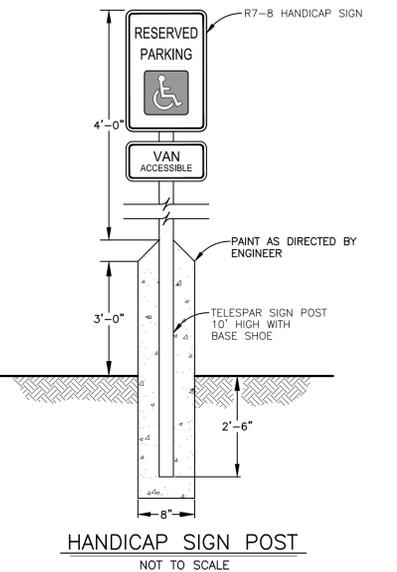
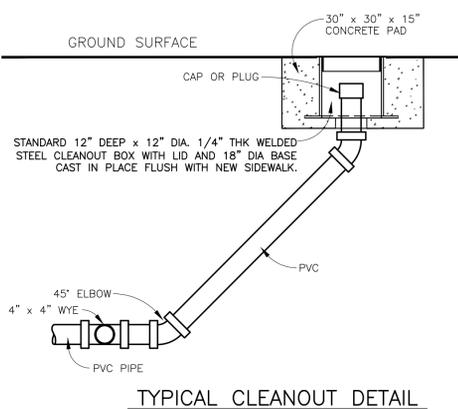
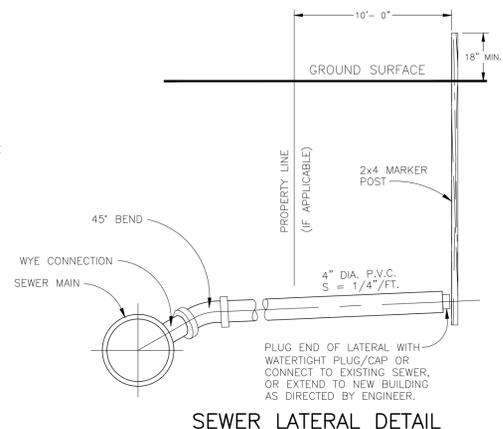
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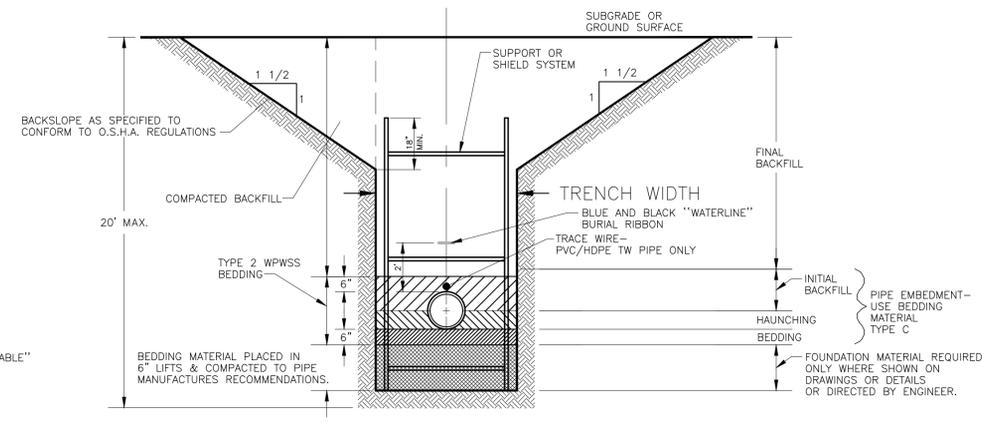
**CONCRETE JOINT DETAILS - SIDEWALK**  
 NOT TO SCALE



- NOTE: 1. SUBGRADE COMPACTION SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02231  
 2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AS APPROPRIATE TO PROVIDE SEPARATION. CONTRACTION JOINTS SHALL COMPLY WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02520  
 3. NO SIDEWALK SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.  
 4. JOINTS SHALL HAVE A MAXIMUM SPACING EQUAL TO SIDEWALK WIDTH.
- \*CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING, A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.



- NOTE: 1. SERVICE LINE TO BE INSTALLED WITH NO LESS THAN 5'-6" COVER, PROPERLY BEDDED WITH 3/8" MINUS PEA GRAVEL 6" BELOW AND 6" ABOVE SERVICE LINE.
- NOTE: 1) INSTALL TRACE WIRE WITH ALL SERVICE LINES. CONNECT THE SERVICE TRACE WIRE TO THE TRACE WIRE ALONG THE TW MAIN AND TERMINATE AT THE GROUND SURFACE, ON THE OUTSIDE OF THE CURB STOP BOX.



- NOTE: ALL WORK IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARDS - LATEST EDITION.
- NOTE: TYPE C BEDDING; WELL GRADED MATERIAL WITH MAXIMUM SIZE OF 1-INCH, 0-10% PASSING NO. 4 SIEVE. AT LEAST 50% OF AGGREGATE SHALL HAVE MINIMUM ONE FRACTURED FACE.



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10/29/18	EDITS	JKSM	RAO		JOB NO. 18101
10/26/18	ORIGINAL DRAWING	JKSM	RAO		FIELD BOOK NO. 500
					DRAWING NO. BASE

**ENGINEERING ASSOCIATES - CODY, WYOMING**  
 CONSULTING ENGINEERS & SURVEYORS

OWNER: **EAGLE RECOVERY**

PROJECT: **EAGLE RECOVERY SHOP**  
 TITLE: **SITE GRADING PLAN**

C1.2  
 SHEET 2 OF 2



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MEMBER ILBA no. 1271

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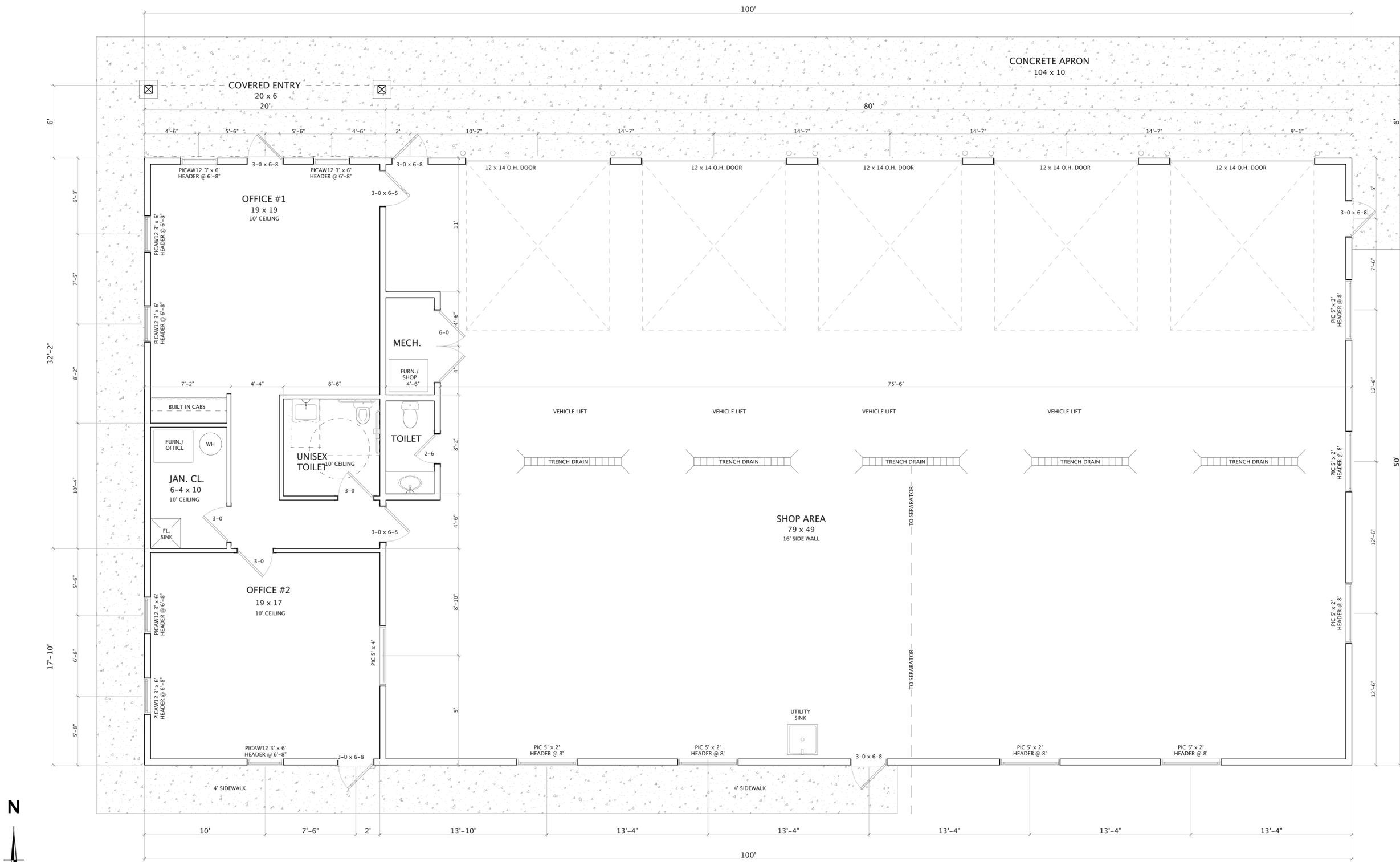
**PRELIMINARY  
NOT FOR CONSTRUCTION**

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DATE: 10.31.18  
REVISION: 3

PROJECT NO.  
**1596**

SHEET #  
**A1.0**  
MAIN FLOOR



**1**  
A1.0 **MAIN FLOOR PLAN = 5,000 SQ. FT.**  
SCALE: 1/4" = 1'-0"





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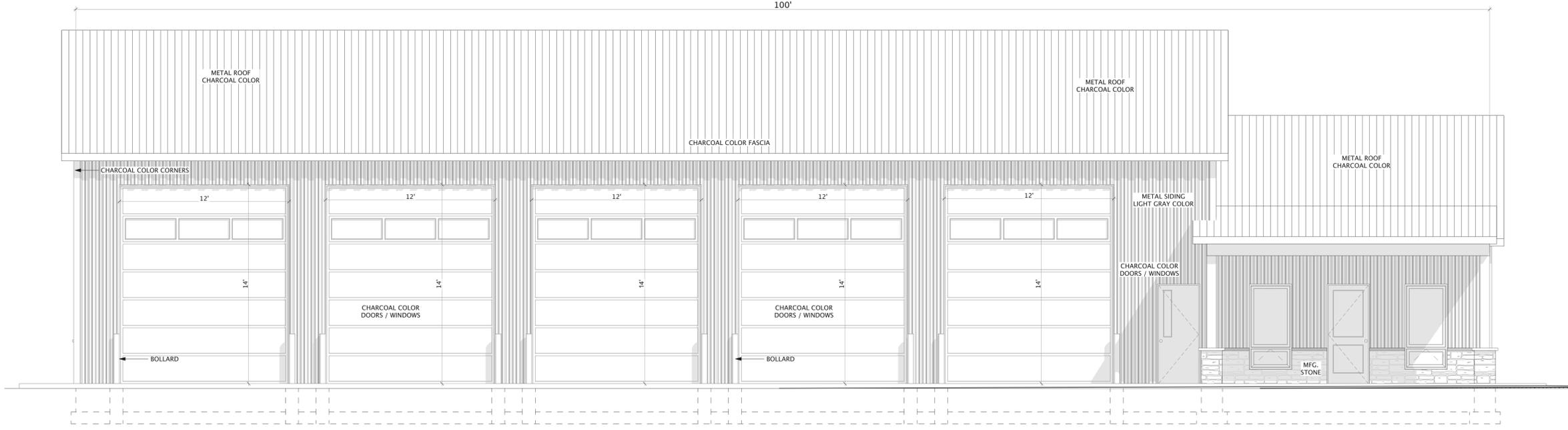
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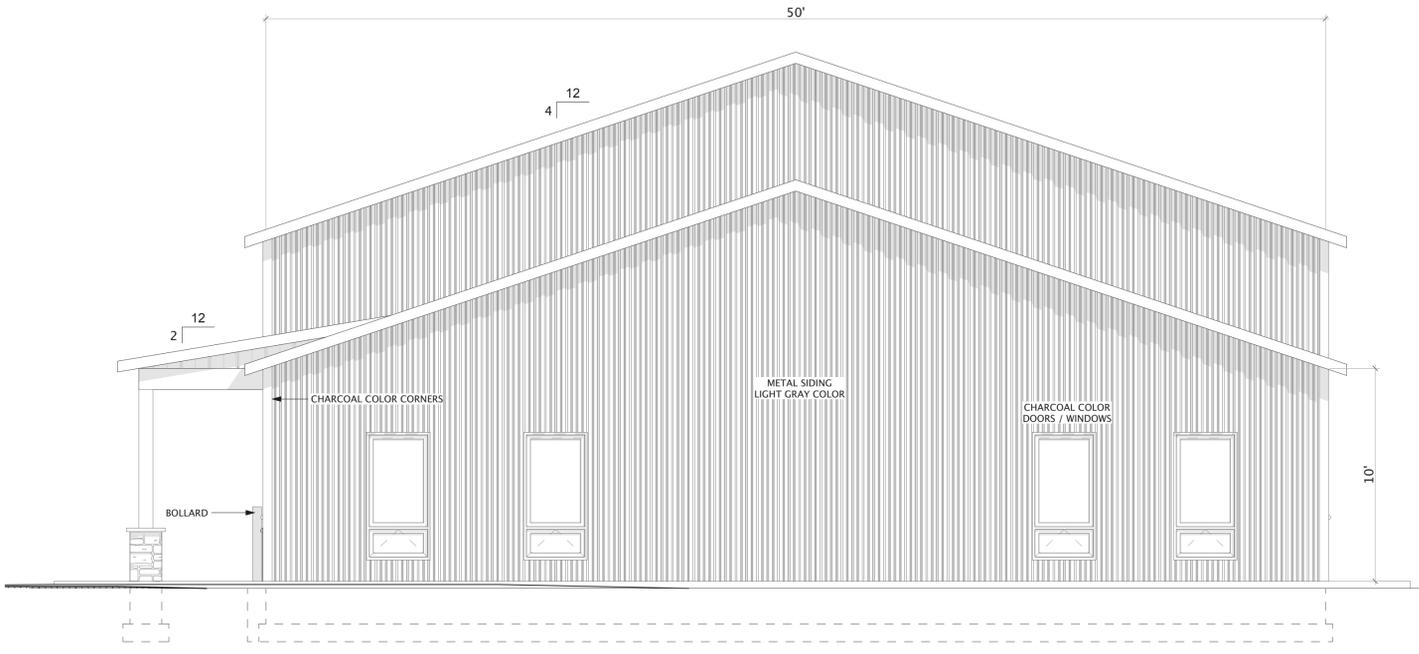
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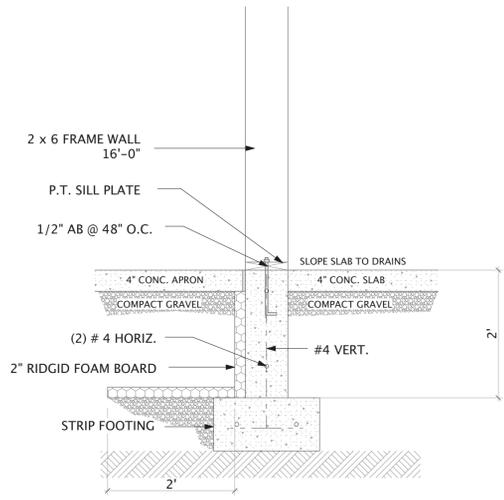
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1 NORTH ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



FOUNDATION DETAIL  
SCALE 3/4" = 1'-0"

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SHEET #  
**A2.0**  
EXT. ELEV.



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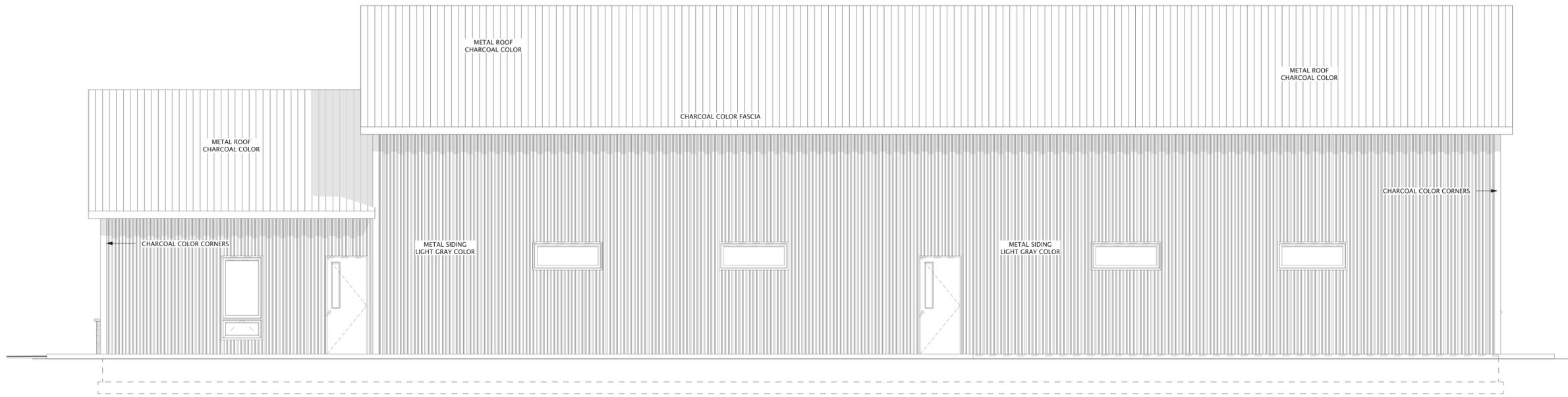
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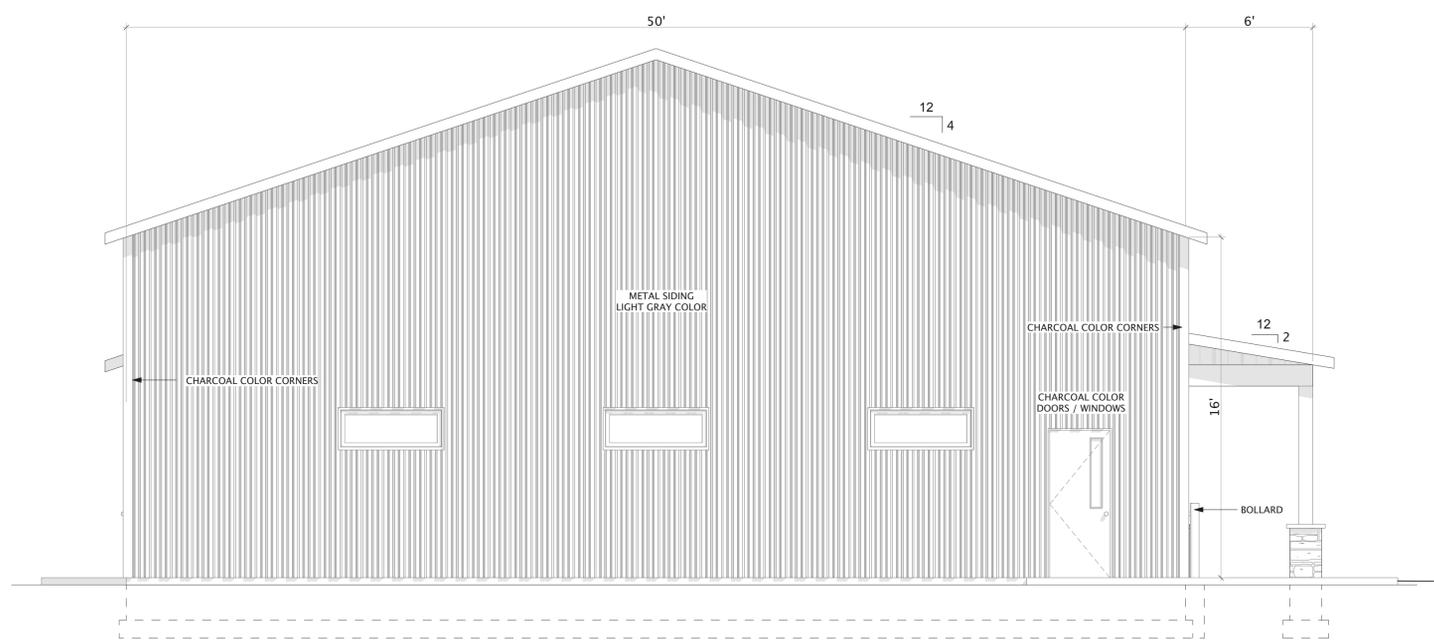
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PROJECT NO.  
**1596**

SHEET #  
**A2.1**  
EXT. ELEV.



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



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MEMBER I.L.B.A. no. 1271

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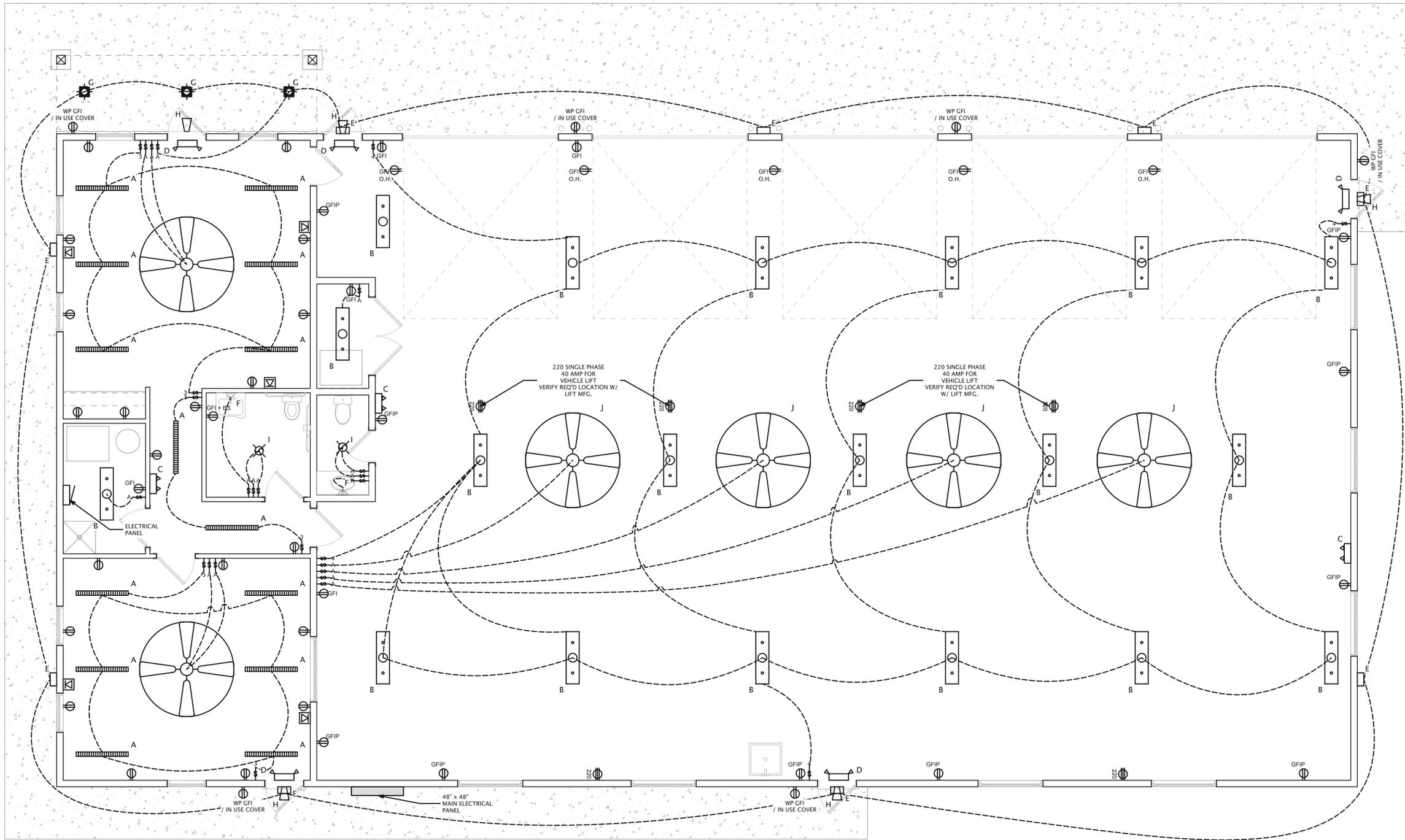
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REVISION: 3

PROJECT NO.  
**1596**

SHEET #  
**E1.0**  
MAIN ELEC.



### LIGHT FIXTURE SCHEDULE

LETTER DESIG.	FIXTURE		LOCATION	TYPE	LAMP		NOTES
	MANUFACTURER	CATALOG NO.			TYPE	NO.	
A	LITHONIA	WL4	CEILING	SURFACE	LED 48W	2	A
B	LITHONIA	MSL 8000LM L/LV MVOLT GZ10 40K 80CRI WH	CEILING	SUSPENDED	LED 48W	4	B
C	LITHONIA	ELM2 LED	WALL	SURFACE	LED		
D	LITHONIA	LHQM LED	WALL	SURFACE	LED 20WA		
E	LITHONIA	CSXW LED 30C 700 40K T3M MVOLT DBLXD	WALL	SURFACE	LED		
F	LITHONIA	MWVC3 BNP W/ SHADES	WALL	SCONCE	LED 20WA	3	D
G	LITHONIA	REAL6D6BNESL600L30K.60SC120V	SOFFIT	SURFACE	LED		
H	LITHONIA	AFN	WALL	CAN	LED 20WA		
I	T.B.D.	T.B.D.	CEILING	SURFACE EXHAUST FAN	LED		C
J	T.B.D.	T.B.D.	CEILING	SUSPENDED FAN			E

- NOTES:
- A - PROVIDE 2 STEP DIMING
  - B - SUSPEND AT EVEN HEIGHT NEAR CEILING OUT OF WAY OF O.H. DOOR TRACK
  - C - SWITCH FAN & LIGHT SEP. FAN ON TIMER
  - D - SHADE STYLE / COLOR TO BE OWNER SELECTED
  - E - WITH REOSTAT

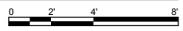
#### ELECTRICAL NOTES:

- ALL STANDARD OUTLETS MUST BE ARC FAULT BREAKER PROTECTED.
- MAX SPACING FOR OUTLETS 12'
- ALL EXTERIOR OUTLETS MUST BE WEATHER PROOF WITH WEATHER PROOF IN USE COVER.

### 1 ELECTRICAL PLAN

E1.0

SCALE: 1/4" = 1'-0"



#### ELECTRICAL NOTES:

- (4) CEILING FANS IN SHOP
- (4) VEHICAL LIFTS 220 SINGLE PHASE 40 AMP
- (2) 220 SINGLE PHASE 50 AMP
- NATURAL GAS FORCED AIR FURNACE FOR SHOP
- NATURAL GAS FORCED AIR & COOLING FURNACE FOR OFFICE

#### SYMBOL LIST

