

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, SEPTEMBER 12, 2017
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

1. Call to Order by Steve Miller, Chairman
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the August 22, 2017 regular meeting.
6. NEW BUSINESS:
 - A. Downtown Sign Plan Review for the Fraternal Order of Eagles Aerie #818, located at 1001 13th Street, for a lighted message board.
 - B. Public Hearing: Conditional Use Permit for T-Mobile West, LLC to install a wireless communications facility on the Riley Arena, at 1400 Heart Mountain Street.
 - C. Conditional Use Permit for T-Mobile West LLC, to install a new wireless communications facility on the Riley Arena, located at 1400 Heart Mountain Street.
 - D. Commercial Site Plan Review for Valor Healthcare, to remodel 60% of the existing metal building for the Veteran's Administration Medical Services Center, located at 1432 Rumsey Ave.
7. P&Z Board Matters (announcements, comments, etc.).
8. Council Update:
9. Staff Items:
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, August 22, 2017

A meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, August 22, 2017 at 12:00 pm.

Present: Steve Miller, Chairman; Heidi Rasmussen, Kayl Mitchell, Heidi Rasmussen, Richard Jones, Buzzy Hassrick, Reese Graham, Glenn A. Nielsen, Council Liaison; Sandra Kitchen, City Deputy Attorney; Todd Stowell, City Planner; Bernie Butler, Administrative Assistant.

Absent: Curt Dansie

Chairman Steve Miller, called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Heidi Rasmussen made a motion, seconded by Reese Graham, to approve the agenda for August 22, 2017, with corrections. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Reese Graham, to approve the minutes for the August 8, 2017 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

A. Todd Stowell presented a Minor Site Plan / Downtown Architectural District review for an addition to 1502 Beck Avenue. The applicant clarified the proposed roofing and siding materials (galvalume roof, board and batten style metal siding) and committed to roofing to the valley/eave now and reroofing the rest of the building next summer. He also plans to re-side the entire building in the next couple years with the proposed metal siding.

Richard Jones made a motion, seconded by Heidi Rasmussen. to approve the addition at 1502 Beck Avenue with the following conditions:

1. The siding of the addition must match the style and color of the rest of the house.
2. Coordinate modifications to the utility services with the applicable utility providers.
3. Compliance with applicable building, fire, and electrical codes.

Vote on the motion was unanimous, motion carried.

P & Z Board Matters – none

Council Updates – none

Staff Items – none

Heidi Rasmussen made a motion, seconded by Reese Graham, to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairman Miller adjourned the meeting at 12:17 p.m.

Bernie Butler, Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 12, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	EAGLES LODGE READER BOARD SIGN: DOWNTOWN ARCHITECTURAL DISTRICT REVIEW. SGN 2017-18	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Terry Williams, representing Eagles Lodge #818 located at 1001 13th Street, has submitted an application to install 4-foot by 8-foot reader board on the property. The sign would be placed either at the corner of 13th Street and Rumsey, or on a curb near the southeast corner of the building (replace section of chain link fence). The sign and the two possible locations are shown below.



Sign with lighting off:



Possible Locations:

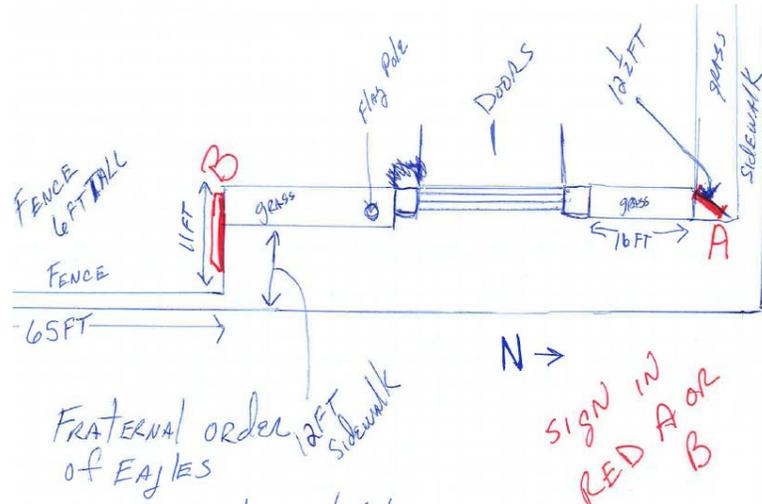


Lighting on:



REVIEW CRITERIA:

The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection 9-2-2(B), "The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.



The signs must also comply with applicable provisions of the sign code.

STAFF COMMENTS:

The sign will be entirely on the applicant's property (no right-of-way encroachment), which property is located in the downtown architectural district and D-2 sign district. The D-2 sign district allows the size and height of sign proposed. While the appearance may not be suitable for main street, the property is on a side street and either requested location does not affect the architectural components of the building itself.

For illumination, the sign contains four light bulbs above the message area, which are behind yellow plastic covers.

The use of the message board is limited on "on-premise" advertising, meaning only events and products at the Eagles Lodge may be advertised.

It is also noted that the temporary banner seen in the first photo is nearing the end of its allowed 120-day permissible display. Staff does not know what the plan for that sign is, but it will need to go away in about another month.

ALTERNATIVES:

As the sign meets minimum standards, approve the sign, with or without making recommendations and suggestions.

RECOMMENDATION:

Approve the reader board as presented, subject to compliance with the on-premise advertising limitation.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	SEPTEMBER 12, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	CONDITIONAL USE REQUEST BY T-MOBILE FOR A WIRELESS COMMUNICATIONS FACILITY AT THE RILEY ARENA. CUP 2017-10	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT SUMMARY:

T-Mobile West, LLC, represented by Synergy Development Services, has submitted a Conditional Use application to install a wireless communications facility on the Riley Arena property, located at 1400 Heart Mountain Street. The proposal includes eight, 8-foot tall panel antennas, with two antennas per sector (directional area).

Three of the four sectors would be installed on the side of the Riley Arena building and painted to match the wall on which they are mounted. At those three locations, a “sled” frame would sit on the rooftop behind the antennas, on which remote radio units, cable junction boxes, and other ancillary equipment would be located. The equipment on these sleds would be located two feet from the edge of the building, and extend about 2 ½ feet above the parapet wall. The fourth sector is entirely sled mounted, with the antenna extending twelve feet above the parapet wall and setback 24 feet from the south and east walls of the building.

An additional equipment platform would be installed at ground level near the southwest corner of the building. The platform would measure 8’ by 12’ and the equipment would be covered with a single-slope roof that would extend to a height of 12 feet above the ground at its peak. The cables running between the equipment platform and the four sectors will be enclosed within a cable tray as they run up the wall from the platform. The cable tray would be painted to match the wall on which it is mounted. Refer to the attached plans for additional details.





REVIEW PROCEDURE:

The property is located in the General Business (D-2) zoning district. Wireless communication facilities are subject to the City's wireless communications ordinance found in 10-11-2(W). The level of review (permitted, conditional, not permitted) is based on the characteristics of the facility and zoning. The proposed wall mounted antenna panels may or may not be classified as a permitted use in the D-2 zone—permitted if architecturally integrated into an existing building or structure that was not originally constructed as an antenna support structure, and total height is not more than forty feet (40'), and conditional use if not. However, the roof-mounted antennas are clearly classified as conditional uses due to the total height (>40') and lack of architectural screening or other qualifying stealth methods. As part of the proposal is clearly subject to conditional use review, the entire project is included. The applicable standards of 10-11-2(W) are reviewed below, with staff comments. Following those standards is an analysis of the conditional use criteria.

Notice of the public hearing for the conditional use review was provided as required, at least 10 days prior to the meeting by publication in the Cody Enterprise (August 31, 2017) and by mail to neighboring property owners within 225 feet (August 24, 2017).

REVIEW CRITERIA:

The standards are listed below with staff comment. Only applicable portions of the wireless communications ordinance are listed. Some portions of the ordinance are not applicable because no new tower is proposed.

For the roof-top sector only:

(A) Setback: Antennas shall be mounted at least ten feet (10') from the closest exterior or parapet wall of a building or structure.

Comment: Met. 24' setback provided.

(B) Height: The height shall be measured from the top of the antenna to the roofline of the building or structure, or to the top elevation of the closest perimeter parapet wall if

a parapet wall exists. The maximum height of the antenna is equal to half ($1/2$) the distance the antenna is set back from such exterior wall or parapet wall, up to a maximum allowable height of twelve feet (12').

Comment: Met. 12' height at 24' setback.

(C) Roof Mounted Antennas: Roof mounted antennas shall be constructed and/or colored to either appear white, light grey, or match the color of the wall above which they are located.

Comment: Discussed with applicant, but not clearly indicated on plans. Ask applicant for verification and/or include as condition.

6. General Standards:

The following regulations apply to all wireless communication facilities in all zones and overlays. (Only applicable included.)

- a. Color: WCFs shall be placed and colored to blend into the architectural detail and coloring of the host structure. Support towers shall be painted a color that best allows it to blend into the surroundings.

Comment: The wall mounted fixtures are proposed to be painted to match the color of the wall. The rooftop equipment and support structures could be required to be painted a single color such as off-white or grey to help blend the accessory components and so that there are not color variations.

- b. Building Codes; Safety Standards: To ensure the structural integrity of towers, the owner of a tower shall ensure that it is maintained in compliance with standards contained in applicable State or Local building codes and the applicable industry standards for towers, as amended from time to time.

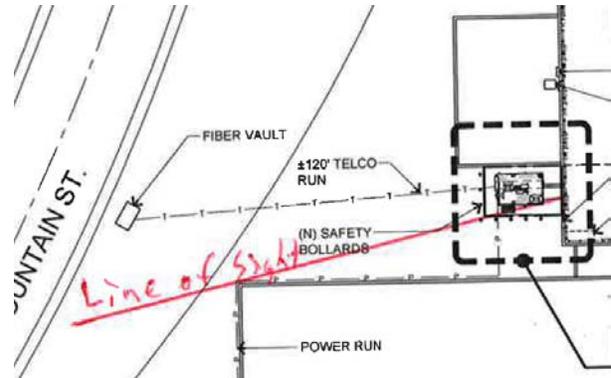
Comment: Not applicable—no new tower.

- c. Notice: For purposes of this chapter, any conditional use permit shall require notice to all property owners within a radius of the subject property equal to five (5) times the total height of the facility above existing grade, in addition to any notice otherwise required by this Code.

Comment: Met. Notice radius was 225' (5 times the 45' total height).

- d. Landscaping, Screening and Fencing: Applicant shall provide a landscaping, screening and fencing plan that shall meet with the approval of the reviewing official.

Comment: The proposal is to fence the ground equipment platform with a slatted chain link fence. Based on neighbor comments about the overall appearance of the west end of the Riley Arena property, staff is recommending an alternative to better screen the ground equipment area. Staff recommends an 8-foot tall masonry wall on the west end of the equipment platform of the same block as the Riley Arena building. This method is used for the adjacent aquatic center to screen pumps and HVAC equipment and would appear as a natural part of the original building. Below is a photo of the method and colors recommended. The extent of the wall does not need to be the same as the fence would have been, but could simply extend from the wall at the northwest corner of the ground lease area to a point that the line of sight between the masonry wall and the northwest corner of the recreation center building blocks the ground equipment (approx. 10'). Whether the screen wall is the responsibility of T-Mobile or the Riley Arena, we will let them negotiate.



Example wall screen:



Ground equipment area, alcove on right:



- g. Lighting and Signage: Only security lighting or lighting required by a State and/or Federal agency is allowed, and provided the location of the lighting fixture together with its cut-off angle shall be such that it does not shine directly on any public right-of-way or any residential premises. The only signage that is permitted is that which is required by State or Federal law.

Comment: There are two LED security/work lights mounted under the roof of the equipment shelter. Staff will verify they do not create any glare issues. Only required warning signs (labels) are proposed.

- j. Health Issues: Every wireless communication facility shall meet health and safety standards for RF emissions as established by the Federal Communications Commission. Certification by a qualified Wyoming licensed engineer shall be submitted to verify such.

Comment: Certification will need to occur once it is operational. Include as condition.

CONDITIONAL USE CRITERIA:

The conditional use standards of review are found in Section 10-14-1(D) of the City of Cody Code, and are listed below, with staff comments provided. The Board has authority to approve, impose conditions on, or deny conditional use applications. The Board is to base its determination upon the following considerations.

1. *Is the site large enough to accommodate the proposed use and meet all of the dimensional standards and development regulations of the zoning district in which the project is located?*

Comment: Yes, the proposal complies with the dimensional standards of the zoning ordinance, including height, building setbacks, lot size, lot coverage, and parking.

2. *Is the use, at the scale or density proposed, compatible with all other uses in the immediate area and with permitted uses that may be established in the area?*

Comment: The question of compatibility with other uses in the immediate area is the crux of the conditional use review process. Neighbor comment is often an indicator of compatibility, and also serves to identify specific issues that may need mitigated.

Notice was sent to 28 neighboring property owners. As of the time of the staff report, two neighbors have submitted written comments—see attached. Both comments indicate objection; however, both noted that they do not object to the antenna, but to the visual impacts of the ground equipment. The objection to the ground equipment appears to be a combination of lack of screening and the cumulative “clutter” that is occurring at the west end of the Riley Arena property. Some of that clutter is temporary, while some is permanent in nature. Staff will be talking further to the Riley Arena about their situation and the City is having internal conversations about screening the Union Wireless ground equipment area. The wall screening mentioned earlier will prevent the current proposal from significantly adding to the “clutter” situation.

The map indicates the location of the responses. Comments at the public hearing will also need to be considered.

- 3. Does the proposed use involve activities, processes, materials, equipment, hours of operation, or any other operational characteristics that would be materially detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, dust, glare, odors, hazards, or similar impacts?*



Comment: The ground equipment drawings show an emergency generator receptacle and 100-gallon propane tank, but no generator. If a generator is proposed, the applicant should provide details. In addition, depending on the sound levels, the generator should be required to have a sound reduction package and regular testing/maintenance of the generator should be limited to 8 a.m. to 6 p.m.

Provided generator noise is managed and lighting impacts are prevented, no similar issues are expected.

- 4. Does the proposal include provisions for necessary and desired public utilities and facilities such as potable water, fire hydrants, sewer, electrical power, streets, storm water facilities, and sidewalks/pathways?*

Comment: Necessary facilities are in place, or will be provided as part of the project (fiber and electric). Two options for electrical service are available, which options the applicant is considering and working with the City Electric division.

- 5. Will the proposed use create excessive additional costs for public facilities and services that would be materially detrimental to the economic welfare of the community?*

Comment: No such additional costs are anticipated.

- 6. Will the proposed use result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of significant importance?*

Comment: No such features exist on or immediately near the property.

- 7. Is the proposed use consistent with the applicable provisions of the Cody Master Plan?*

The master plan does not address wireless communication facilities.

Other:

1. The property is subject to a deed restriction that imposes a 50-foot height restriction, which restriction is acknowledged and met with the proposal.
2. The property is owned by the City and leased to the Park County Arena Board (Riley Arena). The lease agreement has been amended by the City Council to authorize the sublease to T-Mobile West, LLC.

ATTACHMENTS:

Application materials, neighbor comments.

ALTERNATIVES:

Approve, deny, or approve with conditions.

RECOMMENDATION:

(Note: Comments from the public hearing also need to be considered.)

It is recommended that the Planning and Zoning Board approve the conditional use permit subject to the following conditions:

1. All roof-top equipment and support structures must be painted off-white or light grey.
2. All wall-mounted equipment and support structures must be painted the color of the portion of the wall on which they are located.
3. The vertical run of wire near the ground equipment must be enclosed within a solid chase (e.g. sheet metal).
4. Provide an 8-foot tall masonry wall to screen the ground equipment area from public view (see line of sight drawing). The wall must be of the same color and material as the screened area at the aquatic center (see photo).
5. (If/As applicable) The generator must contain a sound reduction package and regular maintenance/testing of the generator is limited to between 8 a.m. and 6 p.m.
6. Within five days of operation, provide certification from a qualified Wyoming licensed engineer that the wireless communication facility meets health and safety standards for RF emissions as established by the Federal Communications Commission. If certification is not provided as stated, the facility shall immediately be shut down until certification occurs.
7. The facility must otherwise comply with the application materials, meet the requirements of the wireless communication facility ordinance, and comply with applicable building, fire, and electrical codes.

Conditional Use Permit Narrative:

T-Mobile Wireless Communications Facility Proposal on the Riley Arena Rooftop

T-Mobile proposes a new wireless communications facility on the Riley Arena building rooftop. This project will consist of the installation of eight 8' panel antennas, separated into 4 antenna sectors with 2 antennas per sector. Three of the four sectors will be flush-mounted to the side of the building and painted to match the existing building color in order to pursue a minimally invasive stealth design. Flush-mounting the antennas at the fourth sector is not possible due to building obstructions in the path of radio frequency propagation; therefore, this sector is to be mounted on a "sled" sector frame in a manner in accordance with local zoning requirements. There will also be smaller equipment sled frames on the roof at the other three flush-mounted antenna sectors to accommodate the installation of remote radio units, cable junction boxes and any other ancillary equipment. All rooftop equipment visible to the public will be painted white, light grey or to match the nearest building color.

On the ground, T-Mobile proposes to install an 8'x12' equipment platform with a canopy, within an approximately 20.5' x 13' x 6' fenced area. The fence will include "privacy slats" to minimize the visibility of the equipment area. The equipment location will be an area of the building not accessed by, and minimally visible to the public. All cables leaving the equipment area and mounted vertically along the side of the building will be placed within a cable tray and painted to match.

This wireless communications facility was proposed in the spirit of "collocating", or locating a new site in an area with other existing telecommunications facilities, such as there are on the adjacent Cody Recreation Center building. The design of this new facility is proposed in a manner in accordance to the City of Cody's wireless ordinance, and is as minimally invasive to the existing building and property, as well as public view aesthetics as possible.

The purpose of this facility is to provide residents and visitors of Cody another choice in high-quality cellular service, with an emphasis on serving the highly-trafficked downtown area.

Notice to Owners of Neighboring Properties:

Please return this letter by Sept. 4, 2017 to:

Date: August 24, 2017

Cody City Planner
P.O. Box 2200
Cody, WY 82414

RE: **REQUEST FOR CONDITIONAL USE PERMIT**

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant Name(s): T-Mobile West, LLC

Address or Location/Legal Description: 1400 Heart Mountain Street, Cody. (Riley Arena)

Description of Request: T-Mobile proposes to install a new wireless communications facility on the Riley Arena building. The site will include (8) 8' panel antenna, (8) remote radio units, and other ancillary radio equipment on the rooftop, along with an 8' x 12' equipment platform on the ground to the west of the building, surrounded by a 6' fence. The design of the new facility is proposed in accordance to the City of Cody's wireless ordinance, and is minimally invasive to the existing building and property, as well as public view aesthetics as possible. The application can be seen at City hall. This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, September 12, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Carolyn Sharp and I am familiar with the proposal by T-Mobile West, LLC
(Printed name)

for the conditional use request described above.

I have NO OBJECTION to the Conditional Use.

Name: _____

Address: _____

Comments: _____

I OBJECT to the Special Exemption Request:

Name: Carolyn Sharp

Address: 1308 Horse shoe Dr. Cody

Reason for Objection: I don't object to the towers - but I do have an objection to the fencing. It is beginning to look like a junk yard and storage area for many things. I would like to see a wooden 6ft fence around the proposed area. I believe this is necessary for security, safety and cleanliness of the area. We

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

should not have to look at garbage bins - metal objects - and garbage in general. Also many storage buildings have come and I don't think this is good for property owners.

Notice to Owners of Neighboring Properties:

Please return this letter by Sept. 4, 2017 to:

Date: August 24, 2017

Cody City Planner
P.O. Box 2200
Cody, WY 82414

RE: **REQUEST FOR CONDITIONAL USE PERMIT**

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant Name(s): T-Mobile West, LLC

Address or Location/Legal Description: 1400 Heart Mountain Street, Cody. (Riley Arena)

Description of Request: T-Mobile proposes to install a new wireless communications facility on the Riley Arena building. The site will include (8) 8' panel antenna, (8) remote radio units, and other ancillary radio equipment on the rooftop, along with an 8' x 12' equipment platform on the ground to the west of the building, surrounded by a 6' fence. The design of the new facility is proposed in accordance to the City of Cody's wireless ordinance, and is minimally invasive to the existing building and property, as well as public view aesthetics as possible. The application can be seen at City hall. This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, September 12, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is STANLEY WOIZ and I am familiar with the proposal by T-Mobile West, LLC
(Printed name)

for the conditional use request described above.

I have NO OBJECTION to the Conditional Use.

Name: _____

Address: _____

Comments: _____

I OBJECT to the Special Exemption Request:

Name: _____

Address: _____

Reason for Objection: _____

The Ground installations there are obtrusive, I have no objection to the roof installation

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: _____

6700S CONFIG



RILEY ARENA ROOFTOP

1400 HEART MOUNTAIN ST.
CODY, WY 82414

SITE NUMBER: MT03017A

LATITUDE 44.522132° N

LONGITUDE -109.060004° W



274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

RILEY ARENA ROOFTOP
MT03017A

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

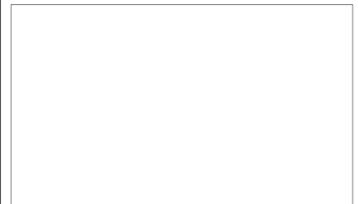
CONSULTANT:



DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:



SHEET TITLE:

TITLE SHEET

SHEET NUMBER: REVISION:

T-1 D
MT03017A

GENERAL LOCATION MAP	DRIVING DIRECTIONS	PROJECT TEAM	PROJECT DESCRIPTION	DRAWING INDEX																																																								
	<p>FROM T-MOBILE OFFICE: 274 DISCOVERY DR., BOZEMAN, MT 59718</p> <ol style="list-style-type: none"> 1. HEAD EAST ON DISCOVERY DR TOWARD CORNERSTONE WAY 2. TURN RIGHT ONTO STUCKY RD 3. TURN LEFT ONTO S 19TH AVE 4. TURN RIGHT ONTO W KAGY BLVD 5. CONTINUE STRAIGHT TO STAY ON W KAGY BLVD 6. CONTINUE ONTO BOZEMAN TRAIL RD 7. TURN RIGHT ONTO THE INTERSTATE 90 E RAMP TO BILLINGS 8. MERGE ONTO I-90 E 9. TAKE EXIT 408 FOR STATE ROUTE 78 TOWARD COLUMBUS 10. TURN RIGHT ONTO MT-78 S 11. TURN LEFT ONTO MT-78 S/PATRATTEN ST 12. TURN LEFT ONTO JOLIET RD 13. CONTINUE ONTO STATE HWY 421 14. TURN LEFT ONTO US-212 E 15. TURN RIGHT ONTO US-310 E 16. TURN RIGHT ONTO MT-72 S 17. CONTINUE ONTO WY-120 E 18. TURN RIGHT ONTO 16TH ST (SIGNS FOR U.S. 14 ALTERNATE/CODY) 19. TURN RIGHT ONTO SHERIDAN AVE 20. TURN LEFT AT THE 3RD CROSS STREET ONTO 13TH ST. DESTINATION WILL BE ON THE LEFT 	<p>CONTACT TITLE CONTACT INFORMATION</p> <p>PROPERTY OWNER: RILEY ARENA ADDRESS: 1400 HEART MOUNTAIN ST. CODY, WY 82414 CONTACT: (307) 587-1681 TEL NO.:</p> <p>DEVELOPMENT MANAGER / T-MOBILE EASTERN MONTANA - NETWORK PROJECT CONTACT: ALBERT (ALBEE) CROCKENBERG ADDRESS: 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718 (213) 590-5483 MOBILE: ALBERT.CROCKENBERG@T-MOBILE.COM E-MAIL:</p> <p>CONSTRUCTION MANAGER: SYNERGY DEVELOPMENT SERVICES, INC. SEAN CONNORS ADDRESS: 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718 (406) 697-5101 MOBILE: SCONNORS@SYNERGY.CC E-MAIL:</p> <p>CONSULTING ARCHITECT: SYNERGY DEVELOPMENT SERVICES, INC. 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718</p>	<p>T-MOBILE PROPOSES TO CONSTRUCT AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING</p> <ol style="list-style-type: none"> 1. INSTALL NEW 8x12 STEEL PLATFORM 2. INSTALL (4) FHH-65C-R3 PANEL ANTENNAS 3. INSTALL (4) F-65C-R1 PANEL ANTENNAS 4. INSTALL TELCO/POWER RACKS 5. INSTALL COVP, (4) 700 MHz RRUs, (4) 2100 MHz RRUs <p>THIS IS UNSTAFFED AND RESTRICTED EQUIPMENT AND WILL BE USED FOR THE TRANSMISSION OF RADIO SIGNALS FOR THE PURPOSE OF PROVIDING PUBLIC CELLULAR SERVICE.</p> <p>T-MOBILE CERTIFIES THAT THIS TELEPHONE EQUIPMENT FACILITY WILL BE SERVICED ONLY BY T-MOBILE EMPLOYEES AND THE WORK ASSOCIATED WITH ANY EQUIPMENT CANNOT BE PERFORMED BY HANDICAPPED PERSONS. THIS FACILITY WILL BE FREQUENTED ONLY BY SERVICE PERSONNEL FOR REPAIR PURPOSES. PURSUANT TO THE AMERICANS WITH DISABILITIES ACT (ADA), APPENDIX B SECTION 4.11. (5)(b), THIS FACILITY IS EXEMPT FROM THAT ACT.</p> <p>NO POTABLE WATER SUPPLY IS TO BE PROVIDED AT THIS LOCATION.</p> <p>NO WASTE WATER OR SOLID WASTE WILL BE GENERATED AT THIS LOCATION.</p> <p>T-MOBILE MAINTENANCE CREW (ONE PERSON) WILL MAKE AN AVERAGE OF ONE TRIP PER MONTH AT ONE HOUR PER TRIP.</p>	<table border="1"> <thead> <tr> <th>DWG.</th> <th>DRAWING DESCRIPTION:</th> <th>DWG.</th> <th>DRAWING DESCRIPTION:</th> </tr> </thead> <tbody> <tr> <td>T-1</td> <td>TITLE SHEET</td> <td>D-4</td> <td>DETAILS</td> </tr> <tr> <td>GN-1</td> <td>GENERAL NOTES</td> <td>D-5</td> <td>DETAILS</td> </tr> <tr> <td>GN-2</td> <td>GENERAL NOTES</td> <td>D-6</td> <td>DETAILS</td> </tr> <tr> <td>A-1</td> <td>OVERALL SITE PLAN</td> <td>E-1</td> <td>PANEL SCHEDULE, SINGLE-LINE DIAGRAM AND PLATFORM UTILITY RACK</td> </tr> <tr> <td>A-2</td> <td>ENLARGED SITE PLAN</td> <td>E-2</td> <td>ANTENNA/EQUIPMENT GROUNDING DETAILS</td> </tr> <tr> <td>A-3</td> <td>ANTENNA LAYOUT PLANS</td> <td>E-3</td> <td>ROOFTOP GROUNDING PLAN</td> </tr> <tr> <td>A-4</td> <td>EQUIPMENT LAYOUT PLAN</td> <td>E-4</td> <td>ELECTRICAL GROUNDING DETAILS</td> </tr> <tr> <td>A-5</td> <td>ELEVATIONS</td> <td>RF-1</td> <td>RF DETAIL</td> </tr> <tr> <td>A-6</td> <td>ELEVATIONS</td> <td>RF-2</td> <td>RFDS</td> </tr> <tr> <td>A-7</td> <td>EQUIPMENT ELEVATIONS</td> <td></td> <td></td> </tr> <tr> <td>D-1</td> <td>DETAILS</td> <td></td> <td></td> </tr> <tr> <td>D-2</td> <td>DETAILS</td> <td></td> <td></td> </tr> <tr> <td>D-3</td> <td>DETAILS</td> <td></td> <td></td> </tr> </tbody> </table>	DWG.	DRAWING DESCRIPTION:	DWG.	DRAWING DESCRIPTION:	T-1	TITLE SHEET	D-4	DETAILS	GN-1	GENERAL NOTES	D-5	DETAILS	GN-2	GENERAL NOTES	D-6	DETAILS	A-1	OVERALL SITE PLAN	E-1	PANEL SCHEDULE, SINGLE-LINE DIAGRAM AND PLATFORM UTILITY RACK	A-2	ENLARGED SITE PLAN	E-2	ANTENNA/EQUIPMENT GROUNDING DETAILS	A-3	ANTENNA LAYOUT PLANS	E-3	ROOFTOP GROUNDING PLAN	A-4	EQUIPMENT LAYOUT PLAN	E-4	ELECTRICAL GROUNDING DETAILS	A-5	ELEVATIONS	RF-1	RF DETAIL	A-6	ELEVATIONS	RF-2	RFDS	A-7	EQUIPMENT ELEVATIONS			D-1	DETAILS			D-2	DETAILS			D-3	DETAILS		
DWG.	DRAWING DESCRIPTION:	DWG.	DRAWING DESCRIPTION:																																																									
T-1	TITLE SHEET	D-4	DETAILS																																																									
GN-1	GENERAL NOTES	D-5	DETAILS																																																									
GN-2	GENERAL NOTES	D-6	DETAILS																																																									
A-1	OVERALL SITE PLAN	E-1	PANEL SCHEDULE, SINGLE-LINE DIAGRAM AND PLATFORM UTILITY RACK																																																									
A-2	ENLARGED SITE PLAN	E-2	ANTENNA/EQUIPMENT GROUNDING DETAILS																																																									
A-3	ANTENNA LAYOUT PLANS	E-3	ROOFTOP GROUNDING PLAN																																																									
A-4	EQUIPMENT LAYOUT PLAN	E-4	ELECTRICAL GROUNDING DETAILS																																																									
A-5	ELEVATIONS	RF-1	RF DETAIL																																																									
A-6	ELEVATIONS	RF-2	RFDS																																																									
A-7	EQUIPMENT ELEVATIONS																																																											
D-1	DETAILS																																																											
D-2	DETAILS																																																											
D-3	DETAILS																																																											
	<p>ZONING INFORMATION</p> <p>SITE NUMBER: MT03017A</p> <p>SITE NAME: CODY REC CENTER</p> <p>SITE ADDRESS: 1402 HEART MOUNTAIN ST. CODY, WY 82414</p> <p>PARCEL #:</p> <p>CURRENT ZONING:</p> <p>JURISDICTION: CITY OF CODY</p> <p>GOVERNING CODE:</p> <p>BUILDING TYPE:</p> <p>SITE TYPE: ROOFTOP MOUNT</p>	<p>SITE ACQUISITION: SYNERGY DEVELOPMENT SERVICES, INC. 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718</p> <p>ZONING: SYNERGY DEVELOPMENT SERVICES, INC. 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718</p> <p>Sr. ENGINEER: T-MOBILE RF DEPLOYMENT: DAVID GIRLING ADDRESS: 274 DISCOVERY DR., SUITE 200 BOZEMAN, MT 59718 (425) 268-8804 MOBILE: DAVE.GIRLING@T-MOBILE.COM E-MAIL:</p> <p>MOBILE: JOHN HAUBRICH (602) 503-1172 E-MAIL: JOHN.HAUBRICH@T-MOBILE.COM</p> <p>LATITUDE: 44°31'19.7" N 44.521310° LONGITUDE: -109°03'36.0" W -109.060004° GROUND ELEVATION: 5090 FEET AMSL</p> <p>BUILDING OWNER: RILEY ARENA</p>	<p>CODE COMPLIANCE</p> <p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING ON THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:</p> <p>2014 INTERNATIONAL BUILDING CODE 2014 INTERNATIONAL MECHANICAL CODE 2014 INTERNATIONAL FUEL GAS CODE 2014 NFPA 54 - NATIONAL FUEL GAS CODE (PROPANE INSTALLATIONS ONLY) 2011 NFPA 58 - LIQUEFIED PETROLEUM GAS CODE (PROPANE INSTALLATIONS ONLY) 2014 NATIONAL FIRE CODE 2014 NATIONAL PLUMBING CODE 2014 NATIONAL ELECTRICAL CODE 2014 NATIONAL ELECTRIC SAFETY CODE LOCAL BUILDING CODE ORDINANCES ANSI / TIA / EIA - 222 - G NFPA-101 - LIFE SAFETY CODE</p>	<p>APPROVAL/SIGN OFF OF CONSTRUCTION DRAWINGS</p> <p>REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED.</p> <p>CONSULTANT GROUP SIGN OFF</p> <p>LANDLORD'S REPRESENTATIVE: DATE:</p> <p>CONSTRUCTION MANAGER: DATE:</p> <p>CONSTRUCTION PROJECT MANAGER: DATE:</p> <p>PROJECT MANAGER: DATE:</p> <p>SITE ACQUISITION: DATE:</p> <p>ZONING: DATE:</p> <p>RF ENGINEER: DATE:</p>																																																								
	<p>UTILITY PURVEYOR</p> <p>POWER COMPANY: CONTACT: OFFICE NO.: CELL NO.: EMAIL:</p>																																																											
	<p>LEGAL DESCRIPTION</p> <p>TBD</p>																																																											

CALL TWO WORKING DAYS BEFORE YOU DIG

811
NATIONAL UTILITIES UNDERGROUND LOCATE

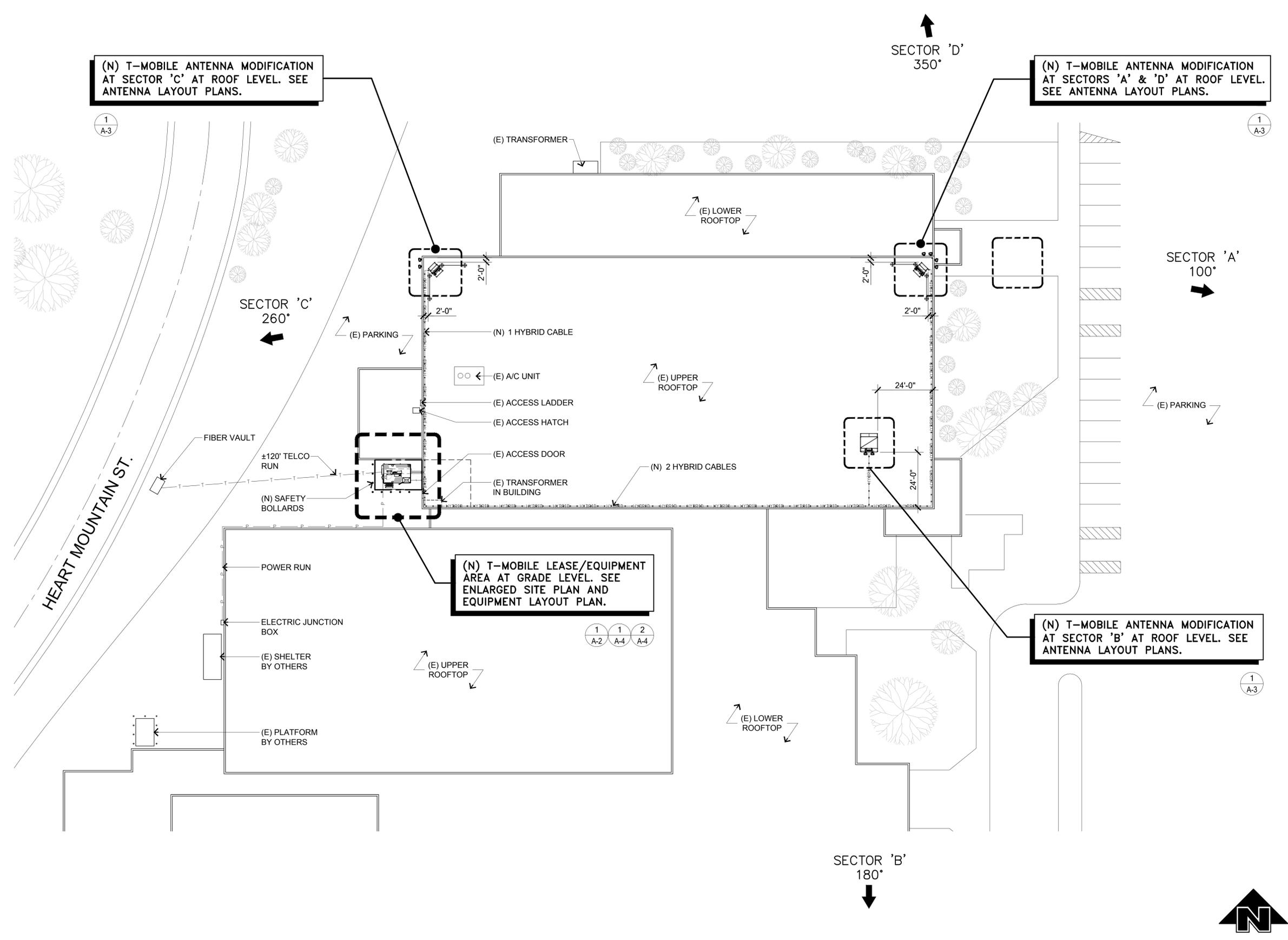
SAFETY PRECAUTION SHALL BE IMPLEMENTED BY CONTRACTORS AT ALL TIMES IN ACCORDANCE WITH CURRENT OSHA STANDARDS

ELECTRIC - RED
SEWER - GREEN
GAS/OIL - YELLOW
SURVEY - PINK
TEL/CATV - ORANGE

PROPOSED - WHITE
WATER - BLUE

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

NOTE:
THESE DRAWINGS HAVE BEEN CREATED BY INFORMATION GATHERED FROM (E) AS-BUILTS PROVIDED BY T-MOBILE AND WITHOUT A SURVEY. PLEASE VERIFY IN FIELD ALL DIMENSIONS, LENGTHS, PROPERTY LINES AND CONDUIT RUNS.



PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:

Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:

SHEET TITLE:

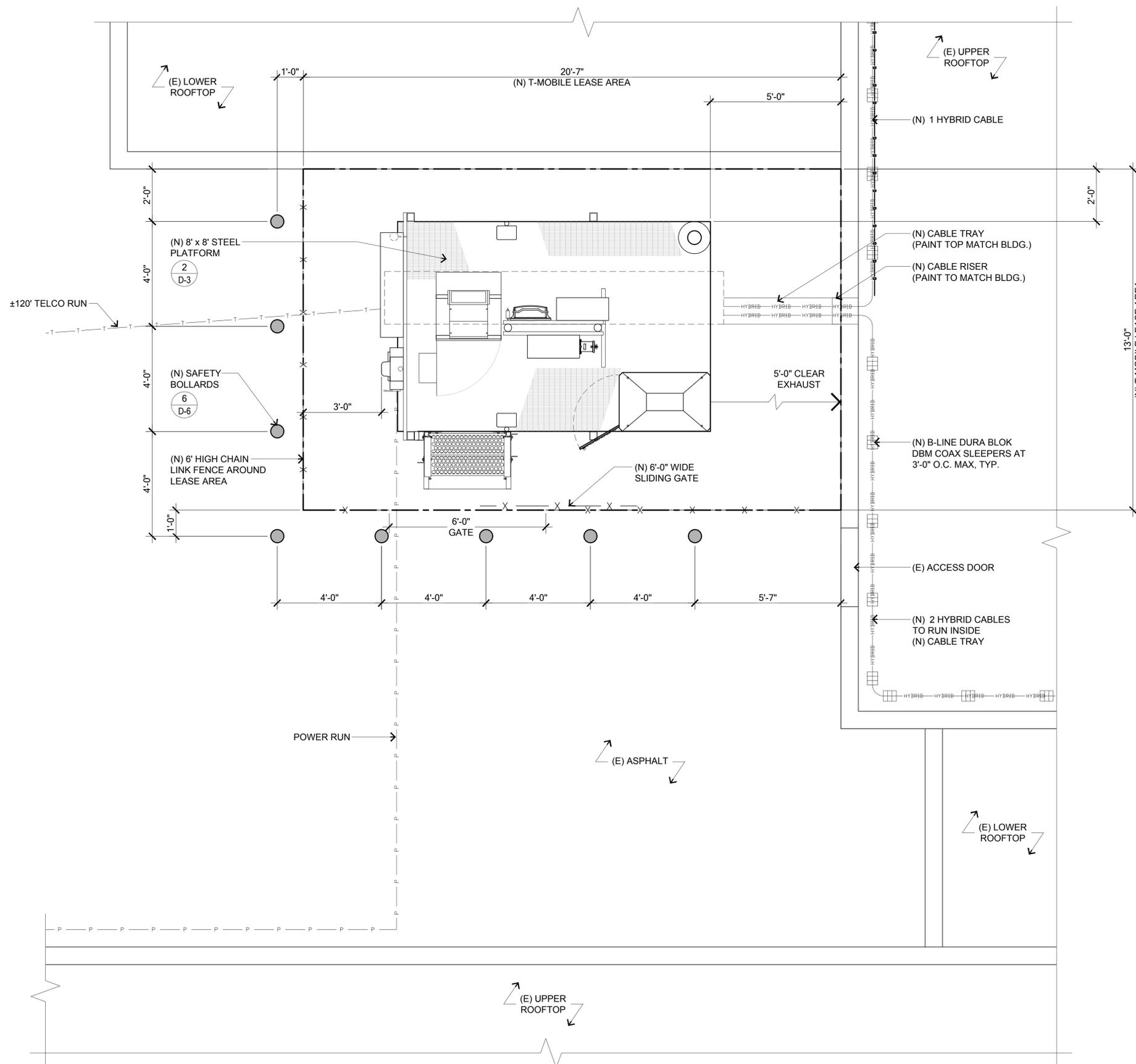
ENLARGED SITE PLAN

SHEET NUMBER: REVISION:

A-2

D

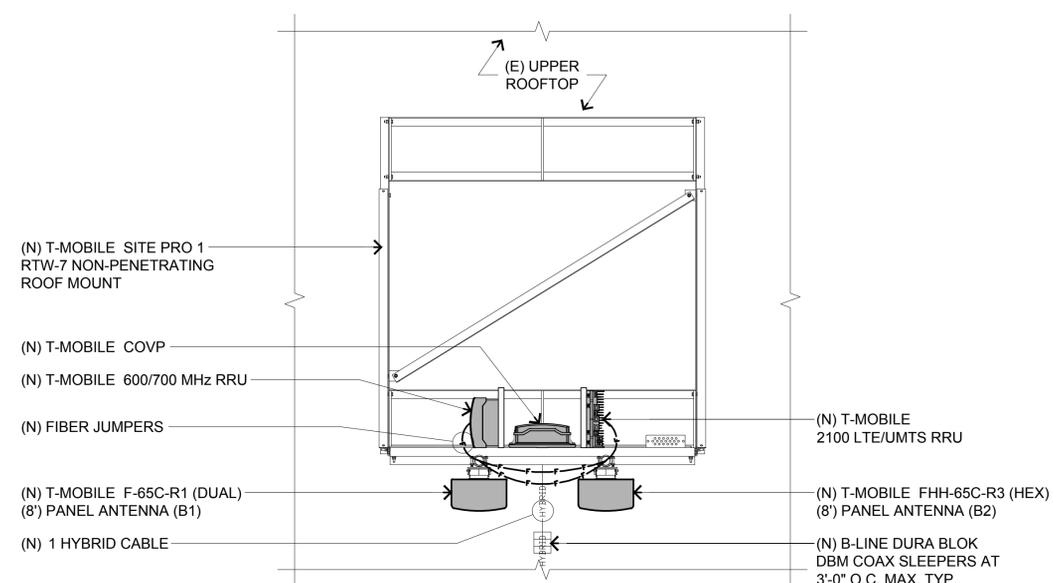
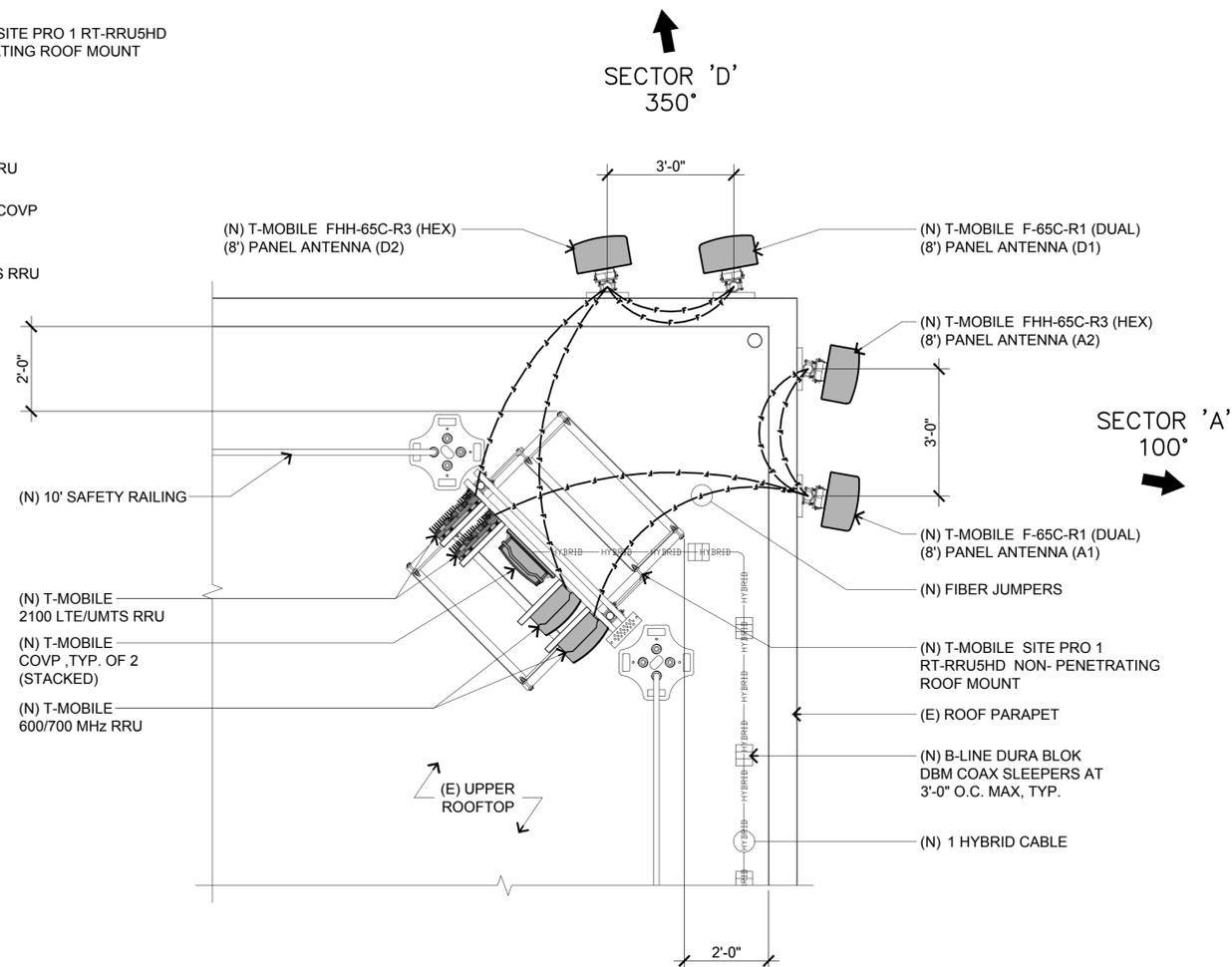
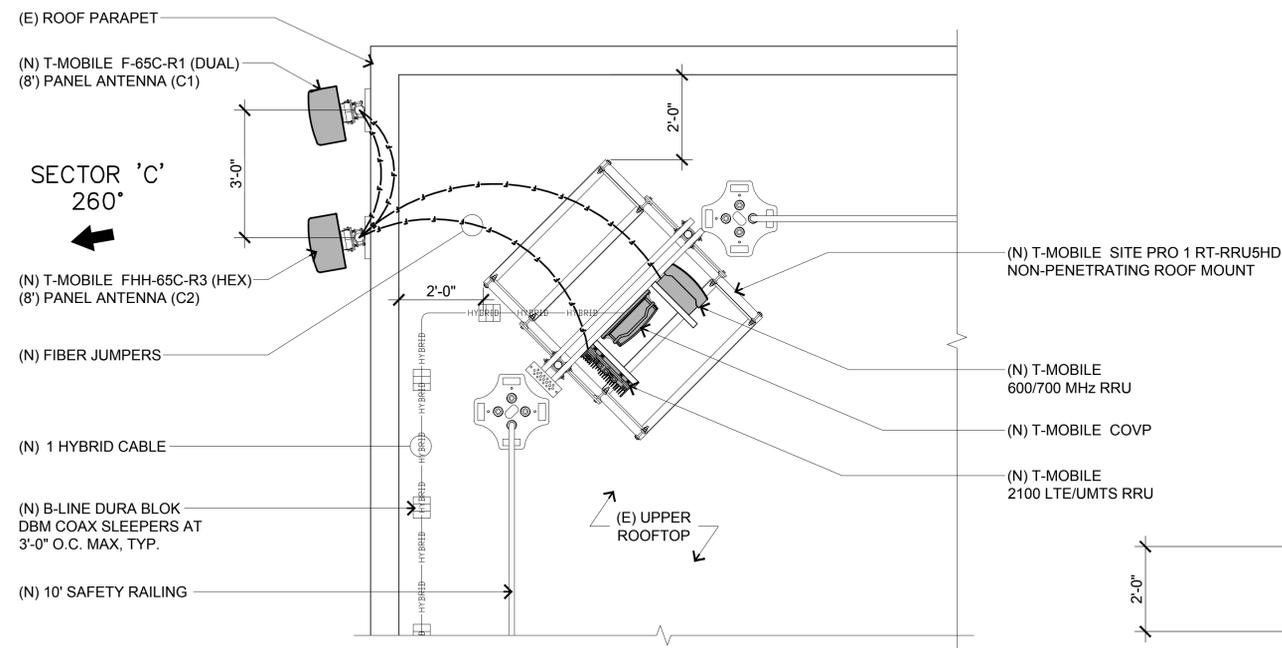
MT03017A



REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO



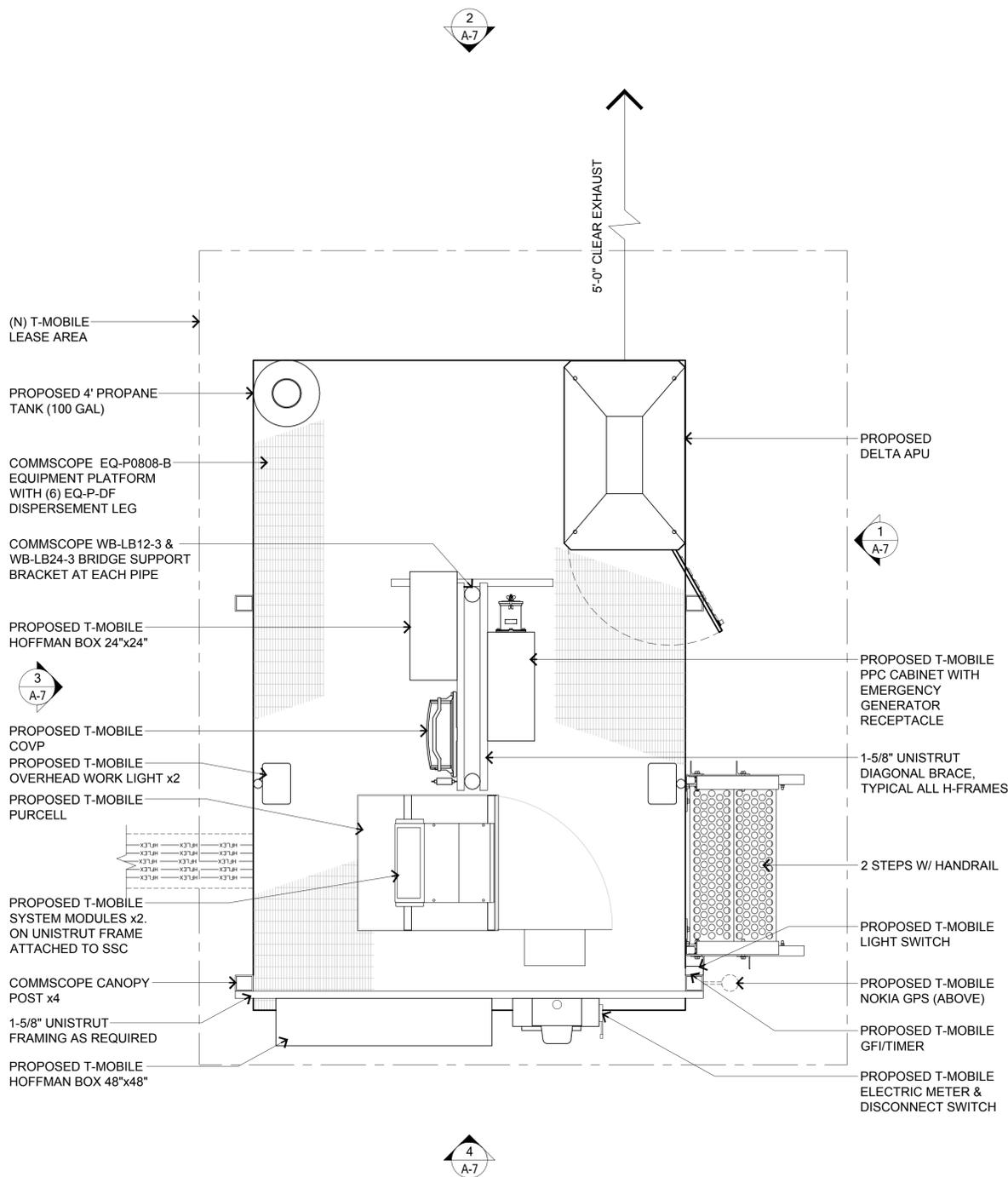
NOTE:
THE GENERAL CONTRACTOR MUST INSTALL ALL ANTENNAS IN A MANNER THAT IS CONSISTENT WITH RADIO FREQUENCY ENGINEERING GUIDELINES INCLUDING MAINTAINING AT LEAST A 4' HORIZONTAL SETBACK FROM ANY ADJACENT ANTENNAS IN A HORIZONTAL PLANE. IN NO CASE CAN THERE BE OBSTRUCTION IN THE FRONTAL LOBE OF ANTENNA. THE G.C. WILL TRIM AND ADJUST ANTENNA MOUNTS AS NEEDED TO OBTAIN THESE SETBACKS AND ENSURE THAT THE INSTALLATION WILL PASS PIM TESTING AND NOT RESULT IN A VSTR ALARM OR AFFECT THE ANTENNAS PERFORMANCE.



SECTOR 'B'
180°



REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

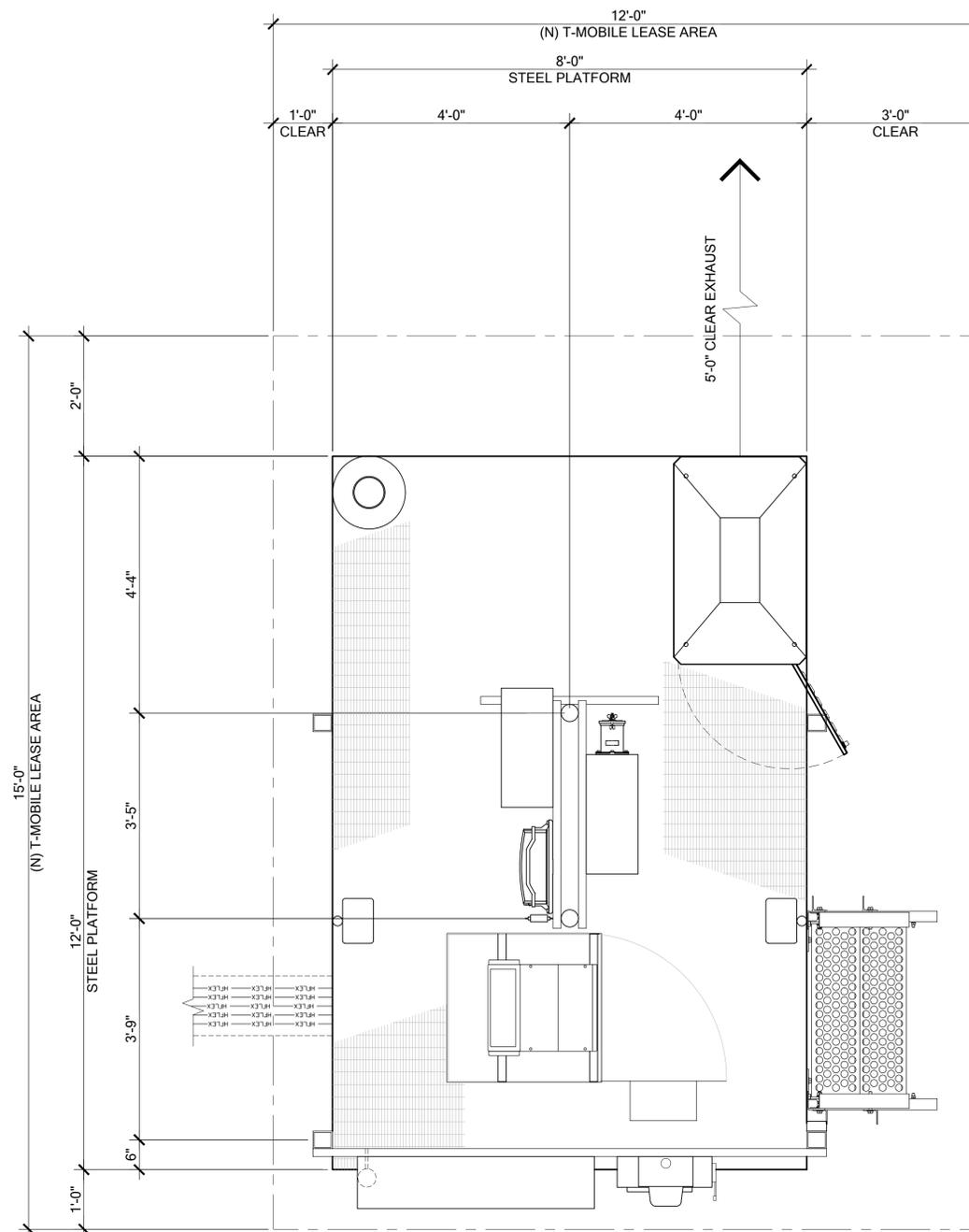


EQUIPMENT LAYOUT

SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

2

DIMENSION LAYOUT



SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

1

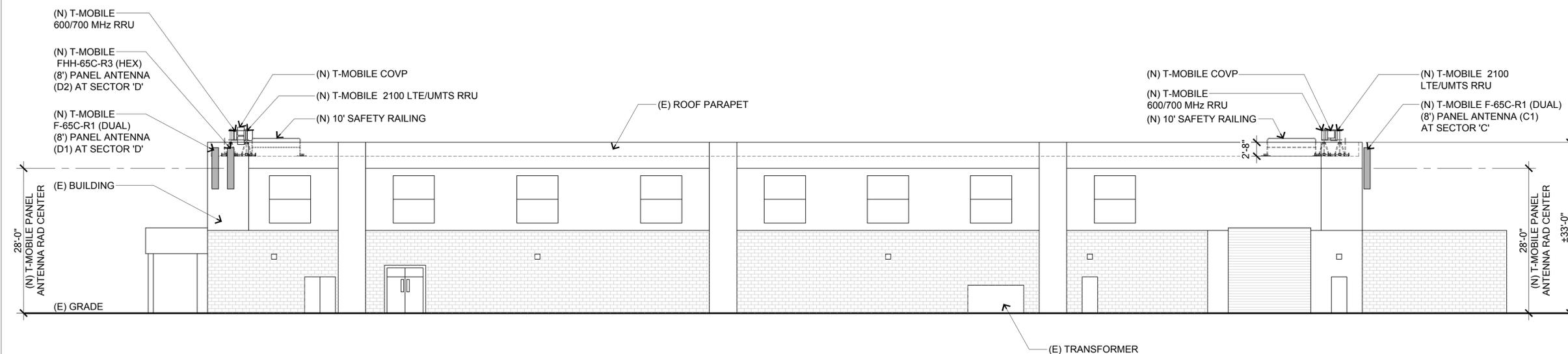
REV.	DATE	DESCRIPTION	BY

△ D	08/07/17	100% CD	JA
△ C	07/27/17	REVISED 90% CD*	JA
△ B	07/19/17	REVISED 90% CD*	JA
△ A	05/30/17	90% CD*	EO



EO	SYNERGY	SYNERGY
----	---------	---------

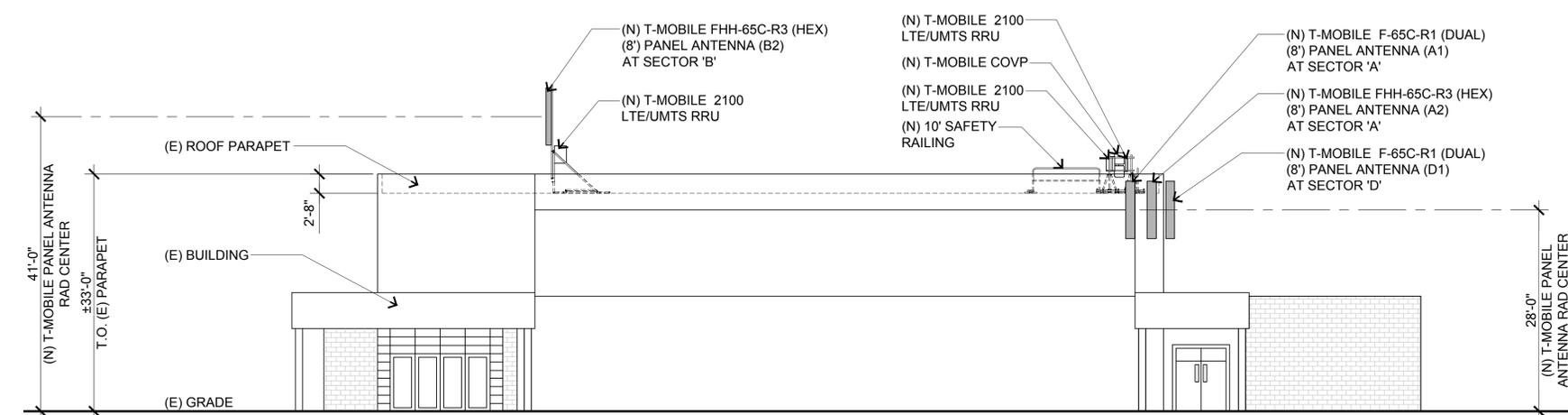
NOTE: PAINT ALL FLUSH MOUNTED ANTENNAS AND VISIBLE ROOF EQUIPMENT / ANTENNAS TO MATCH IF NOT LIGHT GRAY OR WHITE.



NORTH ELEVATION

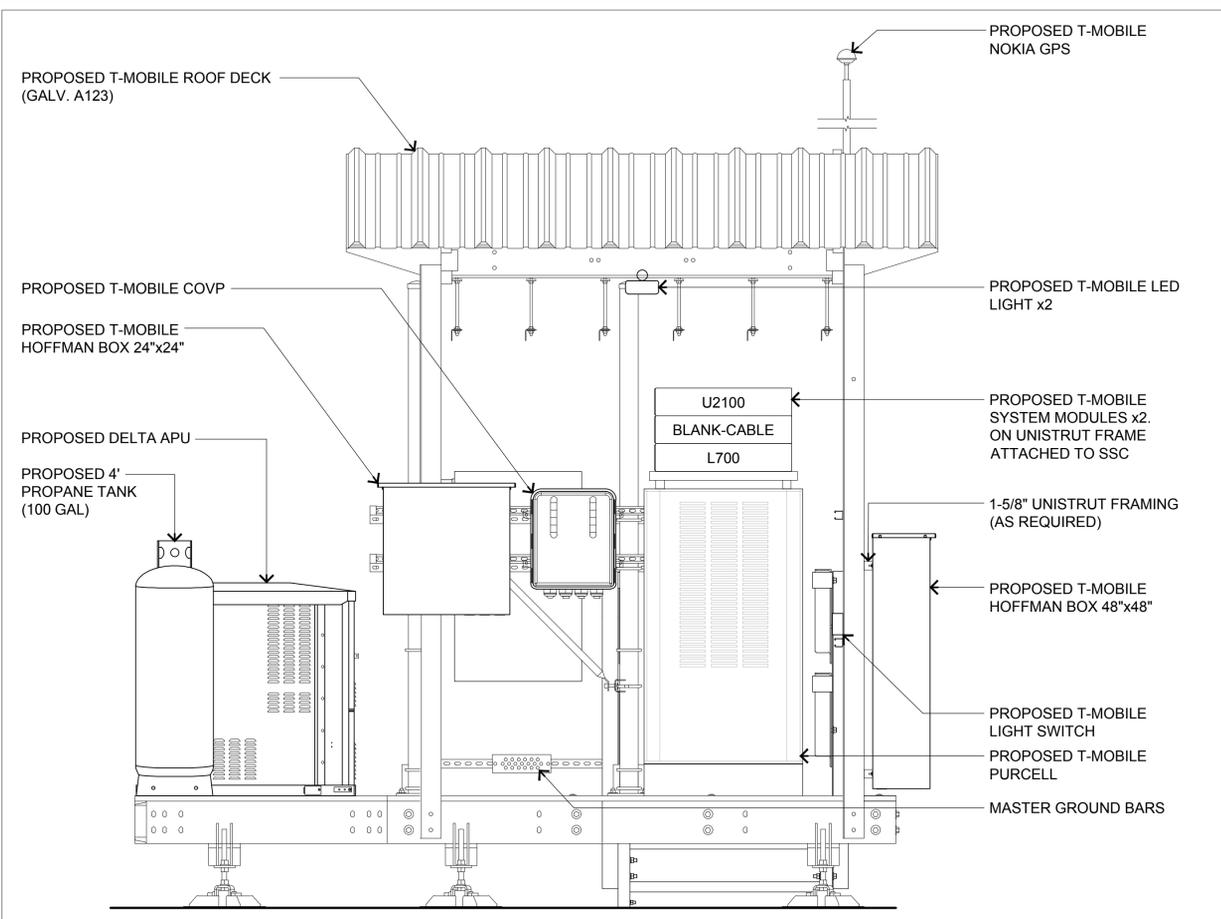
SCALE: 3/32"=1'-0" 0 2' 6' 10' 20' 1

NOTE: PAINT ALL FLUSH MOUNTED ANTENNAS AND VISIBLE ROOF EQUIPMENT / ANTENNAS TO MATCH IF NOT LIGHT GRAY OR WHITE.



EAST ELEVATION

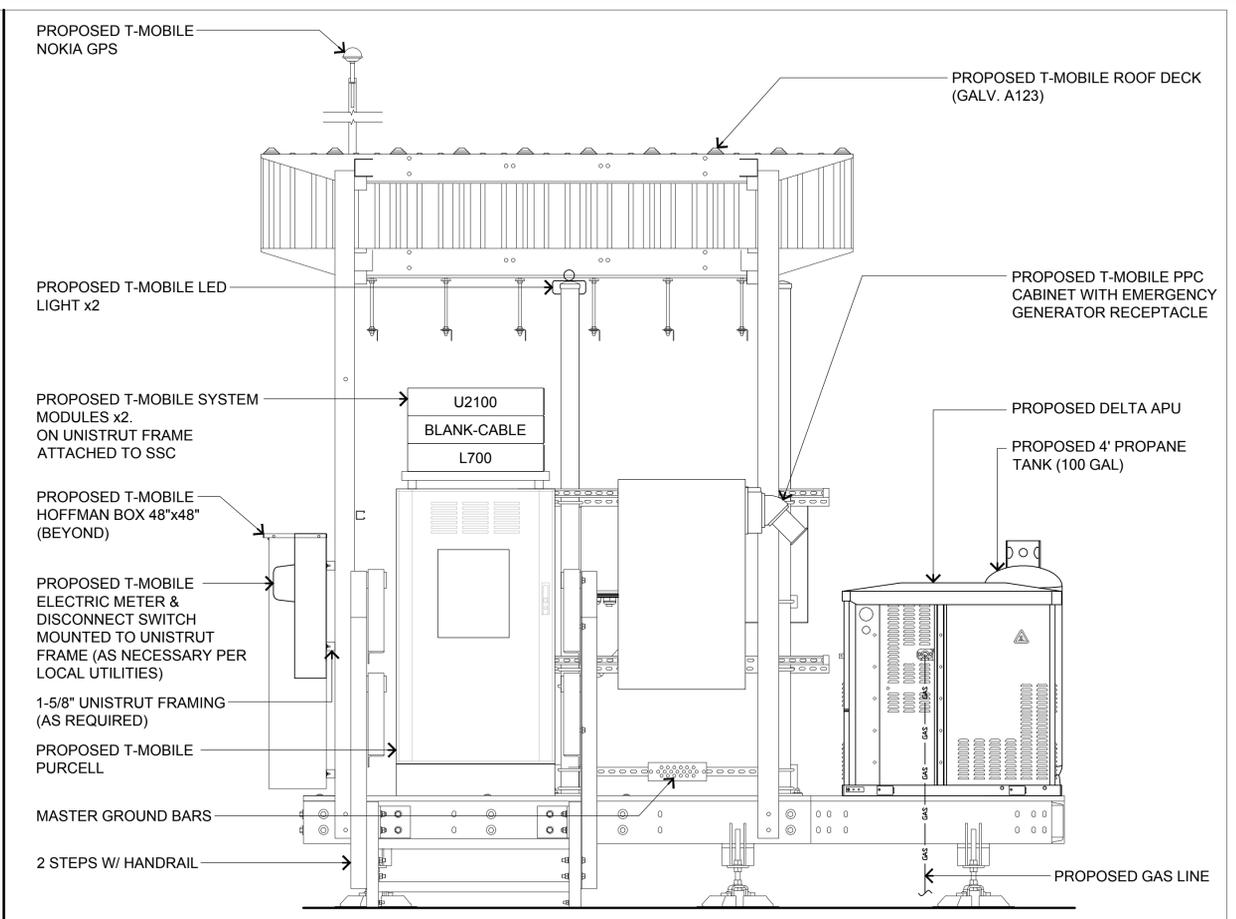
SCALE: 3/32"=1'-0" 0 2' 6' 10' 20' 2



EQUIPMENT ELEVATION - WEST

SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

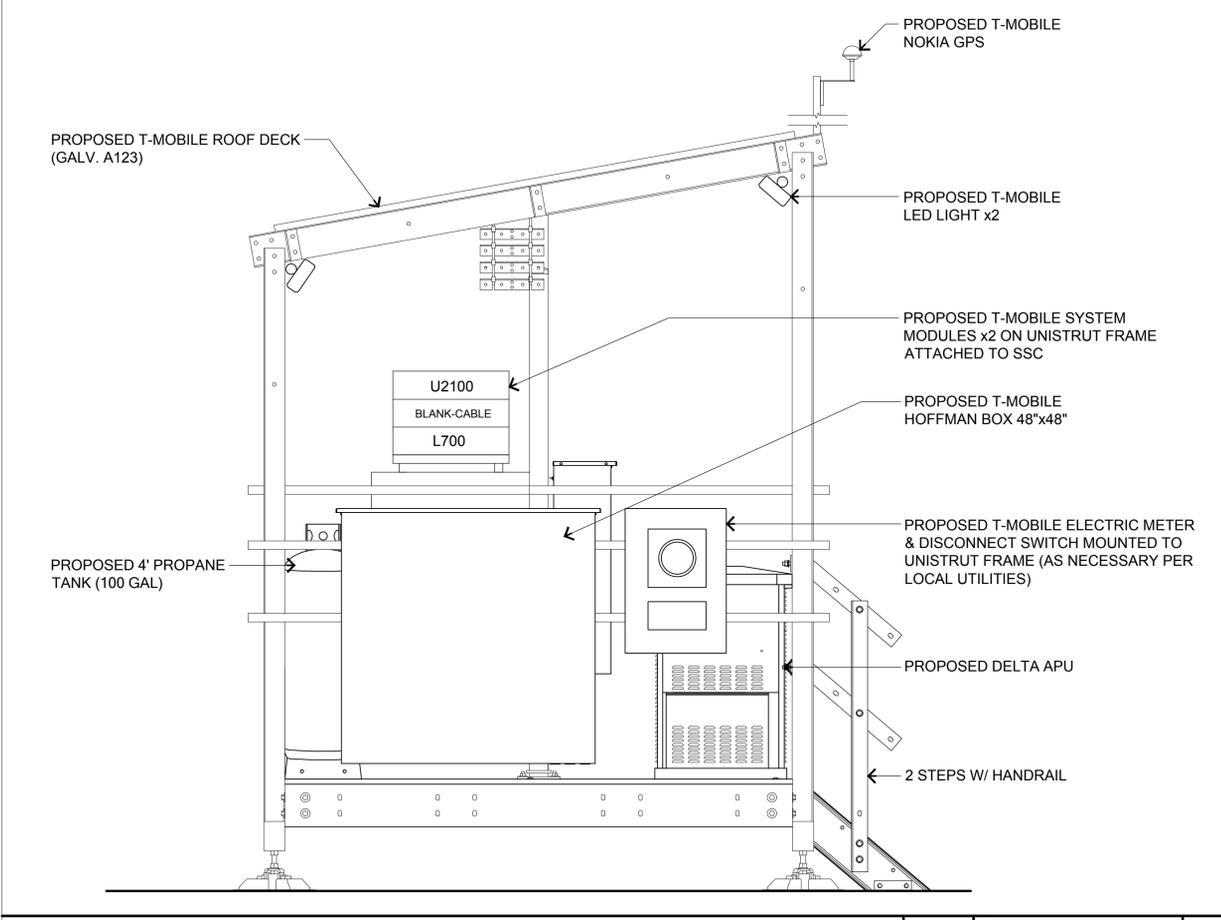
3



EQUIPMENT ELEVATION - EAST

SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

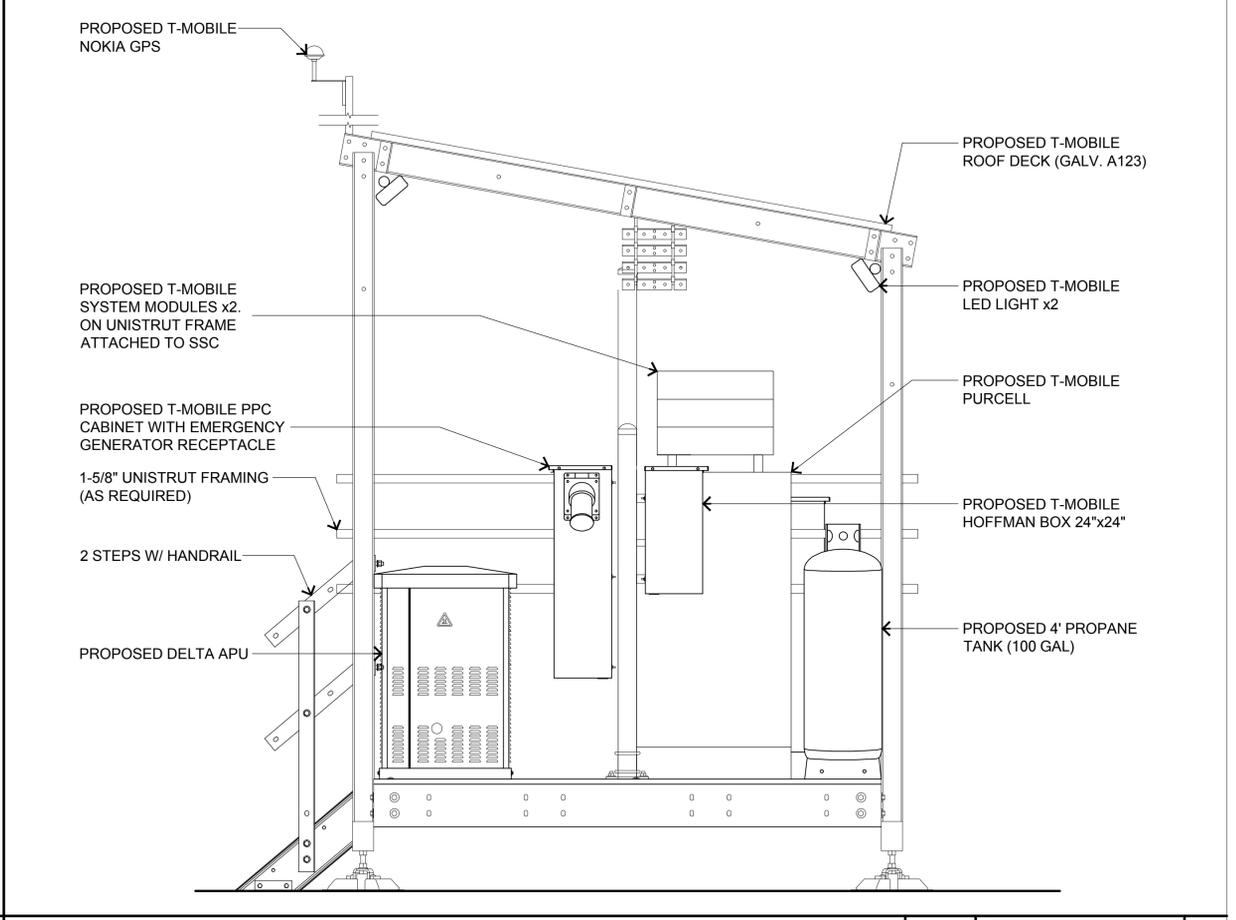
1



EQUIPMENT ELEVATION - SOUTH

SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

4



EQUIPMENT ELEVATION - NORTH

SCALE: 3/4"=1'-0" 0 1' 2' 2.75'

2

T-Mobile

274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:

Synergy
Development Services, INC.

274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY:	CHK.:	APV.:
EO	SYNERGY	SYNERGY

LICENSURE:

SHEET TITLE:

EQUIPMENT ELEVATIONS

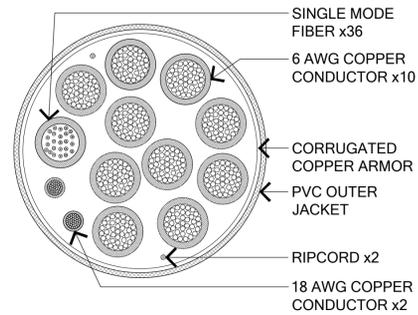
SHEET NUMBER:

A-7

D

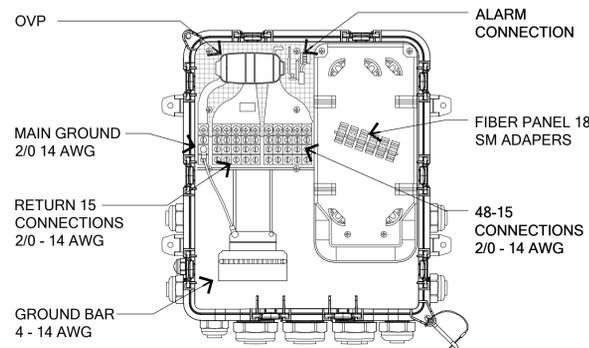
MT03017A

CABLE TYPE	NUMBER, SIZE (AWG)	10/C #6 + 2/C #18
VOLTAGE	600	
OUTER JACKET	PVC	
SHIELDING	CORRUGATED COPPER	
MAX SHIELD RESISTANCE (ohm/ft @ 20 c)	0.0035	
DRAIN	N/A	
RIPCORD	KEVLAR	
DC CONDUCTOR MATERIAL	COPPER	
DC CONDUCTOR SIZE (AWG)	6	
MAX DC RESISTANCE (ohm/1000 ft)	0.411 @ 20°C	
COLOR CODE	BLACK/RED	
ALARM CONDUCTOR MATERIAL	COPPER	
ALARM CONDUCTOR SIZE (AWG)	18	
MAX DC RESISTANCE (ohm/1000 ft)	6.7	
COLOR CODE	TBD	
FIBER CABLES	Yes	
OUTER DIAMETER (in) - NOMINAL	1.584	
WEIGHT (lb/ft)	1.614	
MINIMUM BEND RADIUS (in)	19	
BEND MOMENT (lb/ft)	n/a	
TENSILE STRENGTH (lb)	340	
CRUSH RESISTANCE, FOTP-41 (N/mm)	22	
STRENGTH MEMBER	NO	
OPERATING TEMPERATURE RANGE (LOW)	-40°C	
OPERATING TEMPERATURE RANGE (HIGH)	+80°C	
FIBER TYPE		LOW WATER PEAK, SINGLE MODE, LOOSE TUBE
FIBER STANDARD COMPLIANCE		ITU-T REC. G.652.D, G657.A2 IEC 60793-2-50 TYPE B.1.3 & TYPE B.6 A&B
FIBER COATING DIAMETER (um)		.242 +/- 0.007mm 0.9 +/- 0.0005mm
FIBER COUNT		36
NUMBER OF FIBER SUBUNITS		1
FIBER COUNT EACH UNITS		36
FIBER OUTER JACKETS		FR JACKET
MAX ATTENUATION, 1310 MM (dB/Km)		LESS THAN EQUA 0.5
MAX ATTENUATION, 1550 MM (dB/Km)		LESS THAN EQUA 0.5

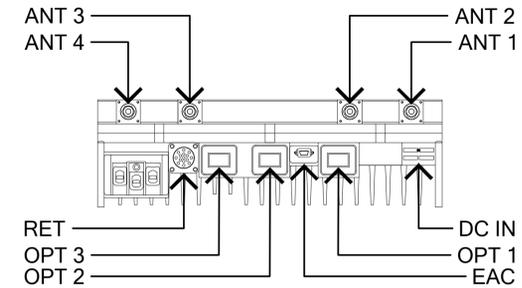


NOTE: CABLE CROSS SECTION NOT DRAWN TO SCALE

CABLE TYPE: 10/#6, 2/#18, 36 FIBER	TOLERANCE (FT)	PACKAGING METHOD
CABLE ASSY LENGTH (L)		
175	+1.75 / -1.75	REEL
200	+2.00 / -2.00	REEL
225	+2.25 / -2.25	REEL
250	+2.50 / -2.50	REEL
275	+2.75 / -2.75	REEL
300	+3.00 / -3.00	REEL
325	+3.25 / -3.25	REEL
350	+3.50 / -3.50	REEL
375	+3.75 / -3.75	REEL

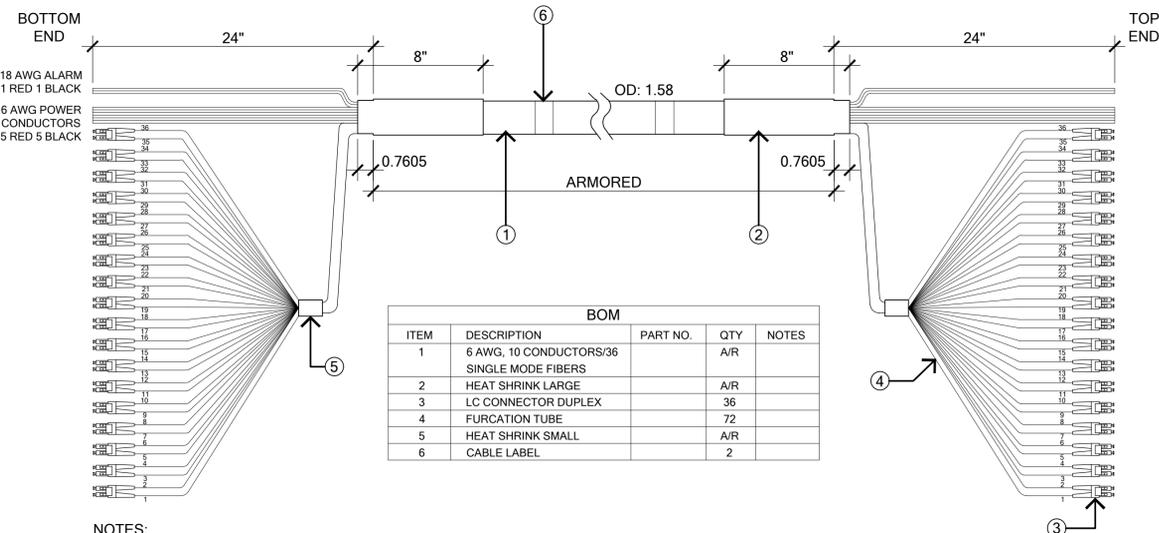


4 COVP INTERIOR DETAIL
SCALE: NTS



PROPERTY	VALUE	DIMENSIONS ORIENTATION
HEIGHT	WITH COVER: 630 MM (24.8 IN.) WITH COVER AND FAN: 630.2 MM (24.8 IN.)	
DEPTH	WITH COVER AND HANDLE: 409.5 MM (16.1 IN.) WITH COVER, FAN AND HANDLE: 409.5 MM (16.1 IN.)	
WIDTH	WITH COVER: 126 MM (5.0 IN.) WITH COVER AND FAN: 126 MM (5.0 IN.)	
WEIGHT	CORE RRH: 18.5 KG (40.8 LB) WITH COVER AND MOUNTING BRACKET: 20.9 KG (46.1 LB) WITH COVER, MOUNTING BRACKET AND FANS: 22.1 KG (48.7 LB)	

1 2100 MHZ RRU DETAIL
SCALE: NTS



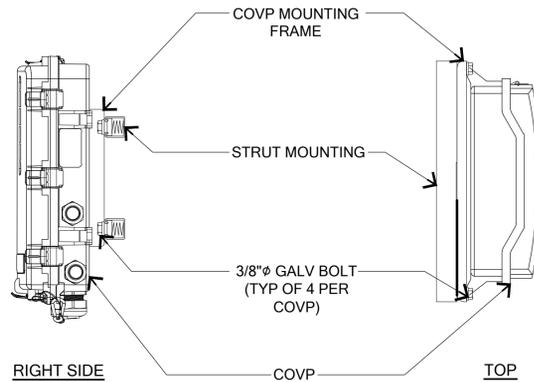
ITEM	DESCRIPTION	PART NO.	QTY	NOTES
1	6 AWG, 10 CONDUCTORS/36 SINGLE MODE FIBERS		A/R	
2	HEAT SHRINK LARGE		A/R	
3	LC CONNECTOR DUPLEX		36	
4	FURCATION TUBE		72	
5	HEAT SHRINK SMALL		A/R	
6	CABLE LABEL		2	

- NOTES:
- DIMENSIONS ARE IN INCHES.
 - 18 DUPLEX LC CONNECTORS PER END, 4 DUPLEX LC CONNECTORS PER GROUP, TOTAL OF 5 GROUPS BUT 5TH GROUP WILL HAVE ONLY 2 DUPLEX LC CONNECTORS.
 - TOTAL OF 18 PAIRS OF SINGLE MODE FIBERS.
 - TOTAL OF 10 AC CABLES 5 RED & 5 BLACK.
 - TOP END AND BOTTOM END ARE IDENTICAL.
 - LABEL BOTH ENDS WITH: SERIAL NUMBER, PART NUMBER AND CUSTOMER NAME.
 - INSERTION LOSS AND RETURN LOSS SHALL BE MEASURED 100% SAMPLING FOR ALL PRODUCTION. TEST AND MEASUREMENT REPORT SHALL BE FURNISHED WITH CABLE ASSEMBLY.
 - ALL CONNECTORS SHALL BE SHIPPED WITH FURRULES PROTECTED WITH REMOVABLE CAPS.
 - ALL FIBER BREAKOUT WILL BE PROTECTED FROM WATER PENETRATION.

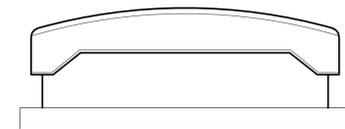
COLORS IDENTIFIED AT THE BASE OF EACH BOOT IDENTICAL AT BOTH ENDS

FIBER	COLOR	FIBER	COLOR	FIBER	COLOR
1	BLUE	13	RED	25	BLUE/ORANGE
2	BLUE	14	RED	26	BLUE/ORANGE
3	ORANGE	15	BLACK	27	ORANGE/GREEN
4	ORANGE	16	BLACK	28	ORANGE/GREEN
5	GREEN	17	YELLOW	29	GREEN/BROWN
6	GREEN	18	YELLOW	30	GREEN/BROWN
7	BROWN	19	PURPLE	31	BROWN/GREY
8	BROWN	20	PURPLE	32	BROWN/GREY
9	GREY	21	TAN	33	GREY/WHITE
10	GREY	22	TAN	34	GREY/WHITE
11	WHITE	23	PINK	35	WHITE/RED
12	WHITE	24	PINK	36	WHITE/RED

6 HYBRID CABLE DETAIL
SCALE: NTS

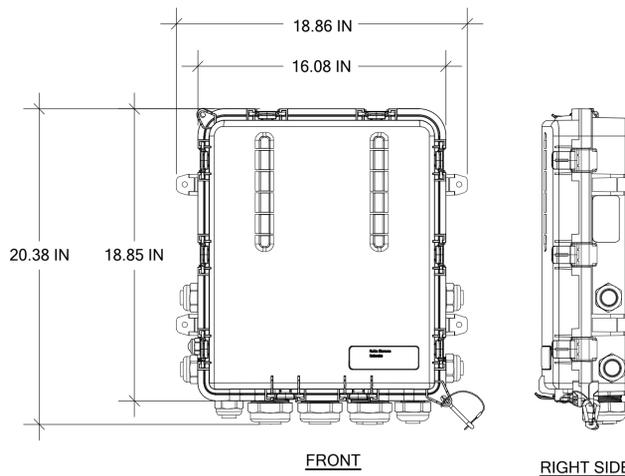


5 COVP MOUNTING DETAIL
SCALE: NTS



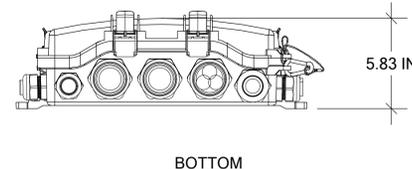
PROPERTY	VALUE	DIMENSIONS ORIENTATION
HEIGHT	609.6mm (24.0 in.)	
DEPTH	203.2 mm (8.0 in.)	
WIDTH	355.6 mm (14.0 in.)	
WEIGHT	WITHOUT SOLAR SHIELD AND MOUNTING SHROUD: 38.55 kg (85.0 lbs.)	

2 700 MHZ RRU DETAIL
SCALE: NTS



3 RAYCAP COVP DETAIL
SCALE: NTS

RAYCAP COVP MODEL ASU9338TYP01 (RNSNDC-7771-PF-48)



274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

△ D	08/07/17	100% CD	JA
△ C	07/27/17	REVISED 90% CD*	JA
△ B	07/19/17	REVISED 90% CD*	JA
△ A	05/30/17	90% CD*	EO

CONSULTANT:



DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:

SHEET TITLE:

DETAILS

SHEET NUMBER: REVISION:

D-1

D

MT03017A

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:

Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:

SHEET TITLE:

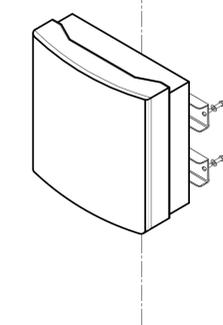
DETAILS

SHEET NUMBER: REVISION:

D-2

D

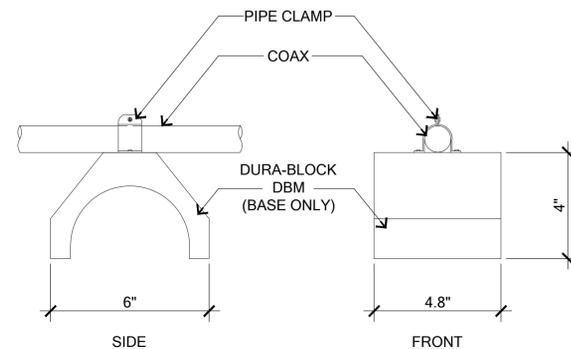
MT03017A



700 RRU DIMENSIONS AND WEIGHT
HEIGHT = 24.0 IN.
DEPTH = 8.0 IN.
WIDTH = 14.0 IN.
WEIGHT = 85.0 LBS.

7 700 RRU POLE MOUNT DETAIL

SCALE: NTS

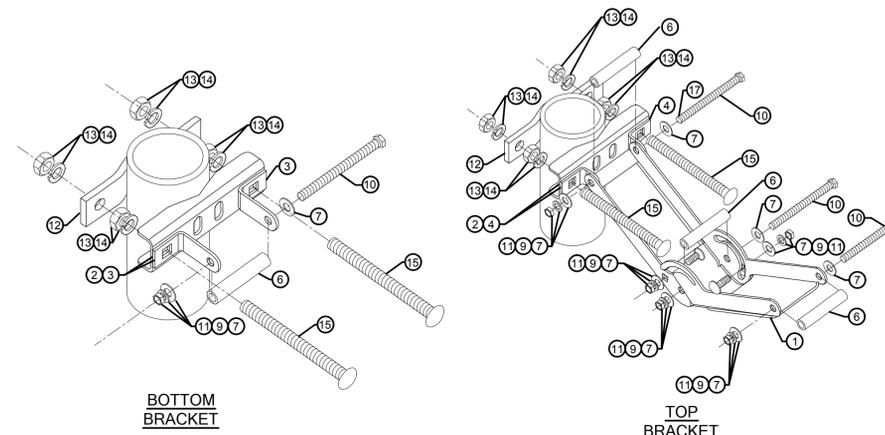


3 COAX SLEEPER DETAIL

SCALE: NTS

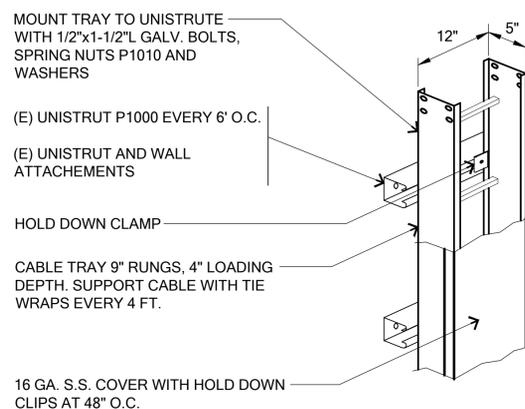
PARTS LIST

ITEM #	QUANTITY	PART NUMBER	DESCRIPTION
1	2	601257	ANGLE ARM
2	2	601256	MOUNTING CLAMP
3	2	601235-1	BRACKET
4	2	601235-2	BRACKET
5	1	601258	LABEL, ANGLE
6	4	600679-3	SPACER TUBE
7	14	100525-24	ME FLAT WASHER (STAINLESS STEEL)
8	2	600419-8	M8x1.25x25mm LARGE CARRIAGE BOLT (STAINLESS STEEL)
9	6	6/17395	M8 LOCK WASHER (STAINLESS STEEL)
10	4	600419-10	M8x1.25x110mm LARGE HEX HEAD SCREW (STAINLESS STEEL)
11	6	204001-15	M8x1.25 HEX NUT (STAINLESS STEEL)
12	2	225244	CLAMP PLATE
13	8	600419-24	LARGE LOCK WASHER (STAINLESS STEEL)
14	8	204001-21	M12x1.75 HEX NUT (STAINLESS STEEL)
15	4	600419-12	M12x1.75x150mm LARGE CARRIAGE BOLT (STAINLESS STEEL)
17	1	601584	MOLYBDENUM DISULFIDE GREASE



1 ANTENNA BRACKET ATTACHMENT DETAIL

SCALE: NTS



MOUNT TRAY TO UNISTRUTE WITH 1/2"x1-1/2" GALV. BOLTS, SPRING NUTS P1010 AND WASHERS

(E) UNISTRUT P1000 EVERY 6' O.C.

(E) UNISTRUT AND WALL ATTACHEMENTS

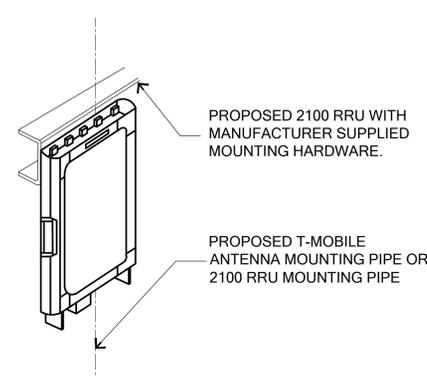
HOLD DOWN CLAMP

CABLE TRAY 9" RUNGS, 4" LOADING DEPTH. SUPPORT CABLE WITH TIE WRAPS EVERY 4 FT.

16 GA. S.S. COVER WITH HOLD DOWN CLIPS AT 48" O.C.

8 WALL MOUNTED CABLE RISER

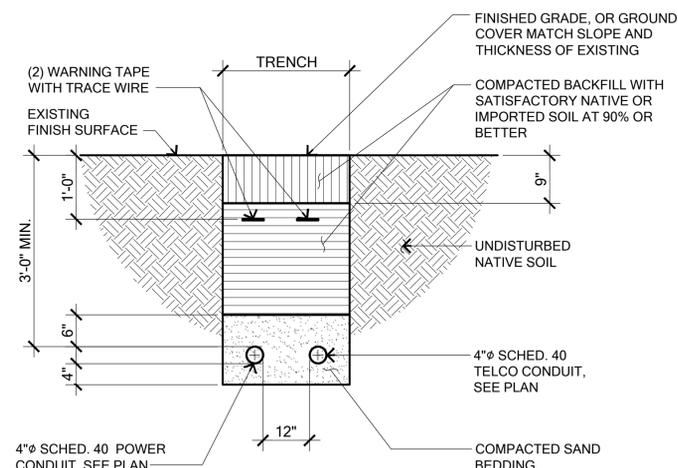
SCALE: NTS



2100 RRU DIMENSIONS AND WEIGHT
HEIGHT = 23.6 IN (600 MM.)
DEPTH = 16.1 IN (409.5 MM.)
WIDTH = 5.0 IN. (126 MM.)
WEIGHT = 40.8 LBS.

4 2100 RRU MOUNT DETAIL

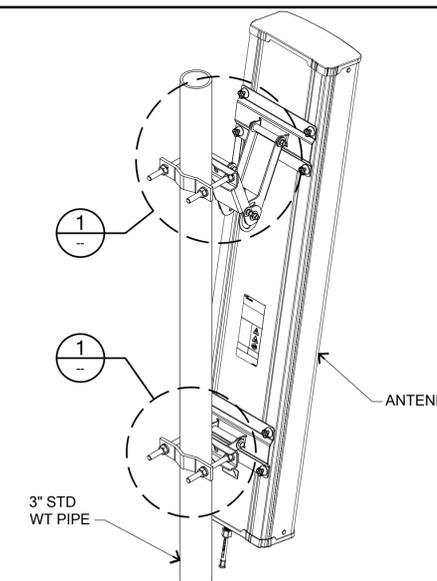
SCALE: NTS



5 UTILITY CONDUIT TRENCH DETAIL

SCALE: NTS

- NOTES:**
1. CALL BEFORE YOU DIG!! CONTACT SERVING UTILITIES.
 2. VERIFY ALL TRENCHING REQUIREMENTS WITH SERVING UTILITIES. EXCAVATE TO REQUIRED DEPTH. PULL BOXES INSTALLED PER LOCAL UTILITY REQUIREMENTS.
 3. * SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.
 4. PROVIDE PROPER BENDING RADIUS FOR CONDUIT AS REQUIRED BY THE COAXIAL CABLE MFR.
 5. SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS.
 6. SHOW ALL HARDSCAPE TO BE SAWCUT. BACKFILL SHALL BE ONE SACK SLURRY OR AGGREGATE BASE TO WITHIN 1" OF EXISTING AC.
 7. AC REPLACEMENT, 1ST LIFT 3/4" MIX, RELATIVE COMPACTION 95%, NO MORE THAN 3" PLACED AT ANY ONE TIME. 2ND LIFT, 1/2" FINE, NO MORE THAN 1 1/2" LIFT. A T-MOBILE REPRESENTATIVE OR NOKIA REPRESENTATIVE MUST INSPECT ALL TRENCH ONCE CONDUIT ARE INSTALLED AND READY FOR COMPACTION.



2 ANTENNA ATTACHMENT DETAIL

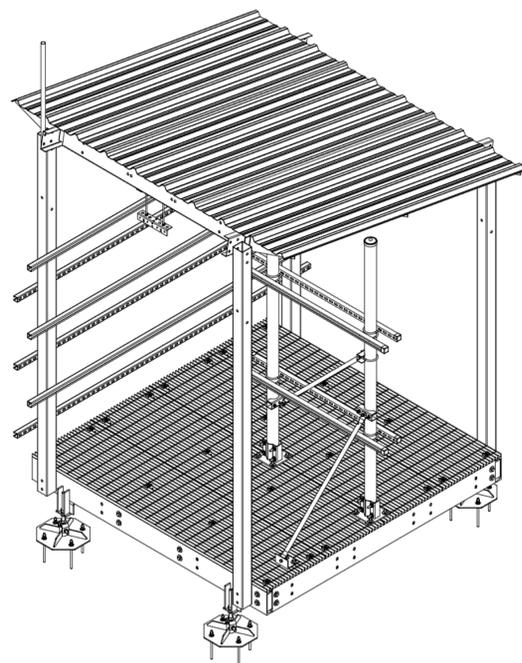
SCALE: NTS

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

REV.	ECN	DESCRIPTION	BY	DATE
PREL	8000019XXX	INITIAL RELEASE	SDS	1/31/17

NOTES:



COMMSCOPE, INC. OF NORTH CAROLINA

TOLERANCES	SMP MATERIAL MASTER
0 PLACE X ± .25	2 PLACE XX ± .03
1 PLACE X ± .06	ANGLES ± 2°
MTC3738C	
FINISH	MATERIAL
GALV A123	A36, A500, A572

DENSITY	MASS	VOLUME	HEIGHT	LENGTH	WIDTH
2049	166.5	11.5	112	2845	96

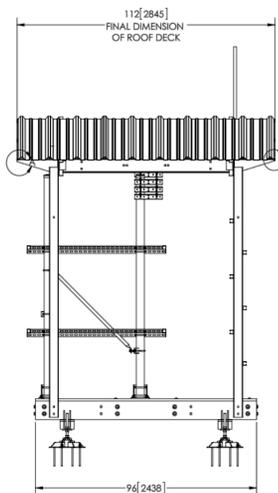
NAME	DATE	TITLE
CE	1/31/17	BX8 PLATFORM, CANOPY, H-FRAME, TRAPEZE, GPS
RDLS		
RV		
AD		
TP	1/31/17	SCALE DOCUMENT NO.
ECN	8000019XXX	1:16 MTC3738C

© 2015 Commscope, Inc. Confidential

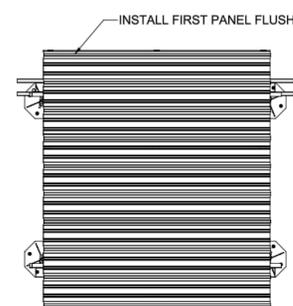
NOTES:



DETAIL A
SCALE 1:4
FLUSH WITH NO OVERHANG.
FASTENED PER ATTACHED
R-PANEL SPEC SHEET



DETAIL B
SCALE 1:4
FLUSH WITH NO OVERHANG.
FASTENED PER ATTACHED
R-PANEL SPEC SHEET



INSTALL FIRST PANEL FLUSH

ROTATE FINAL PANEL SO THAT FINAL EDGE RESTS ON CHANNEL AS SHOWN IN DETAIL A AND DETAIL B

COMMSCOPE, INC. OF NORTH CAROLINA

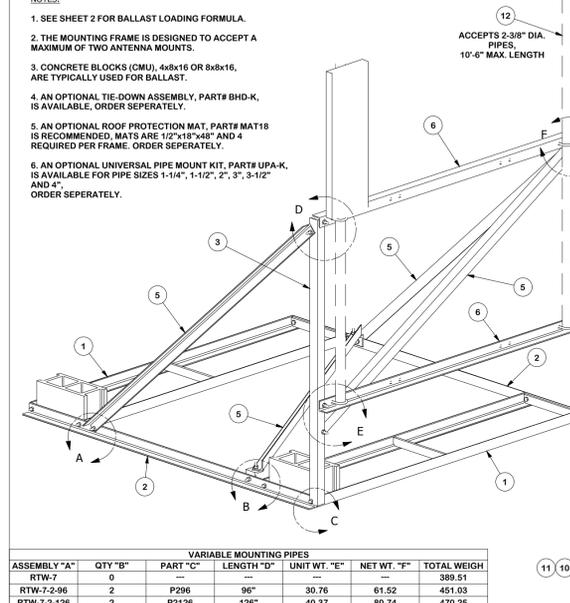
TOLERANCES	SMP MATERIAL MASTER
0 PLACE X ± .25	2 PLACE XX ± .03
1 PLACE X ± .06	ANGLES ± 2°
MTC3738C	
FINISH	MATERIAL
GALV A123	A36, A500, A572

NAME	DATE	TITLE
CE	1/31/17	BX8 PLATFORM, CANOPY, H-FRAME, TRAPEZE, GPS
RDLS		
RV		
AD		
TP	1/31/17	SCALE DOCUMENT NO.
ECN	8000019XXX	1:24 MTC3738C

© 2015 Commscope, Inc. Confidential

NOTES:

- SEE SHEET 2 FOR BALLAST LOADING FORMULA.
- THE MOUNTING FRAME IS DESIGNED TO ACCEPT A MAXIMUM OF TWO ANTENNA MOUNTS.
- CONCRETE BLOCKS (CMU), 4x8x16 OR 8x8x16, ARE TYPICALLY USED FOR BALLAST.
- AN OPTIONAL TIE-DOWN ASSEMBLY, PART# BHD-K, IS AVAILABLE. ORDER SEPARATELY.
- AN OPTIONAL ROOF PROTECTION MAT, PART# MAT18 IS RECOMMENDED. MATS ARE 12" X 15" 3/4" AND 4" REQUIRED PER FRAME. ORDER SEPARATELY.
- AN OPTIONAL UNIVERSAL PIPE MOUNT KIT, PART# UPA-K, IS AVAILABLE FOR PIPE SIZES 1-1/4", 1-1/2", 2", 3", 3-1/2" AND 4". ORDER SEPARATELY.



ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	2	X-232696	BALLAST TRAY WELDMENT - SITE PRO 1		66.53	133.06
2	2	X-232699	SIDE BASE ANGLE 90° LENGTH - SITE PRO 1		25.76	51.52
3	2	X-232700	VERTICAL ANGLE 70-9/16" LENGTH - SITE PRO 1		19.08	38.15
4	2	SHCM-T	CHAIN MOUNT TIGHTENER BRACKET		1.84	3.68
5	4	X-232702	SUPPORT ANGLE 99-1/8" LENGTH - SITE PRO 1		26.94	107.76
6	2	X-232701	HORIZONTAL FACE ANGLE 86-1/2" LENGTH - SITE PRO 1		23.22	46.45
7	4	X-UB1212	1/2" X 2-1/2" X 4-1/2" X 2" GALV. U-BOLT		0.68	2.63
8	21	G1202	1/2" X 2" HDG HEX BOLT GR5		0.18	3.69
9	12	G12FW	1/2" HDG USS FLATWASHER		0.03	0.41
10	29	G12LW	1/2" HDG LOCKWASHER		0.01	0.40
11	29	G12NUT	1/2" HDG HEAVY ZH HEX NUT		0.07	2.07
12	B	C	2-3/8" O.D. VERTICAL MOUNTING PIPE	D	E	F

ASSEMBLY "A"	QTY "B"	PART "C"	LENGTH "D"	UNIT WT. "E"	NET WT. "F"	TOTAL WEIGH
RTW-7	0					389.51
RTW-7-2-06	2	P206	96"	30.76	61.52	451.03
RTW-7-2-126	2	P2126	126"	40.37	80.74	470.26

TOLERANCE NOTES

TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES (± 0.030")
DRILLED AND GAS CUT HOLES (± 0.007") - NO CONING OF HOLES
LASER CUT EDGES AND HOLES (± 0.010") - NO CONING OF HOLES
BENDS ARE ± 1/2 DEGREE
ALL OTHER MACHINING (± 0.030")
ALL OTHER MACHINING (± 0.060")

DESCRIPTION

7" NON-PENETRATING
ROOF MOUNT
SITE PRO 1

SITE PRO 1
Engineering Support Team
1-888-753-7446
Plymouth, NH
Salem, OR
Dallas, TX

B	ADDED VARIABLE TABLE	KCB	06/06/2012
A	UPDATE BALLAST EQUATION	4893 BMC	5/17/2011
REV	DESCRIPTION OF REVISIONS	CPD	BY DATE

CPD NO.	4893	ENG. APPROVAL	
DRAWN BY	RH18	DATE	12/6/2010
CLASS	81	SUB	01
CHECKED BY	CEK	DATE	7/10/2012
DWG. NO.	RTW-7		

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:

Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY: CHK.: APV.:

EO	SYNERGY	SYNERGY
----	---------	---------

LICENSURE:

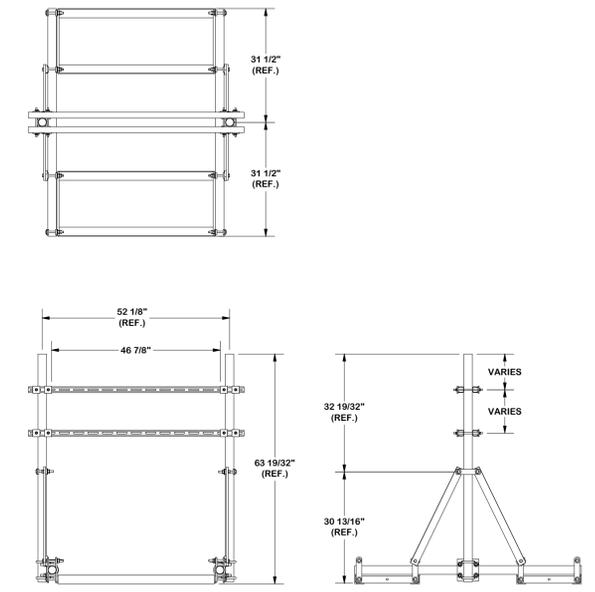
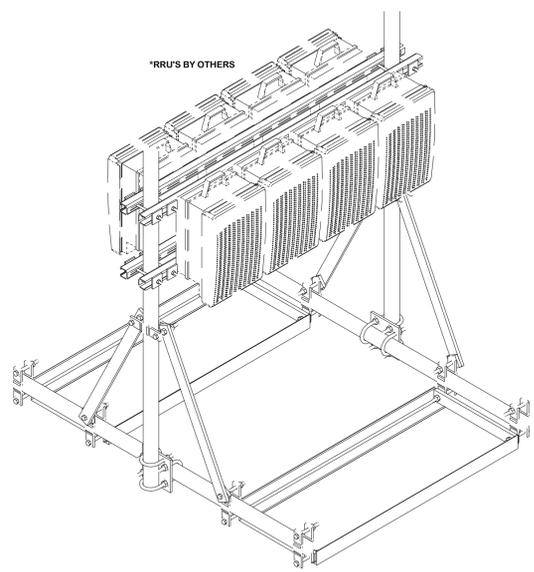
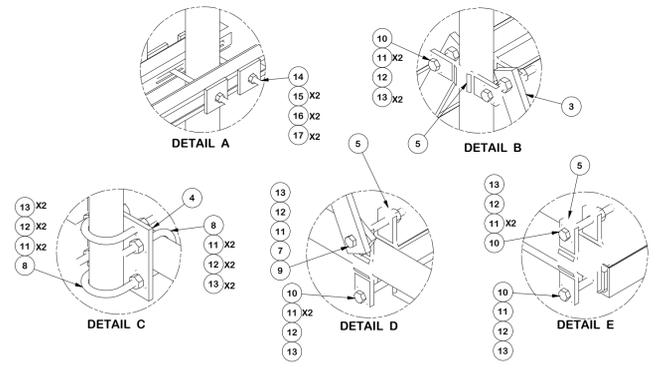
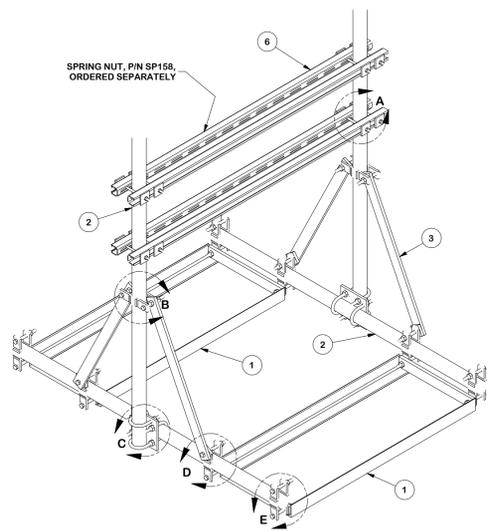
SHEET TITLE:

DETAILS

SHEET NUMBER: REVISION:

D-4 **D**
MT03017A

ITEM	QTY	PART NO.	PART DESCRIPTION	LENGTH	UNIT WT.	NET WT.
1	2	X-251912	BALLAST TRAY WELDMENT - SITE PRO 1		36.46	72.92
2	4	P263	2-3/8" X 63" SCH 40 GALVANIZED PIPE	63 in	20.19	80.74
3	4	X-232698	TRPD-HD SUPPORT PLATE - SITE PRO 1		8.72	34.88
4	2	SCX1	CROSSOVER PLATE 2-3/8" X 2-3/8"		3.71	7.42
5	20	X-115765	5" V-CLAMP		1.03	20.51
6	4	UNITS	UNISTRUT		10.19	40.76
7	4	X-124312	1/2" X 2" X 2" ANGLE SPACER, WITH 9/16" HOLE		0.53	2.13
8	8	X-081212	1/2" X 2-1/2" X 4-1/2" X 2" U-BOLT (HDG.)		0.73	5.85
9	4	G1205	1/2" x 6" HDG HEX BOLT GR5 FULL THREAD	5 in	0.33	1.30
10	16	G12045	1/2" x 4.5" HDG HEX BOLT GR5 FULL THREAD	4 1/2 in	0.30	4.77
11	44	G12FW	1/2" HDG USS FLATWASHER		0.03	1.50
12	36	G12LW	1/2" HDG LOCKWASHER		0.01	0.50
13	40	G12NUT	1/2" HDG HEAVY ZH HEX NUT		0.07	2.87
14	8	SS38R-8	3/8" X 8" THREADED ROD (STAINLESS STEEL)		0.25	2.01
15	16	SSQW38	3/8" SQUARE WASHER (GALV.)	2 in	0.27	4.37
16	16	SS38LW	3/8" SS LOCKWASHER		0.01	0.11
17	16	SS38NUT	3/8" SS HEX NUT		0.02	0.29
TOTAL WT. #						282.07



TOLERANCE NOTES
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES (± 0.030")
DRILLED AND GAS CUT HOLES (± 0.030") - NO CONING OF HOLES
LASER CUT EDGES AND HOLES (± 0.010") - NO CONING OF HOLES
BENDS ARE ± 1/2 DEGREE
ALL OTHER MACHINING (± 0.030")
ALL OTHER ASSEMBLY (± 0.060")

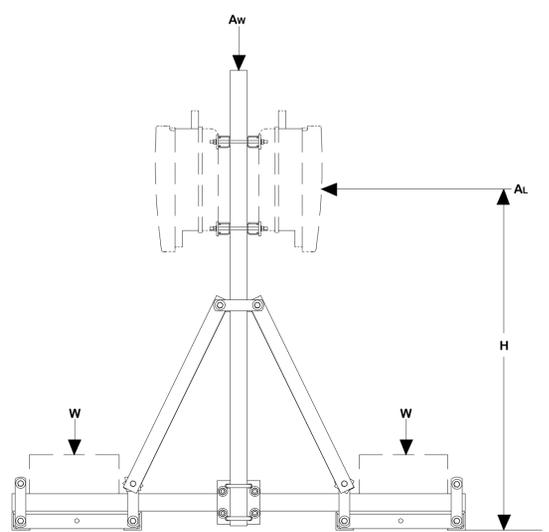
DESCRIPTION		PART NO.	
5' HEAVY DUTY ROOFTOP FOR REMOTE RADIO UNITS		RT-RRU5HD	
CPD NO.	DRAWN BY	ENG. APPROVAL	DATE
81	CEK	3/16/2015	3/16/2015
CLASS	SUB	DRAWING USAGE	CHECKED BY
81	02	CUSTOMER	BMC

SITE PRO 1
Engineering Support Team
1-888-753-7446
Locations: New York, NY; Atlanta, GA; Los Angeles, CA; Plymouth, IN; Salem, OR; Dallas, TX

TOLERANCE NOTES
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES (± 0.030")
DRILLED AND GAS CUT HOLES (± 0.030") - NO CONING OF HOLES
LASER CUT EDGES AND HOLES (± 0.010") - NO CONING OF HOLES
BENDS ARE ± 1/2 DEGREE
ALL OTHER MACHINING (± 0.030")
ALL OTHER ASSEMBLY (± 0.060")

DESCRIPTION		PART NO.	
5' HEAVY DUTY ROOFTOP FOR REMOTE RADIO UNITS		RT-RRU5HD	
CPD NO.	DRAWN BY	ENG. APPROVAL	DATE
81	CEK	3/16/2015	3/16/2015
CLASS	SUB	DRAWING USAGE	CHECKED BY
81	02	CUSTOMER	BMC

SITE PRO 1
Engineering Support Team
1-888-753-7446
Locations: New York, NY; Atlanta, GA; Los Angeles, CA; Plymouth, IN; Salem, OR; Dallas, TX



BALLAST EQUATION WITH 1.5 SAFETY FACTOR:

$$W = \frac{(AL \cdot H \cdot 1.5) - (Aw \cdot 2.625)}{4.5}$$

$$Wt = W \cdot 2$$

BALLAST EQUATION WITH REV. G LOADING:

$$W = \frac{(AL \cdot H \cdot 1.6) - (Aw \cdot 2.625)}{4.5 (0.9)}$$

$$Wt = W \cdot 2$$

AL = TOTAL ANTENNA / EQUIPMENT WIND LOAD (NON-FACTORED) lbs
Aw = TOTAL ANTENNA / EQUIPMENT WEIGHT (NON-FACTORED) lbs
H = HEIGHT FROM ROOFTOP ft
Wt = TOTAL BALLAST WEIGHT lbs
W = BALLAST WEIGHT PER TRAY lbs

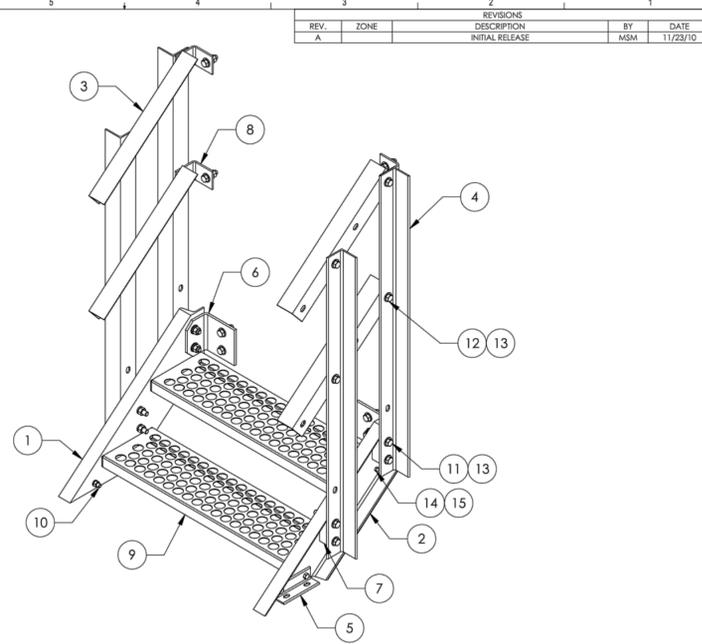
TOLERANCE NOTES
TOLERANCES ON DIMENSIONS, UNLESS OTHERWISE NOTED ARE:
SAWED, SHEARED AND GAS CUT EDGES (± 0.030")
DRILLED AND GAS CUT HOLES (± 0.030") - NO CONING OF HOLES
LASER CUT EDGES AND HOLES (± 0.010") - NO CONING OF HOLES
BENDS ARE ± 1/2 DEGREE
ALL OTHER MACHINING (± 0.030")
ALL OTHER ASSEMBLY (± 0.060")

DESCRIPTION		PART NO.	
5' HEAVY DUTY ROOFTOP FOR REMOTE RADIO UNITS		RT-RRU5HD	
CPD NO.	DRAWN BY	ENG. APPROVAL	DATE
81	CEK	3/16/2015	3/16/2015
CLASS	SUB	DRAWING USAGE	CHECKED BY
81	02	CUSTOMER	BMC

SITE PRO 1
Engineering Support Team
1-888-753-7446
Locations: New York, NY; Atlanta, GA; Los Angeles, CA; Plymouth, IN; Salem, OR; Dallas, TX

NOTES:
HANDRAIL WILL NOT BE INSTALL.

ITEM/PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MTC90552.01	RIGHT STAIR LEG	1 23.99 LBS
2	MTC90552.02	LEFT STAIR LEG	1 23.99 LBS
3	MTC90552.03	STEP HANDRAIL	4 12.45 LBS
4	MTC7902.04	HANDRAIL POST	4 15.59 LBS
5	MTC9016.05	STAIR ANCHOR CLIP	2 1.32 LBS
6	MTC9016.08	STEP CHANNEL MOUNTING ANGLE	2 5.57 LBS
7	MTC9016.07	RAILING SPACER	4 1.40 LBS
8	MTC9055.05	HANDRAIL CLIP	4 1.42 LBS
9	MTC9722.09	10" X 36" STAIR GRIP STEP	2 20.59 LBS
10	GB-04145	1/2" X 1-1/2" GALV BOLT KIT	4 0.27 LBS
11	GB-05405	5/8" X 4" GALV BOLT KIT	8 0.27 LBS
12	GB-05205	5/8" X 2" GALV BOLT KIT	16 0.27 LBS
13	GW-F-05	5/8" GALV FLAT WASHER	44 0.01 LBS
14	GB-03125	3/8" X 1-1/4" GALV BOLT KIT	8 0.27 LBS
15	GW-F-03	3/8" GALV FLAT WASHER	8 0.01 LBS



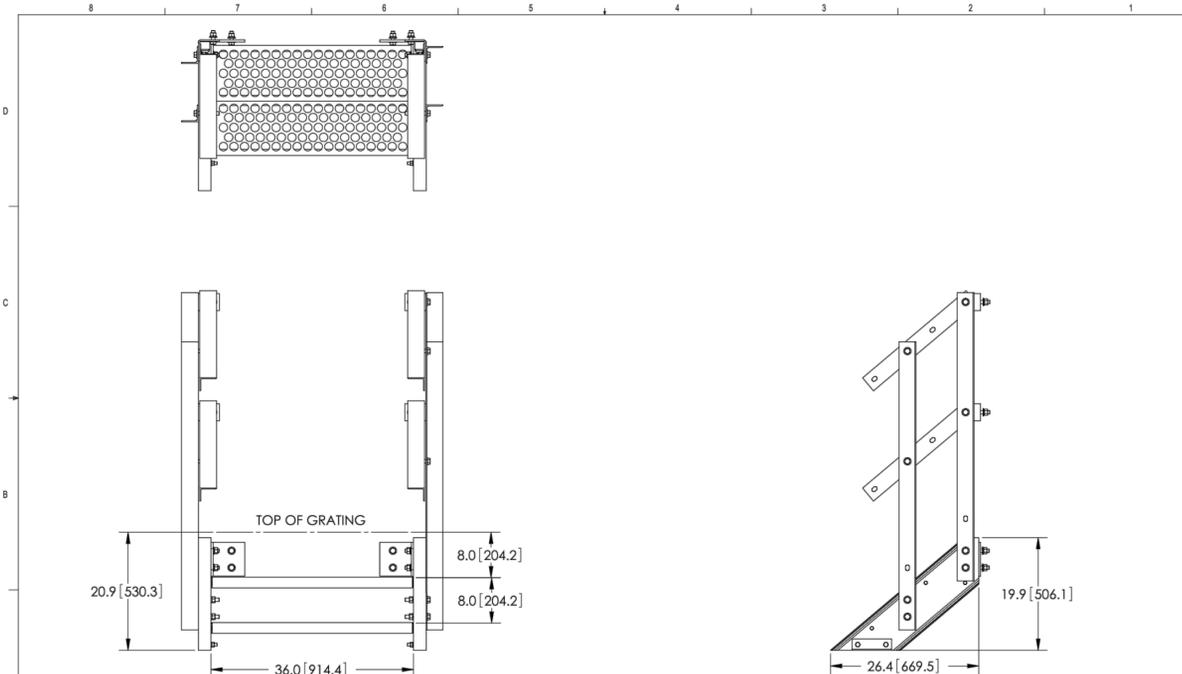
REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.



REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

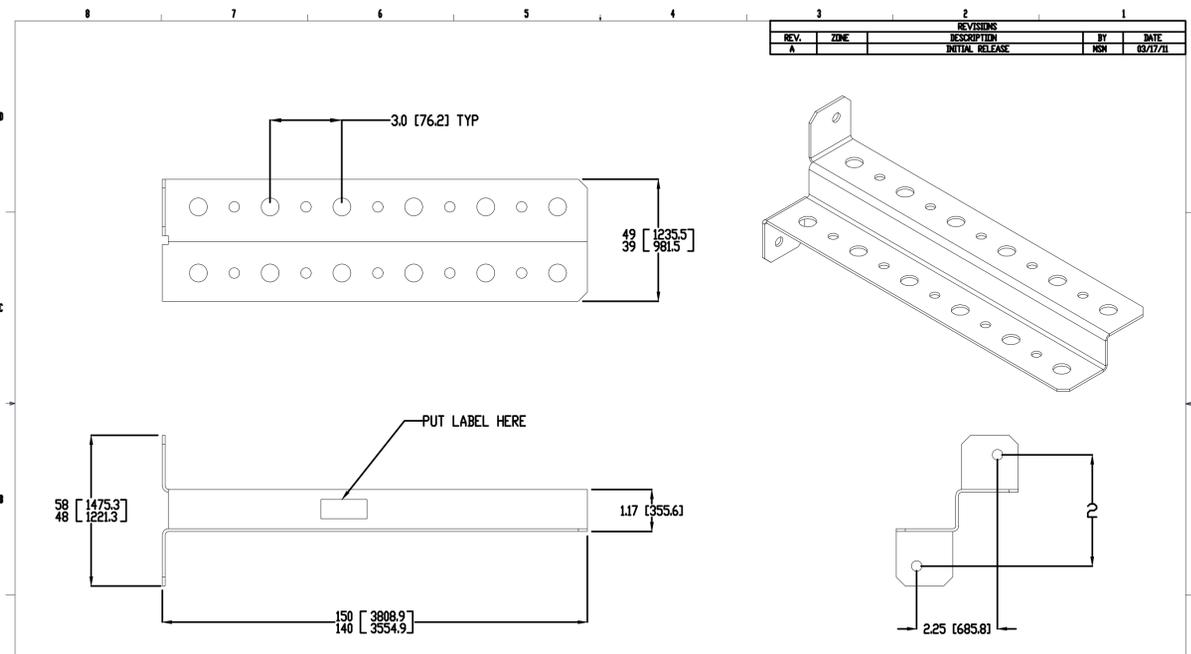
REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	11/23/10

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

2 DETAILS



NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

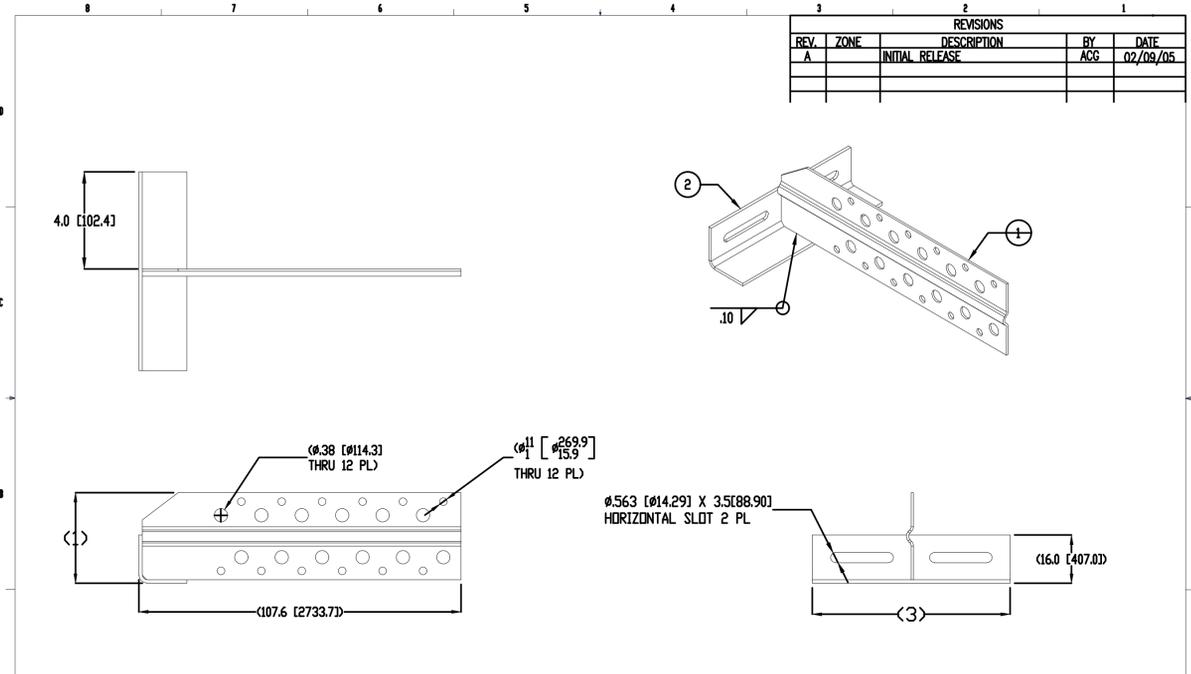
REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	03/17/11

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	03/17/11

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	03/17/11

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	03/17/11

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.



NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	02/09/05

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	02/09/05

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	02/09/05

REV.	ZONE	DESCRIPTION	BY	DATE
A		INITIAL RELEASE	MSM	02/09/05

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

1 DETAILS



274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

RILEY ARENA ROOFTOP
MT03017A

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:



DRAWN BY: CHK.: APV.:

EO	SYNERGY	SYNERGY
----	---------	---------

LICENSURE:

SHEET TITLE:

DETAILS

SHEET NUMBER: REVISION:

D-5

D

MT03017A



LPG

HEATING



SPECIFICATIONS

MODEL/SIZE (LBS)	100	200	420
HEIGHT (IN)	48	40	52
LPG CAPACITY (GAL)	23.6	47.2	99.1
WATER CAPACITY (LBS)	239	474	1,000
NOMINAL TARE WEIGHT (LBS)	68	142	271
CYLINDER DIAMETER (IN)	14.7	24	30
CYLINDER VOLUME (CU. IN)	6,616	13,120	27,680
COLLAR DIAMETER (IN)	6.5	16	16
COLLAR HEIGHT (IN)	5.1	6.9	6.9
FOOTRING DIAMETER (IN)	14.5	19	22
VALVE	CGA-510 NO OPD	CGA-510 NO OPD	CGA-510 NO OPD
STANDARD SPECIFICATION	DOT-4BW240	DOT-4BW240	DOT-4BW240

METRIC

MODEL/SIZE (LBS)	100	200	420
HEIGHT (MM)	1,219	1,016	1,321
LPG CAPACITY (L)	86.7	172	360
WATER CAPACITY (KG)	108.4	215	450
NOMINAL TARE WEIGHT (KG)	30.8	64.4	122.9
CYLINDER DIAMETER (MM)	373	610	762
CYLINDER VOLUME (L)	108.4	215	450
COLLAR DIAMETER (MM)	165	406	406
COLLAR HEIGHT (MM)	130	175	175
FOOTRING DIAMETER (MM)	368	483	559
VALVE	CGA-510 NO OPD	CGA-510 NO OPD	CGA-510 NO OPD
STANDARD SPECIFICATION	DOT-4BW240	DOT-4BW240	DOT-4BW240

All dimensions are approximate.

200 OLD WILSON BRIDGE ROAD
COLUMBUS, OHIO 43085
P: 614.438.3013
F: 614.438.3053

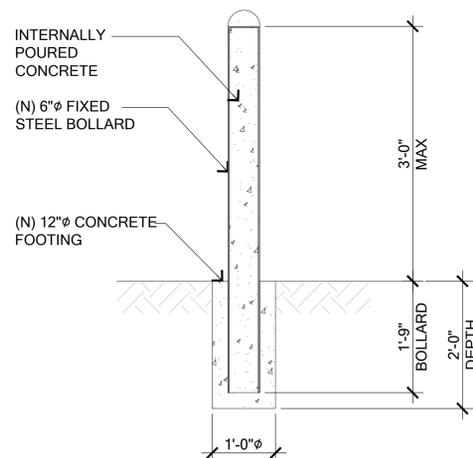
TOLL-FREE: 866.928.2657
CYLINDERS@WORTHINGTONINDUSTRIES.COM
WORTHINGTONCYLINDERS.COM



© 2014, Worthington Cylinder Corporation, A Worthington Industries Company 05/14

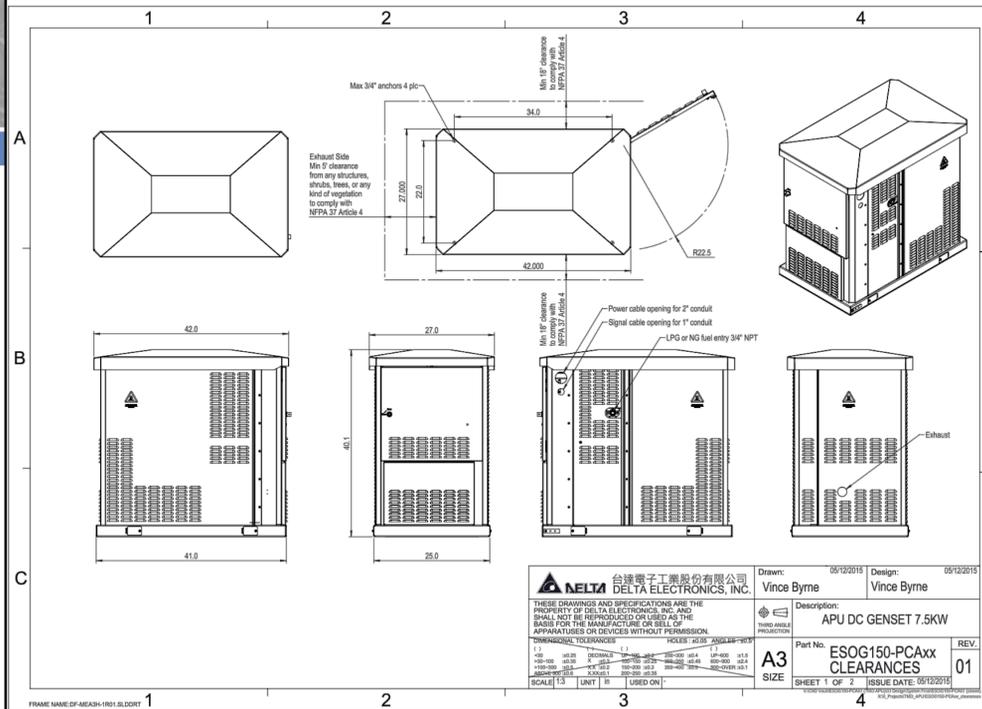
5 PROPANE TANK DETAILS

SCALE: NTS



6 SAFETY BOLLARD DETAILS

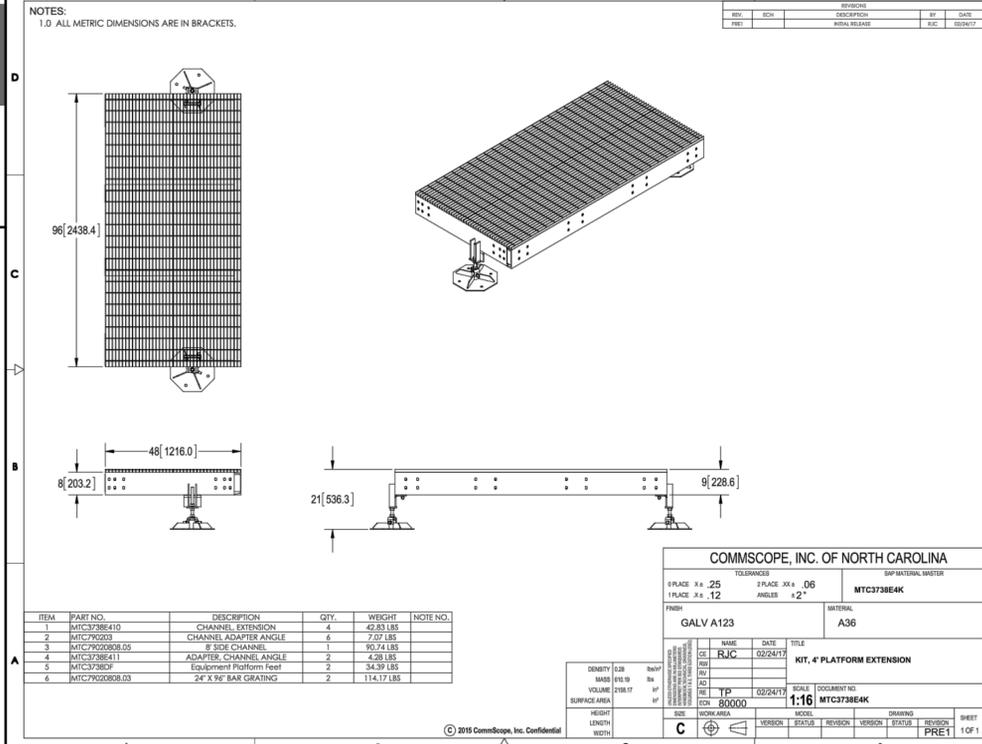
SCALE: NTS



3 APU DETAIL

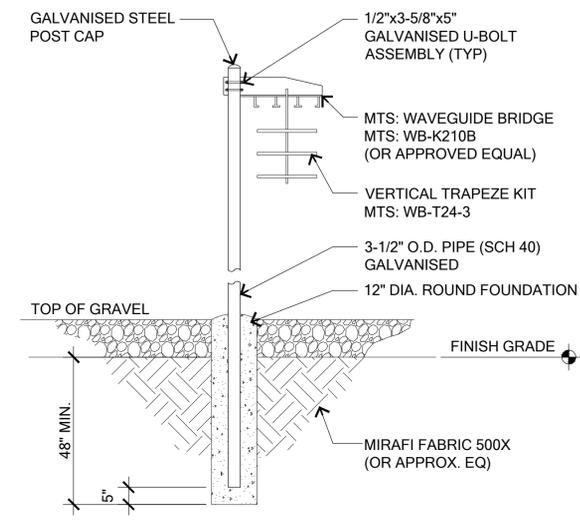
SCALE: NTS

DELTA 台湾电子工业股份有限公司
DELTA ELECTRONICS, INC.
Drawn: Vince Byrne Design: Vince Byrne
Description: APU DC GENSET 7.5KW
Part No: ESOG150-PCAxX CLEARANCES
REV. 01
SHEET 1 OF 2 ISSUE DATE: 05/12/2015



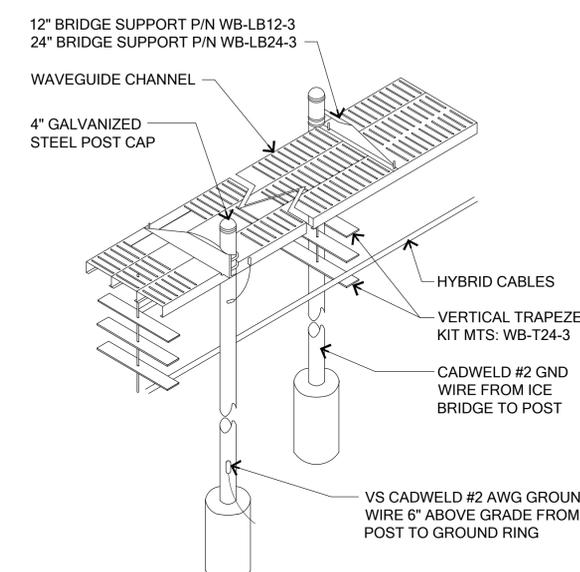
4 PLATFORM EXTENSION DETAILS

SCALE: NTS



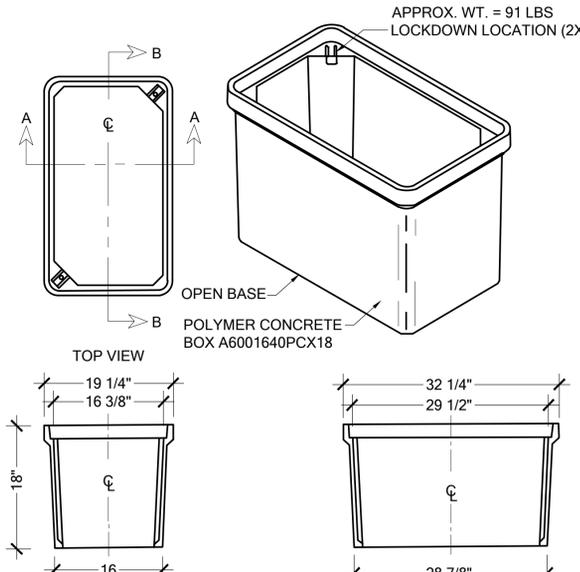
1 ICE BRIDGE DETAILS

SCALE: NTS



2 PULL BOX

ARMORCAST - MODEL: A6001640PCX18



T-Mobile
274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:
**RILEY ARENA ROOFTOP
MT03017A**
1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:
08/07/17

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:
Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY:	CHK.:	APV.:
EO	SYNERGY	SYNERGY

LICENSURE:
SHEET TITLE:
DETAILS

SHEET NUMBER:
D-6

REVISION:
D
MT03017A



20A OUTDOOR GFCI WITH MECHANICAL TIMER COMBO

MANUFACTURER: MIDWEST ELECTRIC

SPECIFICATIONS:

CATEGORY	POWER OUTLETS & TEMPORARY POWER SURFACE
MOUNTING HEADS	1
METERING	UNMETERED
RECEPTACLES	5-20R2GFCI & SWITCH
FEED	OVERHEAD
AIC	10,000
AMPS	20.0
CABINET SIZE	5 X 7
CIRCUIT PROTECTION	NO
HUB PROVISION	NO
INSTALLED BREAKER	NONE
LOAD CENTER	NONE
LOOP FEED	NO
PHASE	1
SUITABLE FOR SERVICE EQUIPMENT	NO
STANDARD PACKAGE	1
STOCK CLASS CODE	STOCK
CERTIFICATION	UL/CUL
UNIT WEIGHT	4.5
UPC	078456730149
VOLTS	120

CONTRACTOR IS RESPONSIBLE TO COORDINATE INSTALL OF ELECTRICAL METER WITH UTILITY COMPANY AND VERIFY INSTALLATION WITH T-MOBILE.

ELECTRICAL CONTRACTOR NOTE:

THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY ANY AND SHOW THE GENERAL INTENT OF THE FINAL ARRANGEMENTS OF ELECTRICAL SYSTEMS, EQUIPMENT AND CONNECTIONS. IT IS THE INTENT OF THESE ELECTRICAL DRAWINGS TO REQUIRE APPROPRIATE ELECTRICAL WORK TO COMPLETELY FACILITATE THE ELECTRICAL REQUIREMENTS FOR THE NEW TENANT (T-MOBILE). SOME OF THE ELECTRICAL WORK SHOWN IS EXISTING AND SHALL REMAIN IN PLACE AND NEW WORK ADDED TO ACCOMMODATE T-MOBILE ELECTRICAL REQUIREMENTS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING AND ADD NEW WORK AS REQUIRED TO COMPLETE THE T-MOBILE ELECTRICAL REQUIREMENTS. IT IS NOT INTENDED TO SHOW EXISTING ELECTRICAL WORK EXACTLY AS IS BUT TO SHOW THE INTENT ONLY. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR ADDED LOAD (T-MOBILE). VERIFY ELECTRICAL AND TELCO SERVICE SIZE AND CAPACITY.

GENERAL NOTES:

- ALL WORK COMPLIES WITH 2014 NATIONAL ELECTRIC CODE (NEC) AND ANY LOCAL ORDINANCES, CODES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
- ALL EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE UNDERWRITERS LABORATORIES (UL) LISTED. NEW FREE FROM DEFECTS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- ALL WORK SHALL BE EXECUTED IN A WORKMAN-LIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED. CONTRACTOR SHALL AVOID DAMAGE TO EXISTING UTILITIES WHEREVER POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK, AND SHALL RESTORE ALL EXISTING LANDSCAPING, SPRINKLER SYSTEMS, CONDUITS, WIRING, PIPING, ETC. DAMAGED BY THE ELECTRICAL WORK TO MATCH CONDITIONS.
- ELECTRICAL WORK SHALL INCLUDE, BUT NOT LIMITED TO, ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ELECTRICAL POWER AND LIGHTING SYSTEMS, TELEPHONE AND COMMUNICATION SYSTEMS, PANEL BOARDS, CONDUIT, CONTROL WIRING, GROUNDING, ETC. AS INDICATED ON ELECTRICAL DRAWINGS AND/OR AS REQUIRED BY GOVERNING CODES.
- PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY EXISTING SITE LOCATIONS AND CONDITIONS AND UTILITY SERVICE REQUIREMENTS OF THE JOB, AND BY REFERENCE TO ENGINEERING AND EQUIPMENT SUPPLIERS DRAWINGS. SHALL THERE BE ANY QUESTION OR PROBLEM CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE POWER AND TELEPHONE TO SERVICE POINTS PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL CONTACT UTILITY SERVICE PLANNERS AND OBTAIN ALL SERVICE REQUIREMENTS AND INCLUDE COST OF SUCH IN THEIR BID.
- SERVICE EQUIPMENT SHALL HAVE A SHORT CIRCUIT WITHSTAND RATING EQUAL TO OR EXCEEDING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SUPPLY TERMINAL ON THE UTILITY TRANSFORMER. SECONDARY, THE INSULATION SHALL BE FREE FROM ANY SHORT CIRCUITS AND GROUNDS.
- WHERE APPLICABLE CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY REGARDING REQUIREMENTS AND INSTALLATION OF ACT CABINET.

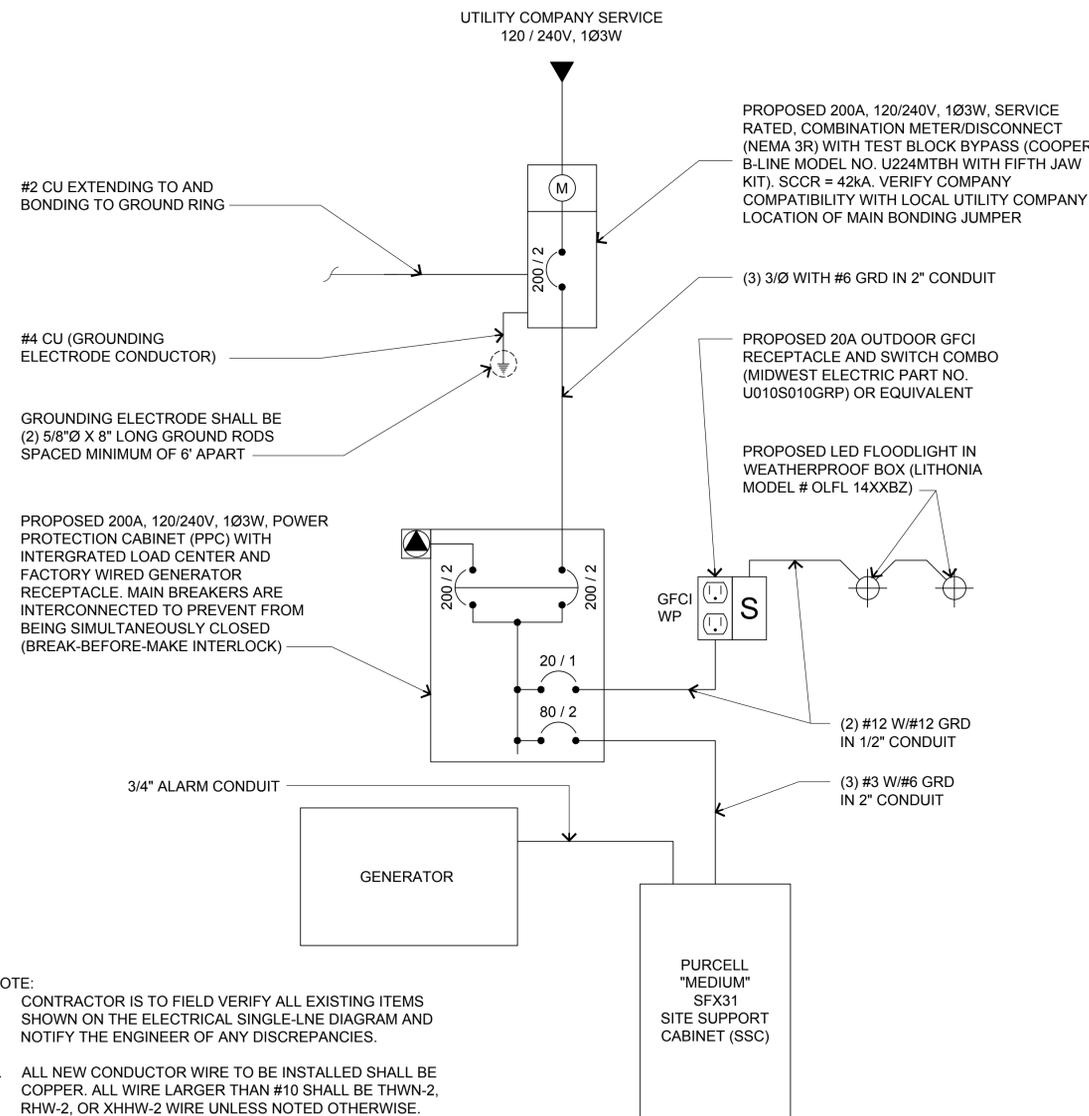
ELECTRICAL NOTES:

- ALL WIRES SHALL BE STRANDED COPPER WITH THHN/THWN AND 600 VOLTS INSULATION. ALL GROUND CONTRACTORS TO BE PROPERLY SIZED COPPER. (STRANDED OR SOLID).
- IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS, THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL.
- SERVICE CONDUITS SHALL HAVE NO MORE THAN (4) 90° BENDS IN ANY SINGLE RUN. THE CONTRACTOR SHALL PROVIDE PULL BOXES AS NEEDED WHERE CONDUIT REQUIREMENTS EXCEED THESE CONDUITS. PULL WIRES AND CAPS SHALL BE PROVIDED AT ALL SPARE CONDUITS FOR FUTURE USE.
- ALL COAX, POWER AND TELEPHONE SYSTEM CONDUITS SHALL HAVE A MINIMUM 24" SCH. 80PVC RADIUS SWEEPS TO EQUIPMENT, PULL BOXES, MONOPOLES, ETC., UNLESS OTHERWISE NOTED, OR AS REQUIRED BY UTILITY COMPANIES.
- ALL CONDUITS AND NIPPLE ENTRIES TO CABINET AND METER BOXES WILL BE MADE WITH WEATHERPROOF HUBS, CONNECTORS OR LOCKNUTS LISTED FOR THE APPLICATIONS WITH NON-METALLIC BUSHINGS.
- ONLY ONE SERVICE ALLOWED PER LUG. ALL GROUNDING AND BONDING MUAT COMPLY WITH NEC 250 REQUIRED.
- UPON COMPLETION OF THE JOB, THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE OWNER.

T-MOBILE PANEL SCHEDULE											
MAIN: 200 AMP MAIN BREAKER				VOLTAGE/PHASE: 120/240V, 1-PHASE, 3-WIRE				AIC RATING: 10,000 AMPS			
MOUNTING: INSIDE PPC CABINET				ENCLOSURE: NEMA 3R				SURGE PROTECTION DEVICE: YES			
DESCRIPTION	LOAD (VA)	C or NC	C/B	CIR No.	LOAD (VA)		CIR No.	C/B	C or NC	LOAD (VA)	DESCRIPTION
					A-PHASE	B-PHASE					
PURCELL SFX31 SUPPORT CABINET	6240	C	80	1	6240		2		NC	0	SURGE PROTECTION DEVICE
		C		3		6240	4		NC	0	
				5	380		6	20	NC	380	GFCI RECEPTACLE AND LIGHTS
				7		0	8				
				9	0		10				
				11		0	12				
				13	0		14				
				15		0	16				
				17	0		18				
				19		0	20				
				21	0		22				
				23		0	24				
BASE LOAD (VA) =					6620	6240					
25% OF CONTINUOUS LOAD (VA) =					1560	1560	"C" DESIGNATION IDENTIFIES CONTINUOUS LOADS AND MOTOR LOADS AS REQUIRED BY SECTIONS 230.42 AND 430.24 OF THE NEC				
TOTAL LOAD (VA) =					8180	7800					
TOTAL LOAD (A) =					69	65					

PANEL SCHEDULE

1



NOTE:

- CONTRACTOR IS TO FIELD VERIFY ALL EXISTING ITEMS SHOWN ON THE ELECTRICAL SINGLE-LINE DIAGRAM AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- ALL NEW CONDUCTOR WIRE TO BE INSTALLED SHALL BE COPPER. ALL WIRE LARGER THAN #10 SHALL BE THWN-2, RHW-2, OR XHHW-2 WIRE UNLESS NOTED OTHERWISE.
- ALL GROUNDING AND BONDING TO BE PER THE RECOGNIZED EDITION OF THE NATIONAL ELECTRIC CODE (NEC)



274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

RILEY ARENA ROOFTOP
MT03017A

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:

DRAWN BY: CHK.: APV.:

EO	SYNERGY	SYNERGY
----	---------	---------

LICENSURE:

--	--	--

SHEET TITLE:

PANEL SCHEDULE,
SINGLE-LINE DIAGRAM
AND PLATFORM UTILITY
RACK

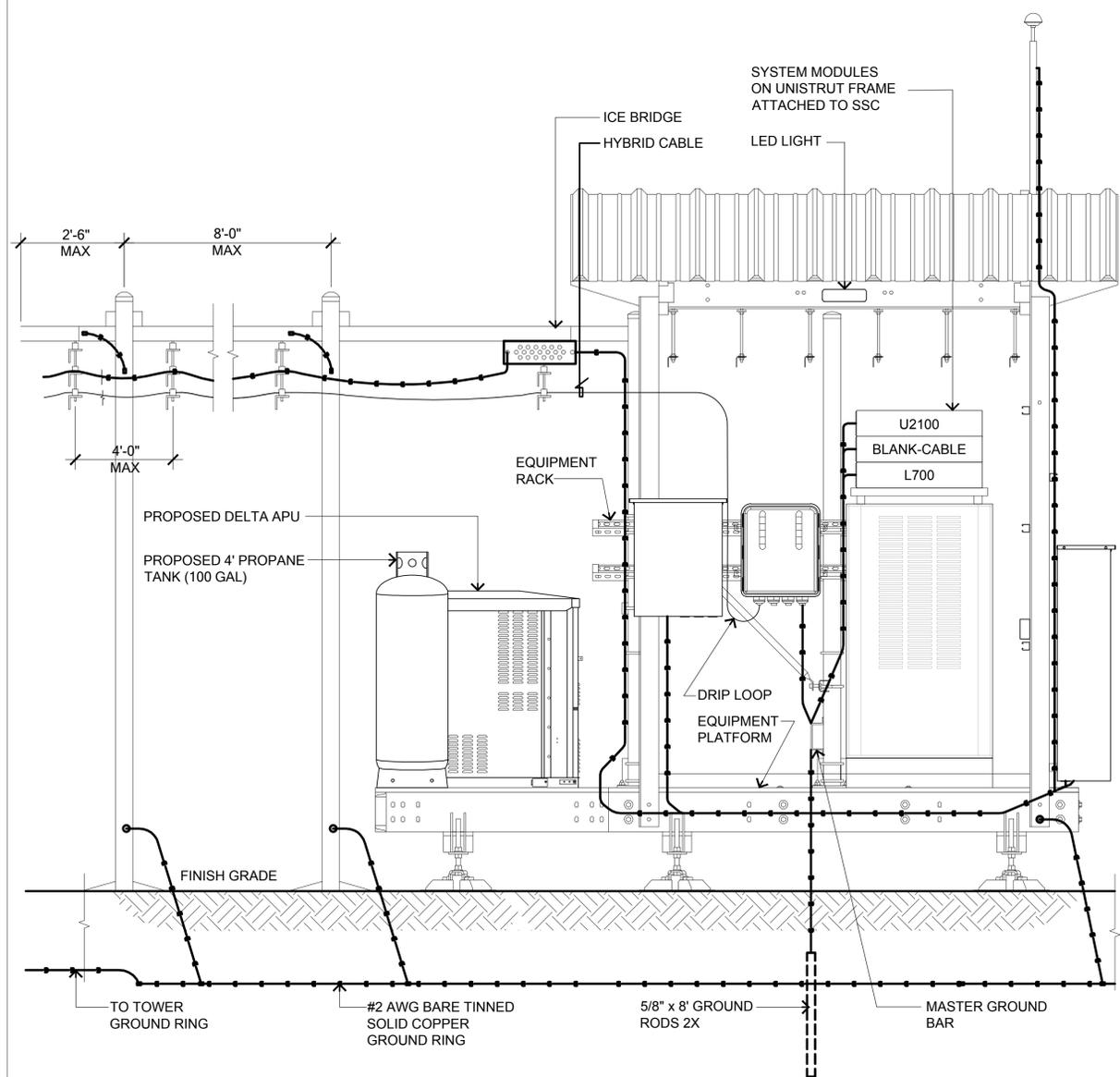
SHEET NUMBER: REVISION:

E-1

D

MT03017A

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

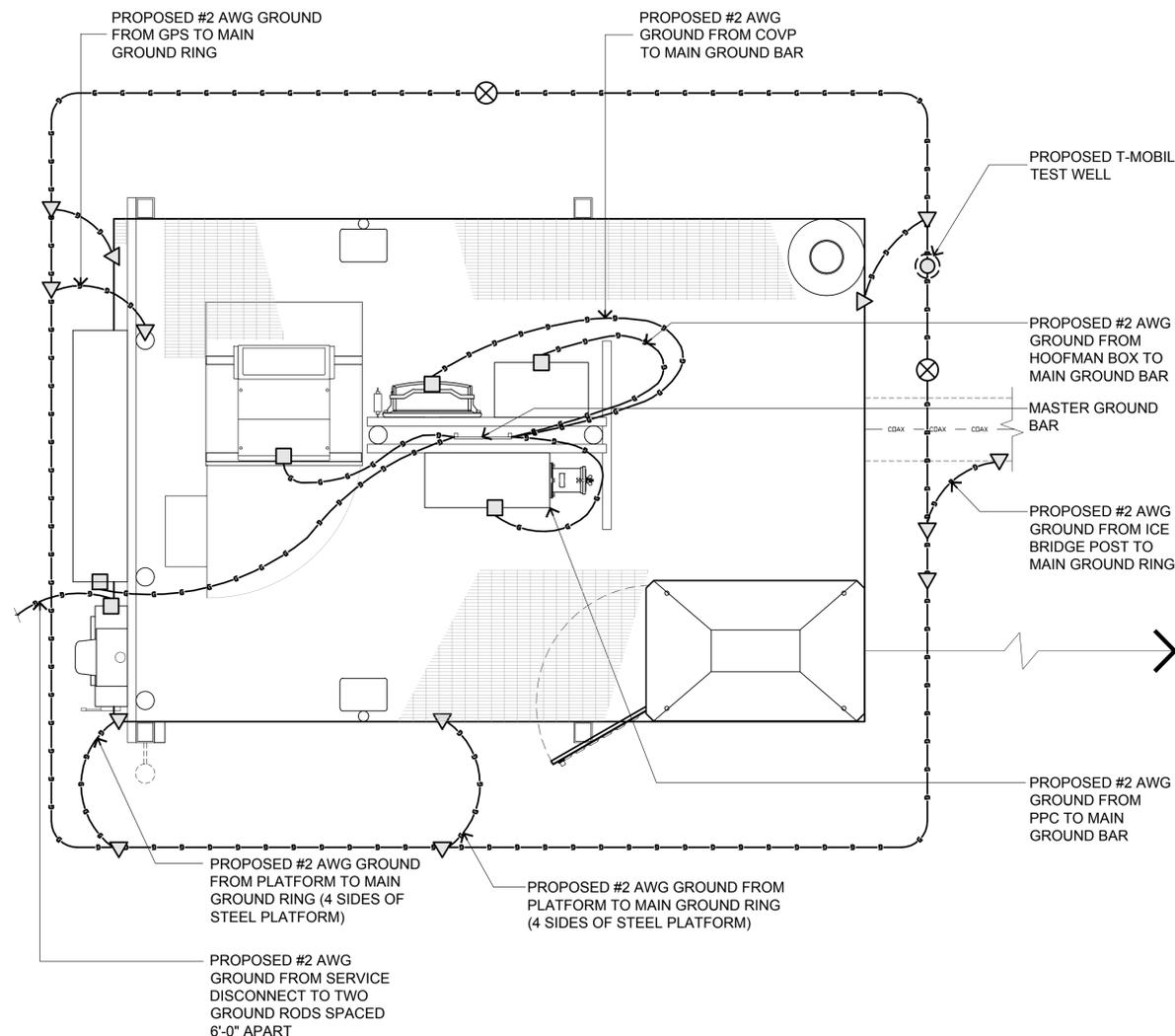


GROUNDING NOTES:

1. MOUNT MASTER GROUND BUS BELOW LOWEST GROUND KIT.
2. ALL PVC SHALL BE SCH 80 UNLESS NOTED OTHERWISE.
3. THE MINIMUM BEND RADIUS FOR ALL GROUND LEADS IS 9" TO 10" FOR COAX CABLE.

LEGEND:

- EXISTING GROUND RING
- ▽ CADWELD CONNECTION (EXOTHERMIC WELD)
- MECHANICAL CONNECTION
- ⊗ GROUND ROD



IMPORTANT GROUNDING/CABLE NOTES:

1. INSTALL (2) GROUND BARS AT THE BOTTOM OF THE TOWER (EVEN WITH SHORT ICE BRIDGE RUNS), ONE GROUND BAR AT THE TOWER AND ONE AT THE PLATFORM. IF SITE IS A ROOFTOP AND THE EQUIPMENT IS IN PENTHOUSE, T-MOBILE REQUIRES ONE GROUND BAR ON THE OUTSIDE OF THE PORT ENTRY AND ONE ON THE INSIDE NEAR THE CABINET. MONOPOLE JOBS WILL REQUIRE SECTORIZED GROUNDING, WHICH WILL REQUIRE (3) TOP BUSS BARS.
2. T-MOBILE IS ELIMINATING THE HOME RUN GROUND WIRE FROM TOP BUSS BAR AND THE BOTTOM BUSS BAR ON TOWER SITES. ROOFTOPS ARE STILL REQUIRED TO HAVE SECTORIZED GROUND AND #2 INSULATED GROUND WIRE FROM SECTOR GROUNDS TO MAIN BUSS BARS AND BUILDING STEEL.
3. REMOVE INSULATORS (CHERRIES) FROM THE BUSS BARS TO TOWER, BOTTOM. ISOLATORS ARE TO BE PLACED ON MGB.
4. ALL EXPOSED GROUNDS TO BE DRESSED WITH SEAL TIGHT AND WEATHERPROOFED.
5. ALL ICE BRIDGE POSTS ARE TO BE GROUNDED WITH #2 SOLID AND DRESSED WITH NOOX.
6. TWO OF THE FOUR PLATFORM POSTS NEED TO BE GROUNDED DIAGONALLY.
7. BOTTOM BUSS BAR IS TO HAVE TWO #2 GROUND LEADS DRESSED IN WITH SEAL TIGHT.
8. THE DISTANCE BETWEEN TRAPEZE HANGERS ON ICE BRIDGE IS 4'-0".
9. THE DISTANCE BETWEEN BUTTERFLIES AND CABLE STAND-OFFS IS 4'-0".
10. THE DISTANCE BETWEEN CONVENTIONAL AND/OR SNAP-HANGERS ON 3/8" JUMPERS SHALL BE NO MORE THAN 3'-0" AT THE TOP AND 2'-0" FEET ON THE BOTTOM JUMPERS PER MANUFACTURER'S RECOMMENDATION.
11. NO HYBRID CABLES SHOULD TOUCH METAL OR STEEL. THE USE OF STANDOFF BRACKETS IS REQUIRED.
12. GRAVEL UNDER ALL PLATFORM IS REQUIRED.
13. HYBRID AND JUMPER LINES SHOULD BE DRESSED IN ON THE SIDE OR BOTTOM OF T-BOOMS, NEVER ON TOP WHERE SOMEONE WOULD WALK.
14. ALL GROUND LEADS ARE TO BE RUN UNDER THE PLATFORM.
15. ALL GROUNDS FROM PPC-PURCELL, COVP, PPC, TELCO, RADIO EQUIPMENT ARE TO BE CONNECTED TO THE MGB.

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY

△ D	08/07/17	100% CD	JA
△ C	07/27/17	REVISED 90% CD*	JA
△ B	07/19/17	REVISED 90% CD*	JA
△ A	05/30/17	90% CD*	EO

CONSULTANT:

Synergy
Development Services, INC.
274 DISCOVERY DR., SUITE 200, BOZEMAN, MT 59718
OFFICE: 406.697.5101

DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:

SHEET TITLE:

**EQUIPMENT GROUNDING
DETAILS**

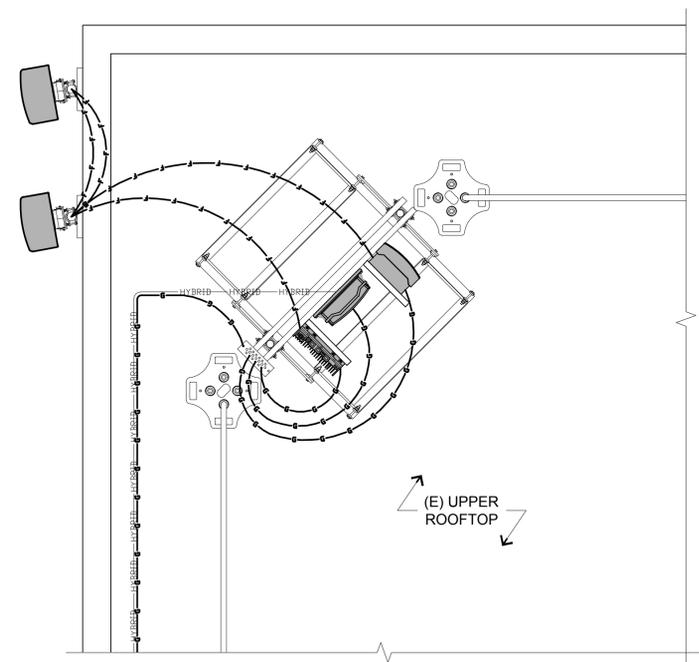
SHEET NUMBER: REVISION:

E-3

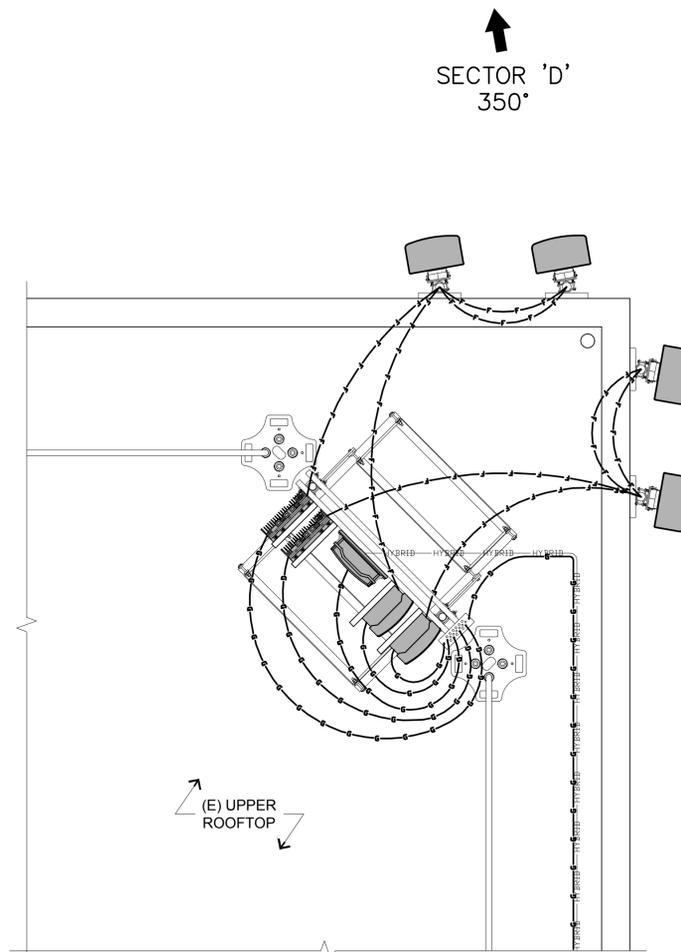
D

MT03017A

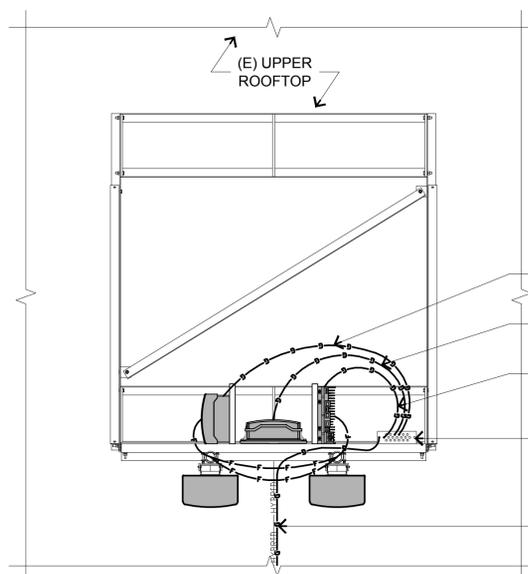
SECTOR 'C'
260°



SECTOR 'D'
350°



SECTOR 'A'
100°



SECTOR 'B'
180°

- PROPOSED #6 AWG GROUND FROM 700 MHZ RRU UNIT TO SECTOR GROUND BAR (TYP)
- PROPOSED #6 AWG GROUND FROM COVP UNIT TO SECTOR GROUND BAR (TYP)
- PROPOSED #6 AWG GROUND FROM 2100 MHZ RRU UNIT TO SECTOR GROUND BAR (TYP)
- GROUND BAR (TYP.)
- PROPOSED #6 AWG GROUND GROUND BAR TO EXISTING GROUND WELL TO RUN ALONG PATH OF (N) HYBRID CABLES (TYP)

GENERAL GROUNDING NOTES:

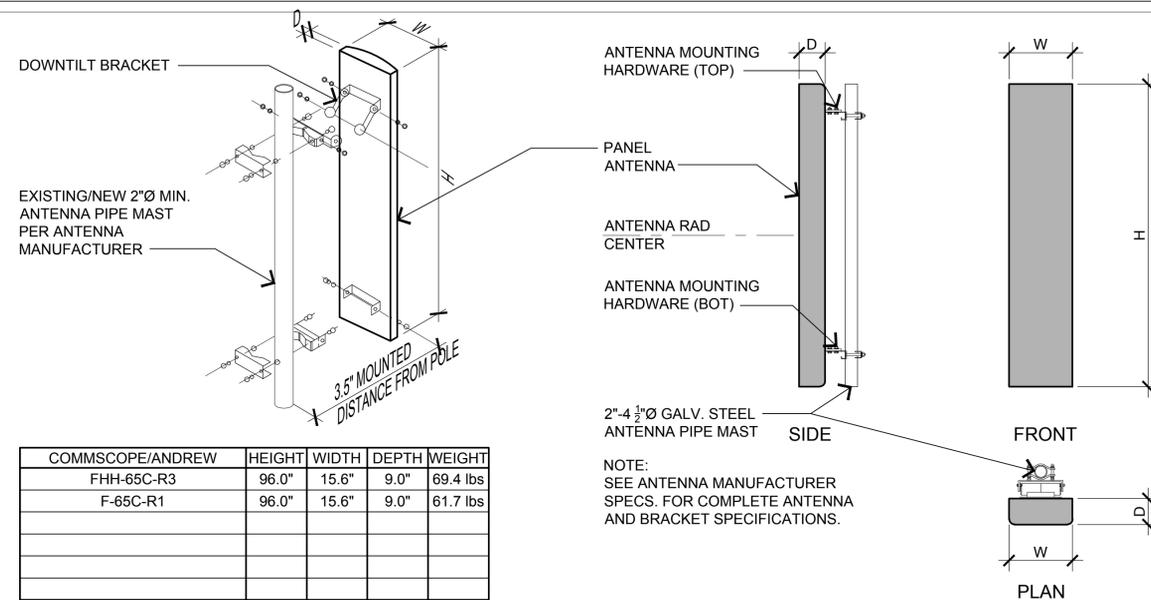
1. GROUNDING SHALL COMPLY WITH NEC, T-MOBILE AND NSN STANDARDS. CONTRACTOR SHALL VERIFY EXISTING GROUNDING CONDITIONS. CORRECTING ANY DEFICIENCIES TO BE INCLUDED IN ORIGINAL PRICING AND CORRECT DEFICIENCIES DURING NEW CONSTRUCTION. INCLUDING MISSING GROUND BARS, BAD GROUND WELDS, MISSING GROUND LEADS OR BROKEN GROUND LEADS, ETC.
2. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT / GROUND BARS AND THE GROUND RING, SHALL BE #2 AWG SOLID TIN PLATED COPPER IN 3/4" PROTECTIVE PVC UNLESS OTHERWISE INDICATED.
3. APPROVED ANTIOXIDANT COATINGS (NO-OX) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
4. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED. IN ALL CASES, BENDS SHALL BE MADE WITH A MINIMUM BEND RADIUS OF 12 INCHES.
5. ALL TOWER TOP GROUND WIRES SHALL BE SUPPORTED EVERY TWO FEET.

SITE LOADING CHART

SECTOR	COLOR	ANTENNA MODEL #	VENDOR	AZIMUTH (TN)	MECHANICAL DOWNTILT	ELECTRICAL DOWNTILT	RADIATION CENTER	HYBRID CABLE LENGTH
ALPHA	RED	FHH-65C-R3 F-65C-R1	COMMSCOPE	100°	0°	RET	28'-0" AGL	±400'-0"
BETA	GREEN	FHH-65C-R3 F-65C-R1	COMMSCOPE	180°	0°	RET	41'-0" AGL	±350'-0"
GAMMA	BLUE	FHH-65C-R3 F-65C-R1	COMMSCOPE	260°	0°	RET	28'-0" AGL	±250'-0"
DELTA	BLUE	FHH-65C-R3 F-65C-R1	COMMSCOPE	350°	0°	RET	28'-0" AGL	±400'-0"

	ANTENNA MODEL #	VENDER	RAD CENTER	COAX SIZE	# OF COAX
GPS		NOKIA	13'-0"	ANDREW 1/2" φ	1

COMMSCOPE/ANDREW	HEIGHT	WIDTH	DEPTH	WEIGHT
FHH-65C-R3	96.0"	15.6"	9.0"	69.4 lbs
F-65C-R1	96.0"	15.6"	9.0"	61.7 lbs



SITE LOAD CHART

2 ANTENNA DETAILS

1

NOTE:

- ALL COAXIAL CABLE CONNECTIONS TO BE WEATHER PROOFED.
- CONTRACTOR TO DIP CABLES AND JUMPERS WHERE NECESSARY.
- TAGGING:
 - ALL COAXIAL CABLES TO BE MARKED WITH COLOR CODED TAPE TO INDICATE THE ANTENNA SECTOR.
 - COLORS ELECTRICAL TAPE SHALL MARK EACH END OF CABLE AND EACH END OF JUMPERS AS CLOSE TO EACH END AS POSSIBLE. (NOT TO INTERFERE WITH WEATHERPROOFING.)
- COAXIAL CABLE SPECIFICATIONS REQUIRE CABLE SUPPORT EVERY 3'-0" ON CENTER. CONTRACTOR SHALL SUPPLY SUPPORTS AS REQUIRED TO MEET THIS REQUIREMENT.
- VERTICAL CONNECTIONS SHALL BE TAPED FROM THE BOTTOM UP SO OVERLAP MOVES WATER AWAY FROM CONNECTION. (SEE STEP 4.)

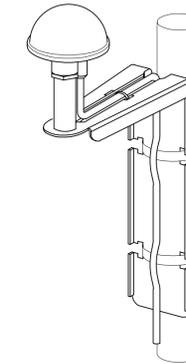
- Power/data cables:
- GPS cable set (FYHA) up to 30 m 471605A
- GPS cable set (FYHB) up to 100 m 471653A
- GPS cable set (FTSE) up to 30 m 472510A (for the System Module variant FSMF)
- GPS cable set (FTSH) up to 100 m 472577A (for the System Module variant FSMF)



Figure 46: GPS Antenna Kit (FYGA)/GPS GLONASS Receiver Antenna (FYGB)

GPS Antenna Kit (FYGA) and GPS GLONASS Receiver Antenna (FYGB) operation
 Flexi Multiradio BTS uses GPS (Global Positioning System) or GNSS (Global Navigation Satellite System) as a source for frequency and time synchronization. A GPS or GLONASS antenna with an integrated receiver is installed outside for satellite visibility, and is directly connected to the System Module. DC power feed for the receiver is supplied through the combined power and data cable. The operating temperature range is from -40 to +85 °C (-40 to 185 °F).

Figure 47 FYGA/FYGB mounted on a pole using GPS Mounting Kit (FYMA) illustrates a pole-mounted antenna using GPS Mounting Kit (FYMA).



FYGB MOUNTED ON A POLE USING GPS MOUNTING KIT (FYMA)

FLEXI GPS SURGE PROTECTOR KIT (FYEA) IS AVAILABLE AS AN OPTIONAL UNIT TO PROTECT THE SYSTEM MODULE FROM TRANSIENT VOLTAGE AND CURRENT SPIKES. IT IS INSTALLED TO THE GPS ANTENNA LINE. THE SURGE PROTECTOR IS PARTICULARLY USEFUL IN LOCATIONS WITH A HIGH LIGHTNING RISK.



274 DISCOVERY DR., SUITE 200
BOZEMAN, MT 59718

PROJECT INFORMATION:

**RILEY ARENA ROOFTOP
MT03017A**

1400 HEART MOUNTAIN ST.
CODY, WY 82414

CURRENT ISSUE DATE:

08/07/17

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
D	08/07/17	100% CD	JA
C	07/27/17	REVISED 90% CD*	JA
B	07/19/17	REVISED 90% CD*	JA
A	05/30/17	90% CD*	EO

CONSULTANT:



DRAWN BY: CHK.: APV.:

EO SYNERGY SYNERGY

LICENSURE:

SHEET TITLE:

RF DETAILS

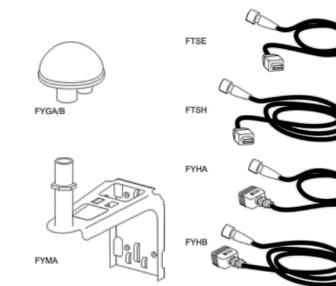
SHEET NUMBER: REVISION:

RF-1 **D**

MT03017A

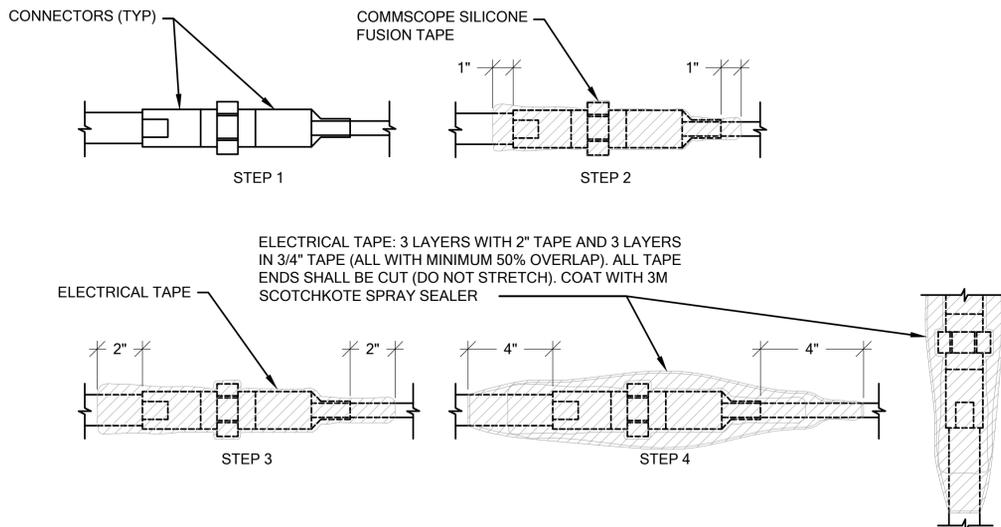
ANTENNA AND COAX GENERAL NOTES:

- ALL ANTENNA AND COAXIAL ANTENNA CABLE TO BE FURNISHED BY T-MOBILE AND INSTALLED BY CONTRACTOR.
- COAX COLOR CODING: ANTENNAS TO BE NUMBERED IN A CLOCKWISE MANNER FROM TRUE NORTH AND COLOR CODED AS FOLLOWS:
 - #1 - AT ANTENNA CONNECTION
 - #2 - AT ENTRY TO EQUIPMENT CABINET
- THE ABOVE COAX COLOR CODING APPLIES TO SECTORIZED SITES. FOR OMNI SITES, USE THE AT0, BT0, & GT0 COLOR CODES ONLY.
- COAX SHALL BE TAGGED WITH COLOR CODING AT (2) PLACES USING 1" WIDE WEATHER PROOF COLORED VINYL TAPE AT THE FOLLOWING LOCATIONS:
 - #1 - AT ANTENNA CONNECTION
 - #2 - AT ENTRY TO EQUIPMENT CABINET
- RUN COAXIAL CABLE WITH MINIMUM 12" SLACK & 12" FROM EDGE OF EQUIPMENT CABINETS, ACROSS WAVE GUIDE BRIDGE (IF APPLICABLE), UP TO TOWER LEG (IF APPLICABLE), & DISTRIBUTE TO EACH ANTENNA DEVICE. FURNISH AND INSTALL A MINIMUM OF (3) GROUND KITS PER COAXIAL CABLE ACCORDING TO ELECTRICAL DRAWINGS. VERIFY NUMBER OF ANTENNAS, CABLE, & CABLE DIAMETER WITH PROJECT MANAGER.



Description	Product code	Quantity
GPS Cable, 30 m (98.4 ft.) (FYHA)	471605A	1
GPS Cable, 100 m (328 ft.) (FYHB)	471653A	1
GPS Cable, 30 m (98.4 ft.) (FTSE)	472510A	1
GPS Cable, 100 m (328 ft.) (FTSH)	472577A	1

- GPS Antenna Kit (FYGA) and GPS GLONASS Receiver Antenna (FYGB) description
 This section describes the following hardware:
- GPS Antenna Kit (FYGA) 471442A
 - GPS GLONASS Receiver Antenna (FYGB) 472748A
 - GPS Mounting Kit (FYMA) 471605A
 - Flexi GPS Surge Protector Kit (FYEA) 471822A



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	MAY 23, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: VALOR HEALTHCARE MEDICAL SERVICE CENTER (VA CLINIC). SPR 2017-20	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Valor Healthcare, represented by Kane Morris of Point Architects, has submitted an application to remodel 60% of an existing 9,600 square foot building at 1432 Rumsey Avenue for use as a Veteran's Administration Medical Services Center. In addition, the proposal includes expansion of the parking facilities, addition of a small landscaped area, and exterior modifications (removal of doors and window, addition of new windows, new masonry wainscot on front, new paint). The clinic would occupy the east portion of the building. Use of the remaining area is not certain but is likely just storage. Civil plans and relevant architectural plans are attached.

Existing conditions:

Front (North)-



Rear (South)-



Right (West)-



Left (East)-



REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

The property is also within the downtown architectural district and subject to 9-2-2:

The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.

Applicable standards of the zoning district and parking regulations are also reviewed.

STAFF COMMENTS:

The property is located within the General Business (D-2) zoning district, which permits medical offices. The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Residential (single and multi-family), and Mayor's Inn (B&B) across Rumsey Avenue.	D-2
East	Multi-family housing (6-plex)	D-2
South	Cody Motor Lodge (motel) across alley.	D-2
West	Wells Fargo Bank parking lot.	D-2

Architecture:

The existing metal-sided and roofed building dates to 1963 and apparently has been used as a car dealership and bottling plant. More recently it has been storage or vacant. Architecturally the building is purely utilitarian, in that it has walls, roof and doors, but no architectural enhancements.

Refer to the architectural sheets (A1.0 Demolition Plan, A2.0 Main Floor Plan, and A4.0 Front Elevation) for the description of the architectural changes to the building. In summary, unused doors and windows will be removed and infilled; eleven new windows, a new entry door, and a 3-foot tall wainscot will be installed on the 19-foot tall front of the building; emergency doors will be added to the east side of the building; and, all exterior walls will be painted. Details of a color scheme for the wainscot and paint have not been supplied.

Due to the expansive blank walls on the rear and sides of the building, staff would suggest a two or three-toned paint scheme. The use of separate colors helps visually break up the walls when there are no, or limited, architectural features. Here are some photos that demonstrate the concept. The samples all have horizontal lines, but vertical variations are also possible.





The Board will need to determine if the architectural features of the building are acceptable. While the appearance does not rise to the level some may prefer for the downtown architectural district, it is a significant improvement and given that it is an existing building, the extent of what can be requested is limited. The paint variations recommended should have only minimal additional cost.

Landscaping:

Currently no landscaping exists on the site. The project will add a 24' by 24' landscaped area that is proposed to contain two juniper bushes, nine clumps of feather reed grass, four landscape boulders, cobble groundcover, and a flag pole. The landscape area will help define the parking lot entrance and help to soften the expansive hard surfaced areas.

The property is not within the Entry Corridor Overlay zone, so there is no minimum area of landscaping specified. The plant types selected seem to do well in this area when adequately watered. A drip irrigation system is proposed for the landscape area.

Access and Parking:

Based on the size of the medical center, a total of 23 parking spaces would be required if it were not within the downtown parking district, which exempts projects from supplying the minimum number (up to 100 spaces). However, whatever parking facilities are provided must meet the City's parking requirements. The site plan indicates 22 full sized spaces and one "compact" space.

Other than the compact space, the parking spaces, aisles, and backup areas meet or exceed all of the dimensional and surfacing requirements of the parking ordinance. However, a significant portion of the parking area along the front of the building is within the public right-of-way. Use of the right-of-way for designated private or commercial parking requires permission from the City Council. When they have authorized it in the past, they do so through an encroachment license and collect a fee equivalent to a standard lease amount, which in this case would be about \$967 per year. The encroachment license request will be presented to the City Council for their consideration.

It is noted that the parking configuration results in the loss of six or seven on-street parking spaces. Those spaces are rarely used, so no significant impact to neighboring properties from the loss of those spaces is expected.

The driveway connections to/from the facility have been reviewed by the City engineer, and meet applicable standards.

The parking ordinance requires a 6-foot tall fence/screen to separate any parking lot that is within twenty feet of a neighboring residential building. The multi-family building to the east is within 20 feet, so the fence requirement is applicable. The fence must be of a construction that prevents visual contact between opposite sides of the fence (solid). The applicant should specify the style and material for the Board's authorization. (It is noted that a vegetative screen is normally an option, but in this case, it would encroach into the required parking backup area.)

Exterior Lighting

The lighting details are provided on Sheet E1.0. Exterior lights are provided at each of the doors and a flagpole light is proposed on the NE corner of the building. The parking ordinance requires the lighting of any parking lot used at night. As sunset is as early as 4:36 p.m. in the winter in Cody, the clinic will have personnel and customers when it is dark.

The combination of building lighting and the City street light at the NW corner of the property conceptually should work to provide adequate parking lot lighting. However, it does not appear that any analysis of the parking lot lighting levels has been done in the exterior lighting design. The spacing is based on providing light at each exterior door, rather than in the context of parking lot lighting. As a result, lighting levels would be widely varied. Staff recommends that the applicant analyze the exterior lighting levels in the context of providing parking lot lighting and submit a new plan for Planning and Zoning Board approval. The resubmittal of the exterior lighting plan need not delay authorization of the rest of the project.

The style and location of the flag pole spotlight, combined with the 25-foot flag pole height limit of the sign code, would create glare issues. The mounting height of the fixture is 19 feet, so directing light at the flag is effectively horizontal. Another method of lighting the flag that does not create glare issues will be needed. That method can be presented to the Board with the rest of the updated exterior lighting details.



Neighborhood Compatibility, Setbacks and Buffers

Other than the 6-foot fence required by the parking ordinance, there are no setback or buffer requirements.

Storm Water Plan:

An analysis of the storm water was provided by the applicant's engineer. The east parking lot will contain an underground infiltration trench which will retain the required amount of storm water on site. The applicant will need to submit for the necessary registration form to the Wyoming DEQ.

Snow Storage

A large snow storage area is provided at the southwest corner of the property, which will allow the meltwater to eventually flow to the infiltration trench.

Utility Services

No changes to the city's water main, sewer main, or electrical transformers are needed. A new electrical feed and a new water meter are planned. Coordinate water meter size and electrical work with the city water and electric divisions. There may be an additional sewer fee due to anticipated water usage—coordinate with Public Works.

Natural gas and telecommunication services are to be coordinated directly with those providers.

Signage

No new signage is shown on the plans. If signage will be added, application to the Board would be necessary.

Fire Hydrant

Existing fire hydrants located along Rumsey Avenue at 14th and 15th Streets provide the required fire protection.

Frontage Status

New curb, gutter and sidewalk will be provided for the new approach on the east end of the property. The parking area at the front of the building has a combination of rolled curb and a driveway approach, which are not proposed to be changed. While the rolled curb is not comfortable to drive over, it is acceptable.

The lack of a formal sidewalk along the front parking lot area is a non-conforming situation. There is a concrete apron which can function as a sidewalk, but it appears to have too much of a cross-slope to be an official sidewalk. The site plan maintains a minimum 5-foot pathway from the Wells Fargo sidewalk to the new sidewalk across the east approach.

Garbage

Dumpsters exist along the alley to the rear of the property.

ATTACHMENTS:

Application materials.

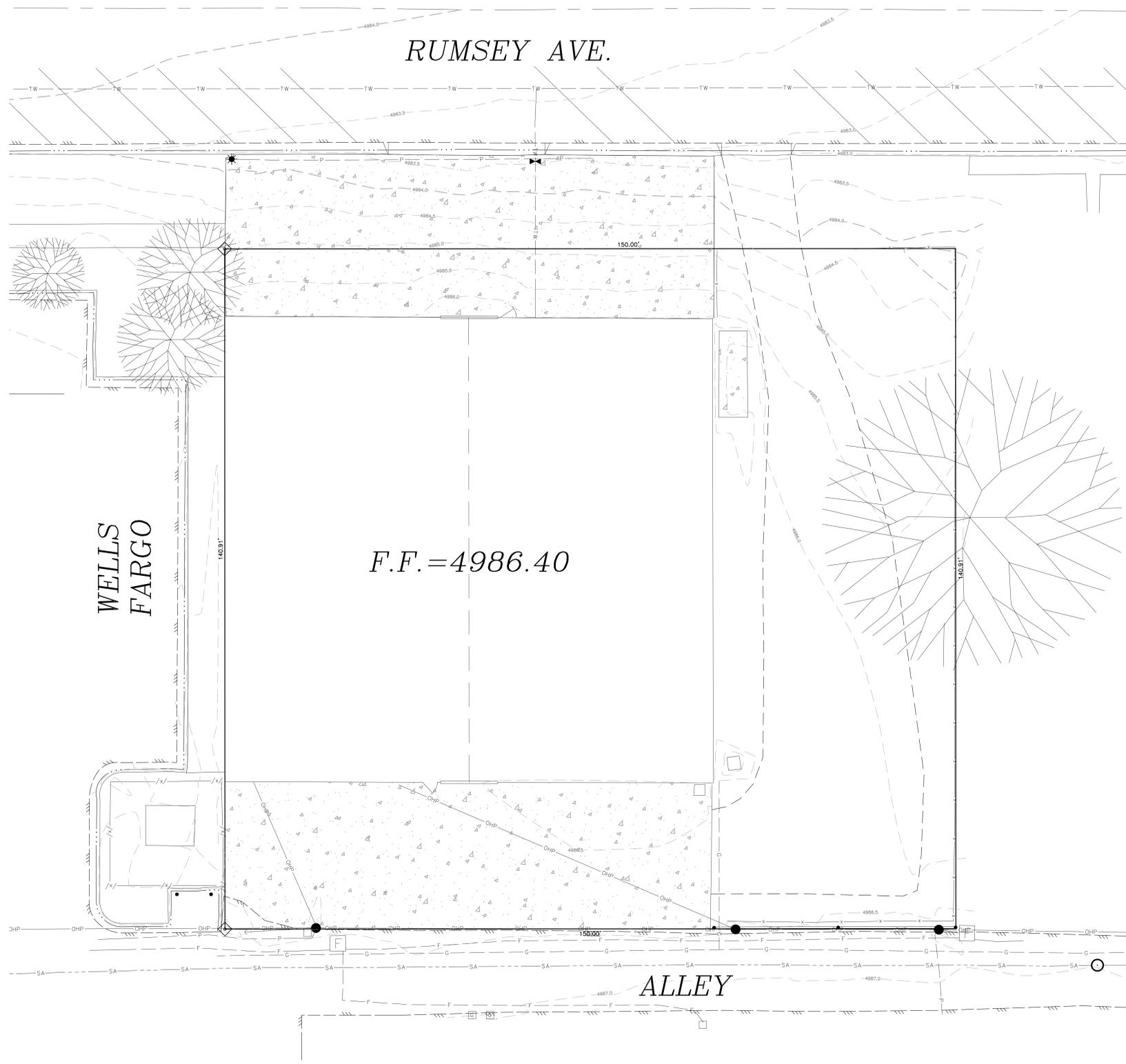
ALTERNATIVES:

Approve or deny the site plan, with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the site plan and architectural plans subject to the following items:

1. City Council authorization for use of the public right-of-way for clinic parking must be obtained prior to development of the front parking area. If authorization is not obtained, the applicant must submit a revised site plan that prevents use of the area for parking purposes (e.g. install landscaping, remove approach, etc.).
2. Provide a revised exterior lighting plan for review and approval by the Board. The plan must provide adequate parking lot lighting and avoid any glare impacts.
3. Remove the conflicting on-street parking space striping—coordinate method with Public Works.
4. The painting of the exterior must utilize at least two complimentary tones on each wall, and the colors must coordinate with the masonry wainscot. (e.g. Walmart example).
5. Provide the required 6-foot tall solid fence along the east property line, keeping it sufficiently back from the alley to avoid sight-distance problems.
6. Move the flagpole location out of the public right of way. Note that flagpole height is limited to 25 feet.
7. Applicable city utility fees are to be paid prior to building permit issuance.
8. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
9. A building permit must be obtained within two years or this authorization will expire.



LEGEND

- FOUND ALUMINUM CAP MONUMENT.
- SUBJECT PROPERTY LINE.
- OVERHEAD ELECTRICAL LINE.
- BURIED TELEPHONE LINE.
- BURIED POWER
- BURIED TREATED WATER LINE.
- BURIED SANITARY SEWER LINE.
- BURIED GAS LINE.
- BURIED FIBER OPTIC
- EDGE OF ASPHALT SURFACE.
- CURB/GUTTER & SIDEWALK.
- BARB WIRE FENCE
- CEDAR FENCE
- CONCRETE

- MAJOR & MINOR CONTOUR LINES.
- EXISTING SPOT ELEVATION
- PEDESTAL; TRANSFORMER.
- LIGHT POLE.
- DIRECTIONAL FLOW.
- POWER POLE.
- CURB STOP
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- FIBER OPTIC VAULT
- POWER TRANSFORMER
- GAS VALVE

WELLS
FARGO

F.F. = 4986.40

ALLEY



DATE	DRAWING LOG	BY	CHECKED	APPROVED
08/29/18	ORIGINAL DRAWING	IKSM	ROA	

DRAWN BY: IKSM
 JOB NO. 17088.00
 FIELD BOOK NO. 561

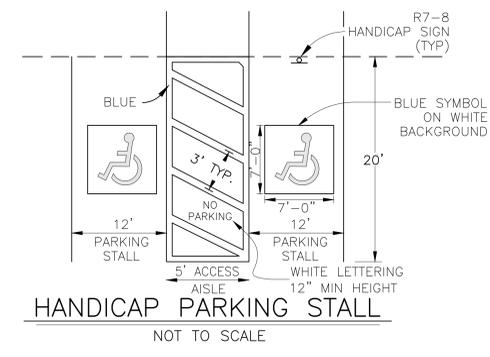
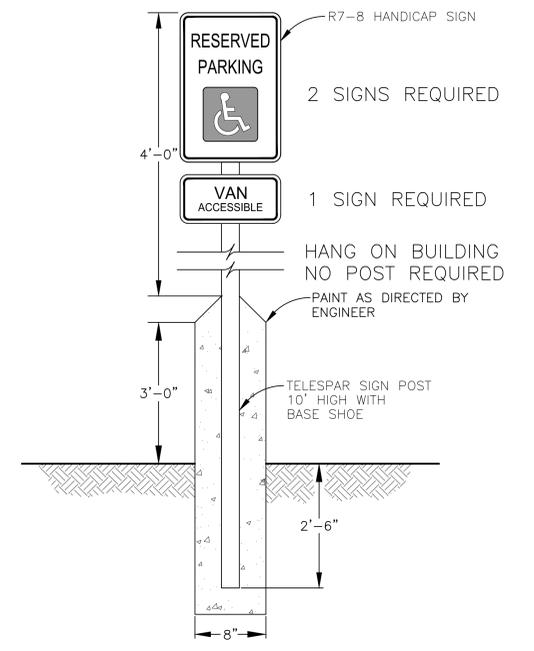
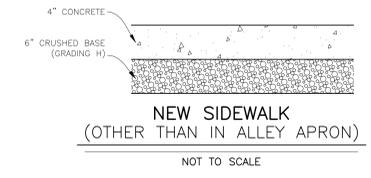
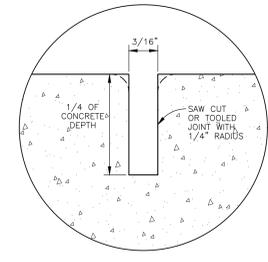
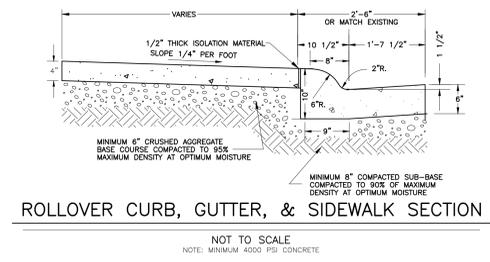
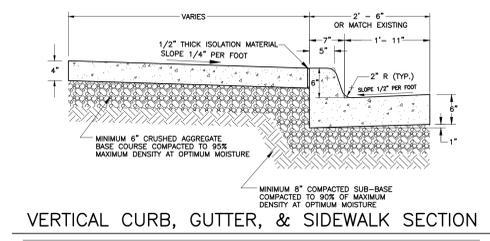
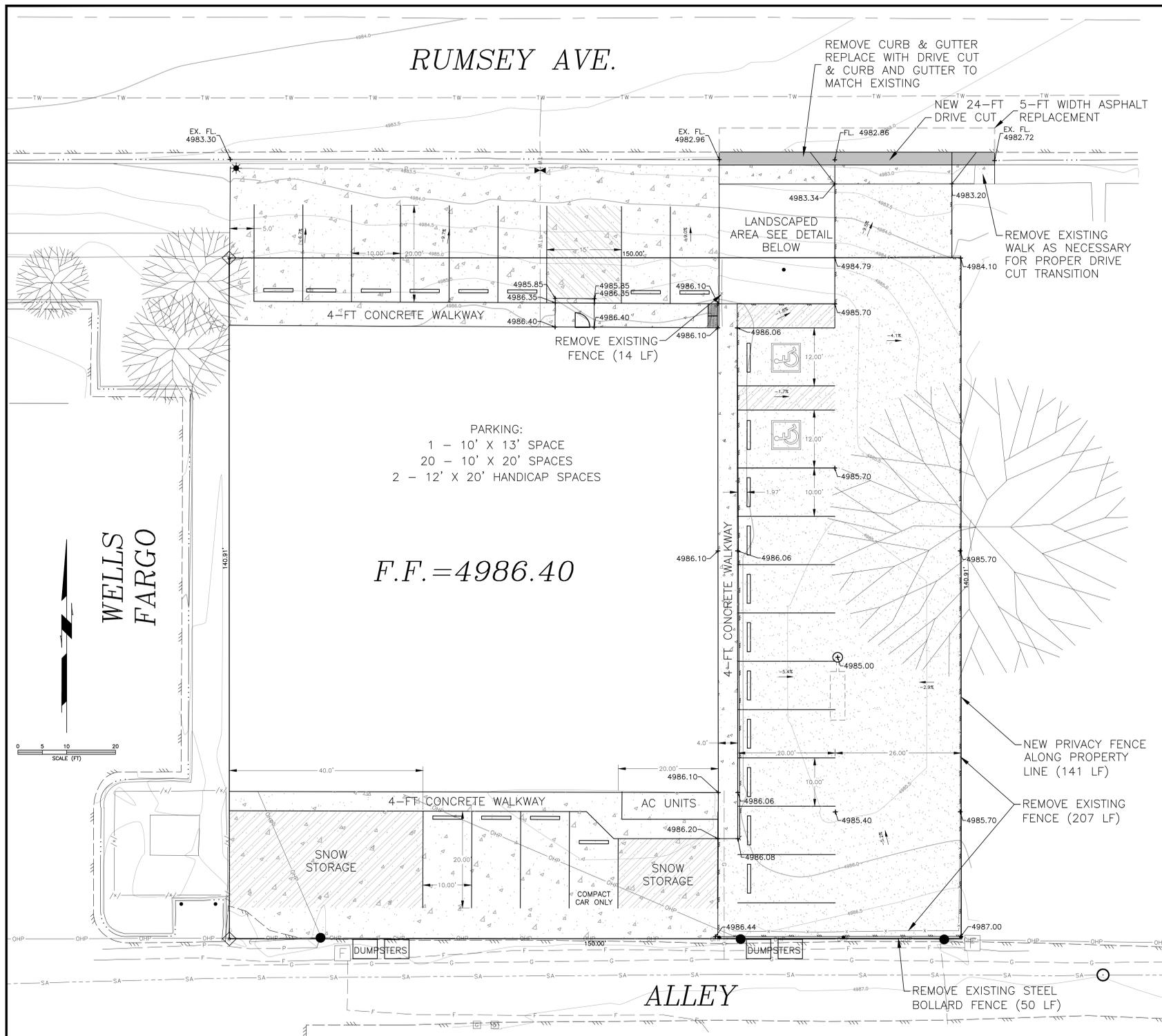


ENGINEERING ASSOCIATES - CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS

OWNER: GORDONJOSH LLC
 DEVELOPER: DENNIS BRINK-VALOR HEALTHCARE
 ADDISON, TX

PROJECT: VA MEDICAL SERVICE CENTER
 TITLE: EXISTING SITE PLAN

C1.0

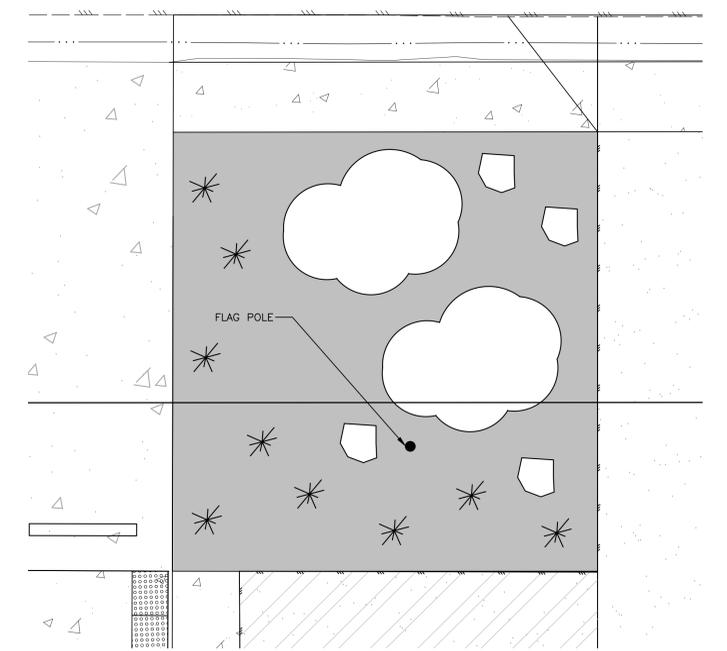


LEGEND

	FOUND ALUMINUM CAP MONUMENT.		EXISTING CONCRETE
	SUBJECT PROPERTY LINE.		PROPOSED ASPHALT
	OVERHEAD ELECTRICAL LINE.		PROPOSED CONCRETE
	BURIED TELEPHONE LINE.		MAJOR & MINOR CONTOUR LINES.
	BURIED POWER		PEDESTAL; TRANSFORMER.
	BURIED TREATED WATER LINE.		LIGHT POLE.
	BURIED SANITARY SEWER LINE.		DIRECTIONAL FLOW.
	BURIED GAS LINE.		POWER POLE.
	BURIED FIBER OPTIC		UTILITY PIPE LINE VALVES.
	EDGE OF ASPHALT SURFACE.		EX. SANITARY SEWER MANHOLE
	CURB/GUTTER & SIDEWALK.		FIRE HYDRANT
	BARBED WIRE FENCE		FIBER OPTIC VAULT
	CEDAR FENCE		POWER TRANSFORMER

LANDSCAPING PLAN

- JUNIPERS SABINA "BUFFALO" [JUNIPER BUSH]
1' TALL, 8" WIDE SPREAD - 2 EACH
- CALAMAGROSTIS X ACUTI FLORA [FEATHER REED GRASS]
4' TO 5' TALL, 2' WIDE - 9 EACH
- LANDSCAPE ROCKS - VARIED 15" SQ/DIA TO 24" SQ/
DIA - 4 EACH
- RIVER ROCK - 4" DIA. TO 6" DIA. TYP. WITH WEED MAT
DRIP IRRIGATION AS NEEDED.



DATE	DRAWING LOG	BY	CHECKED	APPROVED
09/07/17	CITY EDITS	IKSM	ROA	
08/29/18	ORIGINAL DRAWING	IKSM	ROA	ROA

DRAWN BY: IKSM
JOB NO. 17088.00
FIELD BOOK NO. 561

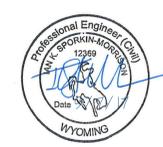


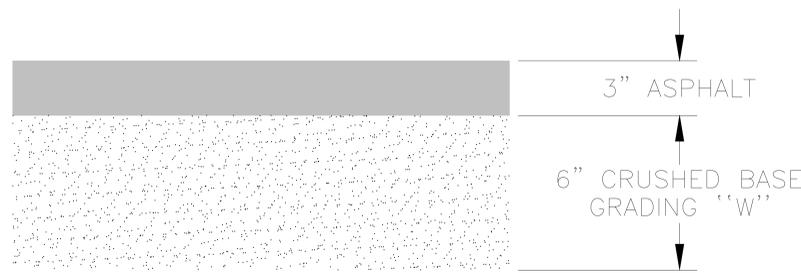
ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: GORDONJOSH LLC
DEVELOPER: DENNIS BRINK-VALOR HEALTHCARE ADDISON, TX

PROJECT: VA MEDICAL SERVICE CENTER
TITLE: PROPOSED GRADING PLAN

C2.0

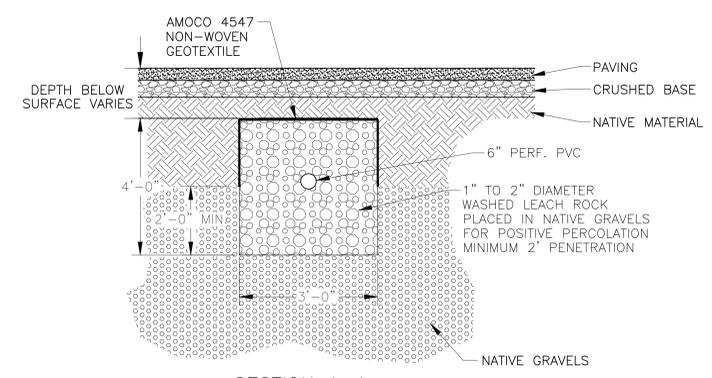
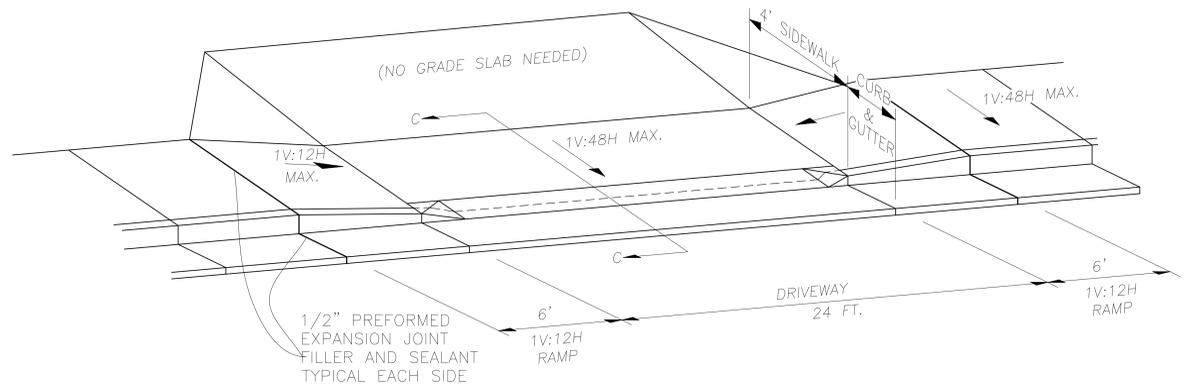




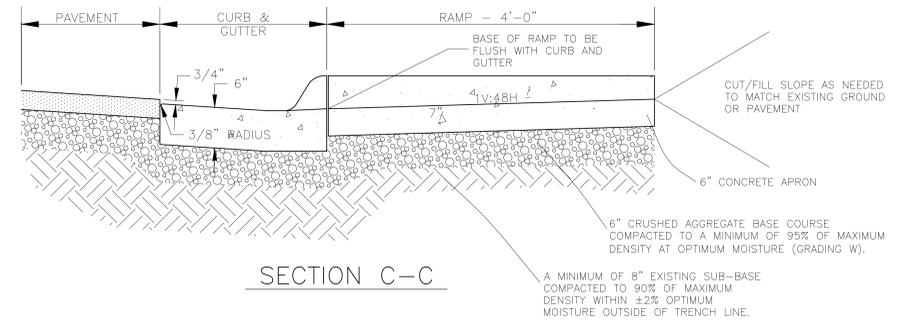
SCARIFY AND RECOMPACT SUBGRADE TO 95% MAXIMUM DRY UNIT WEIGHT.

PAVEMENT SECTION

NOT TO SCALE



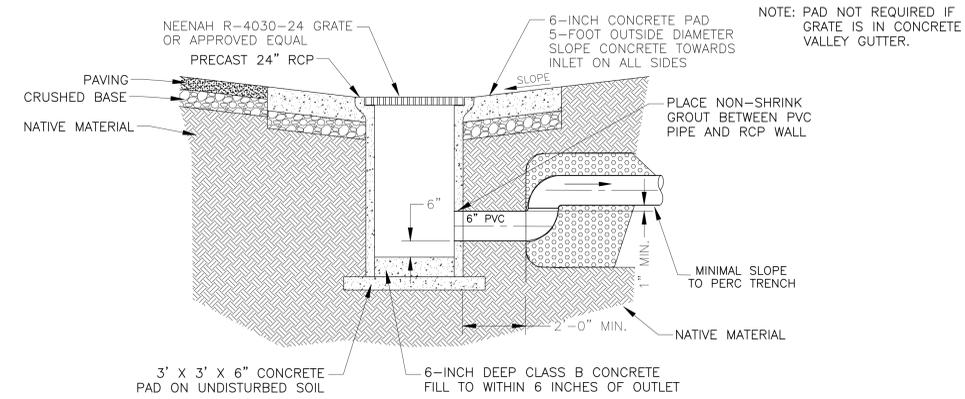
SECTION A-A



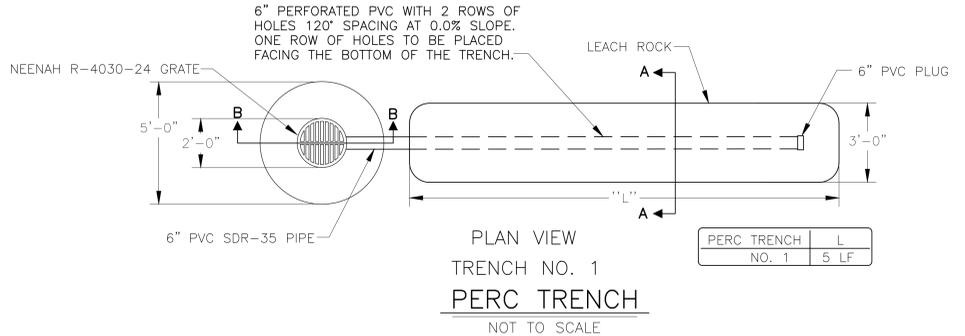
SECTION C-C

ALLEY APRON WITH DEPRESSED PEDESTRIAN WALK

NOT TO SCALE
NOTE: MINIMUM 4000 PSI CONCRETE



SECTION B-B



PLAN VIEW
TRENCH NO. 1
PERC TRENCH
NOT TO SCALE



DATE	DRAWING LOG	BY	CHECKED	APPROVED
09/07/17	CITY EDITS	IKSM	ROA	
08/29/18	ORIGINAL DRAWING	IKSM	ROA	ROA

DRAWN BY: IKSM
JOB NO. 17088.00
FIELD BOOK NO. 561



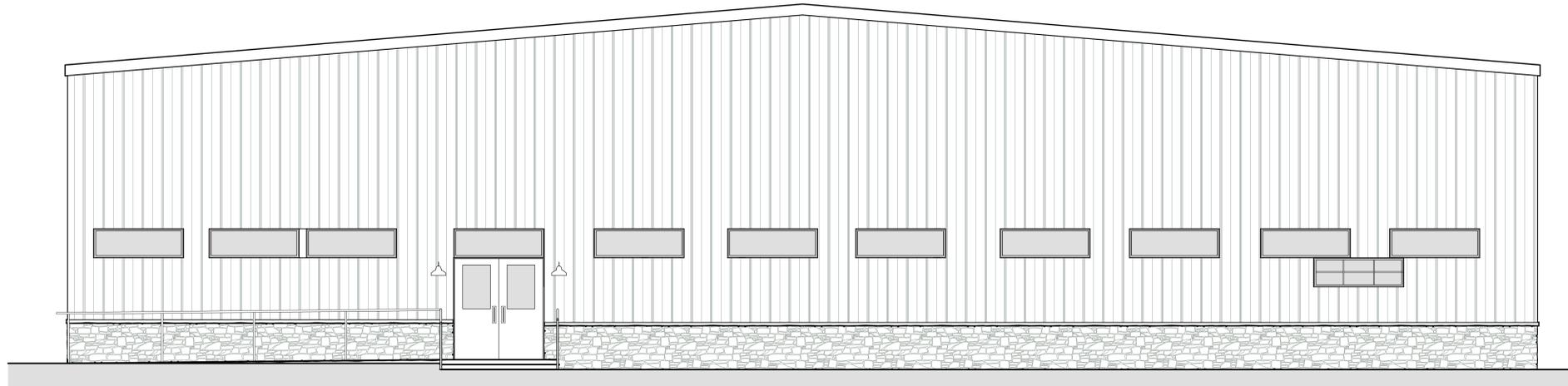
ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: GORDONJOSH LLC
DEVELOPER: DENNIS BRINK-VALOR HEALTHCARE ADDISON, TX

PROJECT: VA MEDICAL SERVICE CENTER
TITLE: MISC. DETAILS

C2.1

VETERAN'S ADMINISTRATION CLINIC REMODEL



ARCHITECT:
POINT ARCHITECTS

1203 Sheridan Ave.
P.O. Box 1001
Cody, WY 82414
p. 307-272-4006
kane@pointarchitects.com

209 e 35th st.
Garden City, ID 83714
p. 208-600-2640
rich@pointarchitects.com

www.pointarchitects.com

CIVIL ENGINEER:
ENGINEERING ASSOCIATES

ROB OVERFIELD
902 13th St.
Cody, WY 82414
p. 307-587-4911
robertov@eaengineers.com

GENERAL CONTRACTOR:
GROATHOUSE CONSTRUCTION, INC.

Fred Bronnenberg
3304 Big Horn Ave.
Cody, WY 82414
p. 307-587-6610
fbronnenberg@groathouse.com

MECHANICAL ENGINEER:
ENGINEERING DESIGN ASSOCIATES

ANDY ELSTON
1607 CY Ave. #303
Casper, WY 82604
p. 307-266-5033
aelston@edaengineering.com

ELECTRICAL ENGINEER:
ENGINEERING DESIGN ASSOCIATES

MONTE SCHAFF
1607 CY Ave. #303
Casper, WY 82604
p. 307-266-5033
mschaff@edaengineering.com

PROJECT INFORMATION:

ADDRESS:
1432 RUMSEY AVE
CODY, WY 82414

USE:
VETERANS ADMINISTRATION CLINIC

SHEET INDEX:

- A0.0 COVER
- C1.0 EXISTING SITE PLAN
- C2.0 PROPOSED GRADING AND SITE PLAN
- C2.1 DETAILS
- A1.0 DEMO FLOOR PLAN
- A2.0 MAIN FLOOR PLAN / MEZZANINE FRAMING PLAN
- A3.0 REFLECTED CEILING PLAN
- A4.0 FRONT ELEVATION / INTERIOR BATHROOM ELEVATIONS
- E1.0 ELECTRICAL LIGHTING AND FIXTURE SCHEDULE PLAN
- E2.0 ELECTRICAL POWER AND MECHANICAL SCHEDULE PLAN
- E3.0 ELECTRICAL PANEL SCHEDULE AND ONE LINE DIAGRAMS
- M0.0 GENERAL NOTES AND LEGENDS
- M1.0 MAIN FLOOR WASTE AND VENT PLAN
- M2.0 MAIN FLOOR DOMESTIC PIPING PLAN
- M3.0 MAIN FLOOR HVAC
- M4.0 DETAILS

CODE ANALYSIS:

ZONE: D-2 GENRAL BUSINESS DISTRICT ZONE
CONSTRUCTION TYPE: II-B
OCCUPANCY GROUP: BUSINESS B / STORAGE S

MAIN FLOOR
BUSINESS GROUP A = 5,886 sq. ft. / 100g = 59 OCCUPANTS
STORAGE = 84 sq. ft. / 300g = 1 OCCUPANTS

MEZZANINE FLOOR
STORAGE AREA = 509 sq. ft. / 300g = 2 OCCUPANTS

TOTAL OCCUPANTS = 62

TOTAL NUMBER OF EXITS = 4

GENERAL NOTES:

1. PLANS FOR THE RENOVATION OF AN EXISTING BUILDING.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF POINT ARCHITECTS OR OWNER PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
4. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
5. DEMOLISH FLOORS, WALLS, AND CEILINGS WHERE NECESSARY AND AS INDICATED PER PLANS.
6. PATCH AND REPAIR DEMOLISHED AREAS FOR NEW CONSTRUCTION.



VETERAN'S ADMINISTRATION BUILDING REMODEL
1432 Rumsey Ave Cody Wyoming 82414

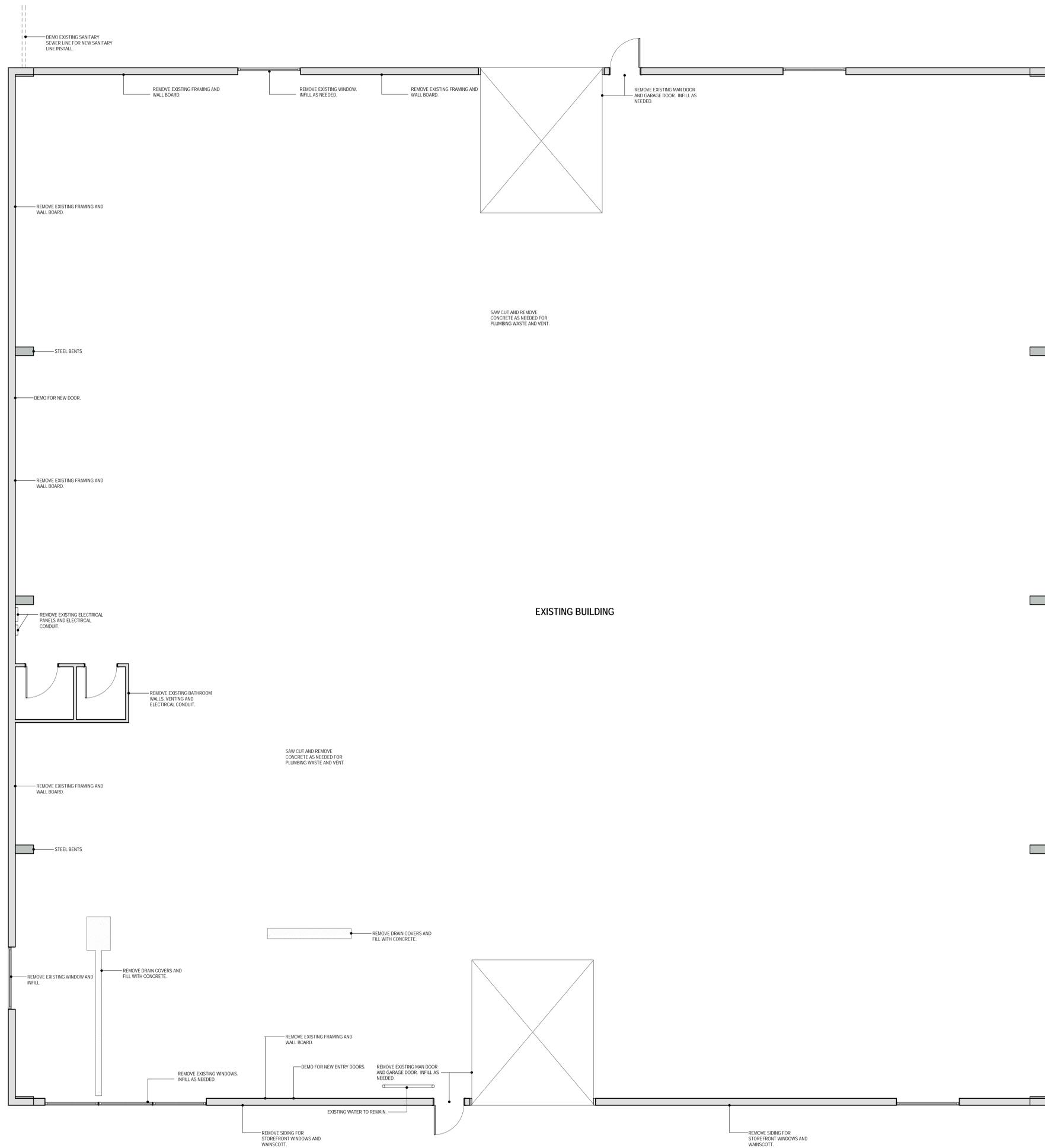
ALL CONTENT HEREIN IS PROJECTED UNDER PROFESSIONAL SEAL AND LICENSED SITE PROPERTY OF THE PROJECT. UNAUTHORIZED USE IS PROHIBITED BY LAW.



POINT ARCHITECTS
209 E. 35th Street
Garden City, ID 83714
p. 208-284-2999
P.O. Box 1001
Cody, Wyoming 82414
p. 307-272-4006
www.pointarchitects.com

DATE: 9/6/2017
SCALE: 1/8" = 1'-0"
FILE: VA Remodel CA.pln
BY: RVC

A0.0



DEMO FLOOR PLAN

1/4" = 1'-0"

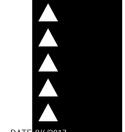
ALL CONTENT HEREIN IS PROJECT SPECIFIC AND NOT TO BE REUSED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED BY LAW.



POINT ARCHITECTS

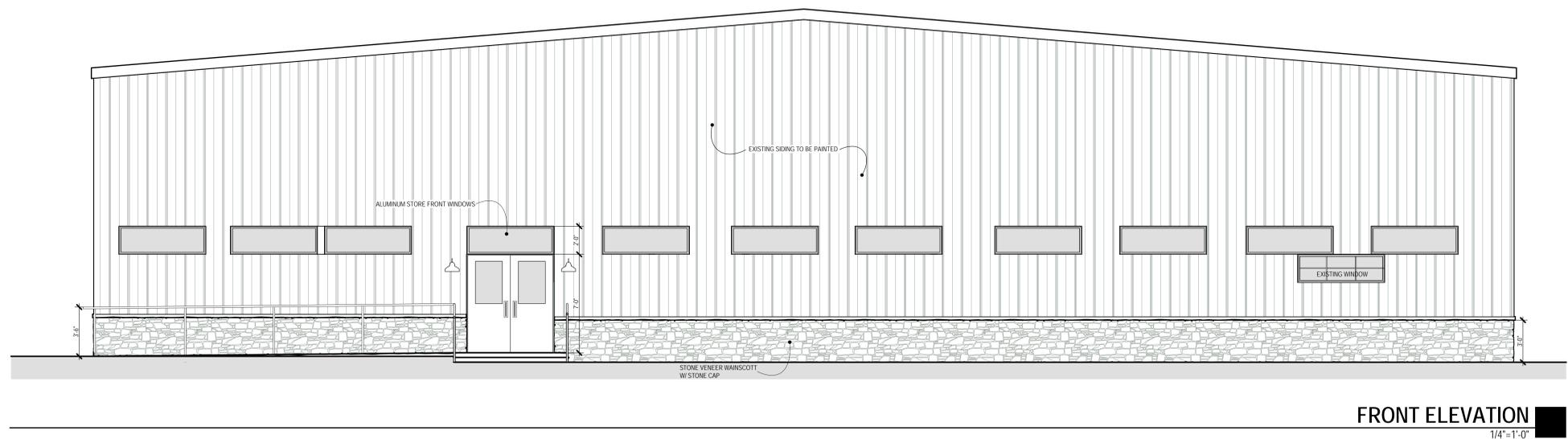
299 E. 30th Street
Garden City, ID 83714
P. 208.284.2999
P.O. Box 1001
Cody, Wyoming 82410
F. 307.272.4986
www.pointarchitects.com

DATE: REV:



DATE: 9/6/2017
SCALE: 1/4" = 1'-0"
FILE: VA Remodel.pln
BY: RVC

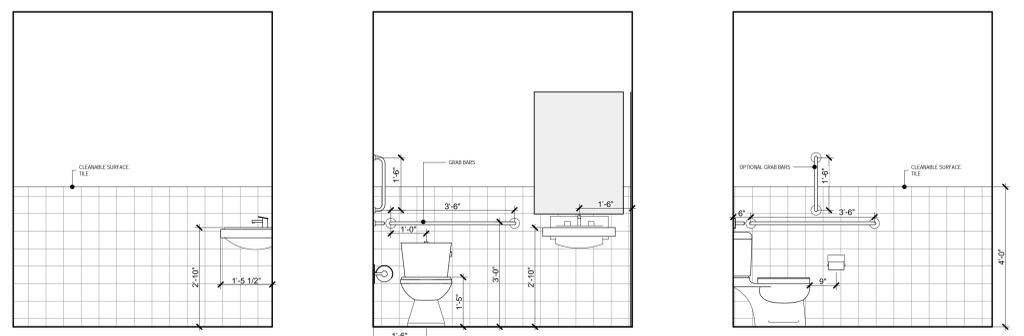
A1.0



FRONT ELEVATION
 1/4"=1'-0"

ELEVATION NOTES:

1. ALL EXTERIOR FINISH MATERIALS SHALL BE AS NOTED ON THE ELEVATIONS.
2. SPECIFIC COLORS OF PAINT AND PRE-FINISHED PRODUCTS SHALL BE SELECTED BY THE OWNER AND ARCHITECT.
3. WINDOW SILL HEIGHTS DIMENSIONED TO TOP OF FLOOR DECKING OR CONCRETE SLAB AS APPLICABLE.
4. WINDOWS MANUFACTURER AND SPECIFICATION TO BE SELECTED BY OWNER. SEE FLOOR PLANS FOR SIZE.



GENERAL INTERIOR BATHROOM ELEVATIONS
 1/2"=1'-0"

ALL CONTENT HEREIN IS PROJECT SPECIFIC AND NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. UNAUTHORIZED USE IS PROHIBITED BY LAW.



POINT ARCHITECTS

209 E. 30th Street
 Garden City, WY 82414
 p. 208.284.2999
 P.O. Box 1001
 Cody, Wyoming 82414
 t. 307.272.4066
 www.pointarchitects.com

DATE	REV.
▲	
▲	
▲	
▲	

DATE: 9/6/2017
 SCALE:
 FILE: VA Remodel.pln
 BY: RvC

A4.0

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
⊕	LIGHTING OUTLET - WALL
⊕	LIGHTING OUTLET - RECESSED
⊕	EXIT LIGHT - WITH DIRECTIONAL ARROW
⊕	FLUORESCENT STRIP LIGHT
⊕	FLUORESCENT FIXTURE - SURFACE OR PENDANT
⊕	FLUORESCENT FIXTURE - RECESSED
⊕	LIGHTING FIXTURE WITH BATTERY BACKUP
⊕	JUNCTION BOX - WALL
⊕	JUNCTION BOX - CEILING
⊕	JUNCTION BOX - FLOOR
⊕	DUPLEX RECEPTACLE
⊕	DUPLEX RECEPTACLE - FLUSH FLOOR
⊕	DUPLEX RECEPTACLE - GFCI
⊕	DOUBLE DUPLEX RECEPTACLE
⊕	SPECIAL PURPOSE OUTLET
⊕	TELEPHONE OUTLET - WALL
⊕	DATA OUTLET
⊕	DATA/PHONE OUTLET
⊕	SINGLE POLE SWITCH
⊕	⊕ - INDICATES SWITCHING
⊕	3 - THREE WAY
⊕	P - WITH PILOT LIGHT
⊕	TO - THERMAL OVERLOAD
⊕	PUSHBUTTON SWITCH
⊕	SURFACE METAL RACEWAY, AS NOTED
⊕	CIRCUIT RUN; CONCEALED IN CEILING OR WALL
⊕	CIRCUIT RUN; UNDERFLOOR OR UNDERGROUND
⊕	HOME RUN
⊕	A - PANEL DESIGNATION
⊕	3 - CIRCUIT NUMBER
⊕	CONDUIT TURNS UP
⊕	CONDUIT TURNS DOWN
⊕	ELECTRICAL PANEL
⊕	MAIN DISTRIBUTION PANEL
⊕	TRANSFORMER
⊕	FUSIBLE DISCONNECT SWITCH
⊕	MAGNETIC STARTER OR CONTACTOR
⊕	COMBINATION STARTER
⊕	MOTOR OUTLET AND CONNECTION
⊕	FUSIBLE SWITCH - SCHEMATIC
⊕	CIRCUIT BREAKER - SCHEMATIC
⊕	ELECTRIC METER
⊕	GROUND
⊕	SPEAKER - RECESSED U.O.N.
⊕	S - SURFACE
⊕	W - WALL, +7'-0" U.O.N.
⊕	H - HORN TYPE, +8'-0" U.O.N.
⊕	F - FLUSH
⊕	TELEVISION OUTLET
⊕	SMOKE DETECTOR - CEILING
⊕	OCCUPANCY SENSOR
⊕	FIXED CCTV CAMERA
⊕	PAN/TILT/ZOOM CAMERA
⊕	FIRE ALARM MANUAL STATION, +48" U.O.N.
⊕	FIRE ALARM AUDIO/VISUAL HORN, +7'-6" U.O.N.
⊕	# - CANDELA
⊕	FIRE ALARM STROBE, +7'-6" U.O.N.
⊕	# - CANDELA
⊕	FIRE ALARM BELL
⊕	MAGNETIC DOOR HOLDER
⊕	ACCESS CONTROL READER
⊕	SECURITY DOOR SWITCH
⊕	SECURITY MOTION DETECTOR
⊕	SECURITY ALARM HORN
⊕	SECURITY ALARM KEY PAD
⊕	SECURITY ALARM CONTROL PANEL
⊕	NOTE SYMBOL
⊕	SPECIAL EQUIPMENT SYMBOL
⊕	MECHANICAL EQUIPMENT SYMBOL
⊕	WEATHERPROOF
⊕	AC ABOVE COUNTER
⊕	AFF ABOVE FINISHED FLOOR
⊕	UON UNLESS OTHERWISE NOTED
⊕	EC ELECTRICAL CONTRACTOR
⊕	MC MECHANICAL CONTRACTOR
⊕	e INDICATES EXISTING
NURSE CALL SYMBOLS	
⊕	EMERGENCY PULL STATION - SYSTEM TECHNOLOGIES VL160-5-EM-B7
⊕	DOME LIGHT - WALL MOUNTED - SYSTEM TECHNOLOGIES VL325-1 WITH VL175 CONTROL UNIT/POWER SUPPLY PER 100 LIGHTS

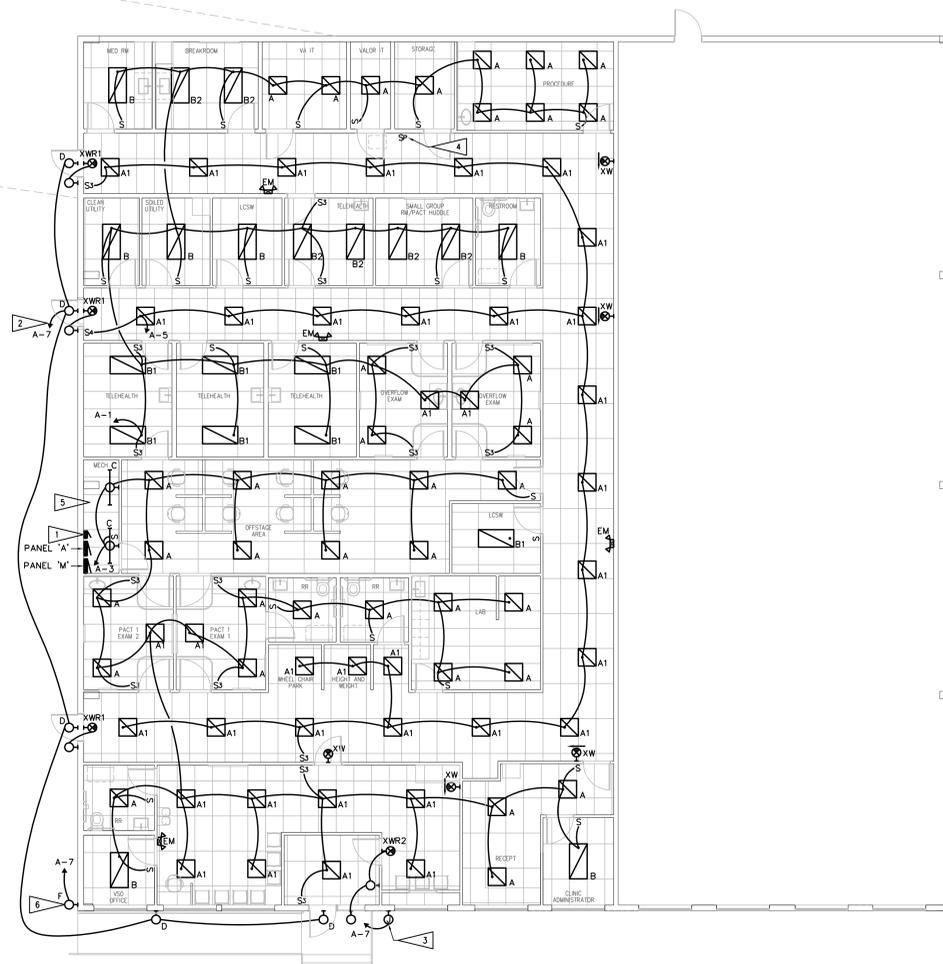
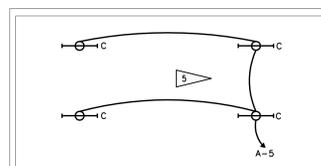
LIGHTING FIXTURE SCHEDULE						
TYPE	LAMPS	DESCRIPTION	FINISH	MOUNTING	MANUFACTURER	CATALOG NO.
A	LED	2'X2' CEILING RECESSED TROFFER FIXTURE, ACRYLIC LENS, STEP DIMMING DRIVER, 4000K, L92=100000, 4300 LUMENS, 39W	WHITE	CEILING GRID RECESSED	METALUX	22EN-LD2-43-UNV-L840-CD-1
A1	LED	2'X2' CEILING RECESSED TROFFER FIXTURE, ACRYLIC LENS, STEP DIMMING DRIVER, 4000K, L92=100000, 2500 LUMENS, 21W	WHITE	CEILING GRID RECESSED	METALUX	22EN-LD2-25-UNV-L840-CD-1
B	LED	2'X4' CEILING RECESSED TROFFER FIXTURE, ACRYLIC LENS, DIMMING DRIVER, 4000K, L92=100000, 5800 LUMENS, 47W	WHITE	CEILING GRID RECESSED	METALUX	24EN-LD2-58-UNV-L840-CD-1
B1	LED	2'X4' CEILING RECESSED TROFFER FIXTURE, ACRYLIC LENS, DIMMING DRIVER, 4000K, L92=100000, 4900 LUMENS, 43W	WHITE	CEILING GRID RECESSED	METALUX	24EN-LD2-49-UNV-L840-CD-1
B2	LED	2'X4' CEILING RECESSED TROFFER FIXTURE, ACRYLIC LENS, DIMMING DRIVER, 4000K, L92=100000, 4000 LUMENS, 34W	WHITE	CEILING GRID RECESSED	METALUX	24EN-LD2-40-UNV-L840-CD-1
C	LED	4' LONG STRIP LIGHT, SEMI-FROST LENS, 4100 LUMENS, 4000K, L82=60000 HRS., DIMMING DRIVER, 31W	WHITE	CEILING OR WALL SURFACE +8'-0" AFF	METALUX	45NLED-LD5-46SL-LN-UNV-L840-CD-1
D	LED	WALL MOUNT LED WALL PACK, ALUM. HOUSING, MIRROR ANODIZED REFLECTOR, ELECTRONIC DRIVER, 4000K, L89=72000, 38W	BLACK	WALL SURFACE +10'-0" AFF UON	LUMARK	XTOR4B-W-BK
EM	INCLUDED	EMERGENCY EGRESS LUMINAIRE, (2) 2W LED HEADS, NICKEL-CADMIUM BATTERIES, SELF-TEST DIAGNOSTICS	WHITE	WALL SURFACE +7'-6" AFF	ISOLITE	RL2LED-2-WH-SD
F	LED	FLOOD LIGHT, DIE-CAST ALUMINUM HOUSING, WET LOCATION LISTED, BARN DOORS, PHOTOCELL, NARROW FLOOD, 170=100000, 4000K, 4149 LUMENS, 56W	BLACK	WALL MOUNT JUNCTION BOX	LSI INDUSTRIES	XFLM-NF-LED-28-HO-NW-UE-BLK-PC120-J4RW-BD
XW	INCLUDED	SINGLE FACED EXIT/EGRESS COMBO SIGN WITH 6" LETTERS, ADJUSTABLE LED EGRESS LAMPS, HIGH IMPACT THERMOPLASTIC, HIGH INTENSITY LED LIGHT SOURCE, NICKEL-CADMIUM BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE	WHITE	WALL SURFACE, +7'-6" AFF	ISOLITE	RLCED-R-WH-SD
XWR1	INCLUDED	SINGLE FACED EXIT/EGRESS COMBO SIGN WITH 6" LETTERS, ADJUSTABLE LED EGRESS LAMPS, HIGH IMPACT THERMOPLASTIC, HIGH INTENSITY LED LIGHT SOURCE, SINGLE OUTDOOR REMOTE HEAD, NICKEL-CADMIUM BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE	WHITE/BLACK REMOTE HEAD	WALL SURFACE, REMOTE HEAD AT 8'-0" AFF	ISOLITE	RLCED-R-WH-SD-RLLEDW1
XWR2	INCLUDED	SINGLE FACED EXIT/EGRESS COMBO SIGN WITH 6" LETTERS, ADJUSTABLE LED EGRESS LAMPS, HIGH IMPACT THERMOPLASTIC, HIGH INTENSITY LED LIGHT SOURCE, SINGLE OUTDOOR REMOTE HEAD AND SINGLE INDOOR REMOTE HEAD, NICKEL-CADMIUM BATTERY, UNIVERSAL MOUNTING FOR CEILING/WALL OR SINGLE/DOUBLE FACE	WHITE/BLACK REMOTE HEAD	WALL SURFACE, REMOTE HEAD AT 8'-0" AFF	ISOLITE	RLCED-R-WH-SD-RLLEDW1-RLLEDRH1

LIGHTING FIXTURE SCHEDULE

NO SCALE 03

FLAG NOTES:

- 1 PROVIDE ASTRONOMIC TIME CLOCK FOR CONTROL OF EXTERIOR LIGHTING AND SIGNAGE. TIME CLOCK SHALL BE INTERMATIC ET8215C SERIES, ASTRONOMIC, ELECTRONIC, 2-CIRCUIT OR ACCEPTABLE EQUAL.
- 2 CONNECT CIRCUIT NOTED VIA EXTERIOR LIGHTING TIME CLOCK.
- 3 PROVIDE POWER CONNECTION FOR BUILDING SIGNAGE. VERIFY LOCATION AND REQUIREMENTS WITH GC. CONNECT CIRCUIT VIA EXTERIOR LIGHTING TIME CLOCK. CONNECT TO BE CONTROLLED SEPARATELY FROM EXTERIOR LIGHTS.
- 4 PROVIDE PILOT LIGHT SWITCH FOR MECHANICAL MEZZANINE LIGHTING AND CONNECT SO PILOT LIGHT IS ON WHEN MEZZANINE LIGHTS ARE ON.
- 5 COORDINATE LOCATION OF LIGHT FIXTURES IN ROOM NOTED WITH MECHANICAL EQUIPMENT, DUCTWORK AND PLUMBING.
- 6 INSTALL FIXTURE NOTED AS HIGH ON EXTERIOR BUILDING WALL AS POSSIBLE AND AIM TOWARDS FLAG. CONTROLLED WITH FIXTURE MOUNTED PHOTOCELL. CONNECT TO UNSWITCHED EXTERIOR LIGHTING CIRCUIT.



LEGEND

NO SCALE 02

MAIN FLOOR PLAN - POWER

1/8" = 1'-0" 01

Engineering Design Associates
Consulting Engineers

1602 E. 1st Ave., Suite 200, Casper, Wyoming 82604
Ph: (307) 266-2042 Fax: (307) 236-3805 mail@edesignwyo.com

VETERAN'S ADMINISTRATION BUILDING REMODEL
1432 Rumsey Ave Cody Wyoming 82414

ALL CONTENT HEREIN IS PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND IS THE PROPERTY OF THE PROJECT. UNAUTHORIZED USE IS PROHIBITED BY LAW.

Professional Engineer (Electrical)
10099
mm
Date 09/05/17
WYOMING

POINT ARCHITECTS

309 E. 10th Street
Garden City, ID
83741
p. 208.284.2999

P.O. Box 1861
Cody, Wyoming
82414
p. 807.272.0066
www.pointarchitects.com

DATE 9/5/17
SCALE AS NOTED
FILE 17054
BY MNS

E 1.0