

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
WEDNESDAY, JULY 5, 2017  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

**SPECIAL MEETING**  
**AGENDA**

1. Call to Order by Chairman, Steve Miller
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the June 25, 2017 regular meeting.
6. NEW BUSINESS:
  - A. Public Hearing for Conditional Use Permit to install a single-wide manufactured home that does not meet the residential architectural standards at 240 C Street.
  - B. Conditional Use Permit – Install a single-wide manufactured home that does not meet the residential architectural standards at 240 C Street.
  - C. Site Plan Review – New Addition to Building for Rawhide Mechanical, located at 3401 Big Horn Avenue.
  - D. Site Plan Review – New Steel Building (6000 sq. ft.), located at 183 Blackburn Avenue.
  - E. Site Plan Review- New storage bay for Y-Tex Corp., located at 1825 Big Horn Avenue.
7. P&Z Board Matters (announcements, comments, etc.).
8. Council Update:
9. Staff Items:
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, June 27, 2017**

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, June 27, 2017 at 12:00 pm.

Present: Steve Miller, Chairman, Kayl Mitchell, Buzzy Hassrick, Heidi Rasmussen, Richard Jones, Reese Graham, Curt Dansie, Glenn A. Nielson, Sandra Kitchen City Deputy Attorney, Todd Stowell City Planner; Bernie Butler Administrative Assistant.

Absent: Curt Dansie

Chairman, Steve Miller called the meeting to order at 12:00 pm, followed by the pledge of allegiance.

Heidi Rasmussen made a motion, seconded by Richard Jones, to approve the agenda for June 27, 2017. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Kayl Mitchell, to approve the minutes for the June 13, 2017 meeting. Vote on the motion was unanimous, motion carried.

**NEW BUSINESS:**

A. Todd Stowell presented a site plan review for the Elks Storage Building, located at 1202 Beck Avenue.

Buzzy Hassrick made a motion, seconded by Reese Grahams, to approve the Elks storage building, located at 1202 Beck Avenue, subject to the following:

1. That all existing utilities be identified and protected, and a note requiring such to be added to the site plan.
2. That the drywell be sized per the City storm water policy manual (220 cubic feet), and the size be noted on the site plan.
3. That vegetative screening be maintained near the north side of the building—the existing vegetation is sufficient, but if it is ever removed, replacement screening must be installed.

Vote on the motion was unanimous, motion carried.

B. The Public Hearing for the Conditional Use Permit to allow an Accessory Dwelling Unit in a R-1 Zone, located at 2507 Carter Avenue, began at 12:06 p.m.

There were comments from the public as follows:

Vince Hopkins, 2526 Beartooth Drive, opposed due to lack of privacy in backyard and violation of covenants.

Linda Hopkins, 2526 Beartooth Drive, opposed due to lack of privacy in backyard.

Greg Kincheloe, 2532 Beartooth Drive, opposed and feels it is an invasion of his privacy.

Sandra Kincheloe, 2532 Beartooth Drive, opposed due to covenants which she had to follow years ago, and the applicant is not following.

James Morgan, 2507 Carter Avenue, applicant, stated that his intention is to have his mother-in-law move into the accessory dwelling and help with child care of their new baby.

The Public Hearing for the Conditional Use Permit to allow an Accessory Dwelling Unit in a R-1 Zone, located at 2507 Carter Avenue, was closed at 12:20 p.m.

C. Board Member, Kayl Mitchell asked to be recused from discussion and voting, due to a business and personal conflict. Todd Stowell presented a request for a conditional use permit from James Morgan, located at 2507 Carter Avenue, for an Accessory Dwelling Unit in a R-1 zone. Todd Stowell reviewed the procedure and criteria for accessory dwellings in a R-1 zone which are met, and the criteria for Conditional Use Permits.

The Board asked Mr. Morgan several questions regarding his intent for the ADU, and if he was willing to work with his neighbors to try to minimize their concerns over the invasion of privacy. Ideas such as privacy glass, fixed shutters, and vegetation were discussed. He stated that he is doing this addition for his mother-in-law to live in, and he is willing to make the necessary adjustments to minimize privacy impacts to his neighbors.

Richard Jones made a motion, seconded by Reese Graham, to approve the conditional use permit to allow an Accessory Dwelling Unit in a R-1 Zone, as recommended by staff, without mitigation.

Vote on the motion was 4-1 to approve, with Buzzy Hassrick voting against due to lack of mitigation, and Kayl Mitchell abstaining from the vote, motion carried.

P & Z Board Matters – The next meeting will be moved from July 11<sup>th</sup> to July 5<sup>th</sup>.

Council Updates – none

Staff Items – none

Heidi Rasmussen made a motion, seconded by Kayl Mitchell to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairman Miller adjourned the meeting at 1:20 p.m.

---

Bernie Butler, Administrative Assistant

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JULY 5, 2017	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	CONDITIONAL USE PERMIT AT 240 C STREET. SUP 2017-05	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

The Planning and Zoning Board considered this request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified (computer glitch not caught by staff), so the City is repeating the notice and hearing process. This staff report is updated based on the second notice and comment period.

**PROJECT DESCRIPTION & BACKGROUND:**

Kimberly Fowler recently purchased 240 C Street, a 50-foot wide by 161-foot long property within the R-2MH zoning district (Medium-Low Density Manufactured Home zone). She has submitted an application to install a 1999 (approx.) single-wide manufactured home on the property which will not meet the residential architectural standards. The zoning ordinance allows manufactured homes that do not meet the residential architectural standards to be installed in the R-2MH zone, subject to issuance of a conditional use permit. The residential architectural standards are:



1. Roof pitch shall average at least 3:12 in steepness. *(Met.)*
2. Eaves shall extend at least 12 inches from the building. *(Not met. A 12-inch eave is on one end of the home, but the other end and sides have no eaves.)*
3. The building shall be constructed or placed on a permanent foundation of concrete, masonry, or material of similar appearance and durability approved by the building official. *(Not met.)*
4. The structure shall have at least one story above ground level (i.e. no basement houses). *(Met.)*

The applicant would like to install the home without a permanent foundation, using standard metal skirting instead. In addition, the home does not have eaves, except on one end. Photos of the home, which home has been located on 33rd Street on a

rented space, are provided. The same setup that is shown in the photos would be used at the new location, including the lattice entry. The photos also show how the owner has updated the exterior with new siding.



The conditional use permit process allows the Board to consider each request on a site-specific basis, and provides an opportunity for neighbors to share their view. The public hearing for the conditional use request was advertised as required by mail to neighboring properties within 140 feet on June 22, 2017, and by publication in the newspaper on June 22, 2017.

**REVIEW CRITERIA:**

The Residential Architectural Standards requirement specifies that "*manufactured homes not meeting these standards may be considered as specified in the land use*

*table.*" The land use table indicates that a Conditional Use Permit may be requested for such use in this zone.

It is also noted that the "Manufactured Home" section of the residential supplemental development standards specify that "*All manufactured homes placed outside of a mobile home park must be "attached" to the property so as to be taxed as real property (i.e. Title elimination process).*" If read by itself, this requirement would indirectly mean that the home would have to be placed on a permanent foundation, as a title elimination cannot be performed on a manufactured home that is not on a permanent foundation.<sup>1</sup> In order for the conditional use provision noted in the Residential Architectural Standards to have any effect, the requirement for the title elimination process must also be able to be waived through the conditional use process. A future modification to the ordinance language should occur to more clearly indicate such.

The conditional use standards of review are found in Section 10-14-1(D) of the City of Cody Code, and are listed below, with staff comments provided. The Board has authority to approve, impose conditions on, or deny conditional use applications. The Board is to base its determination upon the following considerations.

1. *Is the site large enough to accommodate the proposed use and meet all of the dimensional standards and development regulations of the zoning district in which the project is located?*

Comment: Yes. The home is about 16 feet wide, so considering the five-foot minimum side setbacks plus the lattice entry and steps, the unit will be able to fit within the 50-foot width of the lot, even with the irrigation ditch along the south property line.

---

<sup>1</sup> The title elimination process is used by lenders to package the home with the land so that conventional home/manufactured home loans can be used. The title elimination gives the lender assurance that the manufactured home will not be sold and removed separate from the land, and is a standard requirement for FHA financing. Also, if it is not done, the home remains "personal property" and must be treated as a vehicle for loan and tax purposes. A "permanent foundation" under FHA and zoning requirements consists of concrete, masonry, or an engineered insulated system—not metal skirting or plywood.

For tax assessment purposes, a manufactured home on a permanent foundation is supposed to have its title eliminated. If it is not on a permanent foundation, it is not supposed to have its title eliminated.

For zoning purposes, a requirement for a permanent foundation/title elimination is intended to provide a more stable neighborhood than a mobile home park, due to the fact that both the land and home are owned by a single party and the homes are not being moved in and out with every new resident. In this case, the intent is planned to be maintained because both the home and property would be in single ownership and she intends to live on the property for several years.

The site plan is not sufficiently detailed to show dimensions and required parking areas, but the 161-foot depth of the lot can easily accommodate the 77-foot long home, a 15-foot rear setback, and a 25-foot deep parking area and front setback.

Lot coverage will also be met.

2. *Is the use, at the scale or density proposed, compatible with all other uses in the immediate area and with permitted uses that may be established in the area?*

Comment: The proposed use is a single-family home, which is within the density allowed and found in the immediate area.

This particular neighborhood was first developed in the County without any zoning. Since 1985, when the area was annexed, it has had a zoning requirement for permanent foundations. The eave requirement is new. About half of the homes on the street have permanent foundations. However, it is evident that there are homes newer than 1985 along this street without permanent foundations, and no indication of how that may have occurred. A review of the tax records indicate that the use of title elimination forms has not been consistent either. In other words, it is not like the rest of the street is in full compliance with the permanent foundation or eave requirements, or that they have properly utilized the title elimination process. Therefore, if a conditional use permit is authorized for the home as requested, it would not result in a unique situation.

It is also noted that the title elimination process can now, in the current financial market, indirectly remove potential manufactured home owners from the market, as it is becoming more and more difficult to find financing companies that are willing to finance used homes in a land/home package. While the financing/title elimination situation would effectively mean homes being brought into an area would most likely be new or nearly new, it does bring up a housing affordability issue in a neighborhood that has historically provided affordable housing options. A permit to effectively maintain the 'status quo' seems reasonable.

Seventeen neighboring property owners were notified of the proposal, for this second hearing. As of the time of this staff report, four responses have been received—two objecting and two with no objection. See attached. The only new objection is a letter about the original flawed process from Jacque Cobourn at 313 Pintail Street, but the letter does not indicate any other points of objection.

3. *Does the proposed use involve activities, processes, materials, equipment, hours of operation, or any other operational characteristics that would be materially detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, dust, glare, odors, hazards, or similar impacts?*

Comment: No such operational impacts are anticipated if the architectural standards of a permanent foundation and eaves are not met.

4. *Does the proposal include provisions for necessary and desired public utilities and facilities such as potable water, fire hydrants, sewer, electrical power, streets, storm water facilities, and sidewalks/pathways?*

Comment: Yes. Although not shown on the site plan, there are existing domestic water, sewer, and power connections within the lot, since the lot had a mobile home and RV on it in different times in the past. A fire hydrant is located directly across the street.

"C" Street is a paved city street, which lacks curb, gutter and sidewalks, but is adequate for the historical use of the immediate neighborhood. "C" Street has the full standard 60-foot right-of-way width. Traffic from the lot will remain at historical rates.

5. *Will the proposed use create excessive additional costs for public facilities and services that would be materially detrimental to the economic welfare of the community?*

Comment: No such additional costs are anticipated if the architectural standards of a permanent foundation and eaves are not met.

6. *Will the proposed use result in the destruction, loss or damage of a natural, scenic or historic feature considered to be of significant importance?*

Comment: No such features exist on or immediately near the property.

7. *Is the proposed use consistent with the applicable provisions of the Cody Master Plan?*

The master plan shows this neighborhood as a medium-density residential area.

Principle 5.2.c notes *"Manufactured and Mobile Homes. Maintain opportunities for quality manufactured home in appropriately identified areas and mobile home parks."*

**ALTERNATIVES:**

Approve, deny or approve with conditions.

**ATTACHMENTS:**

Site Plan, Neighbor comments

**RECOMMENDATION:**

That the Planning and Zoning Board make the following findings:  
(Draft, subject to information received at public hearing.)

1. That proper notice of the public hearing was provided by advertising in the Cody Enterprise and by mail to all property owners within 140 feet at least ten days before the hearing.
2. That the Planning and Zoning Board has held a public hearing as required and has considered all comments pertaining to the request; and,
3. That the points identified in the staff report and at the Board meeting are adequate to set forth the reasoning why the criteria of 10-14-1 are met.

AND,

Approve the Conditional Use Permit to allow installation of the manufactured home as requested, on a temporary foundation, on the condition that the land and home remain under the same ownership.

NOTE: If approved, the applicant will need to complete and record the conditional use permit at the County Clerk's office within 15 days. Staff will prepare the permit document.

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 29, 2017 to:**

Date: June 21, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street, which home would not meet the City residential architectural standards for the area, due to lack of a permanent foundation. This is a photo of the home. Zoning of the area requires manufactured homes to be placed on permanent foundation. Metal skirting, as shown in the photo, is proposed. The home only has an eave on one end.



**This request will be considered by City of Cody Planning & Zoning Board on Wednesday, July 5, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Avenue.**

NOTE: A notice for this project was previously sent May 30, 2017 and the Planning and Zoning Board considered the request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified, so the City is repeating the notice and hearing process. If you previously commented you may repeat those comments, or simply tell the Board to refer to your prior comments.

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is James L. LaFollette and I am familiar with the proposal by Kimberly Fowler  
(Printed name)

for the conditional use permit described above.

I have NO OBJECTION to the request.

Name: Maggi and James L LaFollette

Address: 304 C Street

Comments: as next door neighbor we do not object (there is a slab)

\*\*\*\*\*

I OBJECT to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: \_\_\_\_\_**

JAMES R CROSS, & JOANN L. C/O FLYO FLOYD, Sandi D.

Notice to Owners of Neighboring Properties:

Please return this letter by June 10, 2017 to:

Date: May 30, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street without a permanent foundation. (Zoning of the area requires manufactured homes to be placed on permanent foundations of concrete, masonry, or material of similar appearance and durability, but exceptions may be considered through the conditional use permit process.)

**This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, June 13, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.**

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**  
(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Sandi Floyd and I am familiar with the proposal by Kimberly Fowler

(Printed name)

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: Sandi Floyd

Address: 238 C St

Comments: I have no objection IF the plan to put the unit on a foundation within 3-5 years is formally agreed upon per Kimberly's discussion with Todd Stowell.

\*\*\*\*\*

I **OBJECT** to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: Sandi.floyd4@gmail.com

I have similar plans for my unit & would like to see this upgrade in our neighborhood as a means to look less like a trailer park. as we are not zoned as such. If this condition cannot be met I do object to this <sup>sp</sup> special conditional use permit request.  
Sandi Floyd

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 10, 2017 to:**

Date: May 30, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler

Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street without a permanent foundation. (Zoning of the area requires manufactured homes to be placed on permanent foundations of concrete, masonry, or material of similar appearance and durability, but exceptions may be considered through the conditional use permit process.)

**This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, June 13, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.**

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Lisa Schultz and I am familiar with the proposal by Kimberly Fowler  
(Printed name)

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: Lisa Schultz

Address: PO Box 3136 McKinney, TN 38070

Comments: \_\_\_\_\_

\*\*\*\*\*

I **OBJECT** to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: \_\_\_\_\_**

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 29, 2017 to:**

Date: June 21, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler

Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street, which home would not meet the City residential architectural standards for the area, due to lack of a permanent foundation. This is a photo of the home. Zoning of the area requires manufactured homes to be placed on permanent foundation. Metal skirting, as shown in the photo, is proposed. The home only has an eave on one end.



**This request will be considered by City of Cody Planning & Zoning Board on Wednesday, July 5, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Avenue.**

NOTE: A notice for this project was previously sent May 30, 2017 and the Planning and Zoning Board considered the request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified, so the City is repeating the notice and hearing process. If you previously commented you may repeat those comments, or simply tell the Board to refer to your prior comments.

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is \_\_\_\_\_ and I am familiar with the proposal by Kimberly Fowler  
*(Printed name)*

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Comments: \_\_\_\_\_

\*\*\*\*\*

I **OBJECT** to the request:

Name: Gary W Jensen - Manager of Frontier Storage Units

Address: 920 Alpine Ave. Cody, WY 82414

Reason for Objection: \_\_\_\_\_

Refer To The prior comments.

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address:** E-mail address: \_\_\_\_\_

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 10, 2017 to:**

Date: May 30, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street without a permanent foundation. (Zoning of the area requires manufactured homes to be placed on permanent foundations of concrete, masonry, or material of similar appearance and durability, but exceptions may be considered through the conditional use permit process.)

**This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, June 13, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.**

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Gary W. Jensen and I am familiar with the proposal by Kimberly Fowler  
(Printed name)

for the conditional use permit described above.

I have NO OBJECTION to the request.

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Comments: \_\_\_\_\_

\*\*\*\*\*

I OBJECT to the request:

Name: Gary W. Jensen

Address: 920 Alpine Ave. Cody, WY 82414

Reason for Objection: I manage the Frontier Storage Containers "46" that are individually owned @ 309 C Street.

this zone requirement suggest permanent housing rather than a temporary use. The land adjoining the south property line is neat and very well maintained.

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address:**

\_\_\_\_\_

A temporary resident may not maintain the yard as well as a permanent resident. I favor the current zone requirement for this request.

Gary W. Jensen, Manager 6/5/17

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 29, 2017 to:**

Date: June 21, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler

Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street, which home would not meet the City residential architectural standards for the area, due to lack of a permanent foundation. This is a photo of the home. Zoning of the area requires manufactured homes to be placed on permanent foundation. Metal skirting, as shown in the photo, is proposed. The home only has an eave on one end.



**This request will be considered by City of Cody Planning & Zoning Board on Wednesday, July 5, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Avenue.**

NOTE: A notice for this project was previously sent May 30, 2017 and the Planning and Zoning Board considered the request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified, so the City is repeating the notice and hearing process. If you previously commented you may repeat those comments, or simply tell the Board to refer to your prior comments.

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Kathy Dallman and I am familiar with the proposal by Kimberly Fowler  
*(Printed name)*

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: Kathy & Scott Dallman

Address: 232 C. Street

Comments: See previous comments

\*\*\*\*\*

I **OBJECT** to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: \_\_\_\_\_**

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 10, 2017 to:**

Date: May 30, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street without a permanent foundation. (Zoning of the area requires manufactured homes to be placed on permanent foundations of concrete, masonry, or material of similar appearance and durability, but exceptions may be considered through the conditional use permit process.)

**This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, June 13, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.**

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Kathy Dallman and I am familiar with the proposal by Kimberly Fowler  
*(Printed name)*

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: Scott & Kathy Dallman

Address: 232 C. St. Cody

Comments: she has been out cleaning the lot, mowing the lot & taking care of it. Her Trailer she wants to put on has had upgrades & looks very nice. We have known her for over 20 years & believe she would be a good neighbor to all around her lot.

I **OBJECT** to the request: trailers on our street are not on foundations so

Name: another on a existing narrow lot will not affect

Address: the neighborhood for property values.

Reason for Objection: We oppose of Kim's conditional use permit. Buying the lot, paying for moving trailer, paying for hookups is a very spendy endeavor & then having to pay for a foundation would be a hard ship for anyone.

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address:** E-mail address: \_\_\_\_\_

Jacque Cobourn  
313 Pintail Street  
Cody, WY 82414

June 19, 2017

Dear Mr. Stowell:

I am writing this letter as requested by you after our phone conversation. It is my understanding after that conversation with you that there was a glitch in your computer system, so not every resident in the area was notified of the exemption that was requested on C Street. I would ask at this time that the issue of the exemption be revisited and the process started over as the law of notification was not met. I have spoken with neighbors who would be effected by the exemption being passed and didn't have ample opportunity to respond. I have also spoken with at least one neighbor that was never notified and should have been according to your records.

Also, you mentioned that the mailings were sent out ten days before the hearing. Depending on the date of mail and if the weekend is included in those ten days, that no longer allows residents ample time to respond to any official letters sent by the City of Cody due to mail being sent to Casper first. Hopefully, this will be addressed by Planning and Zoning and city officials as well.

I would ask that you send this letter to the Planning and Zoning Board as well as the City of Cody Council Members if this issue was passed by them.

Please let me know if I need to go before the Planning and Zoning Board to address this issue or if I need to go before the Council. I am happy to do both.

I look forward to hearing from you about this issue.

Respectfully,

*Jacque Cobourn*

Jacque Cobourn

*(307) 250-4692*

**RECEIVED**  
**JUN 19 2017**  
**CITY OF CODY**

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 29, 2017 to:**

Date: June 21, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street, which home would not meet the City residential architectural standards for the area, due to lack of a permanent foundation. This is a photo of the home. Zoning of the area requires manufactured homes to be placed on permanent foundation. Metal skirting, as shown in the photo, is proposed. The home only has an eave on one end.



**This request will be considered by City of Cody Planning & Zoning Board on Wednesday, July 5, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Avenue.**

NOTE: A notice for this project was previously sent May 30, 2017 and the Planning and Zoning Board considered the request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified, so the City is repeating the notice and hearing process. If you previously commented you may repeat those comments, or simply tell the Board to refer to your prior comments.

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Larry B. Jones and I am familiar with the proposal by Kimberly Fowler  
(Printed name)

for the conditional use permit described above.

I have **NO OBJECTION** to the request.

Name: Larry B. Jones

Address: 236 C Street

Comments: There are many other residences in the neighborhood which likely would not meet the requirements. There is nothing in what Ms.Fowler proposes which would have (over)  
\*\*\*\*\*

I **OBJECT** to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address:** E-mail address: larry1bj-justice.com

Comment (cont.)

a deleterious effect on the neighborhood. In fact, I am in favor  
of Mrs. Fowler's Request.

Henry J. Ford

**Notice to Owners of Neighboring Properties:**

**Please return this letter by June 29, 2017 to:**

Date: June 21, 2017

Cody City Planner  
P.O. Box 2200  
Cody, WY 82414

**JUN 26 2017**

RE: **CONDITIONAL USE PERMIT**

**THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A CONDITIONAL USE PERMIT. YOUR COMMENTS WOULD BE APPRECIATED.**

Applicant Name(s): Kimberly Fowler  
Address or Location/Legal Description: 240 C Street

Description of Request: Install a single-wide manufactured home (approx. 1999) at 240 C Street, which home would not meet the City residential architectural standards for the area, due to lack of a permanent foundation. This is a photo of the home. Zoning of the area requires manufactured homes to be placed on permanent foundation. Metal skirting, as shown in the photo, is proposed. The home only has an eave on one end.



**This request will be considered by City of Cody Planning & Zoning Board on Wednesday, July 5, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Avenue.**

NOTE: A notice for this project was previously sent May 30, 2017 and the Planning and Zoning Board considered the request at their June 13, 2017 meeting. After the meeting, it was discovered that not all neighbors were notified, so the City is repeating the notice and hearing process. If you previously commented you may repeat those comments, or simply tell the Board to refer to your prior comments.

**Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:**

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Jerry Parker and I am familiar with the proposal by Kimberly Fowler  
(Printed name)

for the conditional use permit described above.

I have NO OBJECTION to the request.

Name: Park County Fire Dist. 2

Address: 325 Pintail St.

Comments: \_\_\_\_\_

\*\*\*\*\*

I OBJECT to the request:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Reason for Objection: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: \_\_\_\_\_**

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JULY 5, 2017	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: RAWHIDE MECHANICAL ADDITION. SPR 2017-16	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Tim Woods, representing Rawhide Mechanical and Pryor Mountain Plumbing and Heating, LLC, has submitted a site plan application for construction of a 20' by 80', 1,600 square foot addition to the west side of the existing building at 3401 Big Horn Avenue. The façade of the existing building will also be upgraded. The floor plan, site plan, architectural elevations, and electrical plan are attached.

Existing:



Proposed:



PRECISION PLAN and DESIGN INC.  
CUSTOM PLAN SERVICE

**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the*

*applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

Applicable standards of the zoning district are also reviewed.

**STAFF COMMENTS:**

The property is located within the Open Business/Light Industrial (D-3) zoning district, which permits contractor businesses. The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	12,000 square foot lot with equipment building, owned by Rawhide Mechanical.	D-3
East	Vacant 20-acre lot.	D-3
South	Auto repair and liquor store across Big Horn Avenue.	D-3
West	Carpet Hut business.	D-3



**Architecture:**

The new façade has a variety of architectural enhancements that are formed from a variety of materials, colors, and accent lighting. The new entryway, eave extensions, and light diffusers/canopies also give the façade a depth that is currently lacking. The new, wide sidewalk will also provide a visual and functional enhancement. The overall look of the façade is quite modern and a significant improvement.

The look is of the same style, and therefore compatible with, other recent projects on Big Horn Avenue, including the Gail Construction addition, Whitlock Motors, and the Bobcat dealership.

The Board will need to determine if the architectural features of the building are acceptable.

**Landscaping:**

The property is within the Entry Corridor Overlay (refer to City Code 10-17), which has specific landscaping requirements. The property has an area next to Big Horn Avenue that is available for landscaping and large enough to meet the minimum 5% requirement. While currently mostly weeds, it is planned to be improved with landscaping. As almost all of it is within a utility easement, trees are not an option.



The site plan shows the proposed landscaping of the island with clusters of perennials and decorative grasses in a bed of river rock (cobble) groundcover. The types of plants and amount are similar to other recent projects that were approved along the Big Horn Avenue corridor.

It is noted that the landscape area currently receives some storm water runoff, the grading of the landscaped area should allow for that to continue.

#### Access and Parking:

Based on the size and identified use of the addition and existing buildings, staff calculates that seven parking spaces are required (4.6 for office area and 2 spaces for warehouses).

There will be six spaces provided immediately next to the building. The other space is not formally marked, but there is sufficient area to park two vehicles parallel along the north side of the landscape area, plus there is room for a few informal parking spaces at the back of the building.

The front parking lot is already paved. Updating of the striping, including addition of an ADA van-accessible space, is shown on the plans. The spaces and aisles shown on the site plan meet the dimensional parking standards.

As the parking area is next to the building, the proposed exterior building lighting should be adequate to illuminate the parking space area.

Access is from Big Horn Avenue, via a shared approach. No modifications to the approach are proposed.

#### Exterior Lighting

Lighting details are provided on Sheet E1.0 and the attached fixture detail sheets. Recessed soffit lighting (D on plans) will be provided at the entry and in the soffit of the addition. Fixtures "E" are goose-neck sconces directed toward a future sign location. Fixtures "B" are the common LED wall packs. All exterior lighting is of a recessed or full cut-off style.

Staff would recommend to the applicant that the front wall pack be on a separate switch from the wall packs at the rear of the addition, so as to avoid unnecessary illumination at the front of the building.

Looking at the distance to neighboring properties, no significant light spillage or glare is anticipated to occur onto the highway, or onto neighboring lots in a manner that would seem detrimental. That being said, the owner may wish to use a less-intense light fixture for the side door at the back of the addition than the wall pack currently indicated.

### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

As the property does not border any residential zone, there are no applicable zoning setback or buffer requirements. It is noted that the addition will be about 1 ½ feet from the west property line, and about 4 ½ feet from the neighbor's building. The addition is clear of any city easements.

### Storm Water Plan:

The storm water from the addition is shown as being piped to an existing drywell. Based on the information provided by the applicant on drywell size, it is not large enough to accommodate all of the storm water from the new addition. Therefore, a change in the storm water plan is needed.

The simplest method would likely be to install a new infiltration feature in accordance with the default sizing standards of the City storm water policy manual, and pipe the storm water into it. The drywell option for 1,600 square feet of new impervious surface would mean two 4' diameter and 6' deep dry wells. The percolation trench option would mean a percolation trench measuring 10' wide, 2' deep, and 22' long, or other dimensions that provide 440 cubic feet of trench. For construction details see the City storm water policy manual.

### Snow Storage

Snow storage is not shown. Snow storage would be available on the east side of the parking area.

### Utility Services

No new utility services are proposed for the addition. The anticipated locations of existing utility service lines are shown on the plan, with water and sewer to the north and power from along Big Horn Avenue. As the addition will be over the water and sewer service lines for the existing building, those service lines will need to be protected (see Sheet C1.0). Some minor utility modifications will also be needed where the addition will attach to the existing building (remove receptacle, etc.).

### Signage

While a new wall sign is anticipated, it is not yet designed. Future application to the Community Development Department would be needed for any new sign.

### Hydrants/Fire Line

The building is about 350 feet from the nearest hydrant, which meets code. To access the west side of the building, the area between buildings must either be kept entirely clear, or a gate provided in any fence.

### Frontage Status

Sidewalk, curb, gutter, and streetlights exist along the full property frontage.

Garbage

The facility will continue to use the dumpsters to the north on 34<sup>th</sup> Street.

**ATTACHMENTS:**

Application materials.

**ALTERNATIVES:**

Approve or deny the site plan, with or without changes.

**RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items:

1. The storm water plan must be modified to comply with the City storm water policy manual. Identify the chosen method (drywells or percolation trench), location, and sizing with the site plan submitted with the building permit.
2. The landscaping must be completed prior to a certificate of occupancy, unless extended due to weather in accordance with the entry corridor overlay code.
3. Maintain emergency pedestrian access to the west side of the building, as coordinated with the Fire Marshal.
4. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
5. A building permit must be obtained within three years or this authorization will expire.

# RAWHIDE MECHANICAL ADDITION

BY PRECISION PLAN AND DESIGN INC.



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.527.8227 | 307.272.5709

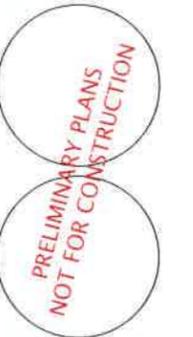
MEMBER ILBA NO. 1271

PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

TIM WOODS  
3401 BIG HORN AVE.  
CODY, WYOMING 82414

P: 307.272.7178  
E: tim@rawhidemechanical.com



NOTE: ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC. AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.16.17  
REVISION: -

PROJECT NO.  
1408

SHEET #  
**T1.0**  
TITLE SHEET



## OWNER INFORMATION

**OWNERS:** TIM WOODS

**MAILING ADDRESS:** P.O. BOX 806  
CODY, WYOMING 82414

**PHONE:** 307.272.4759 | 307.527.7178

**EMAIL:** tim@rawhidemechanical.com

**PROPERTY ADDRESS:** 3401 BIG HORN AVENUE  
CODY, WYOMING 82414

**BUILDER:**

**MAILING ADDRESS:**

**PHONE:**

**EMAIL:**

## SHEET INDEX

- T1.0..... TITLE PAGE
- C1.0..... SITE PLAN
- A1.0..... MAIN FLOOR PLAN
- A2.0..... EXTERIOR ELEVATIONS
- A2.1..... EXTERIOR ELEVATIONS
- A3.0..... CROSS SECTIONS
- S1.0..... FOUNDATION PLAN
- E1.0..... ELECTRICAL PLAN

**IMPORTANT:**  
CONTRACTOR MUST VERIFY ALL SIZES AND DIMENSIONS. PLANS ARE NOT ENGINEERED. FOR BEAM AND ALL STRUCTURAL MEMBER SIZES PLEASE CONSULT A STRUCTURAL ENGINEER. ALL SIZES SUBJECT TO CHANGE PER STRUCTURAL ENGINEER. ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.

## EXTERIOR COLORS

- WALLS (VARIES-SEE EXT. ELEV.):
- METAL (WALLS): FACADE HORIZONTAL: BRIDGER STEEL: BONDERIZED (ULTRA BATTON PROFILE)  
FACADE VERTICAL: BRIDGER STEEL: DARK GRAY (FLUSH SOFFIT PROFILE)  
FIELD METAL VERTICAL: BRIDGER STEEL: LIGHT GRAY (3' TUF RIB PROFILE)
- STONE: ELDORADO: LEDGECUT33 BEACH PEBBLE
- WINDOWS: EXISTING
- DOORS: OVERHEAD: TBD
- TRIM / FACIA: BRIDGER STEEL: DARK GRAY
- GUTTERS: DARK GRAY
- METAL ROOF: BRIDGER STEEL: WHITE (3' TUF RIB PROFILE)

## PLAN ABBREVIATIONS / SYMBOLS

- |          |                                      |
|----------|--------------------------------------|
| SQ. FT.  | SQUARE FEET                          |
| TYP.     | TYPICAL                              |
| N.I.C.   | NOT IN CONTRACT                      |
| O.S.C.I. | OWNER SUPPLIED, CONTRACTOR INSTALLED |
| FL       | FLOOR                                |
| F.F.E.   | FINISHED FLOOR ELEVATION             |
| N.T.S    | NOT TO SCALE                         |
| D.F      | DRINKING FOUNTAIN                    |
| P.T.     | PRESSURE TREAT                       |
| O.C.     | ON CENTER                            |
| T.B.D.   | TO BE DETERMINED                     |
| MFG.     | MANUFACTURED                         |
| SIM.     | SIMILAR                              |
| F.E.     | FIRE EXTINGUISHER                    |
|          | EXTERIOR ELEVATION TAG               |
|          | BUILDING SECTION TAG                 |

## CODE / DESIGN CONSIDERATIONS

BUILDING CODE: INTERNATIONAL BUILDING CODE 2015 (IBC)  
MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES ASCE 7-10

AMERICAN CONCRETE INSTITUTE STANDARD ACI 318  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION 13TH EDITION

BUILDING OCCUPANCY (CHPTR. 3): LOW HAZARD STORAGE - 5-1

PROJECT: RAWHIDE MECHANICAL ADDITION

CODY ZONING DISTRICT: D-3

BUILDING USED FOR: STORAGE

SQUARE FOOTAGE: EXISTING BUILDING = 2440  
NEW ADDITION = 1600  
TOTAL = (4040)

SET BACKS FROM PROPERTY LINE: NEW ADDITION (S-2): W: 1'-6" (FIRE WALL WITH PROPERTY ON WEST), N: +/- 146', S: +/- 100' (+/- 50' TO R.O.W.) E: 54'

FIRE WALL: USED TO SEPARATE ADDITION FROM ADJACENT PROPERTY (TABLE 706.4), 3 HOUR FIRE WALL

FIRE WALL PENETRATIONS: NONE

MATERIALS: CONCRETE - 4,000 PSI @ 28 DAYS  
REINFORCING STEEL - BARS - ASTM A615 GRADE 60  
STRUCTURAL FILL - GRANULAR PIT RUN MATERIAL WITH LESS THAN 5" PASSING THE #200 SIEVE, COMPACTED TO 95% PER ASTM D698

## CODE / DESIGN CONSIDERATIONS

CONCRETE CONSTRUCTION: USE ASTM C150 TYPE I-II CEMENT. USE 5 TO 7% ENTRAINED AIR FOR EXPOSED CONCRETE. WATER TO CEMENT RATION SHALL NOT EXCEED 0.50 EXCEPT FOR LEAN MIX.

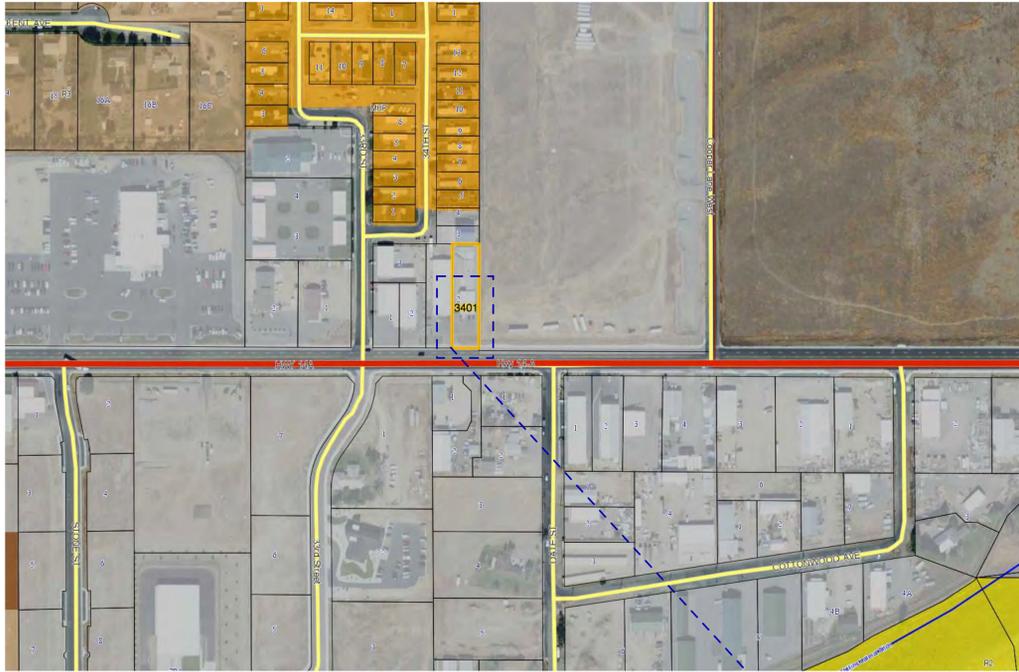
REINFORCEMENT: COVER REQUIREMENTS - CAST AGAINST EARTH - 3" (CLEAR DIMENSION) WALLS, SLABS, COLUMNS - 1 1/2"

LAP SPLICES - 30 BAR DIAMETERS MINIMUM  
CORNER BARS - SIZE & SPACING TO MATCH HORIZONTAL BARS

ENGINEERED METAL BUILDING CRITERIA (IN ADDITION TO BASIS FOR DESIGN NOTES)

LOWER EAVE HEIGHT: 18"  
ROOF SLOPE: 2:12

GIRTS LOCATED EXTERIOR TO COLUMNS ON END WALLS, 1" OUTSET ON SIDE WALLS  
COLUMNS MAY BE TAPERED OR STRAIGHT  
BRACING OPTIONAL - RODS, ANGLES, OR CABLES  
METAL BUILDING DESIGN SHALL BE A DEFERRED SUBMITTAL SUBJECT TO THE REVIEW AND APPROVAL OF ENGINEER OF RECORD  
DESIGN SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE APPROVED BY THE CONTRACTORS AND OWNERS REPRESENTATIVES PRIOR TO FABRICATION.



VICINITY MAP  
N.T.S.

## LEGEND



Blue Spires Russian Sage  
(Perovskia atriplicifolia Blue Spires)  
Height: 48"  
2.5 Gallon



Blue Spires Russian Sage



Karl Foerster Feather Reed Grass  
(Calamagrostis acutiflora Karl Foerster)  
Height: 48 - 60"  
1 Gallon



Karl Foerster Feather Reed Grass



May Night Meadow Sage  
(Salvia sylvestris May Night)  
Height: 15 - 18"  
1/2 Gallon



May Night Meadow Sage

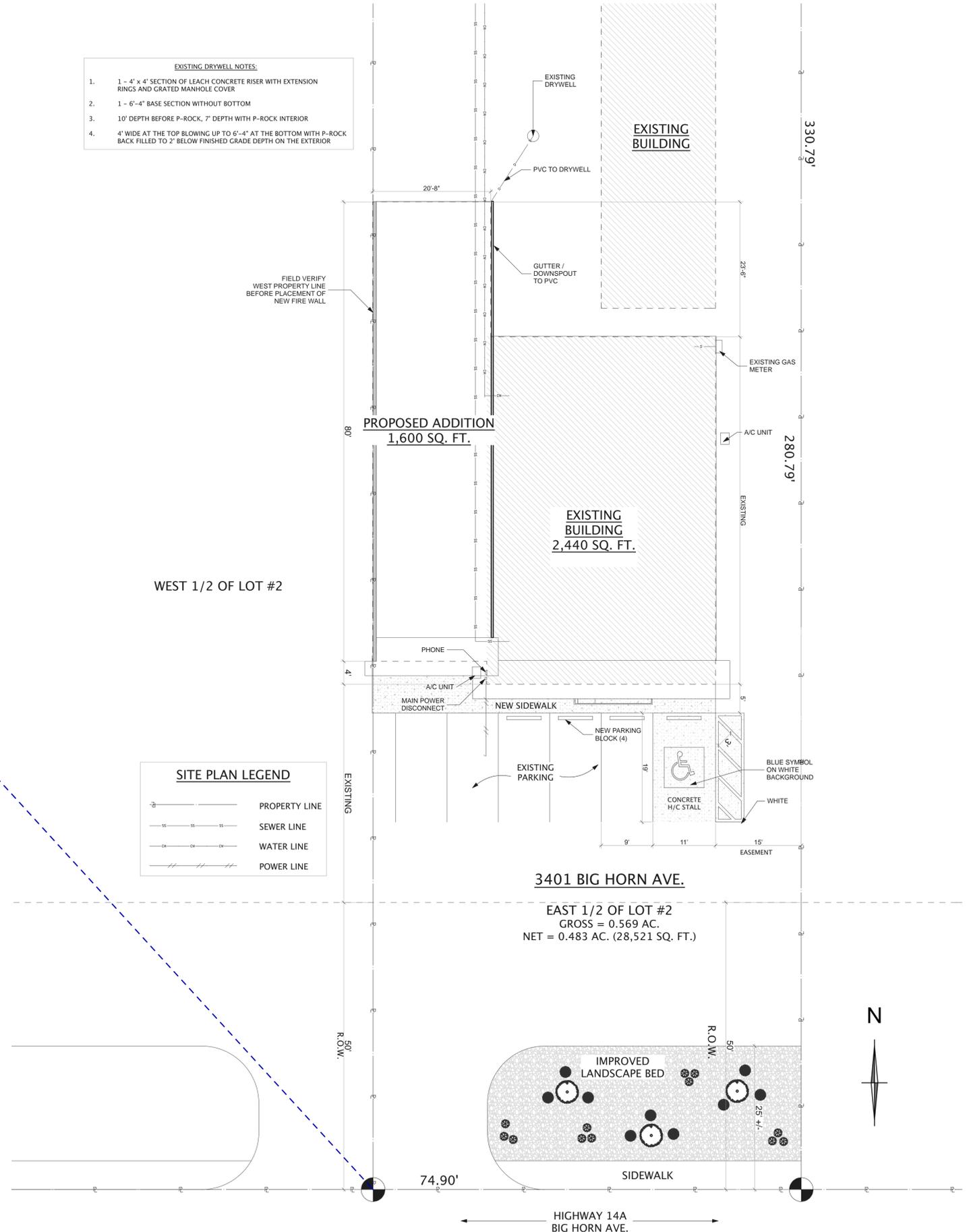


River Rock Mix - avg. 6" dia.  
(Landscaping Gravel)



MARK	QTY.	TYPE	COMMON NAME	SCIENTIFIC NAME	WIDTH	HEIGHT	SHAPE	COLOR	LIGHT
<b>SHRUBS</b>									
SHR1	3	Large	Blue Spires Russian Sage	Perovskia atriplicifolia	4"	4"	Round	Blue	Full
<b>ORNAMENTAL GRASSES</b>									
GR1	9	Large	Karl Foerster Feather Reed Grass	Calamagrostis acutiflora Karl Foerster	24"	48-60"	Round	Green	Full
<b>PERENNIALS</b>									
PR1	12	Medium	May Night Meadow Sage	Salvia sylvestris May Night	18"	15-18"	Round	Purple	Full

- EXISTING DRYWELL NOTES:**
- 1 - 4' x 4' SECTION OF LEACH CONCRETE RISER WITH EXTENSION RINGS AND GRATED MANHOLE COVER
  - 1 - 6'-4" BASE SECTION WITHOUT BOTTOM
  - 10' DEPTH BEFORE P-ROCK, 7' DEPTH WITH P-ROCK INTERIOR
  - 4' WIDE AT THE TOP BLOWING UP TO 6'-4" AT THE BOTTOM WITH P-ROCK BACK FILLED TO 2' BELOW FINISHED GRADE DEPTH ON THE EXTERIOR



1 SITE PLAN  
SCALE: 1" = 10'



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.6227 | 307.272.5709

@: PRECISIONPLANDESIGN@GMAIL.COM

MEMBER ILBA no. 1271

PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

TIM WOODS  
3401 BIG HORN AVE.  
CODY, WYOMING 82414  
P: 307.272.7178  
@: tim@rawhidemechanical.com

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

**NOTE:** ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.28.17  
REVISION: 1

PROJECT NO.  
1408

SHEET #  
**C1.0**  
SITE PLAN



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.272.5709

© PRECISION PLAN AND DESIGN INC.

MEMBER I.L.A. no. 1271

PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

TIM WOODS  
3407 BIG HORN AVE.  
CODY, WYOMING 82414

P: 307.272.7178  
E: tim@rawhidemechanical.com



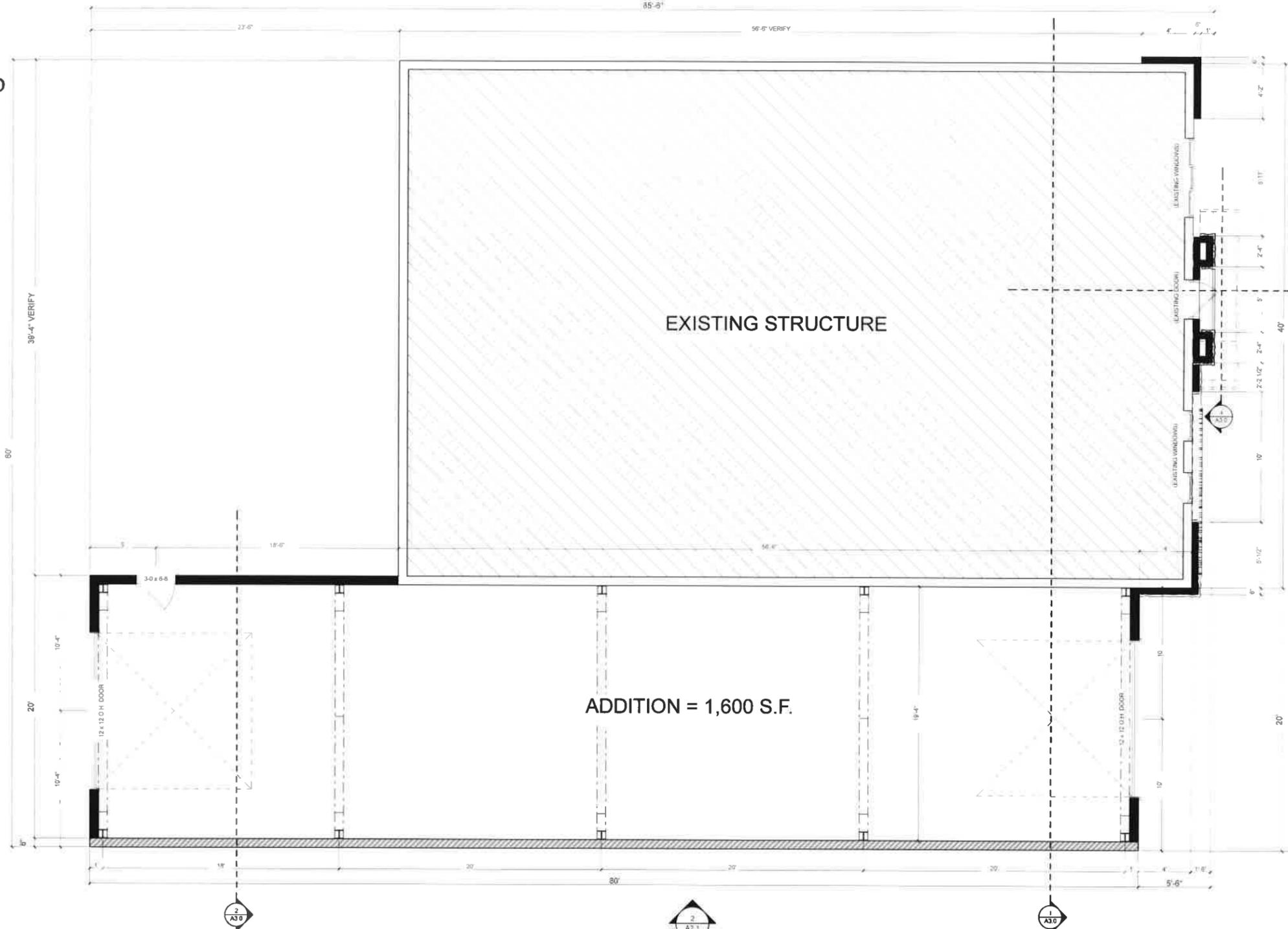
NOTE:  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.16.17  
REVISION: -

PROJECT NO.  
1408



301 LEGEND



1 1st FLOOR PLAN  
SCALE 1/4" = 1'-0"





PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.272.5708

MEMBER ILLA no. 1271

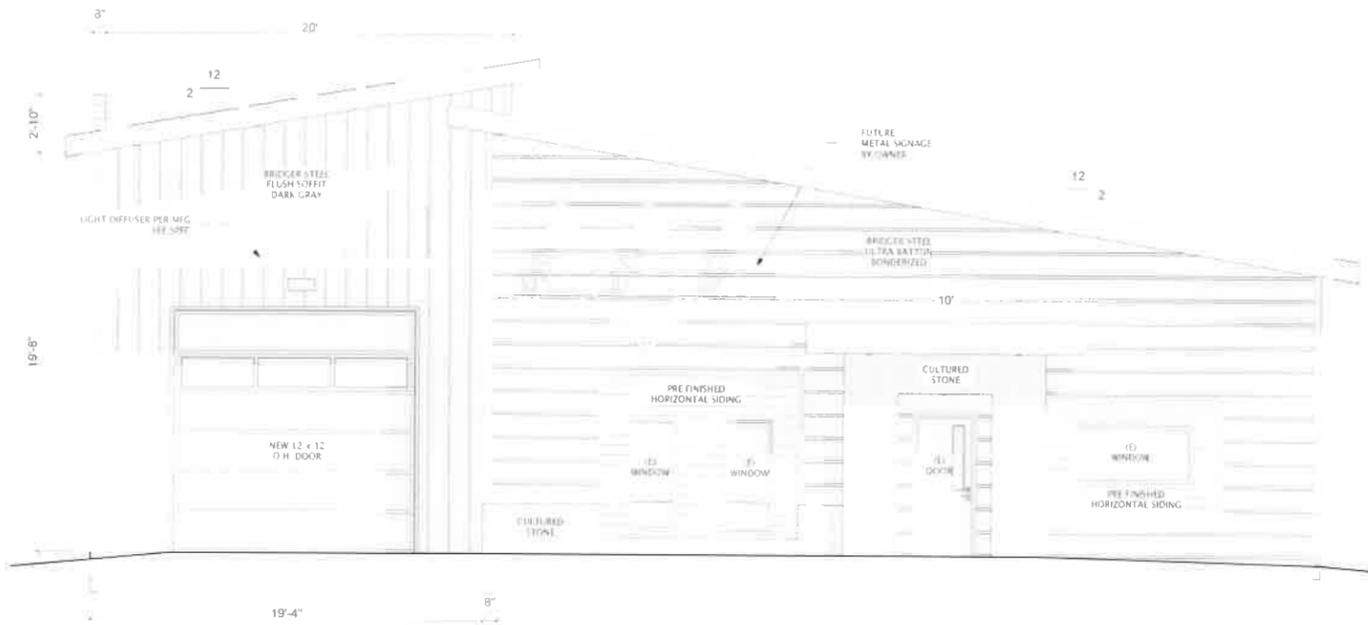
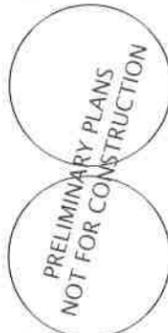
PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

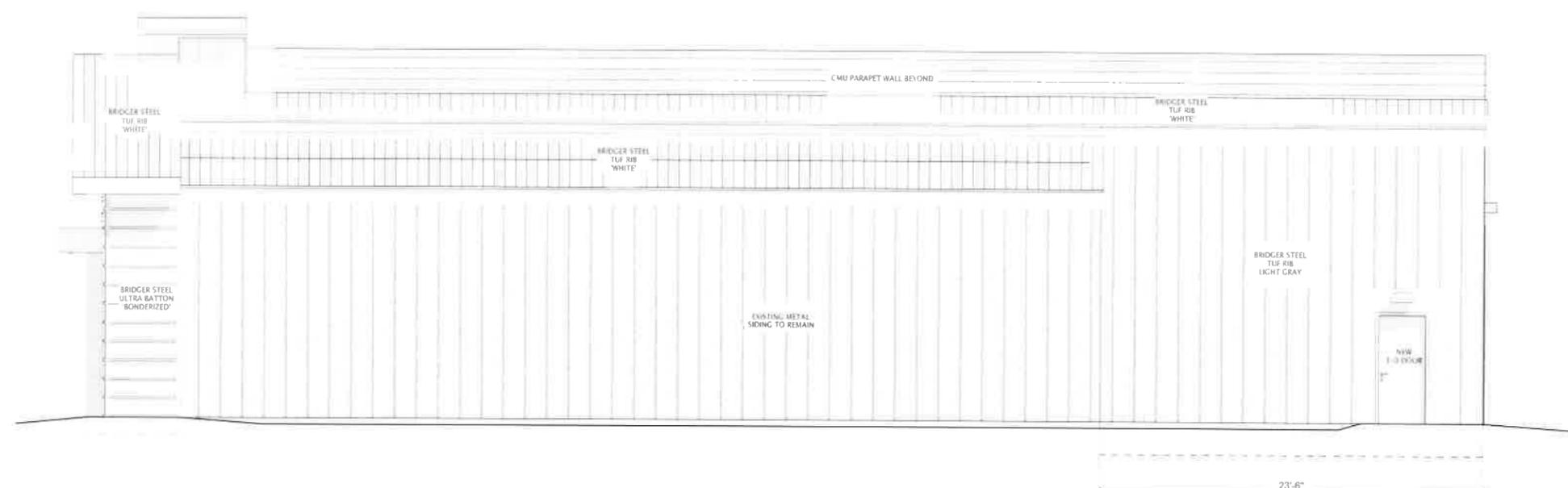
TIM WOODS  
3407 BIG HORN AVE.  
CODY, WYOMING 82414

P. 307.272.7178

tim@rawhidemechanical.com



(1) SOUTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



(2) EAST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC. AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.16.17  
REVISION: -

PROJECT NO.  
1408

SHEET #  
A2.0  
EXT. ELEV.





PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.272.5708

PRECISIONPLANDESIGN@GMAIL.COM

MEMBER IN GOOD STANDING

PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

TIM WOODS  
3401 BIG HORN AVE.  
CODY, WYOMING 82414

P: 307.272.7178  
@tim@rawhide-mechanical.com

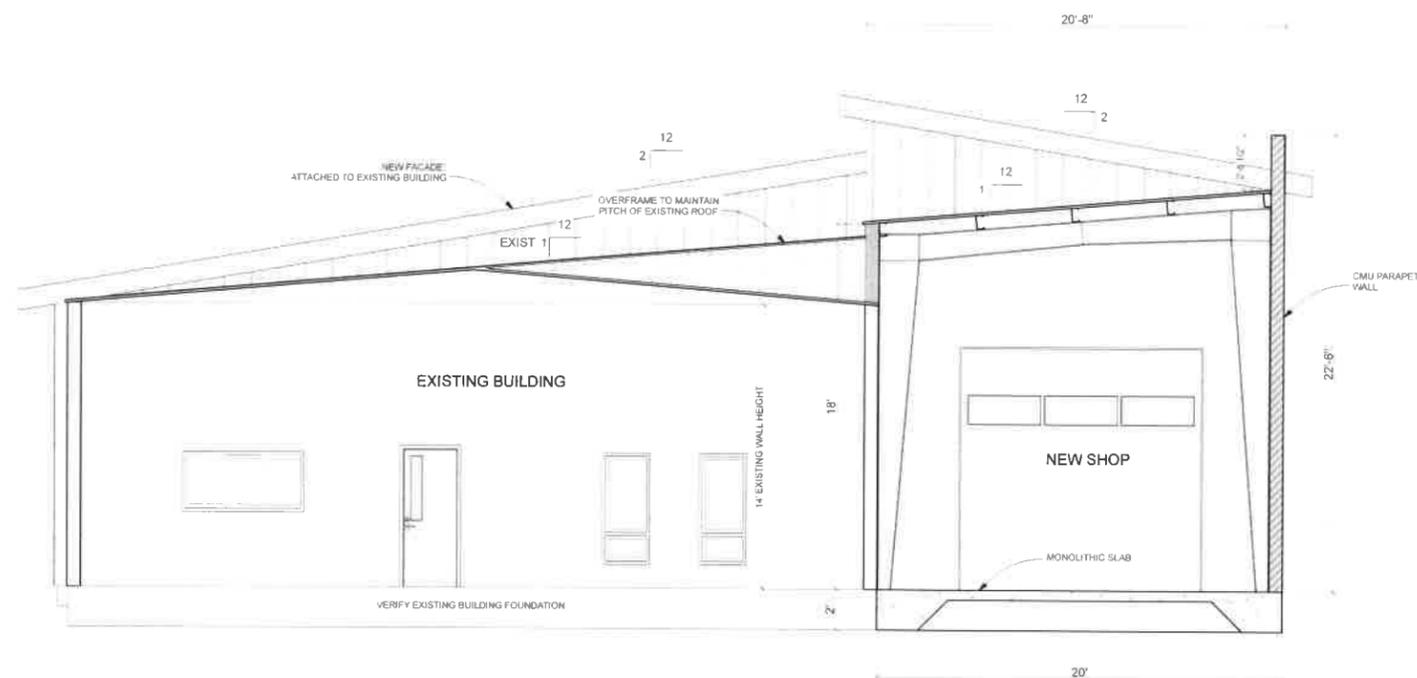
PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

NOTE:  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS: THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS

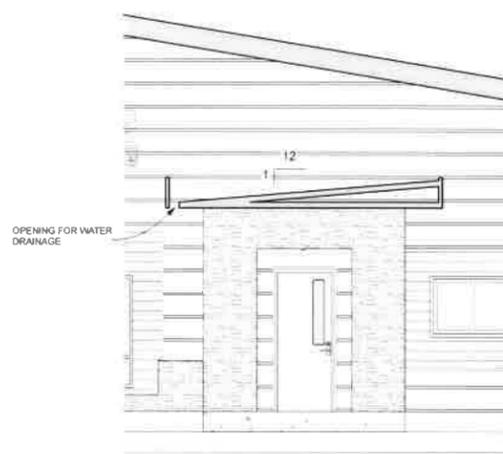
DATE: 06.16.17  
REVISION: -

PROJECT NO.  
1408

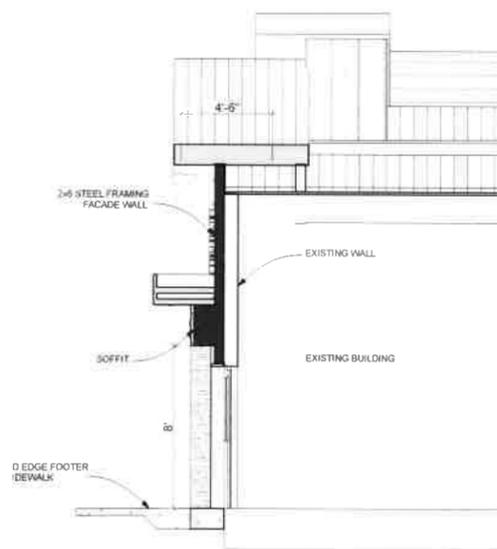
SHEET #  
**A3.0**  
SECTIONS



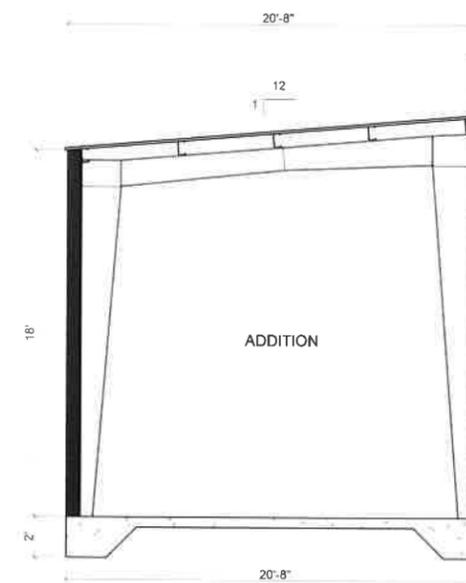
1 SECTION  
SCALE 1/4" = 1'-0"



4 SECTION (2)  
SCALE 1/4" = 1'-0"



3 SECTION  
SCALE 1/4" = 1'-0"



2 SECTION  
SCALE 1/4" = 1'-0"



**BASIS FOR STRUCTURAL DESIGN**

IBC 2006

**FLOOR LIVE LOAD:**

- RETAIL - 100 psf
- STORAGE - 125 psf
- OFFICE - 50 psf

**ROOF SNOW LOAD:**

- GROUND SNOW LOAD  $P_g = 20$  psf PER CITY OF CODY
- FLAT - ROOF SNOW LOAD  $P_f = 30$  psf
- SNOW EXPOSURE FACTOR  $C_e = 1.00$
- SNOW LOAD IMPORTANCE FACTOR  $I = 1.00$
- THERMAL FACTOR  $C_t = 1.00$  MAIN BUILDING
- 1.20 EXTERIOR UNHEATED STRUCTURES

**WIND DESIGN DATA:**

- BASIC WIND SPEED = 90 mph
- WIND IMPORTANCE FACTOR  $I = 1.00$
- WIND EXPOSURE = C

**EARTHQUAKE DESIGN DATA:**

- SEISMIC IMPORTANCE FACTOR  $I = 1.00$
- MAPPED SPECTRAL RESPONSE ACCELERATIONS  
 $S_s = 0.300$   $S_1 = 0.101$
- SITE CLASS = C
- SPECTRAL RESPONSE COEFFICIENTS  
 $S_{ds} = 0.240$   $S_{d1} = 0.114$
- SEISMIC DESIGN CATEGORY = B
- BASIC SEISMIC - FORCE - RESISTING SYSTEM(S) = ORDINARY STEEL MOMENT FRAMES, STEEL BRACED FRAMES, WOOD SHEATHED SHEAR WALLS
- DESIGN BASE SHEAR = 9.8k, 10.5k, 1.2k
- SEISMIC RESPONSE COEFFICIENT(S)  $C_s = 0.069, 0.074, 0.037$
- RESPONSE MODIFICATION FACTOR  $R = 3.5, 3.25, 6.5$
- ANALYSIS PROCEDURE USED = EQUIVALENT FORCE METHOD

**GEOTECHNICAL INFORMATION:**

- SOIL LOAD BEARING ALLOWABLE = 3,000 psf PER IBC TABLE 1806.2
- FROST DEPTH = 48" PER CITY OF CODY

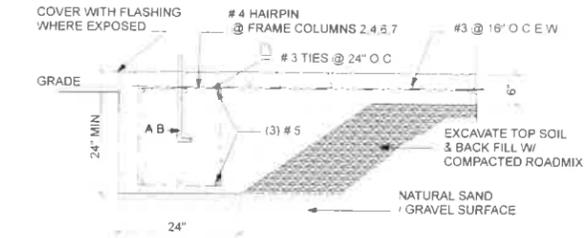
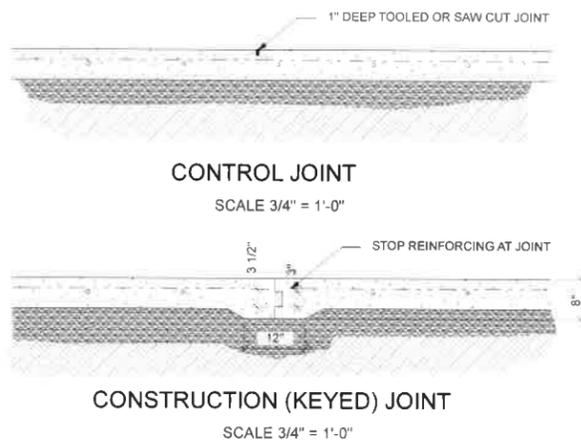
CJ = SLAB CONTROL JOINTS MAXIMUM 20' O.C. TYPICAL SCORED OR SAWN 1/3 OF SLAB DEPTH. SEE DETAILS ON A2 FOR OPTIONS

REFER TO METAL BLDG. MNF. DRWGS. FOR ANCHOR BOLT PLACEMENT. VERIFY ALL DIMENSIONS AND BOLT SIZES WITH BLDG. MNF. FINAL ISSUE DRAWINGS.

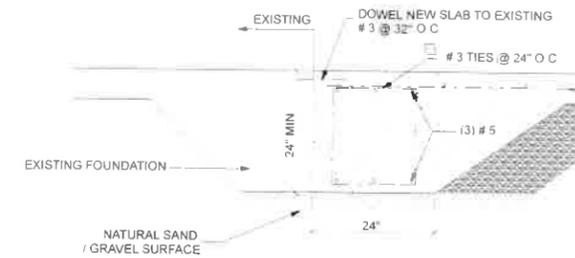
**NOTES:**

CONCRETE: 6 SACK / CU YD MIN 4000 PSI  
MIN. 28 DAY STRENGTH SLUMP 3" - 4"  
TYPE II CEMENT COMPLY WITH ACI 301 & 318  
AND ALL LOCAL CODES AND ORDINANCES  
4% - 6% AIR ENTRAINMENT.

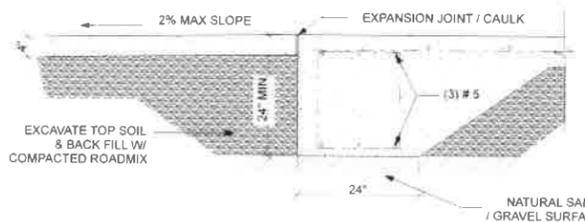
REINFORCEMENT: ALL GRADE 60 REBAR  
MIN. COVERAGE 2" FOR #6 AND LARGER 1 1/2"  
FOR #5 AND SMALLER 3" FORMED AGAINST  
EARTH AND ROCK.  
VERIFY ALL DIMENSIONS ON SITE AND ADVISE  
OWNER / ARCHITECT OF ANY DEVIATIONS REQUIRED  
THOROUGHLY INSPECT SITE AND ALLOW FOR ANY  
EXISTING OBSTACLES.



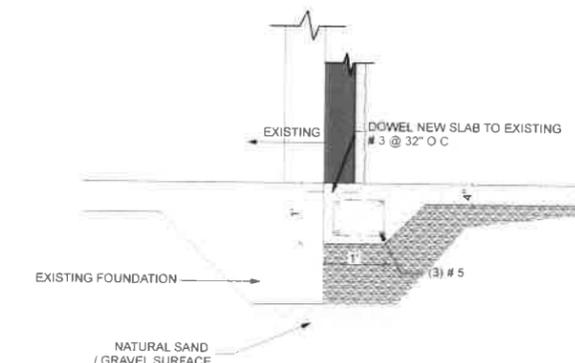
**A SECTION**  
SCALE 3/4" = 1'-0"



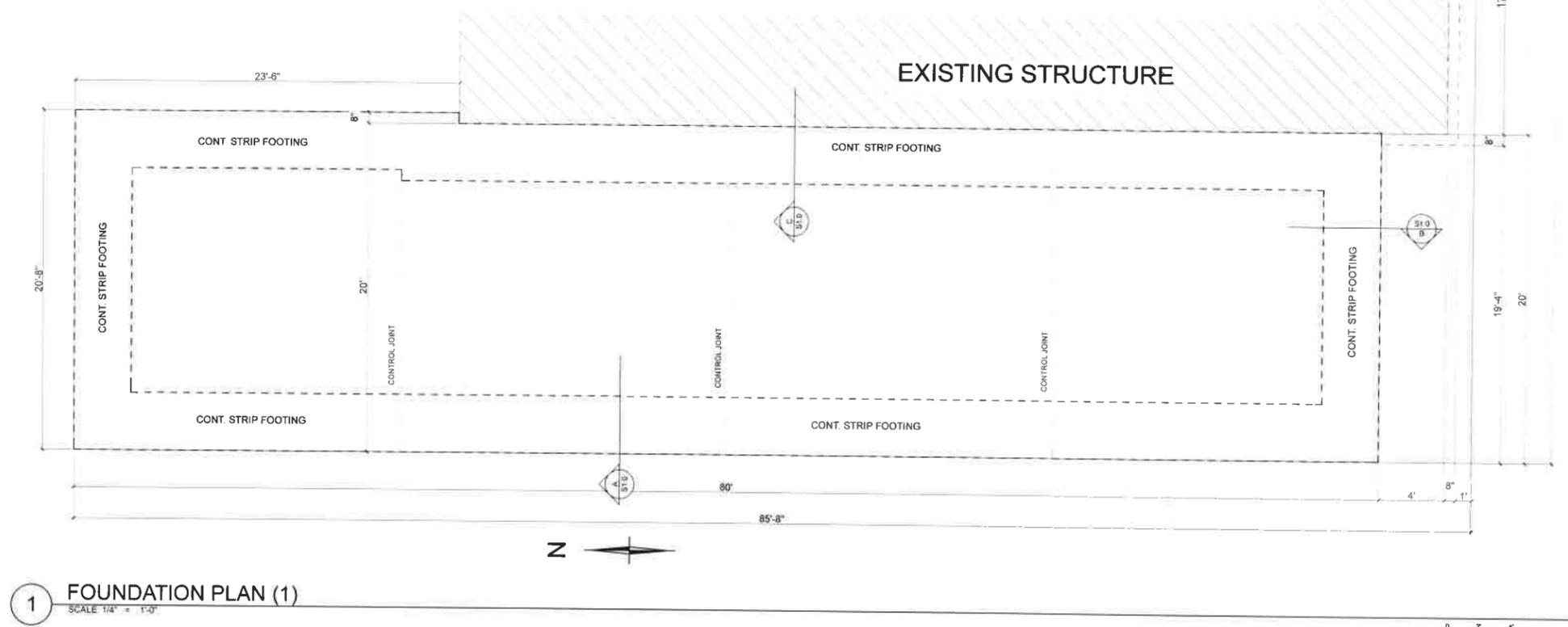
**B SECTION**  
SCALE 3/4" = 1'-0"



**C SECTION**  
SCALE 3/4" = 1'-0"



**D SECTION**  
SCALE 3/4" = 1'-0"



**PRECISION PLAN AND DESIGN INC.**

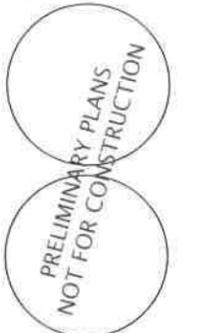
A CUSTOM PLAN SERVICE  
930 12TH STREET  
CODY, WYOMING 82414

307.587.8227 | 307.272.5700  
@PRECISIONPLANDESIGNINC

MEMBER, BA no. 1271

PROJECT LOCATION  
CODY, WY

**RAWHIDE MECHANICAL ADDITION**  
TIM WOODS  
3401 BIG HORN AVE.  
CODY, WYOMING 82414  
P. 307.272.7178  
@tim@rawhidemechanical.com



NOTE: ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.16.17  
REVISION: -

PROJECT NO.  
**1408**

SHEET #  
**S1.0**  
FOUNDATION

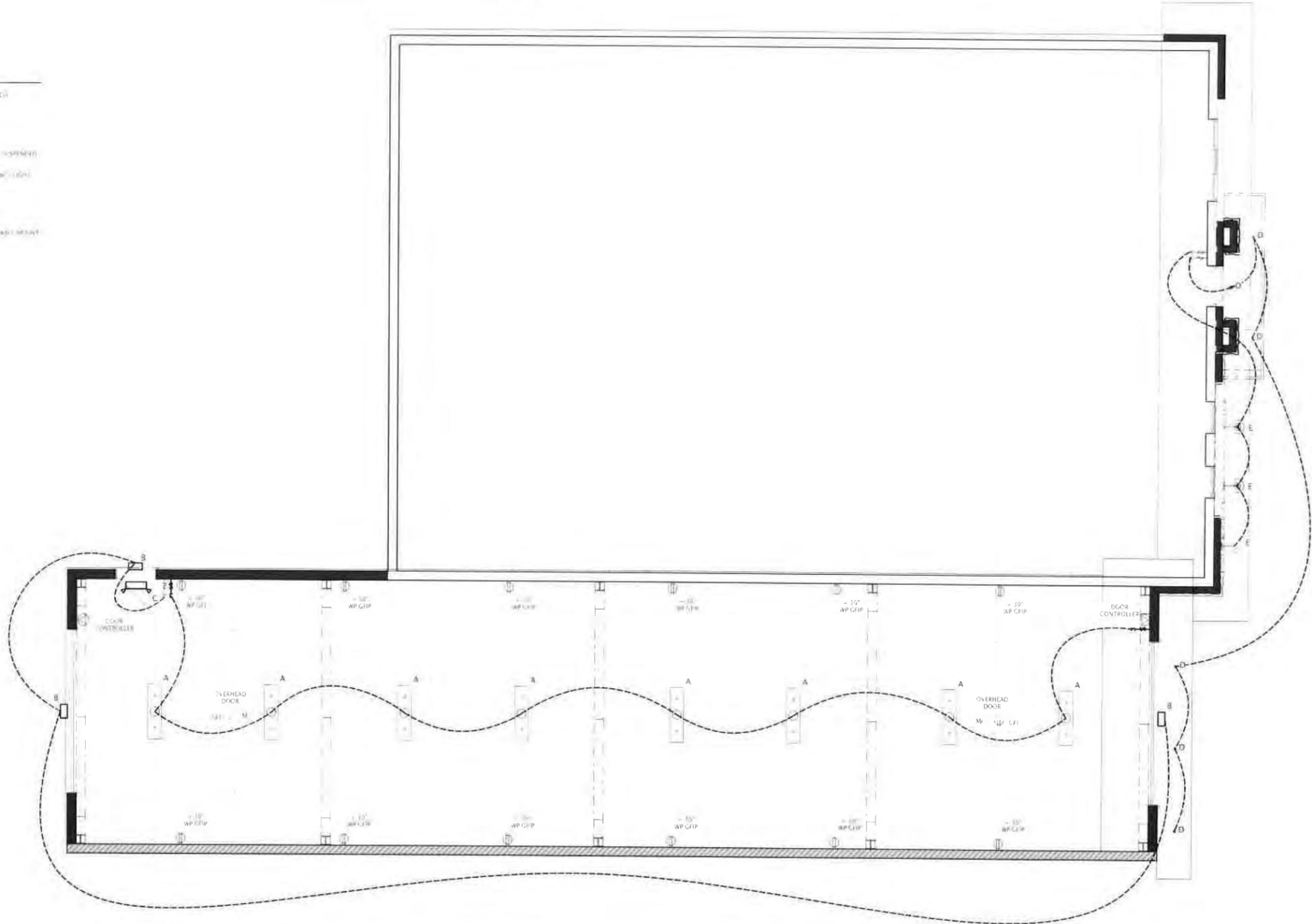
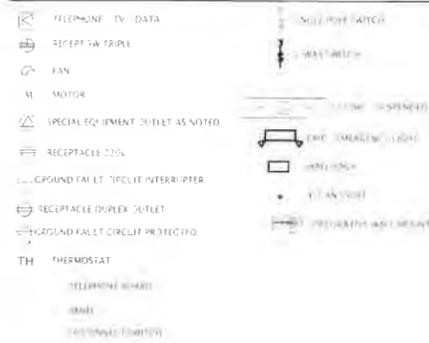
LIGHT FIXTURE SCHEDULE							
LETTER DESIG.	MANUFACTURER	FIXTURE		TYPE	LAMP		NOTES
		CATALOG NO.	LOCATION		TYPE	NO.	
A	LITHONIA	MSL 8000LM L.VV MVOLT G210 40K 80CRI WH	CEILING	SUSPENDED	LED 48W	1	
B	LITHONIA	CSXW LED 30C 700 40K T3M MVOLT DBLXD	WALL	SURFACE	LED		
C	LITHONIA	LHQM LED	WALL	SURFACE	LED 20WA		
D	LITHONIA	REAL6D6BNSL600L30K 60SC120V	SOFFIT	SURFACE	LED		
E	HI-LITE MFG. CO., INC.	H-1390-B 48 CANVAMIZED 22.5A 100WATT 120VOLT	WALL	SCONCE	LED		

NOTES

A - SUSPEND AT EVEN HEIGHT NEAR CEILING OUT OF WAY OF O.H. DOOR TRACK

B- SHADE STYLE / COLOR TO BE OWNER SELECTED

### SYMBOL LEGEND



1 ELECTRICAL PLAN  
SCALE 1/4" = 1'-0"



PRECISION PLAN AND DESIGN INC.

A CUSTOM PLAN SERVICE

930 12TH STREET  
CODY, WYOMING 82414

307.587.6227 | 307.272.5709

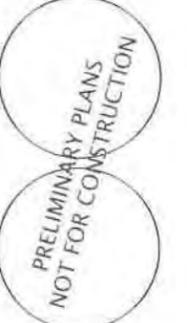
PRECISIONPLANANDDESIGN.COM

REVISED: 06.16.17

PROJECT LOCATION  
CODY, WY

RAWHIDE MECHANICAL ADDITION

TIM WOODS  
3401 BIG HORN AVE  
CODY, WYOMING 82414  
P: 307.272.7178  
E: tim@rawhidemechanical.com



NOTE:  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN AND DESIGN INC AND/OR ASSOCIATES ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. THE BUILDER/OWNER MUST VERIFY ALL DIMENSIONS. THIS PLAN IS SUBJECT TO CHANGE PER ENGINEER AND/OR LOCAL CODES AND STANDARDS.

DATE: 06.16.17  
REVISION: .

PROJECT NO.  
1408





# CSXW LED LED Wall Luminaire



CONTOUR

Catalog  
Number

Notes **Plan Legend: Fixture (B)**

Type

## Specifications

**Height:** 7-1/8"  
(29.2 cm)

**Width:** 16-3/8"  
(41.8 cm)

**Depth:** 9-5/16"  
(23.6 cm)

**Weight (max):** 30 lbs  
(13.6 kg)



## Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

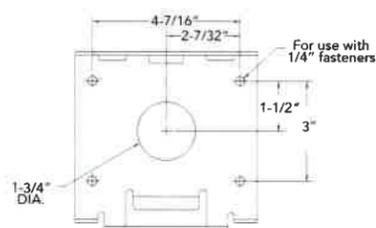
The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT DDBXD**

CSXW LED										
Series	LEDs	Drive current	Color temperature <sup>1</sup>	Distribution	Voltage	Mounting	Options	Finish (required)		
CSXW LED	30C 30 LEDs	700 700 mA 1000 1000 mA	40K 4000K 50K 5000K	T2M Type II, medium	MVOLT <sup>2</sup> 120 <sup>2</sup> 208 <sup>2</sup> 240 <sup>2</sup> 277 <sup>2</sup> 347 <sup>3</sup> 480 <sup>3</sup>	<b>Shipped included</b> (blank) Surface mount	<b>Shipped installed</b> PE Photoelectric cell, button type <sup>5, 6</sup> DMG 0-10V dimming driver (no controls) SF Single fuse (120, 277, 347V) <sup>7</sup> DF Double fuse (208, 240, 480V) <sup>7</sup>	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white		
				T3M Type III, medium						
				T4M Type IV, medium						
				TFTM Type forward throw, medium						
						<b>Shipped separately</b> BBW Surface-mounted back box (for conduit entry) <sup>4</sup>	<b>Shipped separately<sup>4</sup></b> VG Vandal guard WG Wire guard			

## Mounting Detail



## Accessories

Ordered and shipped separately.

CSXWBBW DDBXD U Back box accessory (specify finish)

CSXWWG U Wire guard accessory

CSXWVG U Vandal guard accessory

## NOTES

- Configured with 4000K (/40K) provides the shortest lead times. Consult factory for 5000K (/50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE option).
- Available with 700 mA options only (30C 700).
- Also available as a separate accessory; see Accessories information at left.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Must be ordered with fixture; cannot be field installed.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 70 CRI)					50K (5000K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
					30C (30 LEDs)	700 mA	30C 700--K	69W	T2M	6,695	2	0	2	97
T3M	7,068	2	0	2					102	7,582	2	0	2	110
T4M	7,017	2	0	2					102	7,528	2	0	2	109
TFTM	7,158	2	0	2					104	7,679	2	0	2	111
1000 mA	30C 1000--K	104W	T2M	8,868		2	0	2	85	9,560	2	0	2	92
			T3M	9,361		2	0	2	90	10,091	2	0	2	97
			T4M	9,293		2	0	2	89	10,018	2	0	2	96
			TFTM	9,481		2	0	2	91	10,220	2	0	2	98

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.99

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSXW LED platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.91	0.85

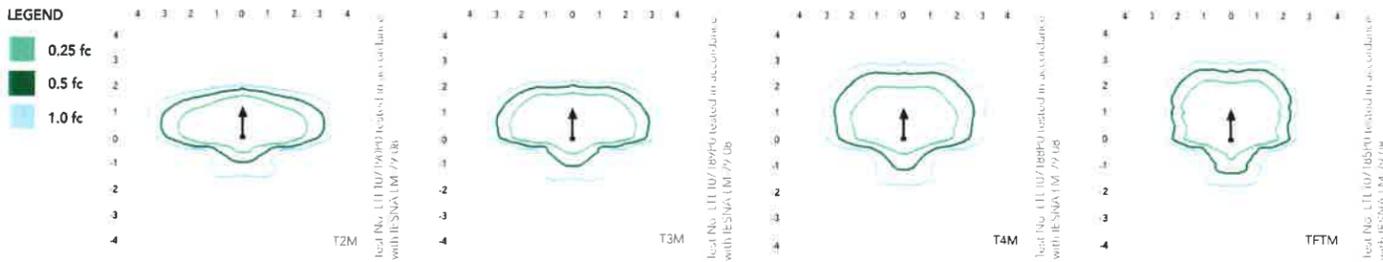
### Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
30C	700	70W	0.695	0.412	0.367	0.331	0.247	0.186
	1000	104W	1.034	0.599	0.528	0.472	0.382	0.302

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSXW homepage](#).

Isofootcandle plots for the CSXW LED 30C 1000 40K. Distances are in units of mounting height (20').



## FEATURES & SPECIFICATIONS

### INTENDED USE

The Contour Series Wall LED luminaire is ideal for commercial building mounted applications from over-the-door to 20 ft mounting heights.

### CONSTRUCTION

Rugged, die-cast, single-piece aluminum housing. Unique flow-through design for optimized thermal management. Modularity allows for ease of maintenance and potential for future system upgrades. Metallic screen covers the top of the housing, preventing debris build-up while allowing for air flow. Housing is completely sealed against moisture and environmental contaminants.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

### OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### INSTALLATION

Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with every installation.

### LISTINGS

CSA Certified to U.S. and Canadian standards. Rated for -40°C minimum ambient. Light engine is IP66 rated. Luminaire is IP65 rated.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](#) to confirm which versions are qualified.

### WARRANTY

Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/terms\\_and\\_conditions.aspx](#).

**Note:** Specifications subject to change without notice. Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C.



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Suitable for applications requiring both exit sign and unit equipment. Attractive, 8" tall, streamlined design is great for above-the-door applications and other tight fits. Optional high-output version with remote lamps are ideal for emergency egress lighting. **Certain airborne contaminants can diminish integrity of acrylic.** [Click here for Acrylic Environmental Compatibility table, for suitable uses.](#)

**CONSTRUCTION** — Engineering-grade thermoplastic housing is impact-resistant, scratch-resistant and corrosion-proof. UL94V-0 flame rating. UV-stable resin resists discoloration from natural and man-made light sources.

Rugged unibody housing snaps together with no additional fasteners. Faceplate and back cover are interchangeable on housing. Positive snap-fit tabs hold faceplate securely, yet are easily removable for lamp compartment access. Universal, directional chevron inserts are easily removed and reinserted.

Uniform graphics illumination without shadows or hot spots. Letters are 6" high with 3/4" stroke, with 100 ft. viewing distance rating based upon UL924 standard.

LEDs mounted on primary circuit boards for sign illumination. Low-energy LED lamp in sign operates in normal (AC input) and emergency (DC input) modes.

Low-profile, integrated test switch/pilot light. Easily viewed bright red status indicator.

Unique track-and-swivel arrangement permits full range of direction of lamp head adjustment. Universal J-box mounting pattern. Tool-less access for maintenance. Conduit entry position on top of unit.

**U.S. Patent No. 6,848,798; 6,499,866; 6,142,648; 5,797,673; D379,373; 5,526,251; D484,272; D473,672; 5,611,163; 5,646,502.**

**OPTICS** — Twin LED lamp heads operate in emergency (DC input) mode with 12 series-parallel white LEDs in each head. Provides redundant light sources to ensure emergency lighting performance. The typical life of the exit LED lamp is 10 years.

**ELECTRICAL** — Dual-voltage input capability (120/277V). Edge connector on printed circuit board ensures long-term durability.

Current-limiting charger maximizes battery life and minimizes energy consumption. Provides low operating costs.

Short-circuit protection — current-limiting charger circuitry protects printed circuit board from shorts.

Thermal compensation adjusts charger output to provide optimum charge voltage relative to ambient temperature.

Regulated charge voltage maintains constant-charge voltage over a wide range of line voltages. Prevents over- and undercharging that shortens battery life and reduces capacity.

Filtered charger input minimizes charge voltage ripple and extends battery life.

AC/LVD reset allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Single multi-color LED indicator to display two-state charging, test activation and three-state diagnostic test. Test switch provides manual activation of 30-second diagnostic testing for on-demand visual inspection. Self-diagnostic testing for 30 seconds every 30 days, 30 minutes at 180-day interval, and 90 minutes annually. Diagnostic evaluation of LED light source, AC-to-DC transfer, charging and battery condition.

Battery: Sealed, maintenance-free nickel-cadmium battery delivers 90-minute capacity to emergency lamps. Two-state constant-current charge maximizes battery life and automatically recharges after battery discharge. Low-voltage disconnect prevents excessively deep discharge that can permanently damage the battery. Optional high-output battery to power both local and optional LED remote lamp heads simultaneously.

Catalog Number	
Notes	Plan Legend: Fixture (C)
Type	



HO RO or RO WRS

LED Lamp Head  
Nickel-Cadmium Battery  
FIDO Compatible



Wireless Reporting System: Data from self-diagnostics will be communicated via wireless transceivers within their vicinity, creating a self-configuring, self-healing and self-optimizing wireless network that exchanges the data between FIDO-compatible emergency lighting fixtures on an event-driven basis. Wireless communications electronics to operate 2.4GHz mesh network are enclosed entirely within the fixture. WRS option: self-diagnostics testing for 5 minutes every 30 days and 90 minutes annually.

Radio range is 500' between fixtures in most buildings. Actual performance may vary depending on application environment and electromagnetic interference. Substantially longer distances have been recorded in uninterrupted open air. Consult factory for more details.

**Wireless Reporting System (WRS option) must be ordered with FIDO edge router.**

**INSTALLATION** — Top, end or back mounting. Housing snaps to canopy with positive-locking tabs. Cam locking pin secures housing to canopy.

Easily removed mounting knockouts. Conduit entry knockout for 1/2" flexible conduit. J-box pattern on back panel.

**LISTINGS** — UL damp location listed standard 50°-104°F (10°-40°C). Meets UL 924, NFPA 101 (current Life Safety Code), NEC and OSHA illumination standards.

**WARRANTY** — 5-year limited warranty (Battery is prorated). Complete warranty terms located at [www.AcuityBrands.com/CustomerResources/Terms\\_and\\_Conditions.aspx](http://www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

### ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

**Example:** LHQM LED G

LHQM Family	LED Lamp type	Housing color	Letter color	Options		
LHQM Stencil face, single face plate with extra face plate	LED Two 1.5W/9.6V white LED	(blank) White B Black	R Red G Green	HO High-output Ni-cad battery	NOM Meets Mexican standards <sup>2</sup>	
				HO RO High-output option, less lamp heads	SALIDA NOM Salida signage (non-UL) <sup>3</sup>	
				SD Self-diagnostics	WRS Dual-voltage 120/277, nickel-cadmium battery back-up and self-diagnostics with FIDO wireless reporting system capability	
				RO Less lamp heads <sup>1</sup>		

Accessories: Order as separate catalog number.			
ELA Q L0309 SD	Single LED indoor remote head, white, self-diagnostics <sup>4,5,6</sup>	ELA WG3	Wireguard, 30"W x 13-1/2"H x 6"D <sup>7</sup>
ELA T Q L0309 SD	Twin LED indoor remote head, white, self-diagnostics <sup>4,5,6</sup>	ELA WG2M	Wireguard, 21-1/4"W x 15"H x 12"D <sup>7</sup>
ELA QWP L0309 SD	Single LED weather-proof remote head, gray, self-diagnostics <sup>4,5,6</sup>	ELA LQMUS12	12" brushed aluminum stem kit <sup>8</sup>
ELA T QWP L0309 SD	Twin LED weather-proof remote head, gray, self-diagnostics <sup>4,5,6</sup>	ELA LED M12	Single LED remote lamp <sup>9,10</sup>
ELA Q L0309	Single LED indoor remote head, white <sup>5,6</sup>	ELA LED T M12	Twin LED remote lamp <sup>9,10</sup>
ELA T Q L0309	Twin LED indoor remote head, white <sup>5,6</sup>	ELA LED WP M12	Single LED Weather proof remote lamp <sup>9,10</sup>
ELA QWP L0309	Single LED weather-proof remote head, gray <sup>5,6</sup>	ELA LED T WP M12	Twin LED Weather proof remote lamp <sup>9,10</sup>
ELA T QWP L0309	Twin LED weather-proof remote head, gray <sup>5,6</sup>		

#### Notes

- 1 Only available with WRS as an exit, no remote capability.
- 2 Available in black or white. Consult factory for options. Not available with WRS option.
- 3 Only available in white. NOM standard. Not available with WRS option.
- 4 Only compatible with self-diagnostic option. (ex: HO SD)
- 5 Also available in black. Add "B" after ELA to order black finish. Example: ELA B Q L0309.
- 6 Only compatible with HO option. See spec sheet [ELA-Q-LED](#).
- 7 See spec sheet [ELA-WG](#).
- 8 See spec sheet [ELA-Stemkits](#).
- 9 See spec sheet [ELA-LED](#) (Contractor Select LED Remotes).
- 10 Not available with SD.

# LHQM LED QUANTUM® Exit/Unit Combo

## SPECIFICATIONS

Electrical				
Primary Circuit				
	Typical LED life <sup>1</sup>	Supply voltage	Max amps	Max watts
Red and green LED	10 years	120	.05	4.3
		277	.03	4.3

## BATTERY

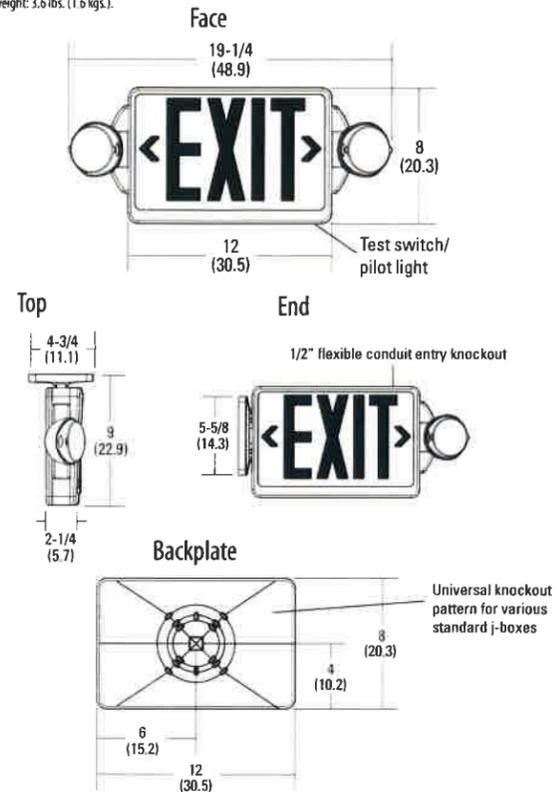
Ni-Cad				
Voltage	Shelf life <sup>2</sup>	Typical life <sup>2</sup>	Maintenance <sup>3</sup>	Optimum temperature <sup>4</sup>
9.6	3 years	7-9 years	none	50-104°F (10-40°C)

- Based on continuous operation.
- At 77°F (25°C).
- All life safety equipment, including emergency lighting path of egress, must be maintained, serviced and tested in accordance with all National Fire Protection Association and local codes. Failure to perform the required maintenance, service or testing could jeopardize the safety of occupants and will void all warranties.
- Optimum ambient temperature range where unit will provide capacity for 90 minutes. Higher and lower temperatures affect life and capacity. Consult factory for detailed information.

Remote Output Capacity			
Standard unit	Combo	Combo/high-output battery(HO)	Combo/high-output (HO) and no heads (RO)
NA	NA	3W	6W

## MOUNTING

All dimensions are inches (centimeters).  
Shipping weight: 3.6 lbs. (1.6 kgs.).

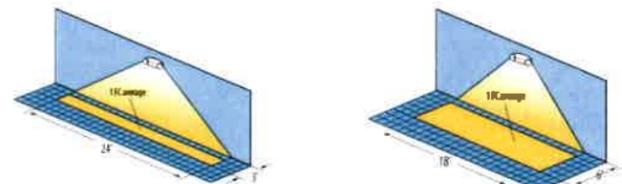


## LAMP PHOTOMETRICS

### QUANTUM LED SERIES – SINGLE COVERAGE

3W Total White LEDs

Using a single unit at a typical 7.5' mounting height delivers an average illuminance of 1.0 FC over a distance of 24' on a 3' path of egress and 18' on a 6' path of egress.



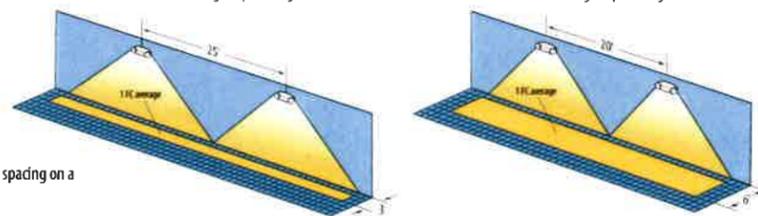
Example of single LHQM LED WRS exit illuminating a 3' path of egress

Example of single LHQM LED WRS exit illuminating a 6' path of egress

### QUANTUM LED SERIES – MULTIPLE COVERAGE

3W Total White LEDs

Using multiple units at a typical 7.5' mounting height delivers 25' center-to-center spacing on a 3' path of egress and 20' center-to-center spacing on a 6' path of egress.



Example of multiple LHQM LED WRS exits illuminating a 3' path of egress

Example of multiple LHQM LED WRS exits illuminating a 6' path of egress

## EXTENDED RUN-TIME FOR HIGH-OUTPUT EXITS

Product	Run time
LHQM LED HO WRS (no remotes)	3.8 hours
LHQM LED HO (no remotes)	3.8 hours
LHQM LED HO RO (no remotes)	7.5 hours



LHQM-LED

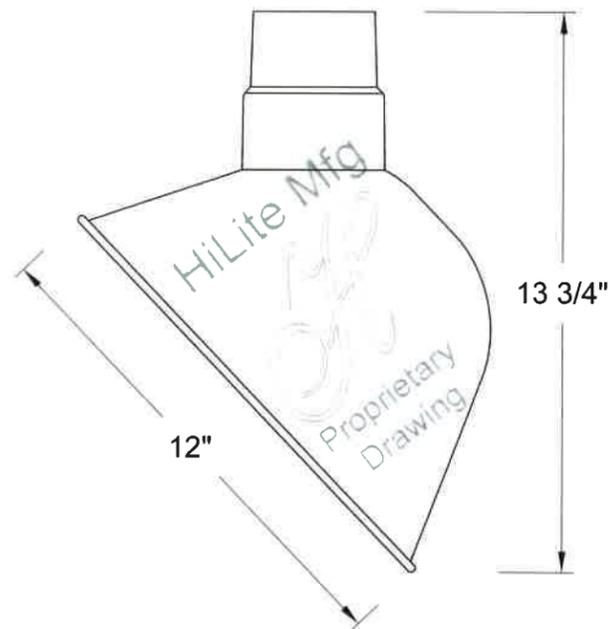


**HI-LITE MFG.  
CO., INC**

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
web: www.hilitemfg.com  
e-mail: sales@hilitemfg.com

# H-18112 Angle Shade Collection

Job Name:
Type: Plan Legend: Fixture (E)
Quantity:



**FINISH** -Multi-stage pretreatment procedure using materials of polyester/polished powder coat, baking enamel liquid, raw metals, and galvanized finishes.

Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).

Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

(Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

**MOUNTING** - Stem, Arm, and Flush mounting available.

**ACCESSORIES** - CGU(Cast Guard and Glass), LCGU(Large Cast Guard and Glass), WGU(Wire Guard and Glass), LWGU(Large Wire Guard and Glass), ARN(Acorn Globe), LARN(Large Acorn Globe), WGR(Wire Guard) and SK(Swivel Knuckle) available.

**REFLECTOR** - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

**SOCKETS/LAMPS** - Available in:

Incandescent

- rated 200 watt max/120 volt, medium base.

Compact Fluorescent(CFL)

- rated 13/18/26/32/42/57 watt max/120/277 volt, GX24Q base.

Metal Halide(MH)

- rated 35/50/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.

High Pressure Sodium(HPS)

- rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitted Diode(LED)

-See LED specification sheet.

MADE IN THE U.S.A

Suitable for wet location.



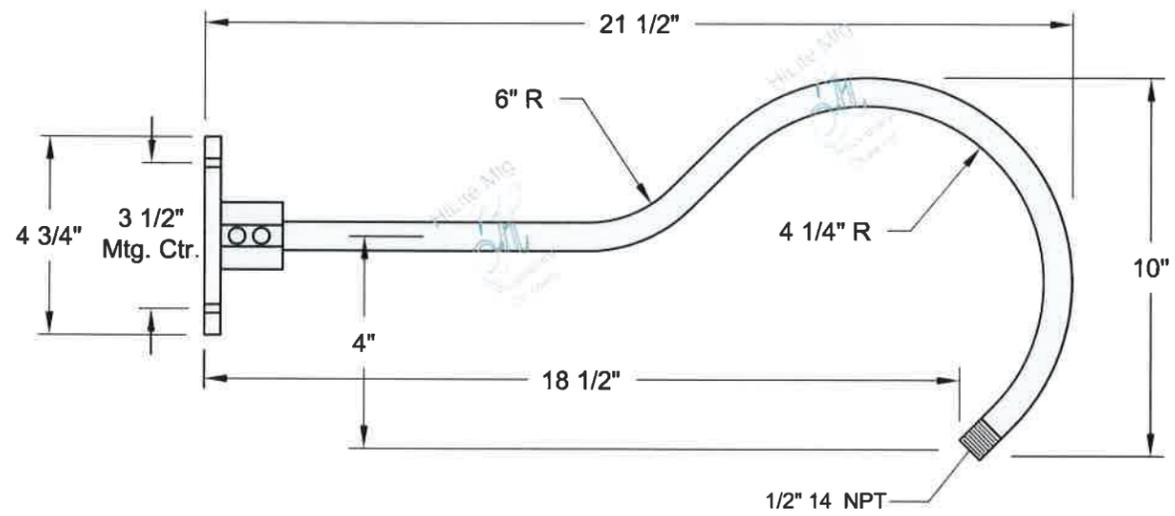


**HI-LITE MFG.  
CO., INC**

13450 Monte Vista Avenue  
Chino, California 91710  
Telephone: (909) 465-1999  
Toll Free: (800) 465-0211  
Fax: (909) 465-0907  
www.hilitemfg.com

Job Name:
Type: Fixture (E) acces.
Quantity:

B-8



**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JULY 5, 2017	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: 6,000 SQ. FT. METAL STORAGE BUILDING 2418 G AVENUE. SPR 2017-17	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Ed Higbie has submitted an application for a 60-foot by 100-foot metal building to be constructed on a ¾ acre lot, located southwest of the Blackburn Street and G Avenue intersection. The proposed site plan and building plan are attached.

**Existing Conditions:**



**REVIEW CRITERIA:**

The property is located within the Open Business/Light Industrial (D-3) zoning district.

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the*

*application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The subject property is vacant and within the Blackburn PUD, which PUD was developed by the applicant. The surrounding area is as follows:

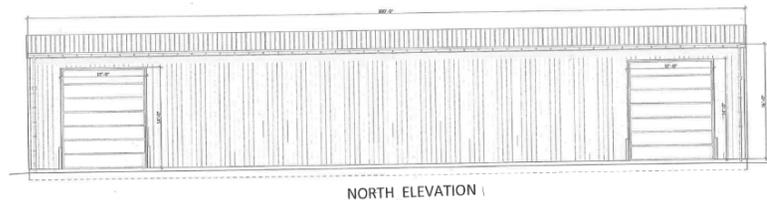
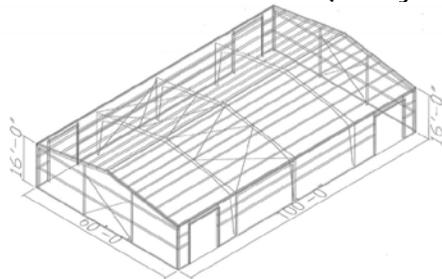
<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONE</i>
North	Shop with residence across G Avenue.	D-3
East	Storage Units across Blackburn.	D-3
South	Log finishing yard.	D-3
West	Vacant	D-3



**Architecture:**

Sample building elevations are below. The building would be a typical metal-sided and roofed building with 16-foot side walls and a 1:12 pitch metal roof. Total height to roof peak is about 19 feet. There would be two overhead doors as shown on the north side.

Not shown, but planned, would be two person doors, one located next to each of the overhead doors. There may also be a person door on the east side. No doors are proposed on the south or west side of the building. The exterior colors are “koko brown” with “crimson red” trim. The overhead doors would be white, and the entry doors bronze colored. (Verify roof color.)



Neighboring buildings are shown below. The photo on the left is of the shop/residence to the north, which uses multi-colored siding and awnings to give it a less industrial look. The photo on the right is of the storage buildings to the east, with the “native” grass landscaping. As the development is within a somewhat isolated, dead-end location, there is not the visibility factor that exists along an entry corridor. Nevertheless, there is the neighbor compatibility requirement that needs to be considered. Mr. Higbie did provide some entryways on his other buildings in the subdivision, which helped significantly with the architectural looks of those buildings.



The P&Z Board will need to determine if the proposed materials, colors, and architecture are architecturally compatible with the other buildings in the area.

#### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

The tenant and use of the building is unknown, but will be marketed as a storage/light industrial use opportunity. Light industrial uses are typically permitted in the D-3 zone in which the property is located. A review of zoning appropriateness will be necessary before occupancy of any proposed business. As there is no adjacent residential zoning, there are no buffers, setbacks, or height requirements applicable to this project.

#### Landscaping:

No landscaping is proposed. The south half (approx.) of the lot will remain unimproved for now. The area around the building will be graded and graveled, as is typical for similar development.

#### Storm Water Plan:

The PUD subdivision improvements were designed to allow up to 10,000 square feet of impervious surface on each lot, with the balance graveled. The proposal is within this allowance. The lot will be graded to run storm water to the north, where it will be captured by the street curb, carried to inlets, and piped to the infiltration swale that serves the subdivision. The plan is acceptable.

### Parking:

A light-industrial use of the building would trigger the requirement for seven parking spaces, one of which would need to be ADA van-accessible. The standard parking spaces would be provided on the north side of the building on a gravel surface. The 25 feet from the building to the north property line provides sufficient room to provide a 4-foot wide walkway and 20-foot long parking spaces. Wheel stops will be required and must be placed to delineate the 10-foot wide parking spaces and be about 5 ½ feet from the wall of the building, to provide for the walkway. As there is eleven feet from the property line to the curb, even long pickups will have plenty of room to be off of the street. It is noted that the situation of the parking spaces backing directly onto the street can be permitted due to the street classification (local access) and that the street is private.

With the building elevation about sixteen inches above the G Avenue curb, the standard parking area will be too steep to meet ADA parking requirements for maximum slope. To accommodate this problem, the ADA parking space will be provided off of Blackburn Avenue on the east side of the building. The parking pad must be concrete or asphalt, measure at least 20' by 20', and not exceed 2% slope in any direction. A concrete or asphalt access from the ADA space into the building must be provided to ADA standards. While the concept appears to work, the applicant will need to provide details.

Due to the intersection proximity, storm water inlets, and the transition from barrier curb to rolled curb, the vehicle access to the ADA space will be about 30 feet south of the north property line, which is sufficient to avoid sight-distance issues at the intersection.

If truck deliveries will be made to the building, the parking ordinance requires that the unloading area be on the property. (No semi trucks half way into the street.) If such is anticipated, it may make sense to shift the building to the east, so that truck access can be provided around the building.

This is probably a good time to also note that the proposed bathroom will need to be ADA accessible.

### Utility Services

Sewer, water, and gas are stubbed at the southeast corner of the lot. The site plan properly shows the sewer lift pump which will be needed.

For electrical, the developer will need to pay for a new transformer and vault once the building service voltage is determined. Three-phase or single-phase power is available to this lot. An estimate of the cost will be provided once details of the electrical service are received. The developer is responsible for the provision and installation of primary electrical conduit from the existing vault at the northwest corner of the property to the

final transformer site. If the transformer is outside of the street right-of-way, an easement will also be needed.

Gas service will need to be coordinated directly with Black Hills Energy. Phone and telecommunications must be coordinated directly with those providers.

The site plan does not show the routes for the utility services. All of the service lines must be run directly to the back of the utility and sewer easement (perpendicular to the street) before being directed to the building. The service lines cannot be run down the utility easements.

The requirement for a fire hydrant near the building is provided by the existing hydrant on G Avenue.

#### Lighting

The applicant has verbally indicated that one wall pack will be installed over each of the two overhead doors. If additional lighting is needed over the entry doors, it will be provided, but no lighting is anticipated on the south or west sides of the building.

Due to the residential use across the street, the lighting fixtures should be full cut-off style and sufficiently bright to be functional, but not excessive.

#### Signage

No signage is proposed at this time.

#### Garbage Collection

Garbage collection will need to be coordinated with the sanitation division. The subdivision plan was to have dumpsters located on the north side of G Avenue.

#### Snow Storage

Snow storage area is available along the west and south sides of the building.

#### **ATTACHMENTS:**

Site plan.

#### **ALTERNATIVES:**

Approve or deny the site plan application, with or without changes.

#### **RECOMMENDATION:**

Approve the application subject to the following.

1. The applicant must provide an updated site plan in conjunction with, or prior to, the building permit. The site plan must include ADA parking, access, and signage details; dimensioned parking spaces with wheel stops; surfacing details;

the routes of all utility service lines; and, truck unloading area if needed. Staff is authorized to review the updated plan for compliance.

2. All exterior lighting must be full cut-off style, and modest in intensity.
3. (Any architectural or landscaping concerns?)
4. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes.

G Avenue

Curb Elevation 4900'

Electric Service

35.02 FT

Gas

Handicap

Parking

North

Top of Building Pad 4901' 4"

183 Blackburn Avenue

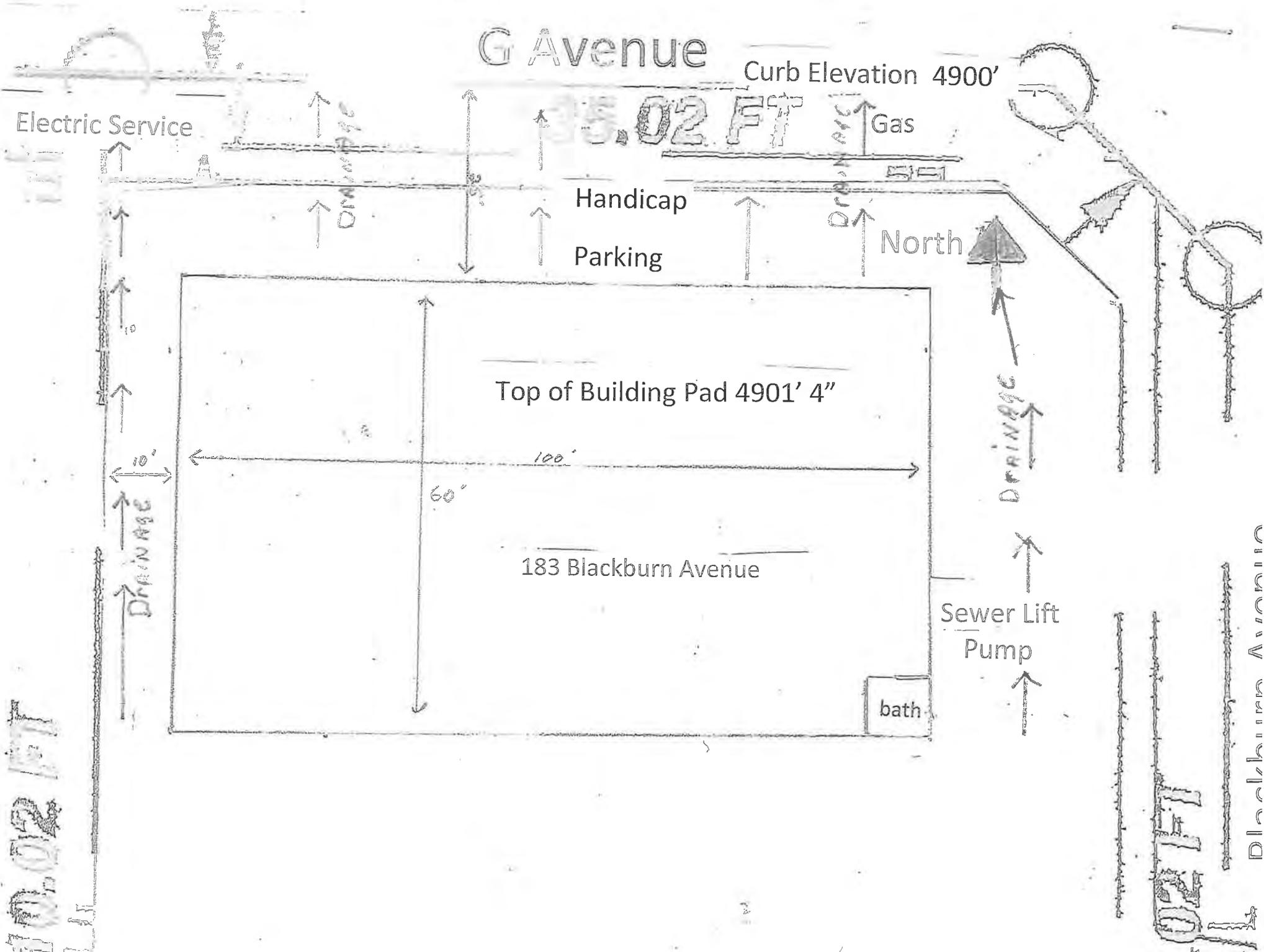
bath

Sewer Lift Pump

10.02 FT

10.02 FT

Blackburn Avenue



**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JULY 5, 2017	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: Y-TEX STORAGE BAY. SPR 2017-18	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Mountain States Consulting, representing Y-Tex, has submitted an application for a 24-foot by 24-foot metal storage bay to be constructed on the east side of the existing Y-Tex building at 1825 Big Horn Avenue. Building details and a site plan are attached. The rendering is below:



**REVIEW CRITERIA:**

The property is located within the Open Business/Light Industrial (D-3) zoning district, which permits accessory storage buildings/shelters.

Pursuant to 10-10C-4 of the City of Cody Code, all structures within the zoning district are to be architecturally compatible and architectural and landscaping plans are to be submitted to the planning and zoning commission for approval.

**STAFF COMMENTS:**

Architecture:

The proposed storage bay will be metal sided and roofed, with colors to match the existing building. Wall height is sixteen feet. It is open on one end as forklifts would be going in and out of it often. The storage addition is apparently intended for pallet storage, which will allow the owner to get the pallets out of the weather.

The location of the storage addition is towards the back of the complex, which location is not readily visible from Big Horn Avenue.

The P&Z Board will need to determine if the proposed materials, colors, and architecture are suitable.

Landscaping:

No new landscaping is proposed as part of this project. The facility already has some landscaping along Big Horn Avenue and at the front of the main building. The amount of existing landscaping was not calculated, as the size of the addition is not large enough to trigger any additional landscaping under the entry corridor requirements anyway. (<10% expansion is exempt).

Storm Water:

No indication of storm water management is shown on the plans. Storm water is required to be managed in accordance with the storm water management policy. The property has a natural cobble area to the north of the building that could easily accommodate the storm water if it is directed there. Use of either a gutter system directing the water to the north, or regrading around the addition to direct water to the north would be relatively easy and meet the storm water requirements. Other options are available if the applicant doesn't like those ideas.

Parking:

The storage bay does not trigger parking requirements. No parking spaces will be eliminated by the project.

Utilities:

No utilities are proposed for the storage bay. The location does not conflict with any city utility easements, although any private service lines must be protected. A "call before you dig" call to 811 will be needed prior to excavation.

Lighting:

No lighting is proposed.

Setbacks and Buffers

No buffer or setback requirements are applicable to this project.

**ATTACHMENTS:**

Site plan, elevations.

**ALTERNATIVES:**

Approve or deny the site plan, with or without changes.

**RECOMMENDATION:**

Approve the application subject to following.

1. That storm water from the addition be directed to the vacant field north of the building, or otherwise managed in accordance with the storm water policy manual. Identify the plan with the building permit application.

**Description of Proposal:** Y-Tex Corp. -1825 Big Horn Avenue

This property is zoned D-3

New construction of a 24'x24" metal building bay with 16' side walls, attached to an existing building The purpose of the bay attachment is for storage. The bay will be located on the east side of the warehouse along 19<sup>th</sup> street. The structural components will be steel siding and roof, color to match existing building.

The access from 19<sup>th</sup> street is existing.

The owner does not propose any vegetation or landscape as this is a utility / storage building and is located approximately 350+ feet from the south property line and Big Horn Avenue.

There is no signage planned for this project.

No additional exterior lighting is proposed.

Parking spaces- no additional parking is required.

The dumpster location is existing.

The snow removal area is not located on the drawings, but will be north of the building where this approx. 1+ acres available for re-locating snow.

Adjacent properties:

North: Zoned D-3

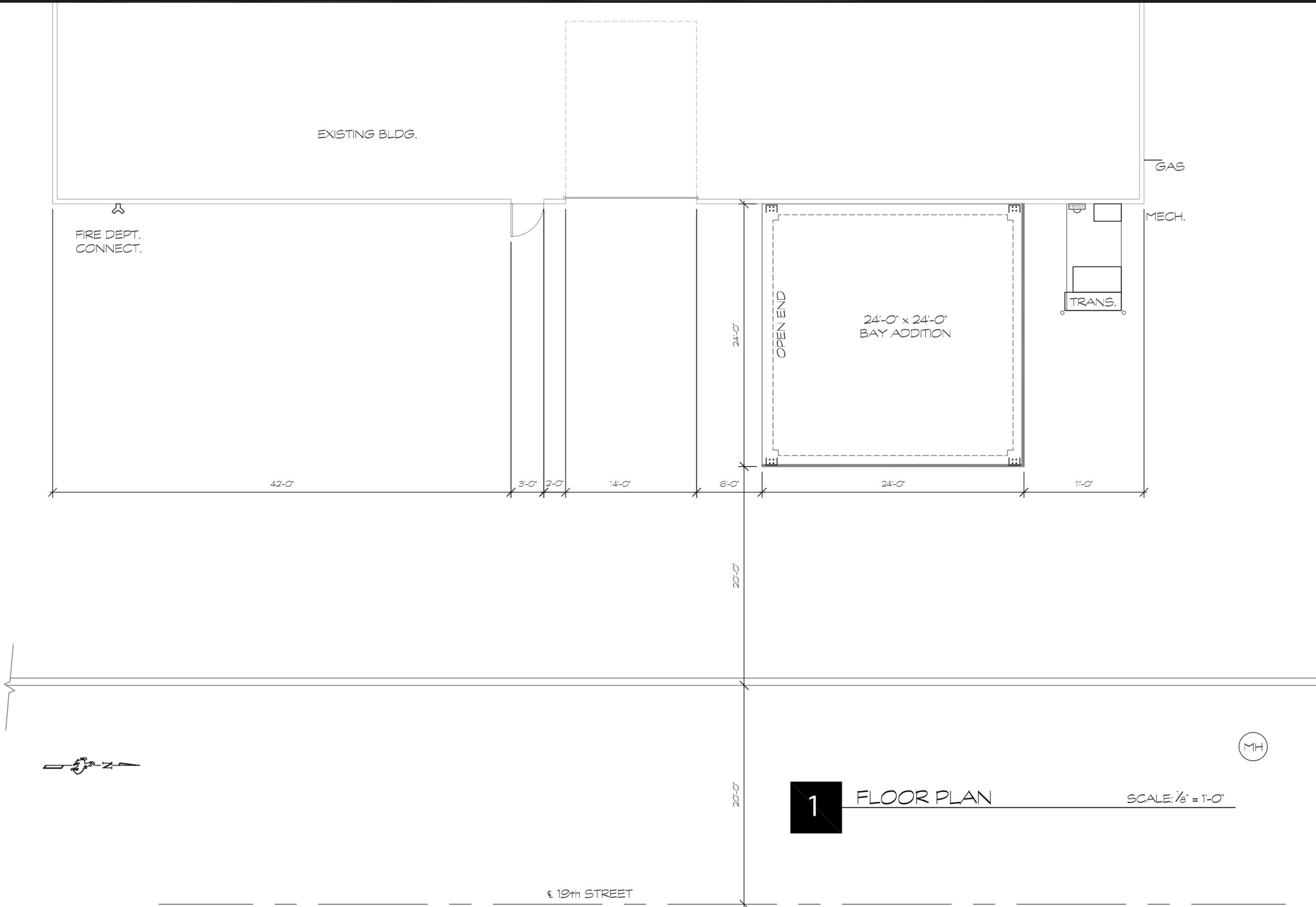
East: Zoned D-3

South: Zoned D-3 Big Horn Avenue

West: Zoned: D-3

Thank you for your consideration of this project.

---



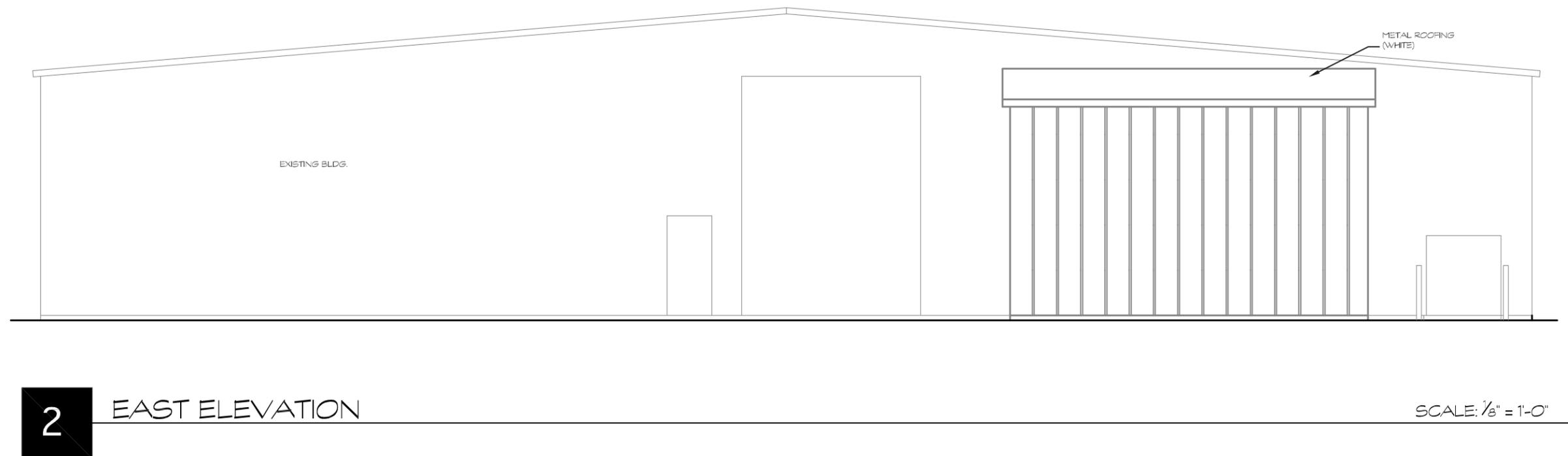
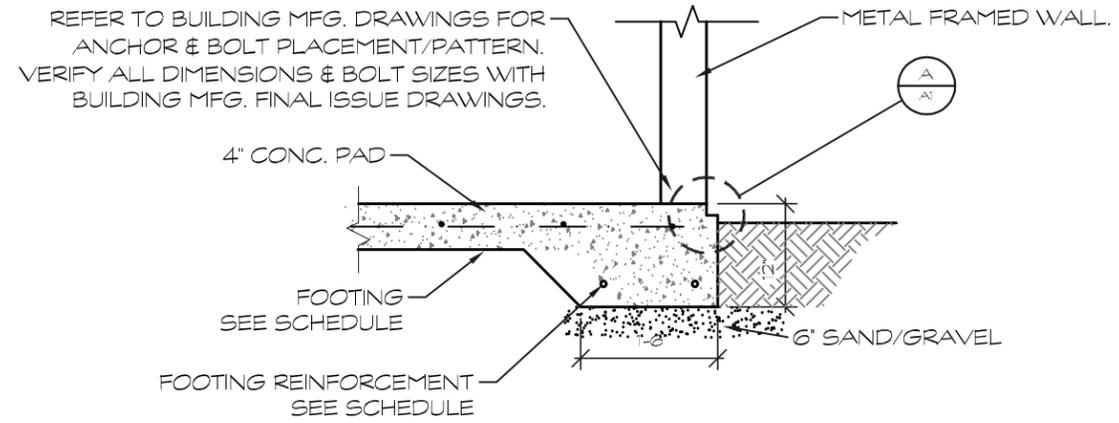
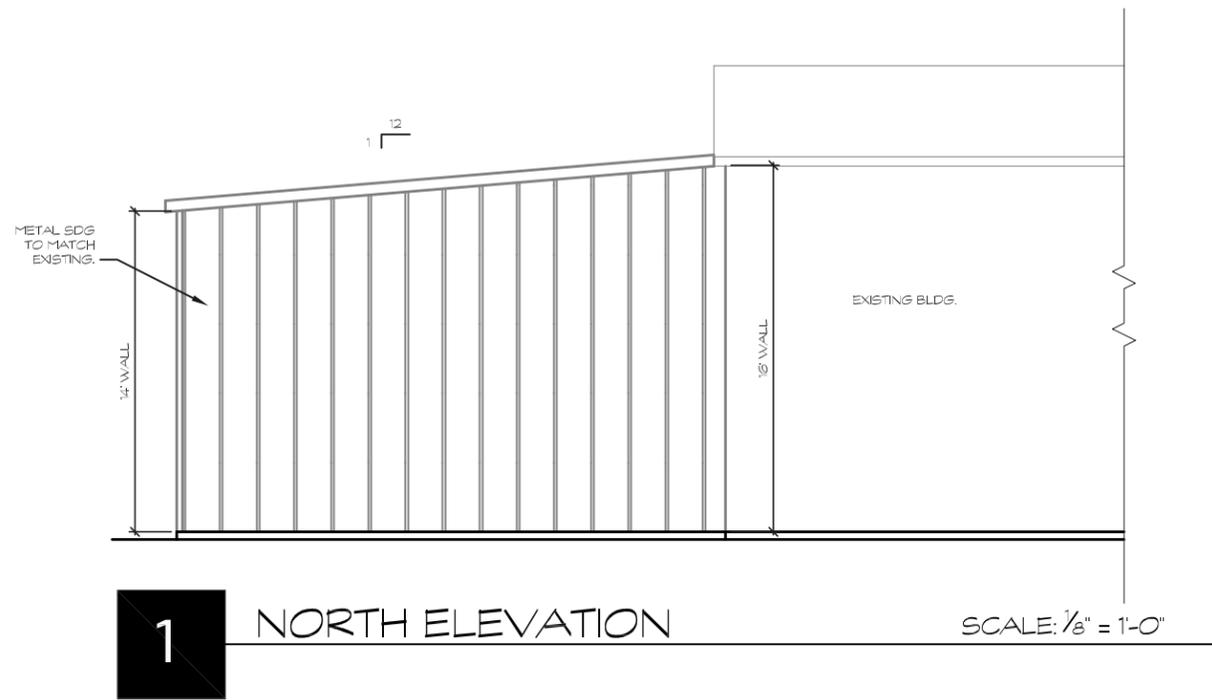
Drawings by  
**Mountain States Consulting**  
 24 Jo Anns Rd  
 Cody, Wyoming 82414  
 (307) 899-6400

Issue Date: **6-25-17**  
 Proj. # **2117** Drwn. By: **GPG**

**Y-TEX CORP.**  
 1825 Big Horn Avenue  
 Cody, WY 82414

Sheet Title:  
**SITE / PLAN**

Sheet Number:  
**A1**  
 Page:  
**2** of **3**



Drawings by  
**Mountain States Consulting**  
 24 Jo Anns Rd  
 Cody, Wyoming 82414  
 (307) 899-6400

Issue Date: **6-25-17**  
 Proj. # **2117**  
 Drwn. By: **GPG**

**Y-TEX CORP.**  
 1825 Big Horn Avenue  
 Cody, WY 82414

Sheet Title:  
**ELEVATIONS**

Sheet Number:  
**A3**  
 Page:  
**3** of **3**