

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, MAY 24, 2011
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

- ❑ Call to Order by Chairperson Greg Gaspers
- ❑ Roll Call, excused members
- ❑ Approval of Minutes for the May 10, 2011 - Regular Meeting

PUBLIC HEARING

- A public hearing to determine if it is in the public interest to grant a special exemption to Gee Properties, LLC for property located at 702 and 708 Platinum Drive. The request is for a special exemption from the hours of operation limitations for a physician office to facilitate for more comprehensive patient evaluation including a sleep laboratory. Sleep laboratory hours are from 8 pm to 7 am. The applicant has sent twelve (12) certified letters to all adjacent property owners within 140' concerning this special exemption application as well as an application to re-zone the property. The applicant properly advertised this public hearing per legal notice in the Cody Enterprise. Of the twelve (12) neighbors, eight (8) neighbors had objections, two (2) neighbors had no objections and two (2) neighbors did not respond. One objection pertained to the re-zoning application and did not address the special exemption. As the special exemption application is contingent upon the re-zoning application, staff has interpreted the response accordingly.

PRESENTATION OF COMMUNICATIONS:

- A. A special exemption application has been submitted by Gee Properties, LLC for property located at 702 and 708 Platinum Drive. The applicant requests an exemption from the hours of operation for a physician office to facilitate for more comprehensive patient evaluation including a sleep laboratory. Sleep laboratory hours are from 8 pm to 7 am.

Applicant/Spokesperson: Dr. Allen L. Gee - Frontier Neurosciences, LLC

Staff Reference: Steve Payne - Public Works Director

Staff Comment: *In addition to re-zoning the property from Residential B to D-1 Limited Business District, which is scheduled to be reviewed at the June 7, 2011 City Council meeting, the applicant requests a special exemption from the hours of operation limitations. The Cody City Code Sec.10-14-2B.1a. allows for special exemptions to address hour of business operation limits in D-1 District. Hours of operation within the D-1 zone are restricted to between 6 AM and 10 PM. If the board is inclined to grant approval of the special exemption, the board must find and state in the motion the following:*

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*
- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use; and*
- f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

ACTION/MOTION: *Approval, Approval with conditions, or Denial of the special exemption from the hours of business operation limits for Gee Properties, LLC for property located at 702 and 708 Platinum Drive.*

Staff does not have a recommendation on the proposal. Based upon the received notices from the adjacent landowners it does not appear that the Special Exemption conditions for approval a., b. and d. are met.

- B. A minor commercial review application has been submitted by Libations, for property located at 1503 Sheridan Avenue. The applicant is proposing to remove existing landscape and pour back new concrete patio with 42” split-face block wall on two sides to match existing block on building. The area will be used for additional outside seating.

Applicant/Spokesperson: Juli Hinze - Libations
Staff Reference: Steve Payne - Public Works Director

Staff Comment: *The applicant proposes to establish an outside seating area. The minimal existing landscaping for the property will be eliminated by the proposal. Most of the commercial operations along Sheridan Ave. do not have any landscaping provided for the properties. Based upon a discussion between the staff and the applicant, the applicant has indicated that they would provide some potted plants around the patio to establish a landscaped feel for the property.*

ACTION/MOTION: Approval, Approval with conditions, or Denial of the minor commercial site application for Libations, for property located at 1503 Sheridan Avenue.

Staff recommends approval of the commercial site application submitted by Libations, for property located at 1503 Sheridan Avenue with the following conditions:

- 1. The applicant establishes potted plants around the patio to establish a landscaped feel for the property.**
- 2. That the applicant complies with all liquor license sales requirements and especially the enclosure of the outside seating area.**
- 3. The applicant will submit a complete set of construction plans to the building department for their review and approval.**
- 4. The applicant will pay all assigned building permit fees.**
- 5. The applicant will receive approval from Council regarding liquor licensing.**

- C. A commercial site review application has been submitted by Basin Mechanical, for property located at 3429 Cottonwood Avenue. The applicant is proposing to build an office addition to the south side of their existing building.

Applicant/Spokesperson: Rick Lambert, Precision Plan and Design Inc.
Staff Reference: Steve Payne - Public Works Director

Staff Comment: *Staff has no concerns with this proposal. ADA parking and storm drainage for the addition have been adequately addressed. The applicant has proposed a nice addition, with split face block color buff and split face dark color kanta brown along the bottom. The Landscape Plan includes the planting of 4 Arboritae – Globes and 4 Red Barberry.*

ACTION/MOTION: Approval, Approval with conditions, or Denial of the commercial site application for Basin Mechanical, for property located at 3429 Cottonwood Avenue.

Staff recommends approval of the commercial site application submitted by Basin Mechanical, for property located at 3429 Cottonwood Avenue with the following conditions:

1. **The applicant will submit a complete set of construction plans to the building department for their review and approval.**
2. **The applicant will pay all assigned building permit fees.**

D. A minor commercial review has been submitted by T.L. Quick Construction on behalf of Wyoming Rib & Chop House, for property located at 1361 Sheridan Avenue. The applicant is proposing to change the door to match the existing door at 1367 Sheridan Avenue as part of their expansion.

Applicant/Spokesperson: Kevin Lehman -T.L. Quick Construction
Staff Reference: Steve Payne - Public Works Director

Staff Comment: *This applicant proposes to replace the existing wooden door at 1361 Sheridan Avenue with a metal and glass door to match the door at 1367 Sheridan Avenue. As required by building code, the new door will open toward the street.*

ACTION/MOTION: Approval, Approval with conditions, or Denial of the minor commercial review for Wyoming Rib & Chop House for property located at 1361 Sheridan Avenue.

Staff recommends approval of the minor commercial review submitted by Wyoming Rib & Chop House for property located at 1361 Sheridan Avenue with the following conditions:

1. **The applicant will submit a complete set of construction plans to the building department for their review and approval.**
2. **The applicant will pay all assigned building permit fees.**

E. A conceptual plan request for Planned Unit Development (PUD) Designation for the Blackburn PUD been submitted by Ed Higbie for property located on Blackburn Street described as a portion of Tract 40, Resurvey T.53N., R.101W. The applicant is proposing to develop 15 light industrial/commercial lots.

Applicant/Spokesperson: Ed Higbie
 Jeremy Easum - Sage Civil Engineering
Staff Reference: Steve Payne - Public Works Director

Staff Comment: *A Planned Unit Development (PUD) is a subdivision development the intent of which is to encourage flexibility, innovation of design, and a variety of development types in order to promote the most suitable use of a site and so that greater opportunities for housing, recreation, shopping and employment may extend to all citizens of Cody as outlined in Section 11-7-2A of the City Code.*

Pursuant to Section 11-7-3A and B, a PUD may be established in any residential or commercial zoning district. A PUD may be applied to any development having one or more principal uses or structures on a single parcel of ground or contiguous parcels of ground. Any use or combination of uses may be allowed in a PUD provided such uses are consistent with the Cody Master Plan and the intent of this title. All PUDs shall consist of a harmonious arrangement of uses, buildings, parking areas, circulation and common areas. Each PUD shall be designed as an integrated unit, in such a manner as to constitute a safe, efficient and convenient development.

The applicant would like to have some direction from the P&Z Board on the following items:

- a. *Sidewalks are proposed on only one side of the right-of-way throughout the subdivision.*
- b. *The applicant has not proposed any alleys within the subdivision.*
- c. *The applicant is proposing that the City take over the responsibility of the drainage facilities and the pressurized sewer system.*

- d. *Common Area is normally provided as a part of a PUD. With this application the developer is providing Open Space that is given to the City.*
- e. *The applicant is also requesting that the City take over the responsibility of the streets after they have been completed.*

ACTION/MOTION: *Outline any issues of concern to the applicant, make a determination if this application will be considered as a PUD and set a Public Hearing date for the Preliminary Plat of the PUD.*

Staff recommends that the P&Z Board consider a motion to designate Blackburn Subdivision as a PUD, with the understanding that the applicant will address staff's concerns. By Ordinance, streets within PUD's are not usually the responsibility of the City after development. The maintenance and operation of a pressurized sewer system has never before been accepted by City. Staff would recommend that the storm drainage system, the sewer system and the streets are maintained by the Owners through a lot owners association. If the P&Z recommendation is for the City to take over the storm drainage system and the streets after completion, staff would suggest that the rights-of-way's are narrowed and the sewer is installed in a private easement outside of the right-of-way. Staff is fine with the Open Space in lieu of the Common Area as the developer has addressed some West Rocky Road right-of-way issues with the dedication of additional Open Space.

F. Board Matters

G. Council Update: Steve Miller

H. Approved Sign Applications

1. Norco Inc. -501 16th Street
2. Grizzly Country Outdoors -1736 Sheridan Avenue
3. Yellowstone Trading Company -2201 S. 17th Street #11

I. Staff Update

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD

Minutes of the Regular Meeting Held May 10, 2011 at 12:00 PM

CALL TO ORDER: Chairperson Greg Gaspers called the meeting to order at 12:02 PM.

ROLL CALL

PRESENT: Jacob Ivanoff; Kim Borer, Vice Chairperson; Rick Brasher; Bud McDonald; Justin Lundvall; Greg Gaspers, Chairperson; Bill Nielson, Steve Miller, Council Liaison; Sandee Kitchen, Deputy City Attorney; Jolene Osborne, Engineering Administrative Assistant;

EXCUSED ABSENCE: None

ABSENT: None

Bud McDonald made a motion seconded by Jacob Ivanoff to approve the minutes of the April 26, 2011 regular session meeting with the correction of the spelling of Justin Lundvall on item G.

Vote on the motion was unanimous, motion carried.

Chairperson Greg Gaspers opened a public hearing at 12:04 p.m. to determine if it is in the public interest to grant a special exemption for property located at 3007 East Carter Avenue. The City requests on behalf of Walter and Dorothy Hessinger an exemption from the setback requirements for the existing garage.

Upon calling for comments three times and there being none, Chairperson Greg Gaspers closed the public hearing at 12:05 p.m.

PRESENTATION OF COMMUNICATIONS:

A. Bill Nielson made a motion seconded by Bud McDonald to approve the special exemption from the setback requirements as presented by the City for property located at 3007 East Carter Avenue as the board finds the following requirements of Section 10-14-2-C.2:

1. The special exemption will not produce an undesirable change in the neighborhood;
2. The setback exemption will be compatible with adjacent land uses and the neighborhood as the neighborhood is residentially oriented;
3. An exemption from the setback requirements is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the building;
4. It would be unfeasible for the applicant to move the building;
5. There are adequate services and infrastructure available to serve the building; and
6. The exemption from the setback requirements has no impact on the goals, policies and future land use map of the master plan;

With the following conditions:

1. The Special Exemption will run with the property.
2. The Special Exemption Permit must be executed and recorded with the Park County Clerk and recorded within 10 days of approval.
3. If there is demolition or a catastrophic event that would destroy the building then if it is rebuilt it must be built meeting the setback requirement.

Vote on the motion was unanimous, motion carried.

B. Discussion Items: None

C. Council Update:

1. The recent power outage was due to a raccoon in the substation.
2. The subcommittee of the Planning & Zoning and the Council will be meeting on Thursday with Forward Cody for the review of the Master Plan.

D. Staff Update

1. The China Town Restaurant would like to remove a small grassy area and replace it with concrete. They asked for direction from the board as to whether the board would need to see a submittal. The board verified that a submittal would be required.

The meeting was adjourned at 12:19 PM.

Respectfully submitted,

Jolene Y. Osborne
Engineering Administrative Assistant

File: Sup 11-04
P&Z Invoice 446-2



**PLANNING, ZONING AND ADJUSTMENT BOARD
APPLICATION FOR SPECIAL EXEMPTION PERMIT**

Owner or Applicant's Name: Gee Properties, LLC
Mailing Address: 1320 Sunset Blvd S. Cody WY Zip: 82414
Phone: 307-578-8181 Cell: 307-899-0175 Fax: 307-578-1938 Email: allen.gee@frontierneuro.com
Project Address: 702 Platinum Drive Cody WY 82414 Zone: Residential B requesting D1
Legal Description/Assessor Parcel Number(s): Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 25
Description of Proposal: We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD,FAAN
This will be a low volume sub-specialty clinic. We propose a small office consistent with the size and serenity of the neighborhood.

Representative attending Planning and Zoning Board meeting: Allen L. Gee

The Planning, Zoning and Adjustment Board meet the 2nd and 4th Tuesdays at 12:00 p.m., at the City Hall Council Chambers.
Please see submittal Date and Fee schedule on page 2 of this document.

Optional Pre-application Conference with the Planning and Zoning Board: The pre-application conference is optional and is scheduled at the applicant's request. The conference allows the applicant to obtain information regarding the special exception process and to identify likely concerns regarding the proposal. No application fee is required and the Planning and Zoning Board takes no formal action concerning the proposal.

Application Procedures: Please submit all materials listed.

- LETTER TO BOARD: A letter to the Planning and Zoning Board requesting a special exemption permit. Describe your proposal in detail and explain why you are requesting a special exemption.
- PLOT PLAN: A map showing the major details of the proposal such as location of buildings and structures, parking areas, means of vehicular access, signs, landscaping, fencing, screening, easements, utilities and pedestrian areas.
- NEIGHBORING PROPERTIES MAP: A second map showing parcel requested for special exemption permit and surrounding properties within 140' (excluding streets & rights of way). *The planning department can provide this map for a fee of \$6.00. Any additional copies made for your project by city staff will be charged at a rate of \$1.00 for the first copy and \$0.50 for each additional copy.*
- NOTICE TO NEIGHBORING PROPERTIES: Using the attached template, submit letters notifying adjacent property owners within 140' of the special exemption request. Include the desired public hearing date. You will need to use the neighboring properties map from above to research the owners of the lots within 140' of your property at the county courthouse and determine who is to be notified. **Letter must be approved by planning department before sending to adjacent property owners.**
- PROOF OF NOTIFICATION: Along with the copies of notification letters sent via certified mail to all property owners within 140' of subject property, submit the post office certified mail receipts.
- LEGAL NOTICE: Submit legal notice of public hearing to local newspaper 10 days prior to public hearing date using the attached template and provide proof of publication. **Legal notice must be approved by planning department before submitting to newspaper.**
- PROOF OF OWNERSHIP: Provide a current title commitment for subject property (not older than 6 months) or a copy of the property deed showing applicant as owner.
- APPLICATION FEE: Provide application fee upon submittal to City of Cody. Applicants are encouraged to arrange a pre-submittal meeting with the planning department to ensure a complete submittal. Re-submittal of any application will result in additional fees.
- Recording Special Exemption: If the Planning and Zoning Board approves your special exemption, you will be responsible for recording the exemption at the Park County Clerk's Office within 10 days of approval. An official Filing of Record form is attached to this application and must be signed by the Planning and Zoning Board Chairperson.

Submit a total of twelve (12) copies of the application, plans, and any other information, folded into 8.5"x11"
Submit a digital file containing PDFs of each document submitted

Total application must be submitted to the planning department by 4:00 PM, twenty one (21) business days prior to the anticipated public hearing date.

RECEIVED

APR 26 2011

CITY OF CODY

GEE PROPERTIES, LLC
1320 Sunset Blvd S.
Cody, WY 82414

April 25, 2011

City of Cody
City Council
Planning and Zoning Commission

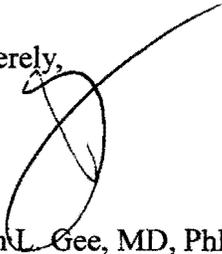
To Whom it May Concern:

Special Exemption Request:

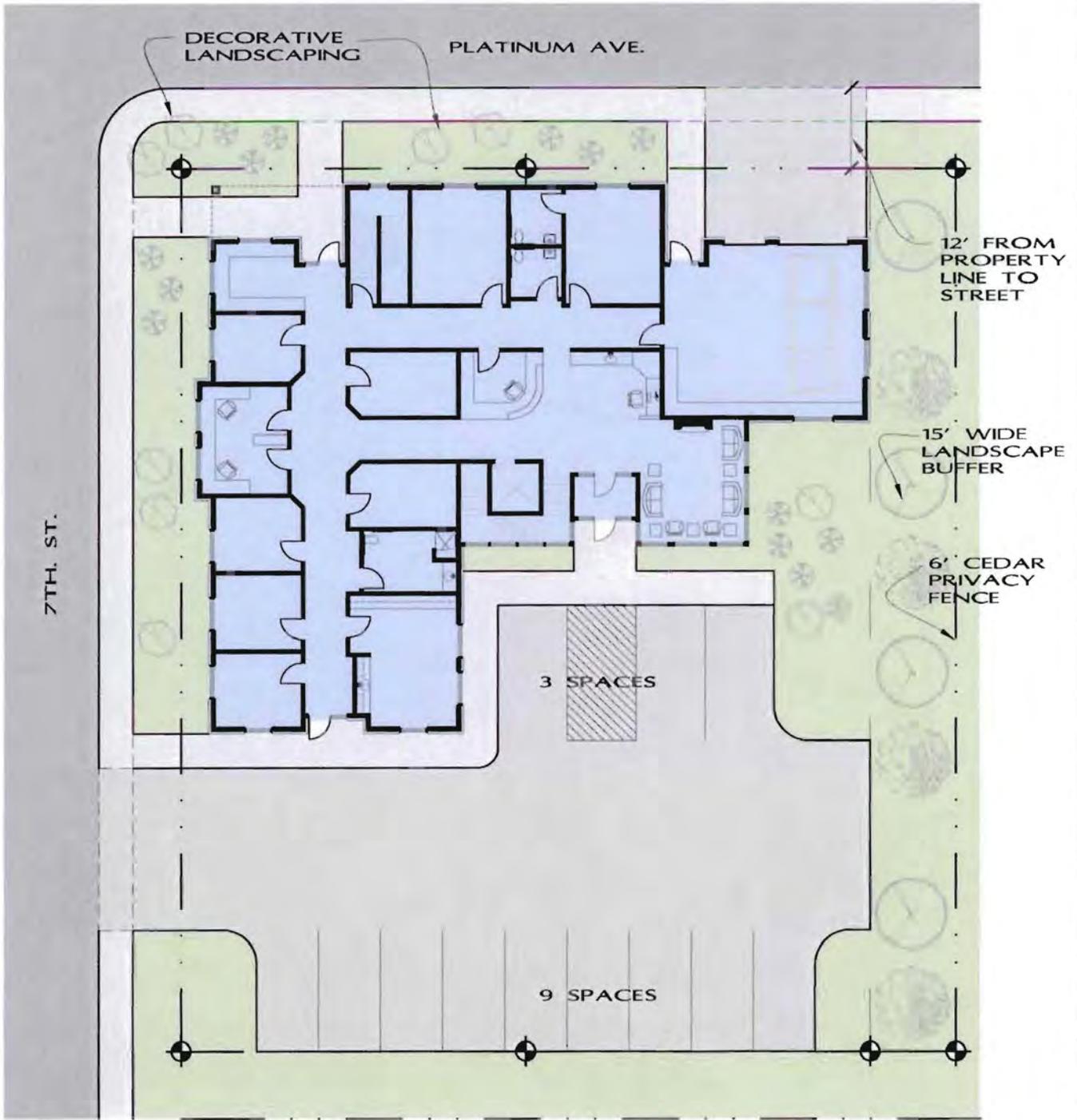
We are requesting a special exemption for the hours of operation to facilitate for more comprehensive patient evaluation including a sleep laboratory. Sleep laboratory hours are from 8pm to 7am. The evaluation entails observation and monitoring patients while they sleep. This type of evaluation is by nature very quiet and peaceful.

We ask the Planning and Zoning Board to approve the special exemption for hours of operation for a physician office at 702 and 708 Platinum Drive.

Sincerely,

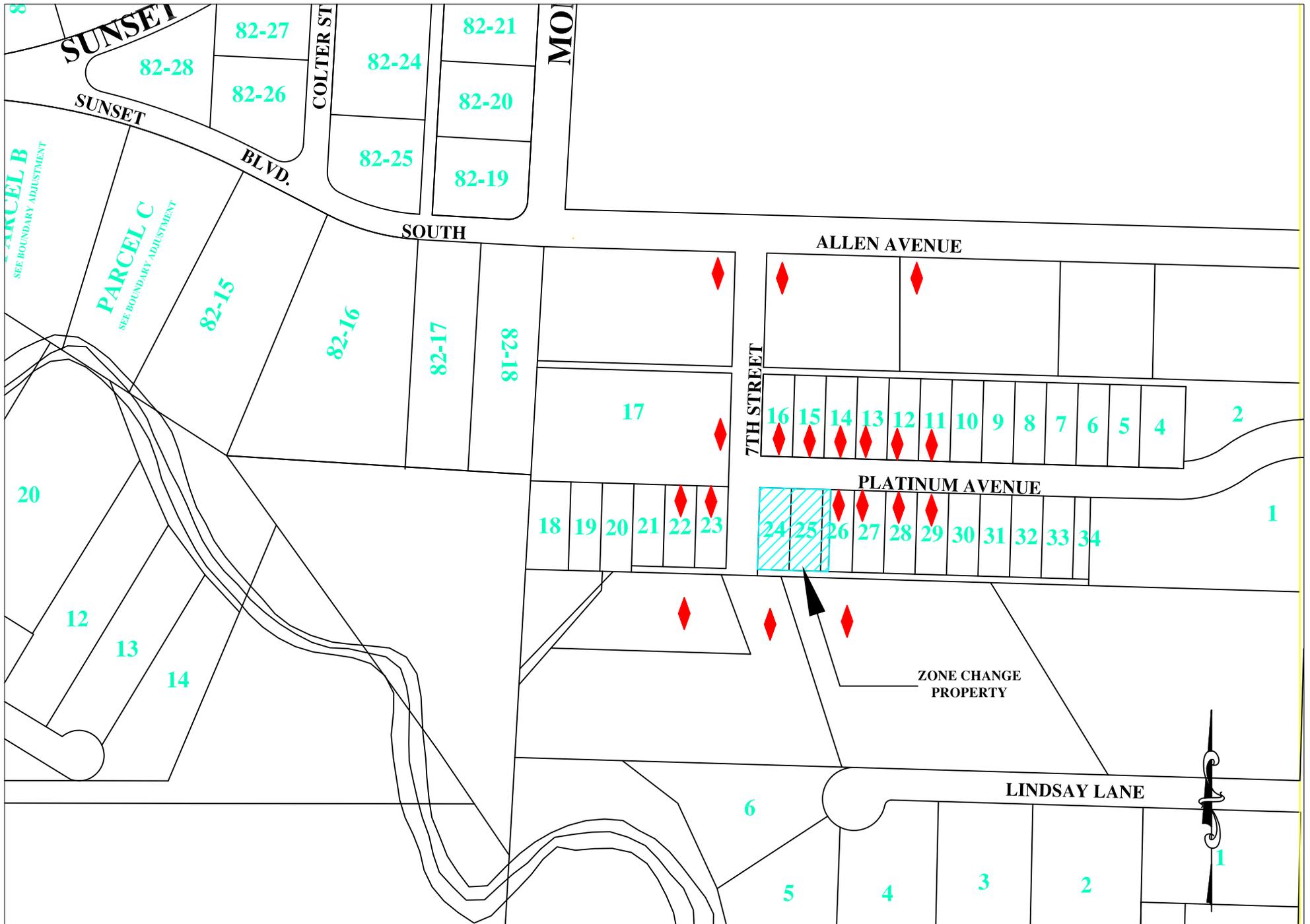
A handwritten signature in black ink, appearing to read "Allen L. Gee", with a long, sweeping flourish extending upwards and to the right.

Allen L. Gee, MD, PhD, FAAN



DR. GEE PRACTICE - SITE PLAN

BROWN'S SECOND ADDITION
 CITY OF CODY, WYOMING
 SE 1/4 SE 1/4 OF TRACT 82,
 (FORMERLY SECTION 31.)
 TOWNSHIP 53 NORTH,
 RANGE 101 WEST OF THE
 SIXTH PRINCIPAL MERIDIAN,
 CODY PARK COUNTY,
 WYOMING



NEIGHBOR NOTIFICATION MAP FOR DR. GEE

SCALE: 1"=200'

DR. ALLEN GEE SPECIAL EXEMPTION-NEIGHBOR NOTIFICATION RESPONSE

TOTAL NOTIFIED=14

NO OBJECTIONS=2

NO RESPONSE=3

OBJECTION=9

SOUTH

ALLEN AVENUE

LUCILLE M. WEBSTER
REVOCABLE LIVING
TRUST
OBJECTIONS

DALE & LUCILLE
SCHMOLDT,
FAMILY TRUST
NO OBJECTION

FOUNDATION FOR
NORTH AMERICAN
WILD SHEEP
NO RESPONSE

LUCILLE M. WEBSTER

7TH STREET

HUMPHREYS
OBJECTIONS

HUMPHREYS

GORDON L.
ROSS

OBJECTIONS

RICK BROD

OBJECTIONS

DEBRA SUE
BERTSCH

OBJECTIONS

LUCILLE M. WEBSTER

PLATINUM AVENUE

NO OBJECTIONS

CYNTHIA A.
WILDMAN

OBJECTIONS

FRED & PEG
STROW

OBJECTIONS

RODD RUSH
& PATRICIA
SMITH

OBJECTIONS

LUCILLE M. WEBSTER
REVOCABLE LIVING
TRUST

NO OBJECTIONS

SUNSET PROPERTIES, INC.

CODY MEDICAL ARTS COMPLEX, LLC.
BIG HORN BASIN ORTHOPAEDIC CLINIC, LLC.
OBJECTIONS

SPECIAL EXEMPTION
PROPERTY

SAINT VINCENT MEDICAL HOSPITAL
NO RESPONSE

WEST PARK HOSPITAL
NO RESPONSE

LINDSAY LANE

8TH STREET

APR 27 2011

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 7, 2011
(Date must be 1 week prior to the City Council Public Hearing)

Date: May 7, 2011 April 26, 2011

RE: **ZONE CHANGE REQUEST**

Applicant Name(s): Gee Properties, LLC Phone #: 307-578-8181

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/ 702 and 708 Platinum Drive Cody WY 82414

Description of Request: *(Please describe why you are requesting a Zone Change.)* We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood.

A Public Hearing will be held before City Council at their regularly scheduled meeting on Tuesday, May 17, at 7:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Avenue.
(Date of Hearing)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Allen L. Gee, MD, PhD, FAAN
(Applicant Name)

who is requesting a Zone Change to D1 for the above referenced property. It is my understanding that the zone change will allow construction/operation of a small neurology office.

I am the legal owner of Brown's 2nd add'n Lots Owner's Name: Lucille Webster
(Lot & block # or Address of Neighboring Property) *(Neighboring Property)*
18, 19, 20, 21, 22 & 23 Revocable Living Trust

I have **NO OBJECTION** to the Zone Change Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before City Council or the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before City Council or the P&Z Board.

I **OBJECT** to the Zone Change Request:

Name: C. EDWARD WEBSTER II, Trustee of the Lucille M Webster

Address: 1226 11th St. Cody, WY Revocable Living Trust

Comments: The platinum drive residences should be protected

Yes, I would like to be contacted when this topic comes before City Council or the P&Z Board.

E-mail address: WEB@wyo.wyoming.com or Phone: 387-6216

No, I would not like to be contacted when this topic comes before City Council or the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

also concerned about increased traffic and activity at night.

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 14, 2011 April 26, 2011

RE: SPECIAL EXEMPTION PERMIT REQUEST

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n
(Lot & block # or Address of Neighboring Property)

Owner's Name: Rickey Brod
(Neighboring Property)

W2 Lot 128 + 1/2 of Lot 13

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: RICK BROD

Address: 719 PLATINUM

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: 587-9744

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 20, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Strow Family Rev

E 37 1/2' of Lot 27, W 1/2 of Lot 28 & W 20' of E 1/2 of Lot 28 (Neighboring Property) Living Trust

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: FRED A. STROW

Address: 720 PLATINUM DR

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: 587-9426

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

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Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: May 14, 2011 April 20, 2011

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Debra Sue Bertsch

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

W/Lot 10, 11 of Lot 12, E12 Lot 12

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: Debra Sue Bertsch

Address: 2426 Sulphur Creek St Cody Wyoming 82414

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: 587-2707

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

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(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 20011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Humphrey's Family

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

Lot 14 & 17 Revocable Living Trust

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: HARRIETT HUMPHREYS

Address: 701 PLATINUM

Comments: I object to a parking lot - RESIDENTIAL S. Keep RESIDENTIAL

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Cynthia Wildman

(Lot & block # or Address of Neighboring Property) (Neighboring Property)
E 37 1/2' of Lot 26 & W 12 1/2' of Lot 27

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: Crazy Wildman

Address: 714 Platinum Dr

Comments: I strongly opposed to the special Exemption Permit

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: C-wildman@live.com or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Todd Rush Jr & Patricia Smith
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

all of lot 29 E1/2 of E1/2 of lot 28 W1/2 of lot 30

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: Todd Rush Jr Patricia Smith

Address: 732 PLATINUM DR CODY

Comments: Plenty of commercial property available without rezone this one.

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: twotie4@hotmail.com or Phone: 307-250-3706

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: SPECIAL EXEMPTION PERMIT REQUEST

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of Brown's 2nd add'n Owner's Name: Ross Gordon
(Lot & block # or Address of Neighboring Property) (Neighboring Property)
Lot 14 & 212 Lot 15

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: Gordon Ross

Address: 713 Platinum Drive Cody, Wyo

Comments: on separate paper

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: 587-6725

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

To the representatives of the City Council

As mentioned in my previous correspondence I also oppose this special exemption permit request. Our neighborhood has drastically changed in a few short years from a quiet section of town to an area of our town that has become fast paced and potentially dangerous. Our neighborhood changed upon the relocation of the stop light from 8th and Allen to 8th and Platinum. Church traffic, medical facility traffic and now a proposed neurology practice to include a sleep lab will increase our volume of traffic.

The medical facility lied to this neighborhood when they said that they would be using Lindsay Lane for their place of business and that the Platinum Drive neighborhood would not be adversely affected. Some of the medical facility traffic treats our neighborhood like its own version of NASCAR complete with excessive speed, near collisions and angry and fist shaking moments. Before sunrise and into late afternoon this Platinum Drive neighborhood endures this mess and now with this proposal we as neighbors are asked to accept this round the clock encroachment to this once serene and tranquil neighborhood.

A solution to this situation could be to follow Ina Avenue neighborhoods lead when they stopped their invasion. If the medical facility honored their agreement to this neighborhood I would then reluctantly ask my neighbors to accept this proposal.

Respectfully yours
Gordon Pless

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We propose to construct a small physician office to house the neurology practice of Allen L. Gee, MD, PhD, FAAN. We propose a small office consistent with the size, serenity and tranquility of the neighborhood. We ask for special exemption for hours of operation to facilitate for more comprehensive patient evaluation including a Sleep Lab. Sleep Lab hours are 8:00pm to 7:00am to observe and monitor patients while they sleep. This is by nature very quiet and peaceful.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property SUNSET PROPERTIES
I am the legal owner of SAC desan a parcel Owner's Name: _____

in Lot 82 T 52 R 102 RS SEC 31 T 53 R 101 OS, bear at a point
410 S. W. 1st St. Cody, WY 82414

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: SUNSET PROPERTIES INC / William GARDNER

Address: 1601 8th St

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:
Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

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This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of aparcas in 584584 Owner's Name: Dale & Lucille Schmoldt

of sec 31 in Lot # 153 P101, Big Lake, Warner Co, Nebraska (Lot & block # or Address of Neighboring Property) (Neighboring Property) family just south of 1815 W 75th St, 81st, Falls, to P&Z ex 501815 NKA 7th Str.

✓ I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: DALE & LUCILLE SCHMOLDT

Address: 702 ALLEN AVE.

Comments: A PLUS TO THE NEIGHBORHOOD. UNKEMPT PROPERTIES DISAPPEAR,

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: drschmoldt@2011.com or Phone: 587-2683

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Letter to Neighboring Properties within 140 Feet

Please return this letter by: May 14, 2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: ~~May 14, 2011~~ April 26, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): Gee Properties, LLC

Address/Location & Legal Description: Brown's 2nd add'n Lot 25 and 12 1/2' Lot 26, Brown's 2nd add'n Lot 24/702 and 708 Platinum Dr Cody WY 82414

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This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, May 24, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by Gee Properties, LLC

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of _____ Owner's Name: _____

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department
PO Box 2200
Cody, WY 82414

Cody Medical Arts Complex

720 Lindsay Lane

Cody, WY 82414

Lindsay Lane Sub Lots 5&6

& a parcel in Lot 82 T52 R102 RS beg 310.57' E of SW cor of Brown's 2nd add'n thence S 88*27' E for 94.95' S 17*52' E for 318' N 88*28'W for 519.7' N 3* 12' E for 116.23' N 41*19' E for 77.19' N 88*27' E for 317.09 N 20*32' W for 134.9' to POB

Lucille Webster Revocable Living Trust

1226 11th Street

Cody, WY 82414

Brown's 2nd add'n Lots 18, 19, 20, 21, 22 & 23

Sunset Properties Inc

1601 8th Street

Cody, WY 82414

5 AC DES AS: a parcel in Lot 82 T52 R102 RS, Sec 31 T53 R101 OS, beg at a point 405.49' E of the SW corridor of Brown's 2nd add'n the E for 832.75', S1*03' W for 300' then W parallel to the S line of Brown's for 729.55' the N 17*52' W for 318' to POB

Dale and Lucille Schmoldt Family Trust

702 Allen Ave

Cody, WY 82414

A parcel in the SE/4SE/4 of sec 31 in Lot 82 T 53 R101 beg 695' W of the NE Cor, thence S 181.5' W 275' N 181.5' E 265' to POB ex 50x181.57' NKA 7th Street

Foundation for North American Wild Sheep

720 Allen

Cody, WY 82414

A parcel in the SE/4SE/4 of sec 31

Humphrey's Family Revocable Living Trust

701 Platinum Drive

Cody, WY 82414

Brown's 2nd add'n Lot 16

Gordon Ross

713 Platinum Dr

Cody, WY 82414

Brown's 2nd add'n Lot 14 and E/2 Lot 15

Ricky Brod

719 Platinum Dr

Cody, WY 82414

Brown's 2nd add'n W/2 of Lot 12 & all of Lot 13

Debra Sue Bertsch
2426 Sulphur Creek Street
Cody, WY 82414
Brown's 2nd Add'n W/2 Lot 10, All lot 11
& E/2 Lot 12

Cynthia Wildman
714 Platinum Dr
Cody, WY 82414
Brown's 2nd add'n E 37 1/2' of lot 26 &
W 12 1/2' of Lot 27

Strow Family Revocable Living Trust
720 Platinum Dr
Cody, WY 82414
Brown's 2nd add'n E 37 1/2' of Lot 27
W/2 of Lot 28 & W/2 of E/2 of Lot 28

Todd Rush Jr & Patricia Smith
732 Platinum Dr
Cody, WY 82414
Brown's add'n all of Lot 29 E/2 of E/2
of Lot 28 W/2 of Lot 30

LEGAL NOTICE TEMPLATE

Publish Date: May 2, 2011

Legal Advertisement

PUBLIC HEARING ZONE CHANGE REQUEST AND SPECIAL EXEMPTION REQUEST

The City of Cody will hold a public hearing May 17, 2011 at 7:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Gee Properties, LLC for the following zone change.

The City of Cody will hold a public hearing on May 24, 2011 at noon at 1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from Gee Properties, LLC for the following Special Exemption Request.

Gee Properties, LLC requests that the zoning be changed from Residential B to D1 Limited Business district to more closely match the existing and potential uses of the property. We also request a Special Exemption permit for hours of operation to facilitate more comprehensive patient evaluation including the monitoring of patients as they sleep.

The project is located at 702 and 708 Platinum Drive, Brown's 2nd add'n Lot 25 and 12 ½' Lot 26, Brown's 2nd add'n Lot 24 within a Residential B zone. Information regarding the requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.

Written comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY 82414 and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511

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 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

CODY, WY 82414		
Postage	\$ 0.44	
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Sunset Properties
 Street, Apt. No., or PO Box No. 11001 8th Str
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

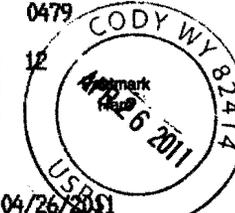
For delivery information visit our website at www.usps.com

CODY, WY 82414		
Postage	\$ 0.44	
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Todd Pushie & Patricia Smith
 Street, Apt. No., or PO Box No. 732 Platinum Dr.
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

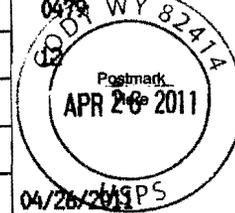
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CODY, WY 82414		
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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Lucille Webster Rev. Living Trust
 Street, Apt. No., or PO Box No. 1226 11th Str.
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service
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CODY, WY 82414		
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Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Dale & Lucille Schmidt Farm
 Street, Apt. No., or PO Box No. 702 Allen Ave
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

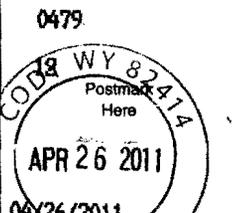
For delivery information visit our website at www.usps.com

CODY, WY 82414		
Postage	\$ 0.44	
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Cynthia Wildman
 Street, Apt. No., or PO Box No. 714 Platinum Dr.
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
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Postage	\$ 0.44	
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	04/26/2011

Sent To
 Stow Family Rev. Living Trust
 Street, Apt. No., or PO Box No. 720 Platinum Dr.
 City, State, ZIP+4 Cody WY 82414
 PS Form 3800, August 2006 See Reverse for Instructions

7010 0290 0002 8916 8764



**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE File: <u>SPR 2011-21</u> P&Z Invoice: <u>199-6</u>
--

Applicant's Name: Libations

Applicant's Address: 1503 Sheridan Avenue City: Cody State: Wy Zip: 82414

Phone: 527-6849 Cell: _____ Fax: _____ Email: juli@redeagleoil.com

Property Owner's Name: SAH, Inc.

Property Owner's Address: 1503 Sheridan Avenue City: Cody State: Wy Zip: 82414

Project Address: same as above

Legal Description: Lot 17,18,19,20,21 Block 7 Original Town Zone: _____

Linear Foot of Lot Frontage: _____ x 1.5 = _____ = Total Allowable Signage

Current Area of Signage in Square Feet: _____ Proposed Area of Signage in Square Feet: _____

Overall Area of Signage in Square Feet: _____

Description of Proposal and Proposed Use of Project: remove existing landscape, pour back new concrete patio with 42" split-face block wall on two sides to match existing block on building, area to be used for additional outside seating

Estimated Construction Start Date: May 30th

Representative Attending P&Z Meeting: Juli Hinze

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber. **Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM. Please see submittal Date and Fee schedule included in this document.**

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

1. Please include all of the following Architectural components:

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

2. Please include all of the following Utility components:

- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

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CITY OF CODY





15 th STREET

ALLEY

Libations
Patio

Project # 758

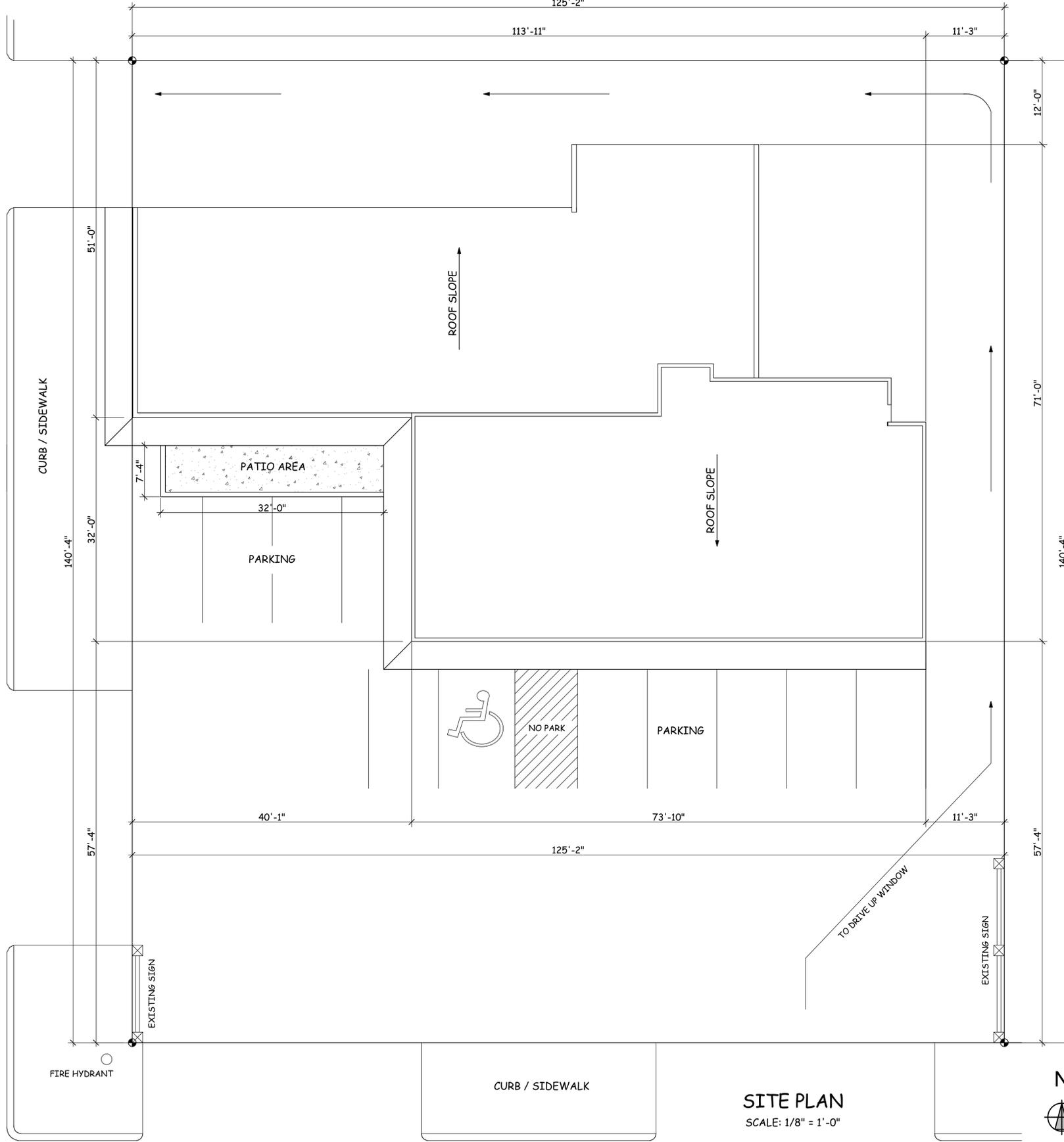
ALEM, LLC

1503 Sheridan Avenue
Cody, WY 82414

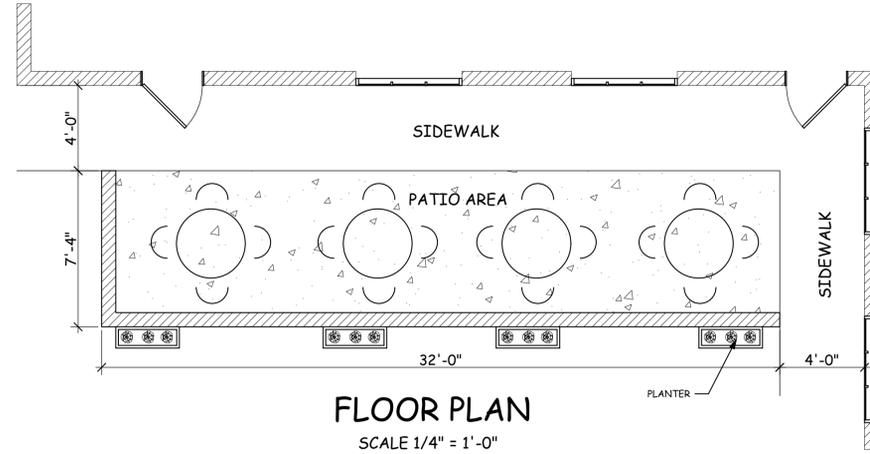
NOTE :
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN DESIGN OR RICK LAMBERT ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN. BUILDER / OWNER VERIFY ALL DIMENSIONS. PLANS SUBJECT TO CHANGE PER ENGINEER OR LOCAL CODES

PRECISION PLAN AND DESIGN INC.
CUSTOM PLAN SERVICE
(307) 587-6227
Rick Lambert
Member
ILBA no. 1271
930 12th Street
Cody, Wyoming 82414

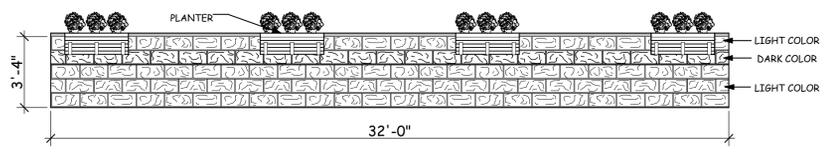
SHEET #
A1
FLOOR PLAN
SCALE: AS NOTED
05-16-2011
REVISED (3)



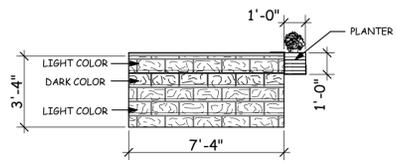
SITE PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



SIDE ELEVATION
SCALE 1/4" = 1'-0"

SHERIDAN AVENUE









**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: SPR 2011-20
P&Z Invoice: 395-2

Applicant's Name: Gordon Allison
 Applicant's Address: P.O. Box 606 City: Cody State: Wy Zip: 82414
 Phone: 307-527-6413 Cell: 719-649-7837 Fax: 307-587-5928 Email: gnallison@hotmail.com
 Property Owner's Name: Gordon Allison
 Property Owner's Address: P.O. Box 606 City: Cody State: Wy Zip: 82414
 Project Address: Basin Mechanical 3429 Cottonwood Avenue Cody Wyoming 82414
 Legal Description: Lot # 4 Gordy Subdivision Zone: D-3
 Linear Foot of Lot Frontage: 238.03' X 1.5 = 357 = Total Allowable Signage
 Current Area of Signage in Square Feet: 4.5 Proposed Area of Signage in Square Feet: 6.25
 Overall Area of Signage in Square Feet: 6.25
 Description of Proposal and Proposed Use of Project: 2,500 s.f. office addition to the south side of existing building.

Estimated Construction Start Date: June 1st

Representative Attending P&Z Meeting: Rick Lambert (Precision Plan and Design Inc.)

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber. **Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM. Please see submittal Date and Fee schedule Included In this document.**

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. **It must be dimensioned to scale.**

1. Please include all of the following Architectural components:

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. Drainage computations must be supplied with all commercial applications. Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.**

2. Please include all of the following Utility components:

- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

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MAY 03 2011

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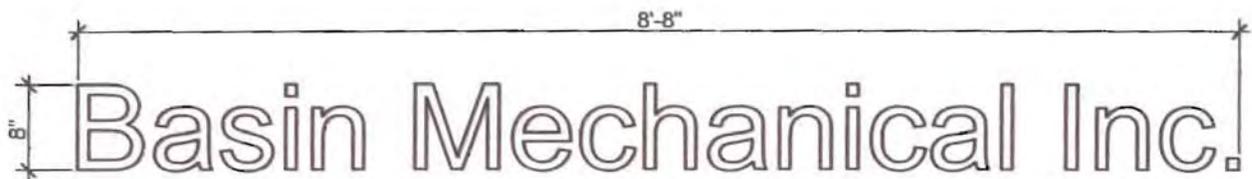
3. Please include all of the following Landscape components:

- Provide a landscape plan to include location of landscape, type and size of plant or rock materials, type of mulch and irrigation layout.
- Provide a Landscape Bond Agreement (see page 4 of this application). *Landscape estimate and bond are due after P&Z approval.*
- 4. Provide application fee upon submittal to City of Cody. Applicants are encouraged to arrange a pre-submittal meeting with the Planning Department to ensure a complete submittal. Re-submittal of any application will result in additional fees.
- 5. Provide a current title commitment for subject property (not older than 6 months) or a copy of the property deed showing applicant as owner.

SIGN PLAN APPLICATION: Please provide all of the following components:

- A dimensioned, color rendering of the proposed sign(s).
- A site plan depicting the location of the sign(s).
- A cut-sheet for exterior lighting and include lighting plan.
- Refer to Title 10, Chapter 15 of the Municipal Code for more information on sign regulations.
- Two (2) copies of each item required. The Sign Plan application will generally be reviewed and approved by the Planning Department and Building Official.
- Letter of authorization from the property owner if applicable.
- NOTE: It is not necessary to submit a Landscape Bond Agreement with a Sign Plan application.
- Provide application fee upon submittal to City of Cody. Applicants are encouraged to arrange a pre-submittal meeting with the Planning Department to ensure a complete submittal. Re-submittal of any application will result in additional fees.

SIGNAGE



SIGN DETAIL

N.T.S.

NOTES:

SIGN TO BE BLACK METAL RAISED LETTERS AS SHOWN ABOVE
FASTENED TO EXTERIOR WALL WITH METAL FASTENERS.
SIGN SQUARE FOOTAGE = 6.25 SQUARE FEET
SIGN SQUARE FOOTAGE ALLOWED = 200 SQUARE FEET
PER MUNICIPAL CODE SECTION 35-19
SIGN WILL NOT BE LIGHTED DIRECTLY BUT WILL HAVE
WASH LIGHTING IN SOFFIT ABOVE. AND SHALL MEET
ALL DARK SKY REQUIREMENTS. SEE LIGHTING SPECS
ATTACHED.

LANDSCAPING

PER FLOOR PLAN LOCATED ON THE SOUTH SIDE OF BUILDING AREA TO THE EAST AND WEST OF MIDDLE ENTRY APPROXIMATELY 175 S.F. EACH SIDE.



ARBORITAE - GLOBE 2 Gallon

MATURE HEIGHT -	4 - 6 FEET
MATURE SPREAD -	4 - 6 FEET
SOIL TYPE -	SANDY, CLAY, LOAM
MOISTURE -	MODERATE
MATURE FORM -	SMALL, ROUND
GROWTH RATE -	SLOW
SUN EXPOSURE -	FULL TO PARTIAL
FOLIAGE COLOR -	DARK GREEN

QUANTITY: (4)



RED BARBERRY

MATURE HEIGHT -	3 - 5 FEET
MATURE SPREAD -	2 - 5 FEET
SOIL TYPE -	SANDY, LOAM
MOISTURE -	MODERATE
MATURE FORM -	ROUND
GROWTH RATE -	SLOW
SUN EXPOSURE -	FULL TO PARTIAL
FOLIAGE COLOR -	RED

QUANTITY: (4)



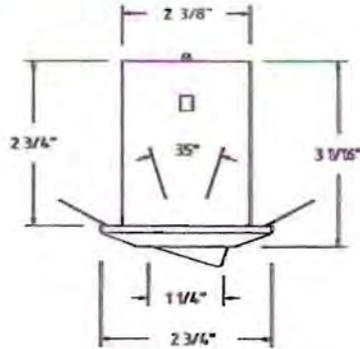
LANDSCAPING ROCKS

AREA COVERED PER SITE PLAN

SIZE RANGE FROM 1/4" TO 1"

CATALOG NUMBER	TYPE
PROJECT	

LOW VOLTAGE MINIATURE RECESSED **MODEL HR-1137**



Ordering Matrix						
Model	Series	Finish				
[]	[]	[]				
HR	1137	BK	BN	CH	CB	WT

Ordering Example (model - series - finish): HR-1137-BK

Product Details	
Description:	Low voltage miniature recessed gimbal ring unit with clear glass lens. Used for lighting in cabinets, displays and similar wooden applications.
Materials:	Housing is steel, painted black. Electrical component consists of a bi-pin ceramic socket with nickel plating and 30" of 18 gauge teflon insulated wires with fiberglass sleeves leading from the socket to strip-prepared ends.
Transformer & Lamp:	Remote electronic class II transformer required, sold separately. Use one MR11 20w max, 12 volt lamp. Sold separately.
Finish:	BK = Black powder coat paint CB = Copper Bronze BN = Brushed Nickel electroplated WT = White powder coat paint CH = Chrome electroplated
Mounting:	Two flat "wing" springs expand against the cut out hole to hold fixture against the surface. The socket and insulated wires are installed into the housing with the wires leading out through the side of the housing to the remote power transformer. 2 3/8" cutout hole.
Ratings:	U.L. and C.U.L. listed. Conforms to U.L. standard 1598. Certified to C.S.A. standard C22.2, #250. 5 year WAC Lighting product warranty.

Specification Features
<ul style="list-style-type: none"> Lamp has a 35° adjustable tilt from nadir. The supplied clear glass lens can be replaced with one lens accessory such as a colored dichroic lens, UV filter lens, frosted lens, etc. See catalog or website for full lens accessory selection. An all-in-one style recessed unit, comes with housing and trim. No need to order additional fixture parts, it is ready to install out of one box. Non-IC unit. Intended for installations where insulating materials will not be present. "Quick-Ship" item, always in stock and available for immediate shipment.

Compatible Electronic Transformers (sold separately):					
EN-1260-RB2 Boxed Class II 120V input - 12V output Load: 20w-60w (60w max)		EN-1260-R2 Component Class II 120V input - 12V output Load: 20w-60w (60w max)		EN-1260-P-AR Cord & Plug Class II 120V input - 12V output Load: 20w-60w (60w max)	

RASIN MECHANICAL INC.

3429 Cottonwood Avenue
Cody, Wyoming 82414

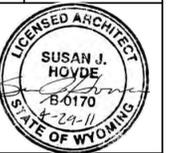


PRECISION PLAN AND DESIGN INC.
CUSTOM PLAN SERVICE

COVER PAGE PERSPECTIVE IS FOR PRESENTATION
ONLY PLEASE REFER TO ELEVATION PAGES FOR ALL
EXTERIOR DETAIL.

COVER SHEET

Basin Mechanical Inc.
3429 Cottonwood Ave. P.O. Box 606
Cody Wyoming 82414 307-527-6413
Gordon Allison



SUSAN HOVDE - Architect
P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.
Custom Plan Service
930 12th Street
Cody Wy, 82414
(307) 587-6227
Project # 735

DATE:
April 29, 2011

#	CHANGE ORDER	DATE	

C1
SHEET #

CODE CONSIDERATIONS

BASIN MECHANICAL INC.

CODE USED:
INTERNATIONAL BUILDING CODE 2006 (IBC)

OCCUPANCY CLASSIFICATION:
MIXED OCCUPANCY, NON SEPARATED USES B AND S1

BUILDING CONSTRUCTION TYPE:
EXISTING - (FIRE AREA 1) VB NEW - (FIRE AREA 2) VB

MAXIMUM ALLOWABLE SQUARE FOOTAGE (STORIES):
B-9000 (2) S1-9000 (1)

ACTUAL SQUARE FOOTAGE:
LOWER LEVEL 7500 (5000 EXISTING, 2500 NEW)
EXISTING UPPER LEVEL (S1) - 2330

STORIES:
2 SUITES 2 (SUITE A AND SUITE B)

FIRE SPRINKLER SYSTEM:
NO (PER 903 AND 903.2.8)

SETBACKS:
NORTH - 150' + (EXISTING), SOUTH - VARIES 17'-6" (SHORTEST),
EAST 5' MATCH EXISTING, WEST - MATCH EXISTING.

FIRE RESISTANCE PER TABLE 601:
NOT RATED

FIRE RESISTANCE PER TABLE 602:
NEW EAST WALL 1 - HOUR, ALL OTHERS NON RATED,
BUT NON - COMBUSTIBLE PER 603.1

FIRE AREAS:
DIVIDE BUILDING INTO 2 FIRE AREAS,
PER 706.3.9 - 2 HOUR FIRE BARRIER, SEE FLOOR PLAN.

FIRE AREA 1 = MAIN FLOOR - 4622 SF OF S1 / 300 = 16
UPPER FLOOR - (EXISTING NON-COMPLYING) - 2330 / 300 = 23

FIRE AREA 2 = MAIN FLOOR - 3133 / 100 SF OF B = 32

TOTAL LOAD:
FIRE AREA 1 - 39
FIRE AREA 2 - 32
TOTAL BUILDING LOAD = 71

COMMON PATH:
ALLOWED 75' ACTUAL 28' MAX.

TRAVEL DISTANCE:
ALLOWED (B) 200', ACTUAL 70'

ACCESSIBLE ENTRANCES:
YES TO EACH END OF EACH UNIT.

ACCESSIBLE BATHROOMS:
YES AT LEAST ONE UNISEX IN EACH SUITE

IMPORTANT:

BUILDER VERIFY ALL DIMENSIONS.
ALL DRAWINGS SUBJECT TO CHANGE PER ARCHITECT.
ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.

EXTERIOR COLORS

WALLS:
SPLIT FACE BLOCK LIGHT COLOR BUFF
SPLIT FACE BLOCK DARK COLOR KANTA BROWN

WINDOWS:
COMMERCIAL DARK BRONZE

DOORS:
COMMERCIAL DARK BRONZE

TRIM / FACIA:
DARK BRONZE

GUTTERS:
DARK BRONZE

METAL ROOF:
STANDING SEAM DARK BRONZE

INDEX TO DRAWINGS:

- C1- CODE CONSIDERATIONS
- A1- SITE PLAN
- A2- FLOOR PLAN
- A3- ELEVATIONS
- A4- ELEVATIONS
- A5- CABINET PLANS
- A6- INTERIOR ELEVATIONS
- A7- SCHEDULES
- S1- FOUNDATION
- S2- ROOF FRAMING
- E1- ELECTRICAL

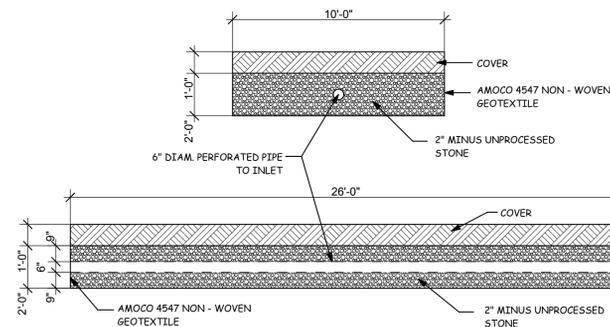
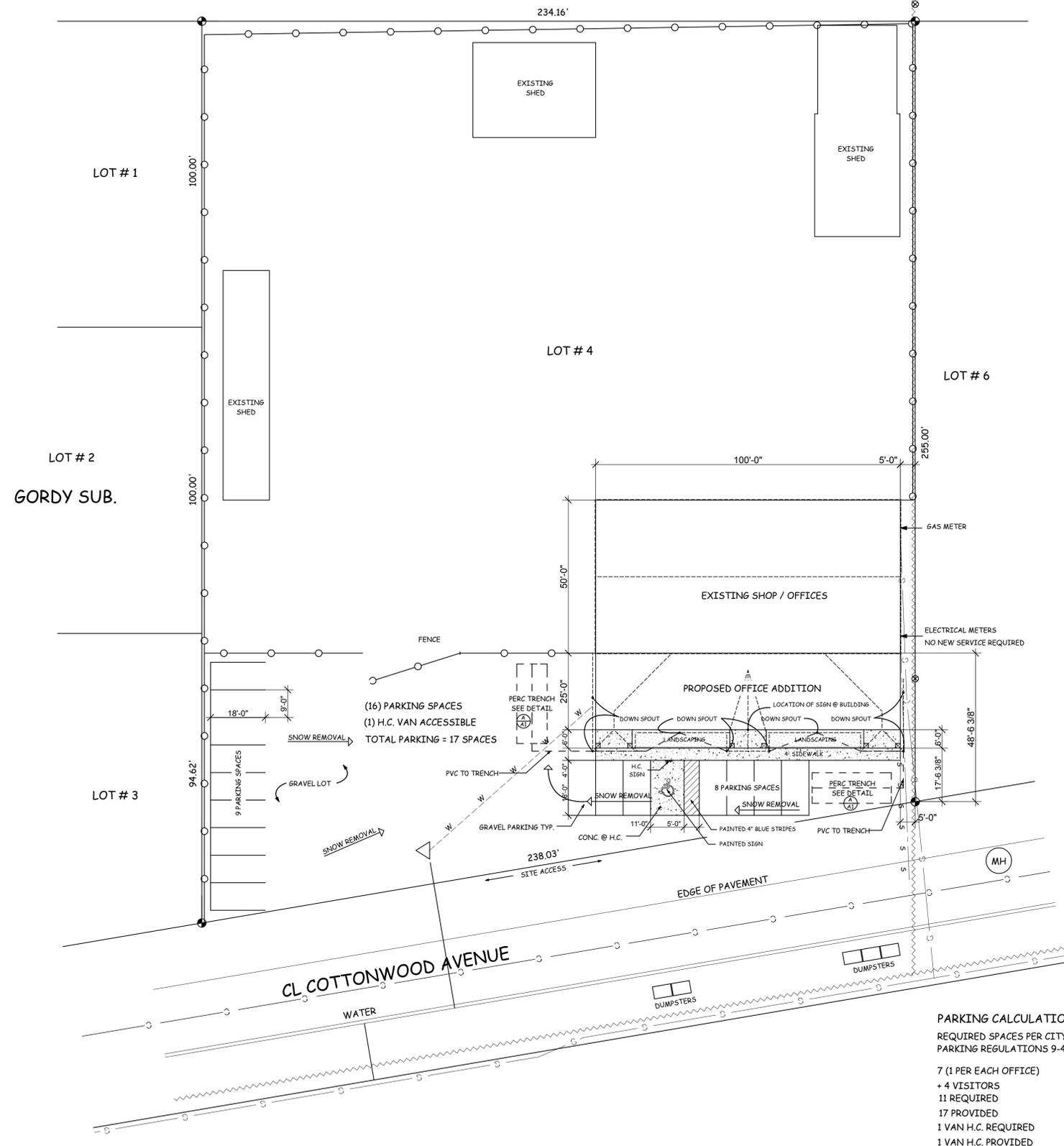
ATTACHED:

- DRAINAGE CALCULATIONS
- SIGNAGE CALCULATIONS
- LANDSCAPING
- EXTERIOR LIGHTING

VICINITY MAP
N.T.S.



PROJECT LOCATION



PERC TRENCH DETAIL A
SCALE 1/4" = 1'-0"

LEGEND

- EXISTING CHAIN LINK FENCE
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING CENTERLINE OF COTTONWOOD AVE.
- EXISTING OVERHEAD POWER
- EXISTING GAS
- EXISTING SANITARY SEWER
- EXISTING TREATED WATER
- EXISTING POWER POLE
- EXISTING WATER WELL
- SANITARY SEWER MANHOLE

PARKING CALCULATIONS:
REQUIRED SPACES PER CITY OF CODY
PARKING REGULATIONS 9-4-3
7 (1 PER EACH OFFICE)
+ 4 VISITORS
11 REQUIRED
17 PROVIDED
1 VAN H.C. REQUIRED
1 VAN H.C. PROVIDED

SITE PLAN
SCALE 1" = 20'



SITE PLAN

Basin Mechanical Inc.
3429 Cottonwood Ave. P.O. Box 606
Cody Wyoming 82414 307-527-6413
Gordon Allison



SUSAN HOVDE - Architect
P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



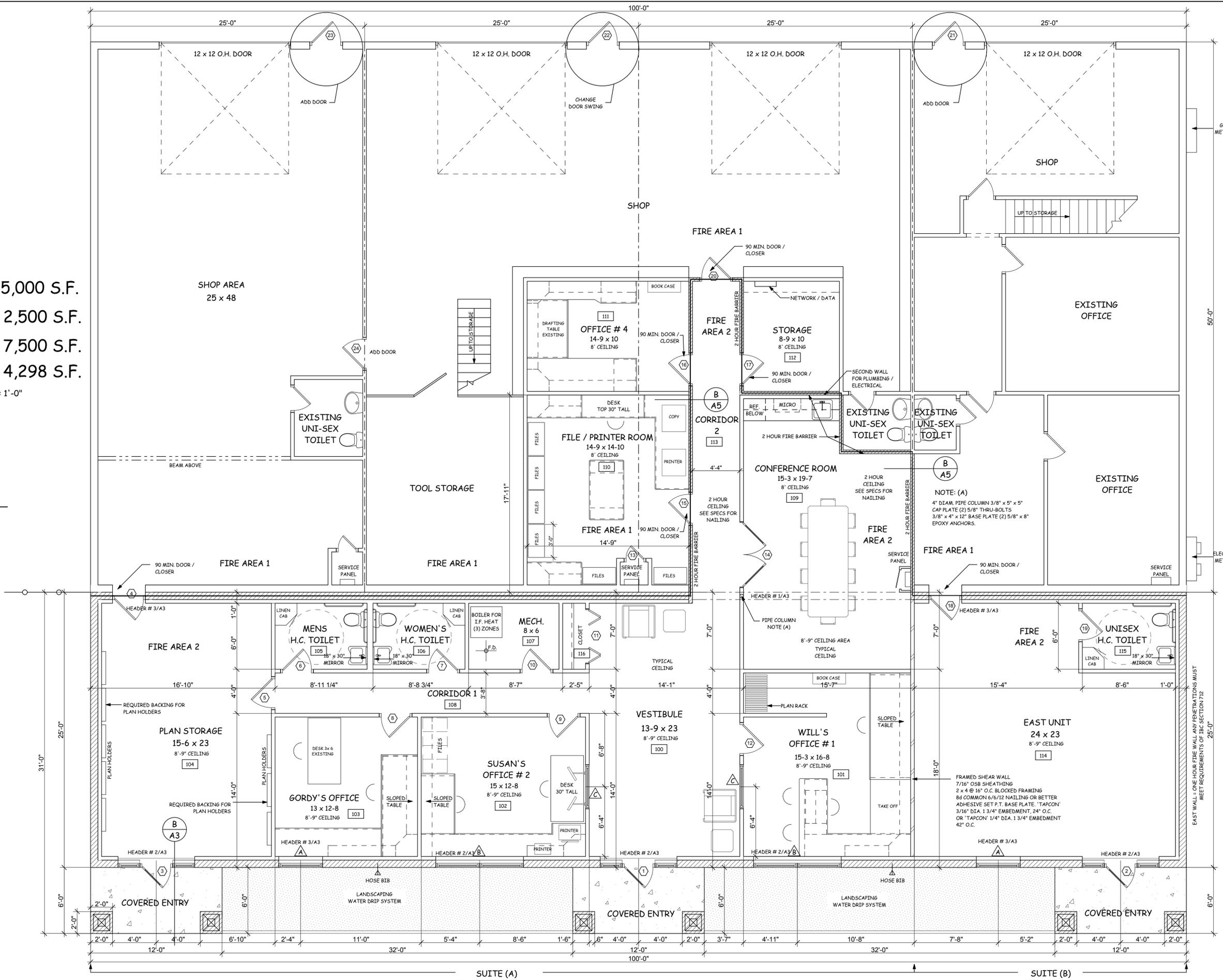
Precision Plan and Design Inc.
Custom Plan Service
930 12th Street
Cody Wy, 82414
(307) 587-6227
Project # 735

DATE:
April 29, 2011

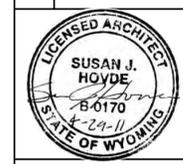
CHANGE ORDER #	DATE

A1
SHEET #

FLOOR PLAN = 5,000 S.F.
 ADDITION = 2,500 S.F.
 TOTAL = 7,500 S.F.
 TOTAL OFFICE = 4,298 S.F.
 SCALE 1/4" = 1'-0"



FLOOR PLAN
 Basin Mechanical Inc.
 3429 Cottonwood Ave. P.O. Box 606
 Cody Wyoming 82414 307-527-6413
 Gordon Allison



SUSAN HOVDE - Architect
 P.O. Box 1514
 Red Lodge MT, 59068
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Precision Plan and Design Inc.
 Custom Plan Service
 930 12th Street
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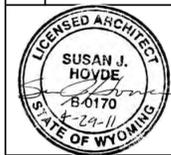
DATE:
 April 29, 2011

CHANGE ORDER	DATE:

A2
 SHEET #

ELEVATIONS

Basin Mechanical Inc.
3429 Cottonwood Ave. P.O. Box 606
Cody Wyoming 82414 307-527-6413
Gordon Allison



SUSAN HOVDE - Architect

P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.
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DATE:

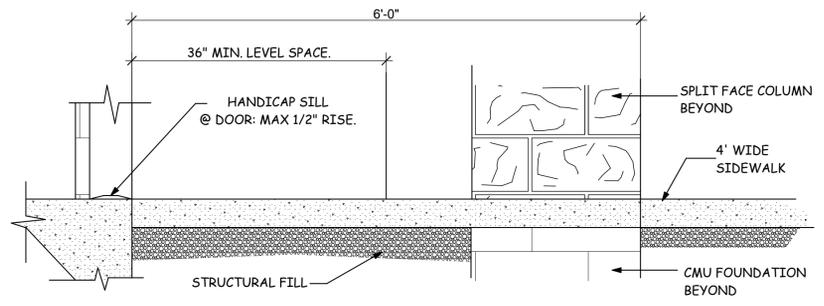
April 29, 2011

DATE:

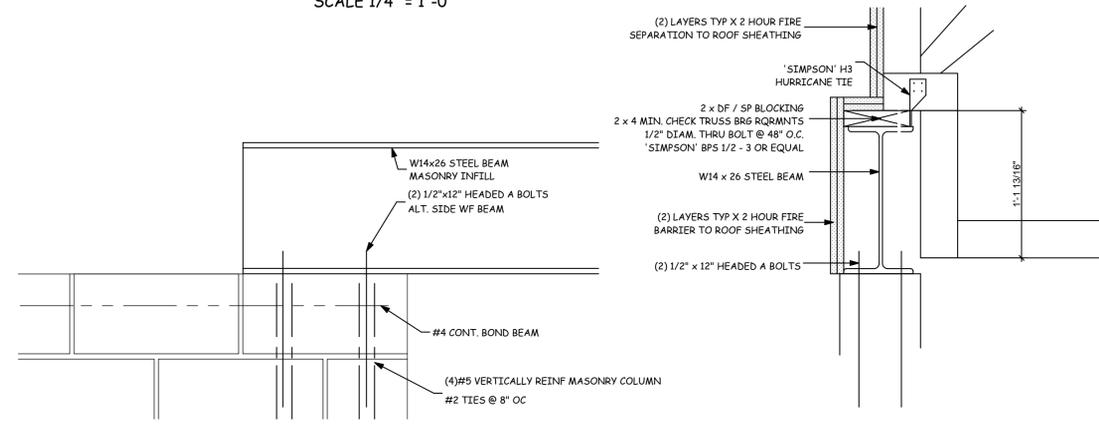
A3
SHEET #



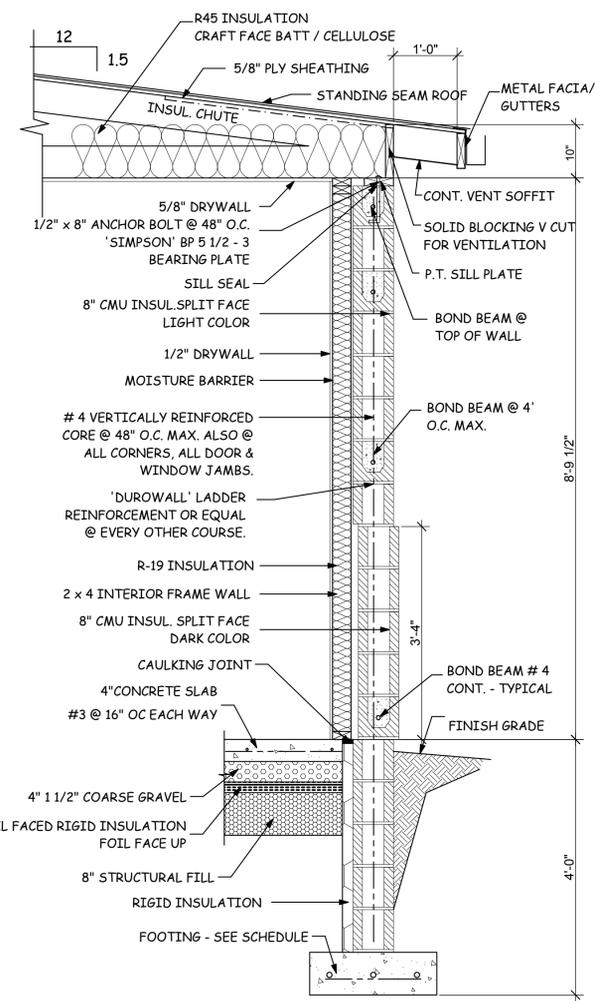
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



DETAIL B
SCALE 1" = 1'-0"



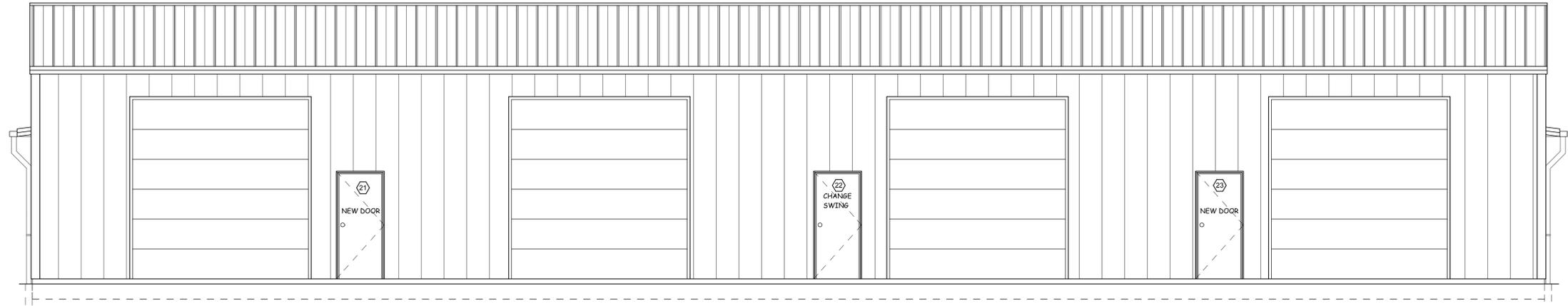
STEEL LINTEL HEADER # 1
SCALE 1 1/2" = 1'-0"



WALL SECTION
SCALE 3/4" = 1'-0"

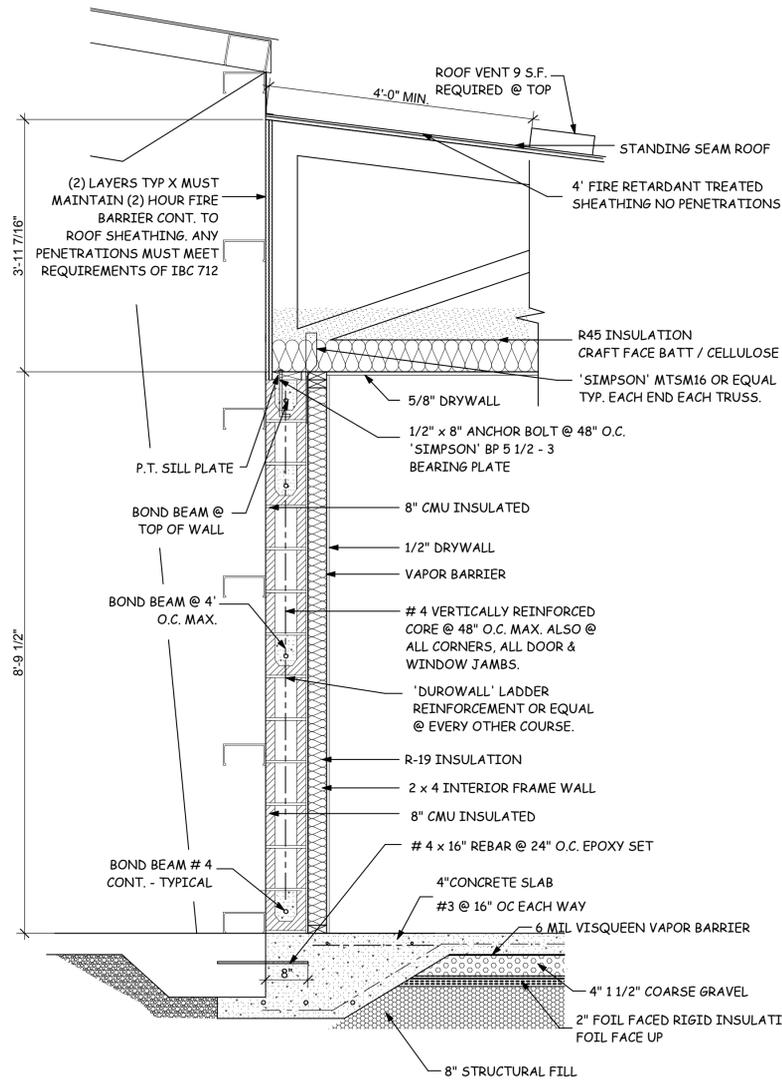


EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"



WALL SECTION

SCALE 3/4" = 1'-0"

D

A4

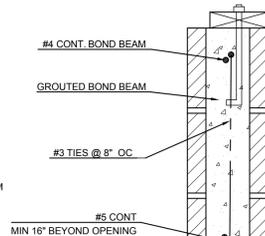
MIN 2,000 psi GROUT
PROVIDE FULL PERIMETER CONT BOND BEAM
@ MID-HEIGHT AND TOP OF WALL
REINFORCE WITH #4 REBAR.
MIN 1,500 psi TYPE 'S' MORTAR
MIN 1,500 psi 8" CMU UNITS; NORMAL WT AGGR.
PROVIDE VERTICAL GROUT CELL @ 48" OC
W/ #4 REINFORCEMENT. TYPICAL @ ALL
DOOR AND WINDOW JAMBS & SILLS UNO.
'DUROWALL' OR EQUAL @ 16" OC TYPICAL

MASONRY REINFORCING STEEL: fy = 40 ksi MINIMUM

COMPLY WITH CURRENT IBC AND ALL
APPLICABLE CODES & STANDARDS.

CONCRETE:
4%-6% AIR ENTRAINMENT FOR ALL CONCRETE
EXPOSED TO FREEZING TEMPERATURES
MECHANICALLY VIBRATE ALL CONCRETE
DURING PLACEMENT
ALL GRADE 40 REBAR
COMPLY WITH ACI 318 & ALL APPLICABLE
LOCAL CODES & STANDARDS.

CONCRETE - SLABS:
MINIMUM 4 ksi 28 DAY YIELD STRENGTH
MIN 6 SACK / CY TYPE II CEMENT
SLUMP: 3" - 5"

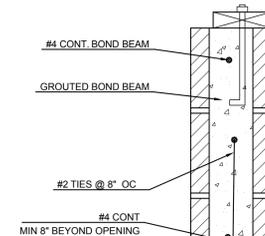


LINTEL HEADER # 2

SCALE 1" = 1'-0"

2

A3

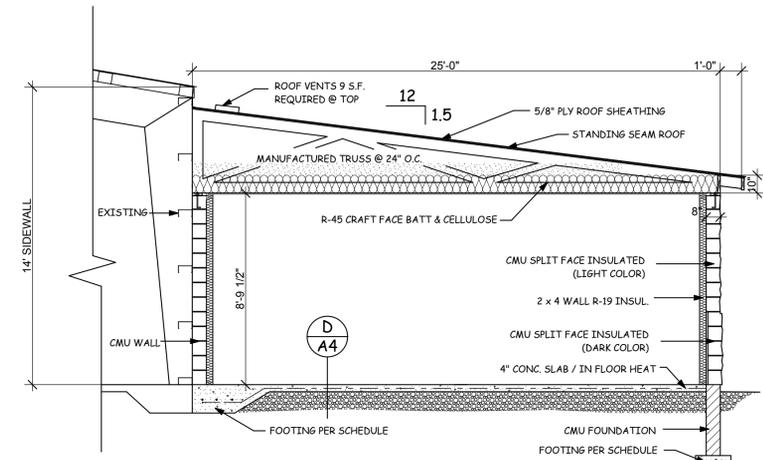


LINTEL HEADER # 3

SCALE 1 1/2" = 1'-0"

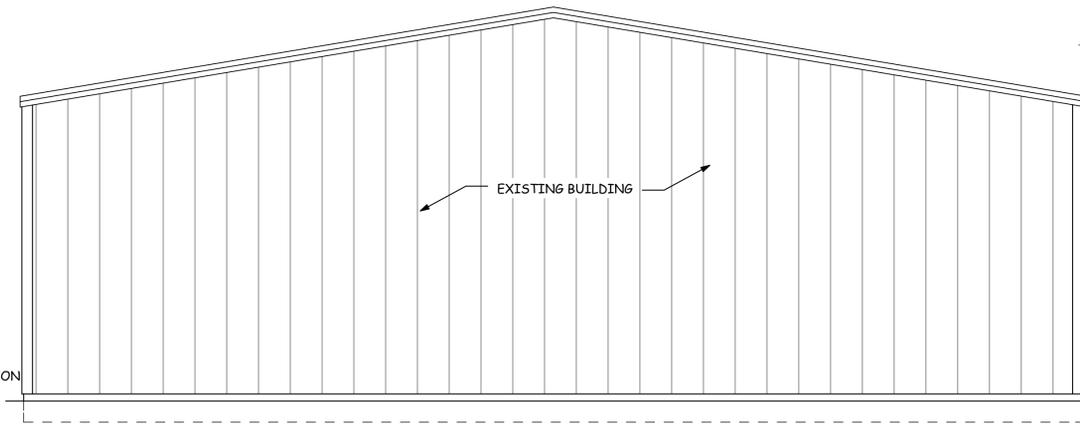
3

A3



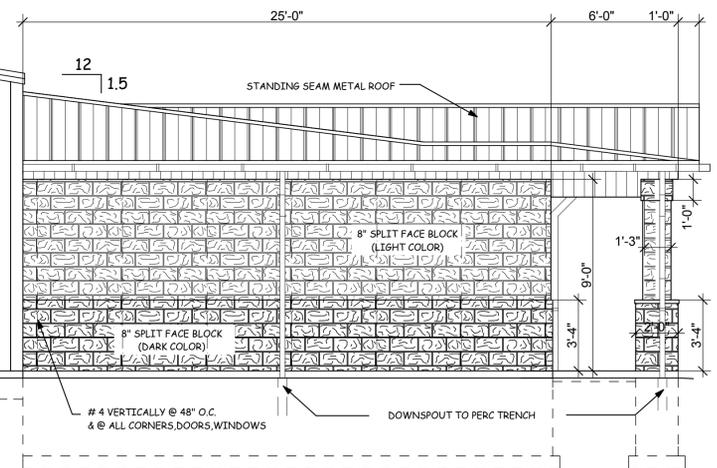
TYPICAL SECTION

SCALE 1/4" = 1'-0"



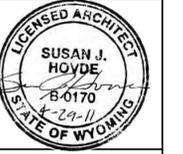
WEST ELEVATION

SCALE 1/4" = 1'-0"



ELEVATIONS

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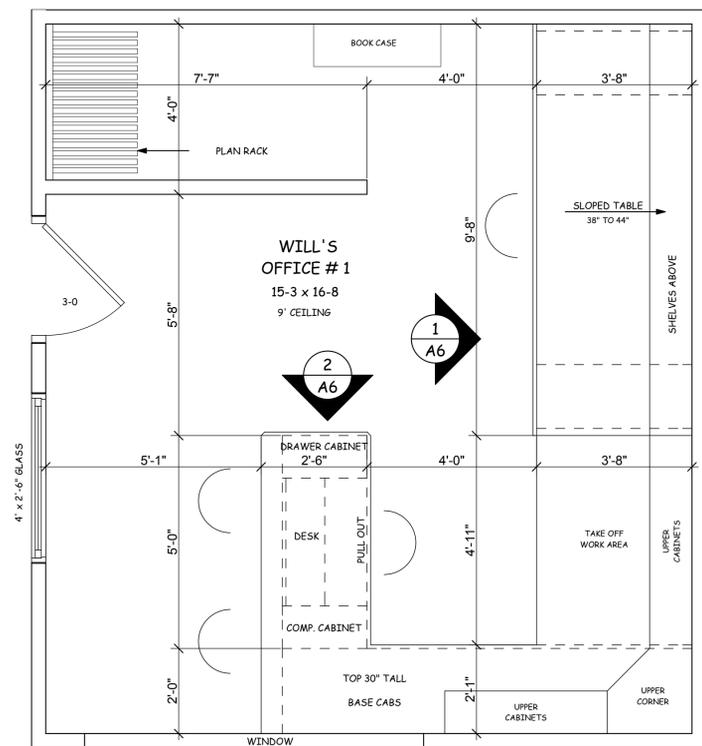


Precision Plan and Design Inc.
Custom Plan Service
930 12th Street
Cody Wy, 82414
(307) 587-6227
Project # 735

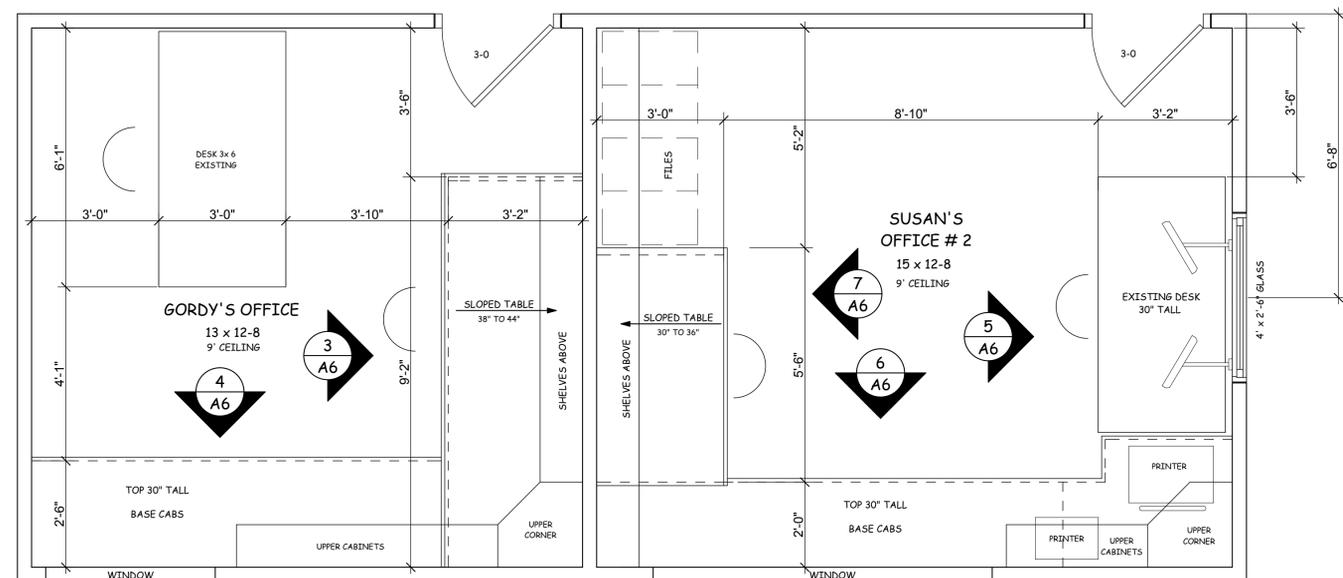
DATE:
April 29, 2011

CHANGE ORDER	DATE:

A4
SHEET #

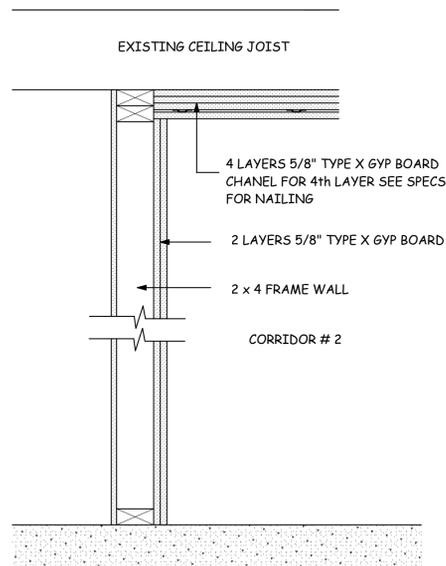


CABINET LAYOUT 101
SCALE 1/2" = 1'-0"



CABINET LAYOUT 103
SCALE 1/2" = 1'-0"

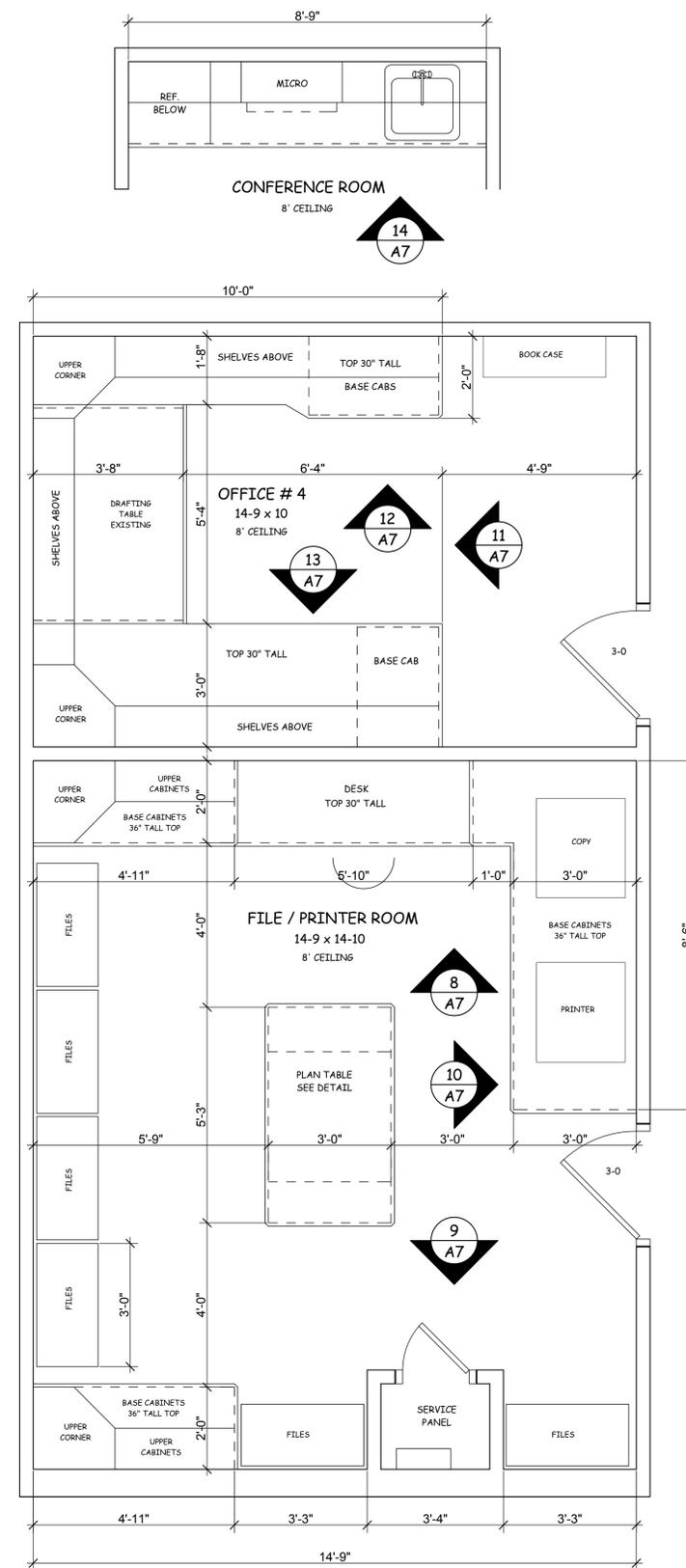
CABINET LAYOUT 102
SCALE 1/2" = 1'-0"



2 HOUR FIRE BARRIER

SCALE 1 1/2" = 1'-0"

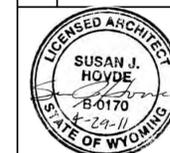
B
A5



CABINET LAYOUT 110 & 111
SCALE 1/2" = 1'-0"

CABINET PLANS

Basin Mechanical Inc.
3429 Cottonwood Ave. P.O. Box 606
Cody Wyoming 82414 307-527-6413
Gordon Allison



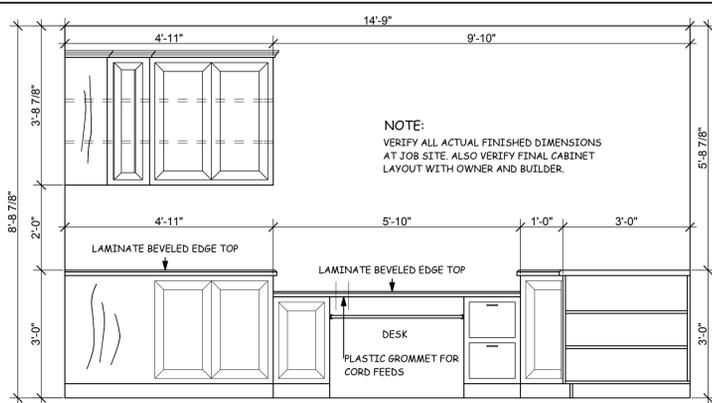
SUSAN HOVDE - Architect
P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160

Precision Plan and Design Inc.
Custom Plan Service
930 12th Street
Cody Wy, 82414
(307) 587-6227
Project # 735

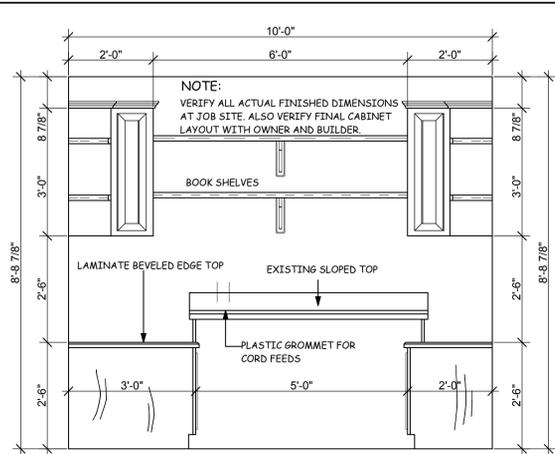
DATE:
April 29, 2011

CHANGE ORDER #	DATE

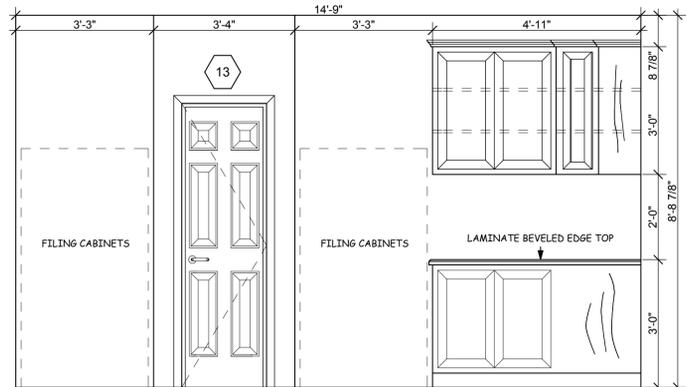
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SHEET #



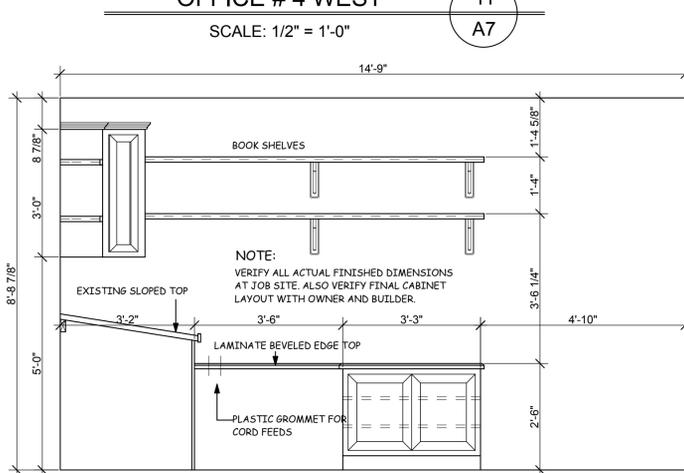
PRINT RM. NORTH
SCALE: 1/2" = 1'-0"
8
A7



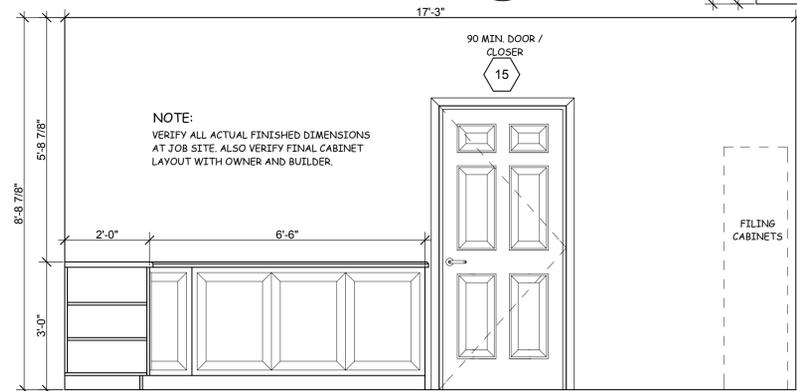
OFFICE # 4 WEST
SCALE: 1/2" = 1'-0"
11
A7



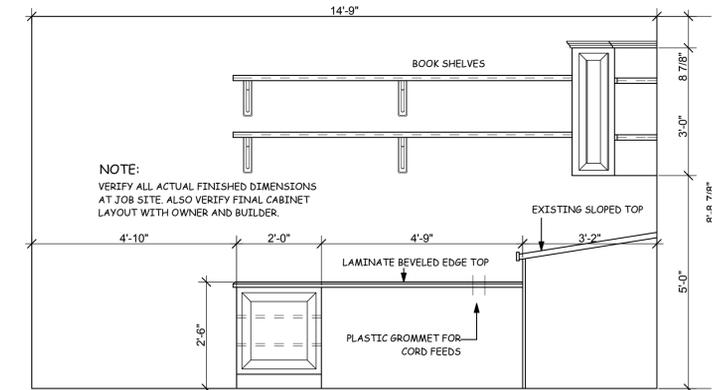
PRINT RM. SOUTH
SCALE: 1/2" = 1'-0"
9
A7



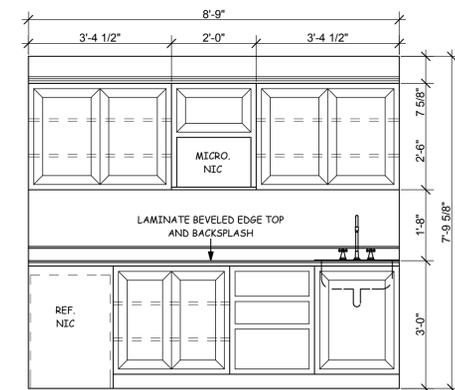
OFFICE # 4 NORTH
SCALE: 1/2" = 1'-0"
12
A7



PRINT RM. EAST
SCALE: 1/2" = 1'-0"
10
A7



OFFICE # 4 SOUTH
SCALE: 1/2" = 1'-0"
13
A7



CONFERENCE NORTH
SCALE: 1/2" = 1'-0"
14
A7

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CASING	CEILING HEIGHT	REMARKS
				NORTH	EAST	SOUTH	WEST				
100	VESTIBULE	2	3	1	1	1	1	1	1	8'-0"	
101	WILL'S OFFICE	1	3	1	1	1	1	1	1	8'-0"	
102	SUSAN'S OFFICE	1	3	1	1	1	1	1	1	8'-0"	
103	GORDY'S OFFICE	1	3	1	1	1	1	1	1	8'-0"	
104	PLAN STORAGE	1	3	1	1	1	1	1	1	8'-0"	
105	MENS	4	1	2	2	2	2	2	1	8'-0"	
106	WOMEN'S	4	1	2	2	2	2	2	1	8'-0"	
107	MECHANICAL	3	2	3	3	3	3	3	3	8'-0"	
108	CORRIDOR 1	1	3	1	1	1	1	1	1	8'-0"	
109	CONFERENCE ROOM	1	3	1	1	1	1	1	1	8'-0" / 8'-9"	
110	PRINTER ROOM	1	3	1	1	1	1	1	1	8'-0"	
111	OFFICE # 4	1	3	1	1	1	1	1	1	8'-0"	
112	STORAGE	1	3	1	1	1	1	1	1	8'-0"	
113	CORRIDOR 2	1	3	1	1	1	1	1	1	8'-0"	
114	EAST UNIT	1	3	1	1	1	1	1	1	8'-0"	
115	UNISEX TOILET	4	1	2	2	2	2	2	1	8'-0"	
116	CLOSET	1	3	1	1	1	1	1	1	8'-0"	

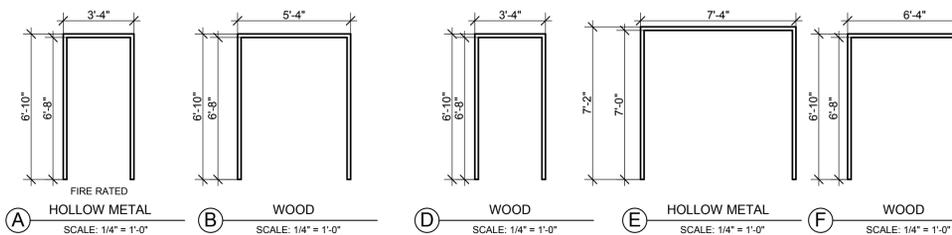
DOOR SCHEDULE

DOOR NUMBER	ROOM	SIZE	TYPE	FINISH	GLASS TYPE	FRAME			H'DWARE GROUP	REMARKS
						MATERIAL	TYPE	FINISH		
1	VESTIBULE	7-0 x 7-0	A	PREFINISHED	TEMPERED	ALUMINUM	E	PREFINISHED	1	EXTERIOR FULL LITE COMMERCIAL
2	EAST UNIT	7-0 x 7-0	A	PREFINISHED	TEMPERED	ALUMINUM	E	PREFINISHED	1	EXTERIOR FULL LITE COMMERCIAL
3	PLAN STORAGE	7-0 x 7-0	A	PREFINISHED	TEMPERED	ALUMINUM	E	PREFINISHED	1	EXTERIOR FULL LITE COMMERCIAL
4	PLAN STORAGE	3-0 x 6-8	E	STAINED	NONE	H.M.	A	PREFINISHED	2	90 MIN. / CLOSER
5	HALL # 1	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	4	
6	MENS	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	3	
7	WOMEN'S	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	3	
8	GORDY'S OFFICE	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	3	
9	SUSAN'S OFFICE	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	3	
10	MECHANICAL RM.	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	4	
11	CLOSET	5-0 x 6-8	D	STAINED	NONE	WOOD	B	STAINED	4	
12	WILL'S OFFICE	3-0 x 7-0	B	STAINED	NONE	WOOD	D	STAINED	3	
13	PRINTER ROOM	2-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	4	
14	CONFERENCE RM.	6-0 x 6-8	F	STAINED	TEMPERED	WOOD	F	STAINED	4	
15	PRINTER ROOM	3-0 x 6-8	C	PREFINISHED	NONE	H.M.	A	PREFINISHED	3	90 MIN. / CLOSER
16	OFFICE # 4	3-0 x 6-8	C	PREFINISHED	NONE	H.M.	A	PREFINISHED	3	90 MIN. / CLOSER
17	STORAGE	3-0 x 6-8	C	PREFINISHED	NONE	H.M.	A	PREFINISHED	3	90 MIN. / CLOSER
18	EAST UNIT	3-0 x 6-8	C	PREFINISHED	NONE	H.M.	A	PREFINISHED	2	90 MIN. / CLOSER
19	UNISEX TOILET	3-0 x 6-8	B	STAINED	NONE	WOOD	D	STAINED	3	
20	HALL # 2	3-0 x 6-8	C	PREFINISHED	NONE	H.M.	A	PREFINISHED	3	OUT SWING 90 MIN. / CLOSER
21	EAST UNIT SHOP	3-0 x 6-8	E	PREFINISHED	NONE	H.M.	A	PREFINISHED	2	OUT SWING
22	CENTER UNIT SHOP	3-0 x 6-8	E	PREFINISHED	NONE	H.M.	A	PREFINISHED	2	OUT SWING
23	WEST UNIT SHOP	3-0 x 6-8	E	PREFINISHED	NONE	H.M.	A	PREFINISHED	2	OUT SWING
24	CENTER UNIT SHOP	3-0 x 6-8	E	PREFINISHED	NONE	H.M.	A	PREFINISHED	3	

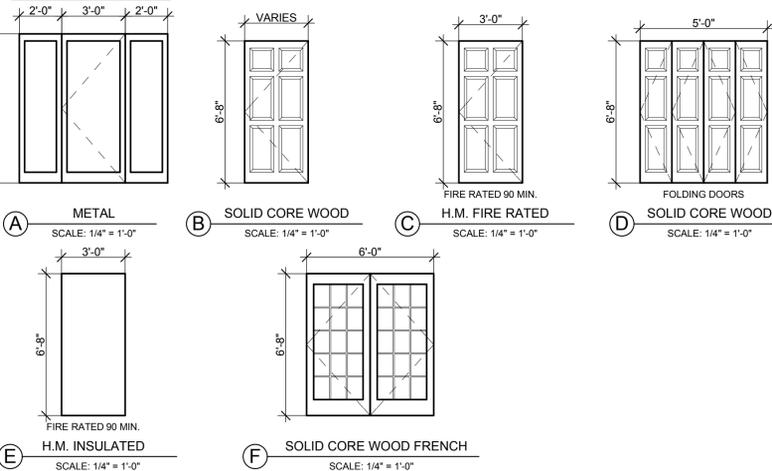
WINDOW SCHEDULE

WINDOW MARK	QTY.	SIZE	R.O.	TYPE	FINISH	GLASS TYPE	FRAME			REMARKS
							MATERIAL	TYPE	FINISH	
A	2	4' x 4'		STATIONARY		INSULATED	ALUMINUM		PREFINISHED	TINTED (VERIFY COLOR WITH OWNER)
B	2	8' x 4'		STATIONARY		INSULATED	ALUMINUM		PREFINISHED	TINTED (VERIFY COLOR WITH OWNER)
C	2	4' x 2'-6"		STATIONARY		1/4" GLASS	WOOD		STAINED	

DOOR FRAME TYPES



DOOR TYPES



INTERIOR FINISH LEGEND

FLOORS
1. COMMERCIAL GRADE CARPET
2. STAINED AND SEALED CONCRETE
3.
4. VINYL TILE
WALLS
1. GYP. BOARD ORANGE PEEL - PAINTED LATEX
2. WATER PROOF GYP. BOARD SMOOTH FINISH PAINTED
3. GYP. BOARD UNPAINTED
CEILING
1. GYPSUM BOARD PAINTED LATEX
2. GYPSUM BOARD UNPAINTED
3. WATER PROOF GYP. BOARD SMOOTH FINISH PAINTED
BASE
1. 6" VINYL COVE BASE
2. NONE
3. 4" COLONIAL OAK OVER BASE STAINED AND SEALED
CASING
1. 2 1/4" COLONIAL OAK OVER STAINED AND SEALED
H'DWARE GROUP:
(1) COMMERCIAL KEYS SAME AS (2)
(2) ANTIQUE BRONZE / DEAD BOLT KEYS SAME AS (1)
(3) ANTIQUE BRONZE PRIVACY LEVER HANDLE
(4) ANTIQUE BRONZE PASSAGE LEVER HANDLE
NOTES:
ALL STAIN COLOR TO BE LIBRARY OAK FOR: CASING, BASE, CABINETRY, DOORS
ALL CASING AND BASE TO BE OAK OVER STAINED AND SEALED
ALL INTERIOR DOOR UNLESS MARKED OTHERWISE TO BE SOLID CORE OAK, STAINED AND SEALED

SCHEDULES

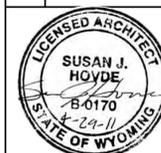
Basin Mechanical Inc.

3429 Cottonwood Ave. P.O. Box 606

Cody Wyoming 82414

Gordon Allison

307-527-6413



SUSAN HOVDE - Architect

P.O. Box 1514
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Precision Plan and Design Inc.

Custom Plan Service
930 12th Street
Cody WY, 82414
(307) 587-6227
Project # 735

DATE:

April 29, 2011

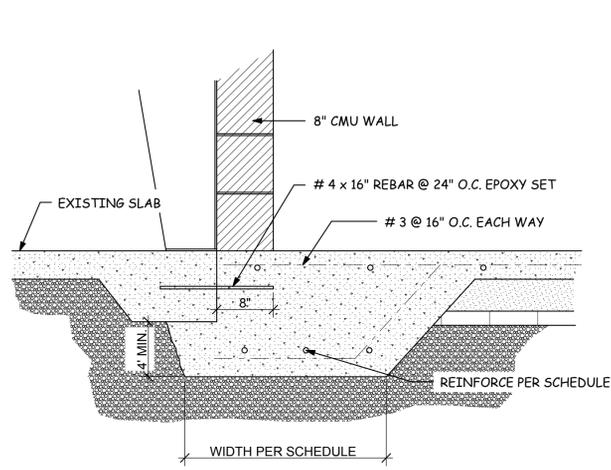
DATE:

DATE:

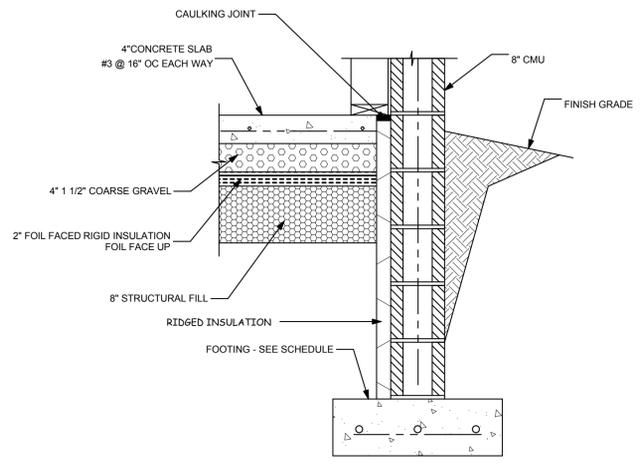
CHANGE ORDER

#

A7
SHEET #



FOOTING @ INTERIOR E
S1
SCALE 1" = 1'-0"



FOOTING @ EXTERIOR F
S1
SCALE 1" = 1'-0"

FOOTING SCHEDULE:		
SYMBOL	SIZE	REINFORCING
CF1	18" W x 12"	3 # 4 CONT.
CF2	24" W x 12"	3 # 4 CONT.
CF3	30" W x 36" x 12"	# 4 @ 10" O.C. E.W.
CF4	36" W x 56" L x 16"	# 4 @ 10" O.C. E.W.
CF5	24" W x 24" L x 12"	3 # 4 E.W.
CF6	18" W x 8"	3 # 4 CONT.
CF7	24" W x 8"	3 # 4 CONT.

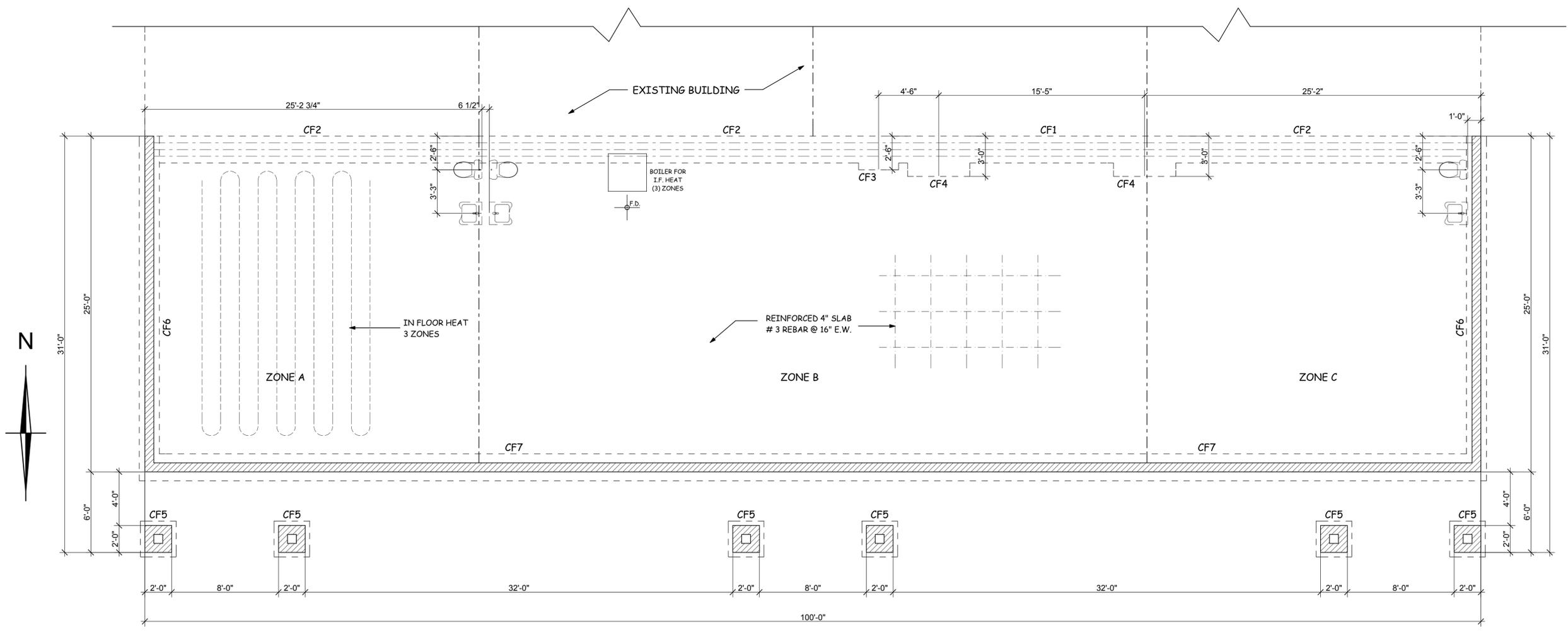
CONCRETE:
4%-6% AIR ENTRAINMENT FOR ALL CONCRETE EXPOSED TO FREEZING TEMPERATURES
MECHANICALLY VIBRATE ALL CONCRETE DURING PLACEMENT ALL GRADE 40 REBAR COMPLY WITH ACI 318 AND ALL APPLICABLE LOCAL CODES AND STANDARDS.

CONCRETE - FOOTINGS AND FOUNDATIONS:
MINIMUM 3 ksi 28 DAY YIELD STRENGTH
MIN. 5 1/2 SACK / CY TYPE II CEMENT
SLUMP: 3" - 5"

CONCRETE - SLABS:
MINIMUM 4 ksi 28 DAY YIELD STRENGTH
MIN 6 SACK / CY TYPE II CEMENT
SLUMP: 3" - 5"

CF5 - ALTERNATE
'BIGFOOT' BF 28 12" DIA. x 48"
'SONO TUBE' PIER (4) # 4 VERT.
REINFORCEMENT # 3 TIES @ 8" O.C.

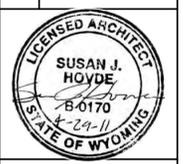
- NO VERIFICATION OR INSPECTION HAS BEEN MADE REGARDING ACTUAL SOIL BEARING CAPACITIES OR GROUND WATER CONDITIONS AT THE BUILDING SITE. MIN. ALLOWABLE SOIL BEARING PRESUMED OF 2000 psf.
- ALL CONCRETE TO BEAR ON FIRM, NATURAL, UNDISTURBED, AND / OR COMPACTED SOIL.
- FOOTINGS TO MEET LOCAL FROST LINE DEPTH REQUIREMENTS. SIZE PER SCHEDULE.
- CHECK WITH PLUMBING CONTR. FOR BLOCK OUTS
CHECK WITH ELETRICAL CONTR. FOR BLOCK OUTS
- ALL FOUNDATION WALLS TO HAVE VERT. / HOR. REINFORCEMENT TO MEET CODE.
- ALL DECK & PORCH FOOTINGS PER SCHEDULE.
- SLOPE GRADE AWAY FROM THE FOUNDATION WALL TO FALL A MIN. 6" WITHIN THE FIRST 10 FEET.



FOUNDATION PLAN
SCALE 1/4" = 1'-0"

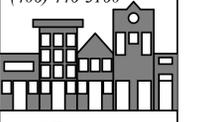
FOUNDATION

Basin Mechanical Inc.
 3429 Cottonwood Ave. P.O. Box 606
 Cody Wyoming 82414 307-527-6413
 Gordon Allison



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P.O. Box 1514
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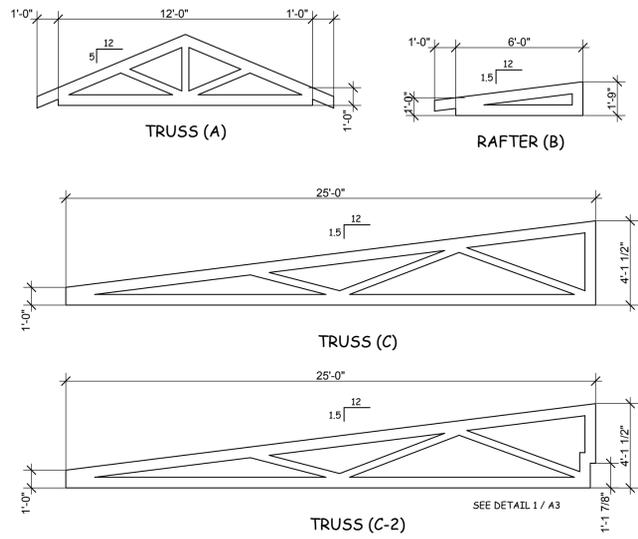


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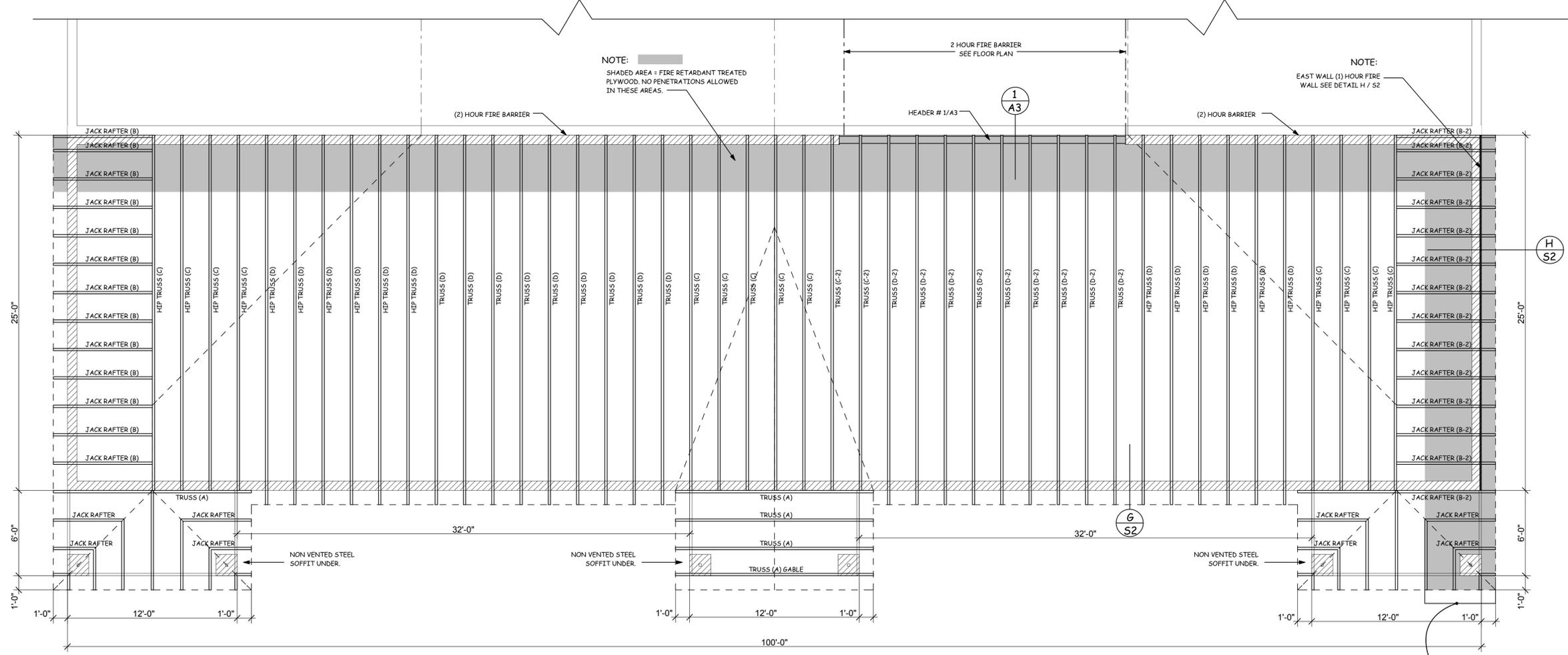
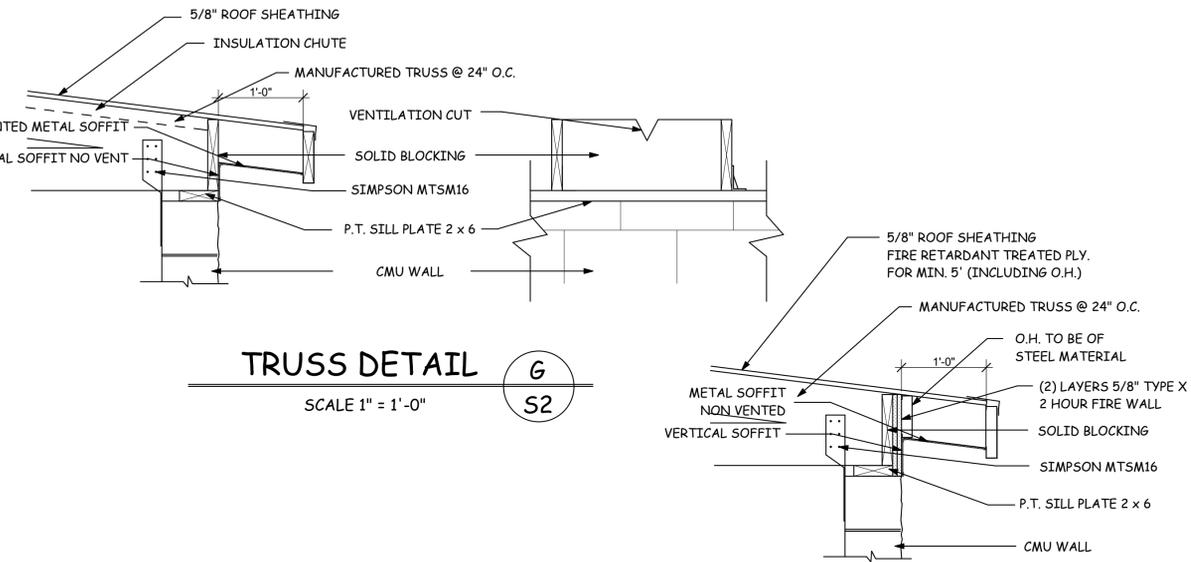
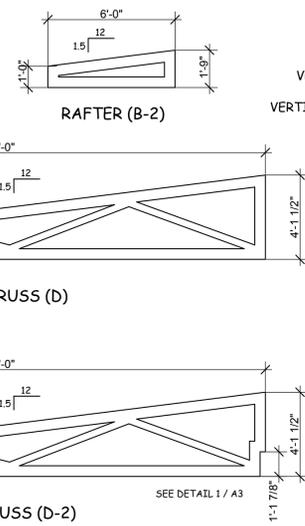
DATE:
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#	CHANGE ORDER	DATE:	

S1
SHEET #



DESIGN LOADS:
 WIND: BASIC WIND SPEED = 90 mph, EXP. 'C'
 ROOF SNOW LOAD = 40 psf NO REDUCTIONS
 SEISMIC SITE CLASSIFICATION 'D'
 CONTRACTOR SHALL VERIFY QUANTITY AND SPAN.



ROOF FRAMING
 SCALE 1/4" = 1'-0"

ROOF FRAMING
 Basin Mechanical Inc.
 3429 Cottonwood Ave. P.O. Box 606
 Cody Wyoming 82414 307-527-6413
 Gordon Allison



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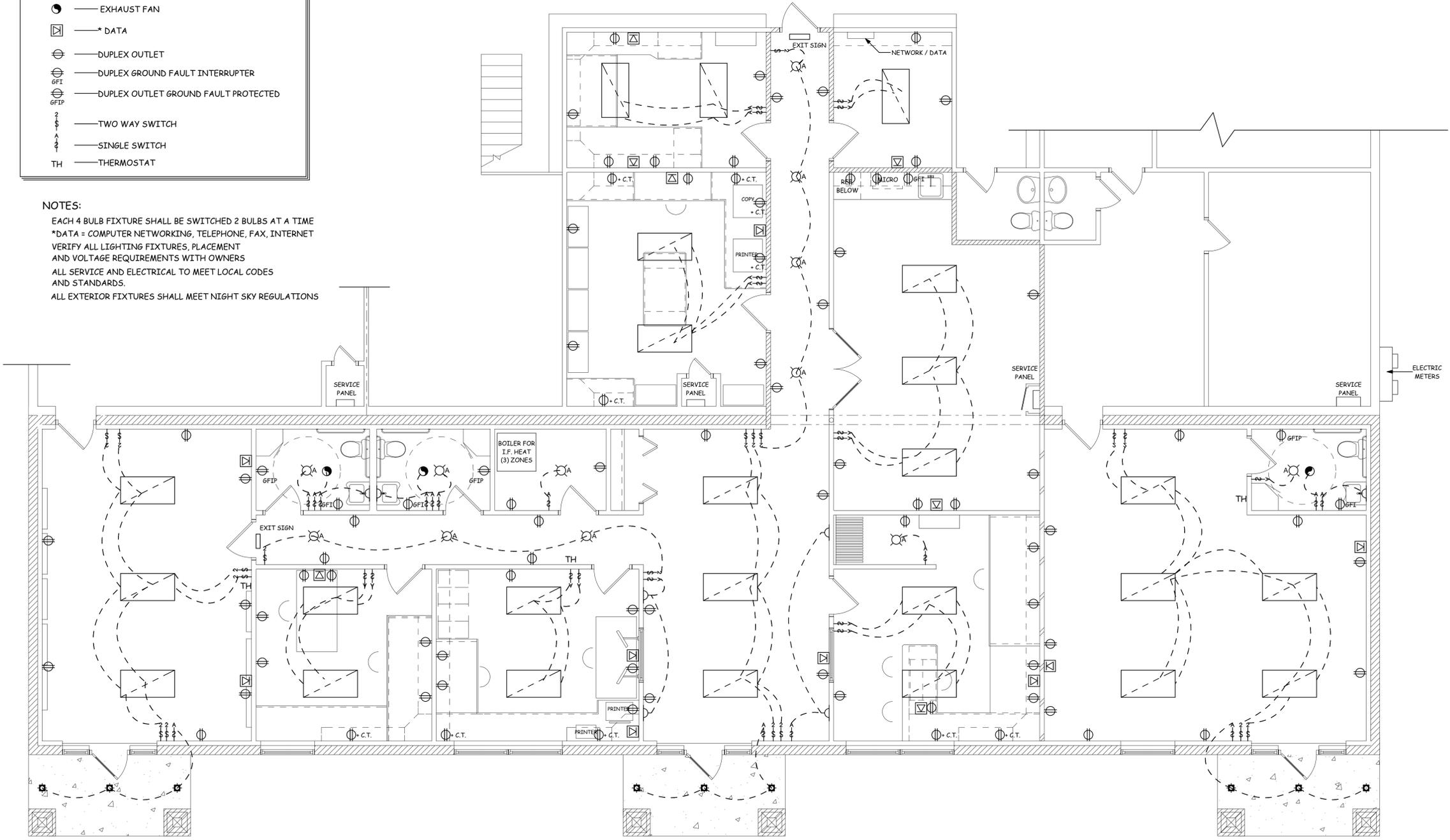
DATE:
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CHANGE ORDER	DATE

S2
 SHEET #

ELECTRICAL SCHEDULE	
	FLUORESCENT LIGHTING 4 BULB SWITCHED 2 EA.
	WALL SCONCE
	CEILING FIXTURE
	EXT. RECESSED CAN LIGHT
	EXHAUST FAN
	DATA
	DUPLEX OUTLET
	DUPLEX GROUND FAULT INTERRUPTER
	DUPLEX OUTLET GROUND FAULT PROTECTED
	TWO WAY SWITCH
	SINGLE SWITCH
	THERMOSTAT

NOTES:
 EACH 4 BULB FIXTURE SHALL BE SWITCHED 2 BULBS AT A TIME
 *DATA = COMPUTER NETWORKING, TELEPHONE, FAX, INTERNET
 VERIFY ALL LIGHTING FIXTURES, PLACEMENT AND VOLTAGE REQUIREMENTS WITH OWNERS
 ALL SERVICE AND ELECTRICAL TO MEET LOCAL CODES AND STANDARDS.
 ALL EXTERIOR FIXTURES SHALL MEET NIGHT SKY REGULATIONS

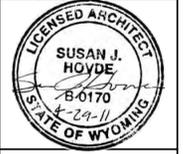


ELECTRICAL PLAN

SCALE 1/4" = 1'-0"



ELECTRICAL
Basin Mechanical Inc.
 3429 Cottonwood Ave. P.O. Box 606
 Cody Wyoming 82414 307-527-6413
 Gordon Allison



SUSAN HOVDE - Architect
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 Red Lodge MT, 59068
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 Custom Plan Service
 930 12th Street
 Cody Wy, 82414
 (307) 587-6227
 Project # 735

DATE:
 April 29, 2011

CHANGE ORDER	DATE
#	

E1
 SHEET #



**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: SPR 11-22
P&Z Invoice: 197-7

Applicant's Name: T.L. QUICK CONSTRUCTION, LLC
 Applicant's Address: 301-17th STREET City: CODY State: WY Zip: 82414
 Phone: 527-5539 Cell: 272-9763 Fax: 527-7828 Email: traphy@quickconstruction.net
 Property Owner's Name: STEVE ARCHIE
 Property Owner's Address: 1111 E MISSION RD City: FALL BROOK State: CA Zip: 92028
 Project Address: 1361 SHERIDAN AVE
 Legal Description: LOT 27 BLOCK 9 ORIGINAL TOWN AND CITY OF CODY Zone: APPLICABLE WY
 Linear Foot of Lot Frontage: _____ X 1.5 = _____ = Total Allowable Signage
 Current Area of Signage in Square Feet: _____ Proposed Area of Signage in Square Feet: _____
 Overall Area of Signage in Square Feet: _____
 f. Description of Proposal and Proposed Use of Project: WY RIB + CHOP ~~DOOR~~ EXPANDING INTO ART GALLERY SPACE.
FIRE CODE REQUIRES OUTSWING DOOR @ 1361 - SO CHANGE DOOR TO COLOR MATCH OF WY RIB + CHOP DOOR
 Estimated Construction Start Date: MAY 30, 2011
 Representative Attending P&Z Meeting: KEVIN LEHMAN IF NEEDED

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.
Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.
Please see submittal Date and Fee schedule Included in this document.

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

- 1. Please include all of the following Architectural components:**
- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
 - Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
 - Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
 - Identify fencing on site (location, height, materials).
 - Identify the site access points with dimensions.
 - Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
 - Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.
- 2. Please include all of the following Utility components:**
- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
 - Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
 - Identify all locations of trash/dumpster and any proposed screening.
 - Identify the location for snow removal.

Kilian Gallery

Wildlife & Western Art

WYOMING'S RIB & CHOP HOUSE

◇ **WYOMING'S RIB & CHOP HOUSE** ◇

◇ **WY** ◇ **STEAKS**

◇ **SEAFOOD** ◇ **WY** ◇ **COCKTAILS**





PLANNING, ZONING AND ADJUSTMENT BOARD
PLANNED UNIT DEVELOPMENT APPLICATION

Owner or Applicant's Name: Ed Higbie

Mailing Address: 1143 Sheridan Avenue Zip:

Phone: 307-587-5584 Cell: Fax: Email: ed@wavecom.net

Project Address: Blackburn Street Zone: D-3

Legal Description/ Assessor Parcel Number(s): Portion of Tract 40, Resurvey T.53N., R.101W.

Description of Proposal and Proposed Use of Project: Development of 15 light industrial/commercial lots

Estimated Construction Start Date: Fall 2011

Representative Attending P&Z Meeting: Ed Higbie, Jeremy Easum, Sage Civil Engineering

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.

Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.

Please see submittal Date and Fee schedule included in this document.

Please indicate which plat phase you are submitting.

A. The Conceptual Plat should include:

A description of the proposed PUD must be submitted and shall contain:

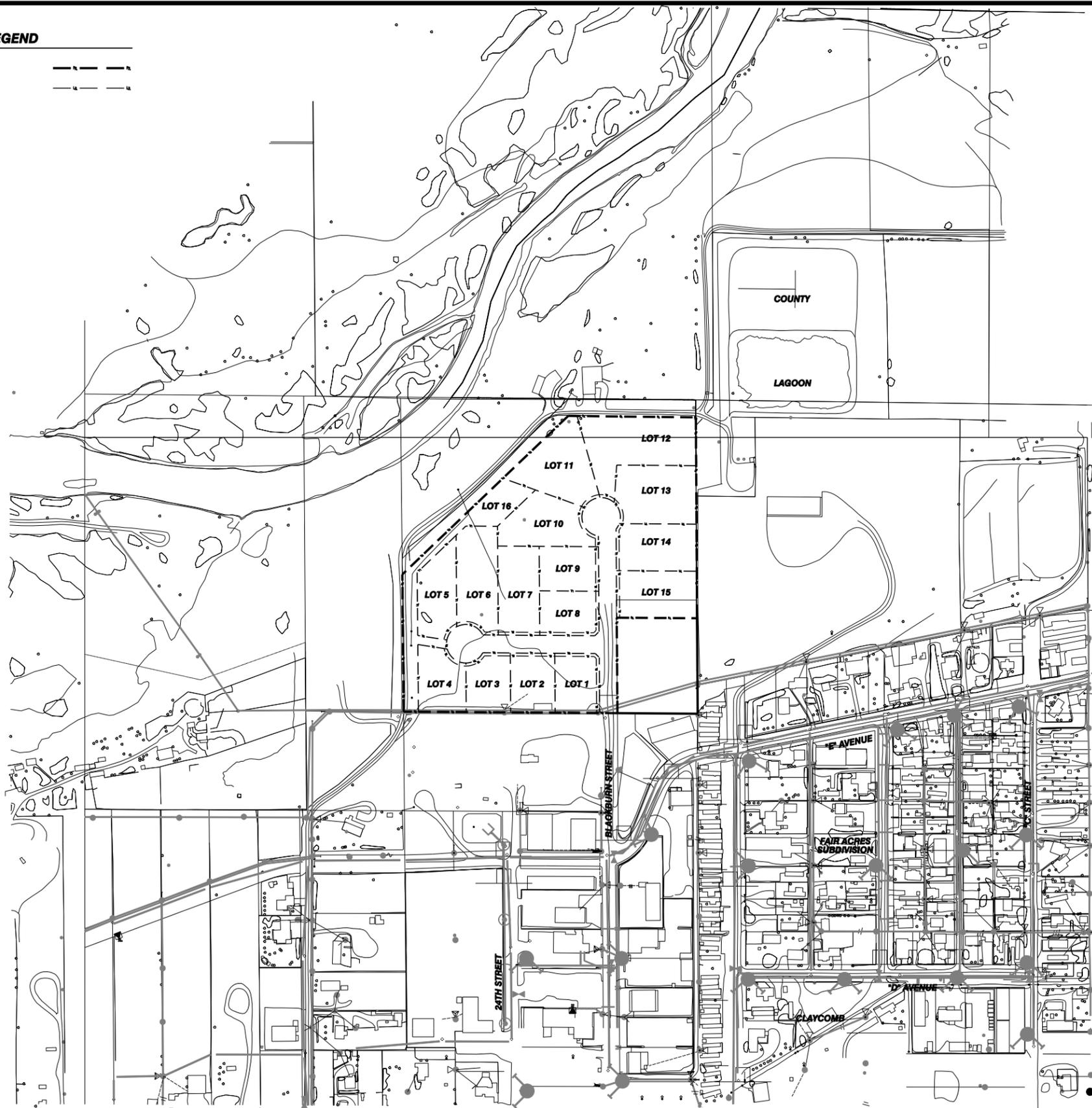
- Checked boxes for: A written explanation of the objectives to be achieved by the PUD; A written statement of the scope of the proposed development to include: Architectural theme; Uses of single-family and multi-family dwellings, townhouses, condominiums, commercial structures, and other proposed uses; Approximate size and number of lots; Availability of adequate or provision of adequate utilities, including raw water; Availability of adequate or provision of adequate new streets; Statement of compatibility of proposed PUD with adjacent land uses; A graphic Sketch plan describing the land uses to be permitted with each area; A common area landscaping concept graphically illustrating the location and character of common area, recreational amenities, pathways, and other proposed site improvements; A proposed phasing plan.

B. The Preliminary Plat should include: (Included with this phase is a Public Hearing)

- Unchecked boxes for: A list of abutting landowners of record and their addresses from the county assessor's office; A description of uses and activities proposed within each area, including the following: The type, sizes, and mixture of dwelling units; The acreage or square footage of each use, including parking, roadways, easements, rights-of-way, and recreational areas; The number of off-street parking spaces; Any other applicable restrictions such as building setbacks, structural height limits, access, grades, or widths of roads; The overall density for the entire PUD, as well as the ratio of common area in areas to be developed, stated on a percentage basis, including the number of square feet; A written statement by a registered professional engineer, which shall describe the following: The proposed method and arrangement for connection to the municipal water system, and the projected usage and needs.

LEGEND

SUBDIVISION BOUNDARY ———
PROPOSED LOT LINES - - - -



<p>ENGINEER Sage CIVIL ENGINEERING 2824 BIG HORN AVENUE CODY, WY 82414 PHONE: (307) 527-0915 FAX: (307) 527-0916 sca@sagecivilengineering.com</p>	<p>CONCEPTUAL PLAT/AREA MAP BLACKBURN P.U.D. DEVELOPER: ED HIGBIE 1143 SHERIDAN AVE. CODY, WY 82414 Portion of TRACT 40 Resurvey T.53N., R.101W. 6th P.M. City of Cody, Park County, Wyoming</p>
	<p>APRIL 25, 2011</p>

11-7-9: PUD APPLICATION AND REVIEW PROCEDURES

1. Blackburn PUD is a proposed light industrial and/or commercial subdivision located on the north end of Blackburn Street. The subdivision is intended to provide large commercial and light industrial lots at a reasonable price to the consumer.
2.
 - a) There are no restrictions on building architecture. This allows for flexibility in building size and appearance.
 - b) The subdivision is located in Zone "D-3" for light industrial and commercial lots. The proposed use for this subdivision is for light industry and commercial businesses.
 - c) The proposed subdivision will have 15 lots ranging in size from 0.66 Acres to 1.60 Acres. Lot 16 will be used for open space, access, and storm runoff. Lot 16 is 1.25 Acres.
 - d) There is existing treated water and sanitary sewer (pressure) located at the south end of the subdivision. The developer proposes that the city owns and operates both the proposed treated water and sanitary sewer systems.
 - e) Blackburn Street will be extended to the north to include this proposed PUD.
 - f) There is a large commercial building approximately 10,000 square feet located in the lot immediately to the east of the PUD. To the south of the PUD, there is a commercial lot for manufacturing log homes. Commercial buildings and storage buildings are located along Blackburn Street to Bighorn Avenue.
3. All lots in Blackburn PUD except for Lot 16 shall be for light industrial and commercial purposes (See Conceptual Plat for drawing details).
4. Lot 16 is proposed to be deeded to the city of Cody for right-of-way for West Rocky Road, existing city storm water trench, and proposed storm water percolation trench. The proposed percolation trench will have rock/cobble placed in it. No other improvements are proposed.
5. This PUD will be constructed in one phase.

Steve Payne

From: Gary Webb [gwebb@sagecivilengineering.com]
Sent: Tuesday, May 17, 2011 3:14 PM
To: spayne@cityofcody.com
Subject: Blackburn PUD Concept Plan
Attachments: Blackburn Concept.docx

Steve,

Thank you for your review of the conceptual plat of the Blackburn PUD. We have addressed you questions and the following are responses to those comments:

1. We would like to be on the P&Z agenda for May 24, 2011.
2. We have addressed these items in the attached word document.
3. Ed would like to put sidewalk on one side of the street since there is sidewalk on one side of the street on the rest of Blackburn. The Common Area was for the existing storm trench, West Rocky Road, and proposed storm water percolation trench. Proposed street width is 14.5 feet (please see Conceptual Plat Proposed Utilities & Streets sheet 3 of 3 for typical street section). Ed is proposing a pressure sanitary sewer and that it would be taken over by the city. The sanitary sewer will be in the city right-of-way, but placed outside of the street and sidewalk except that portion already installed up the hill. Ed would prefer that the cul-de-sacs be asphalt pavement.
4. We would like to set a public hearing for the Preliminary Plat at the Conceptual Plat hearing.

Please give me a call if you have any questions or concerns.

Gary Webb

Sage Civil Engineering

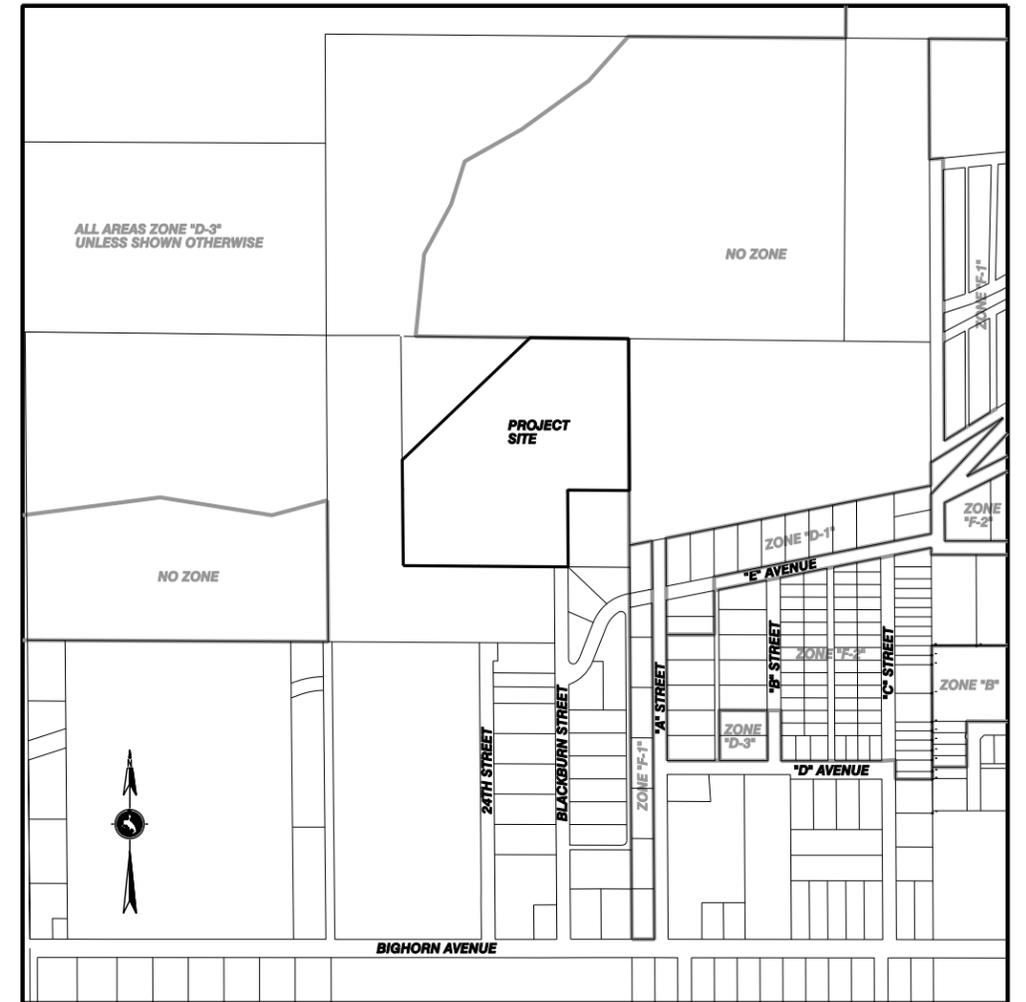
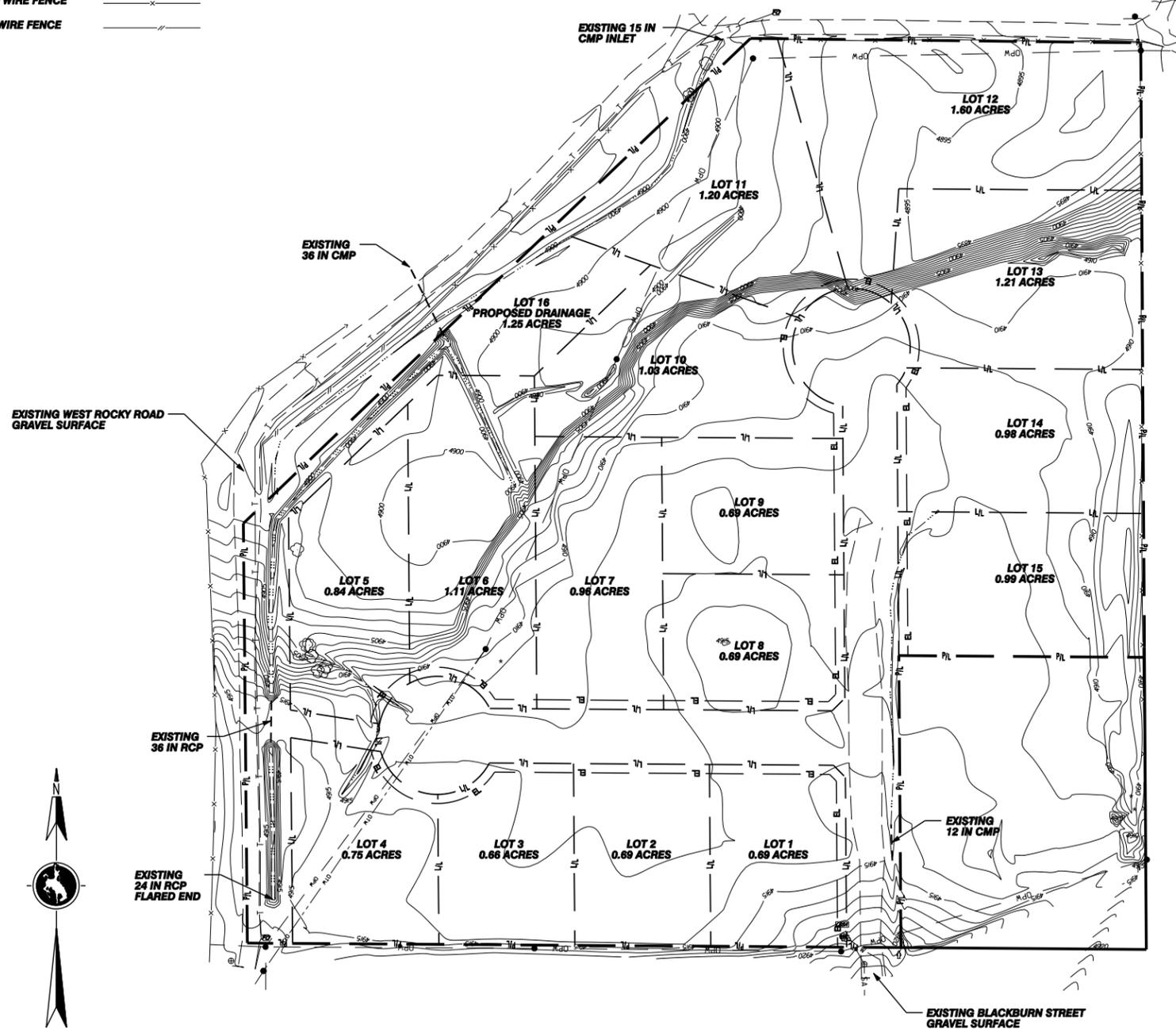
Cody, WY Riverton, WY
307-527-0915 307-851-9252
Cell: 307-272-7434
www.sagecivilengineering.com

LEGEND

- SUBDIVISION BOUNDARY ——— P/L ———
- PROPOSED LOT LINES ——— L/L ———
- PROPOSED EASEMENT LINES ——— EL ———
- EXISTING DRAINAGE - - - - -
- EXISTING BARBED WIRE FENCE ——— X ———
- EXISTING WOVEN WIRE FENCE ——— / ———

NOTES:

- NO PROPOSED RESTRICTIONS ON BUILDING ARCHITECTURE.
- EXISTING ZONING IS "D-3".
- PROPOSED USE FOR P.U.D. SHALL BE LIGHT INDUSTRIAL/COMMERCIAL.
- PROPOSED P.U.D. SHALL BE CONSTRUCTED IN A SINGLE PHASE.

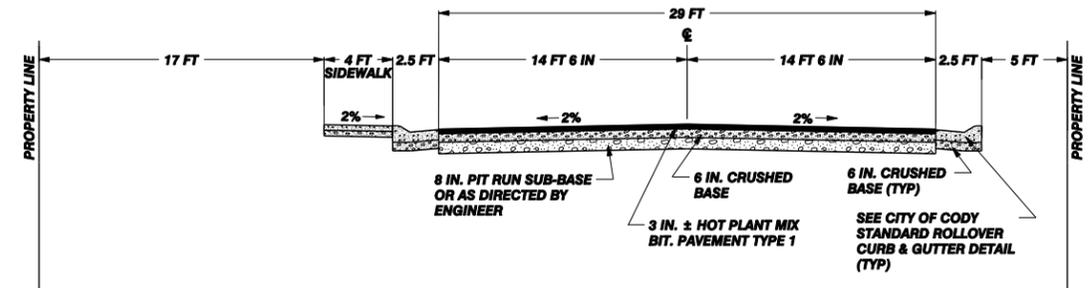
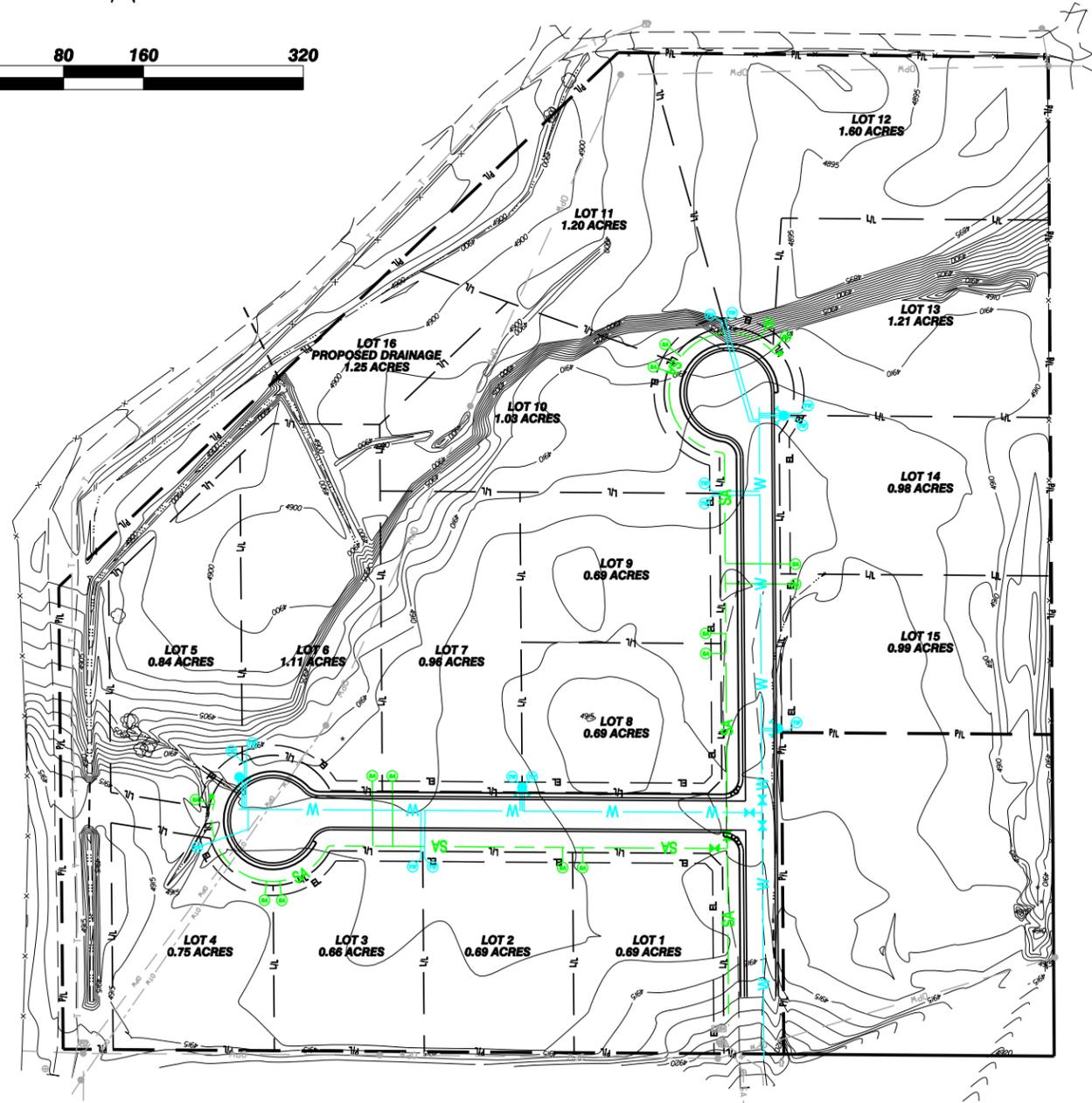


VICINITY MAP

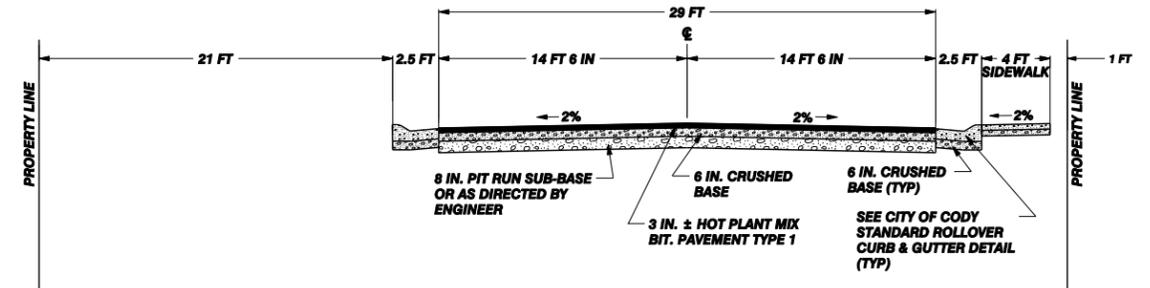
OPEN SPACE

ORIGINAL FAIR ACRES WEST SUBDIVISION = 34.71 ACRES
 OPEN SPACE FOR FAIR ACRES WEST SUBDIVISION = 3.50 ACRES OR 10.08%
 BLACKBURN P.U.D. (A PORTION OF FAIR ACRES WEST SUBDIVISION) = 17.31 ACRES
 PROPOSED OPEN SPACE FOR BLACKBURN P.U.D. = 1.25 ACRES
 (THIS OPEN SPACE IS IN ADDITION TO THE ORIGINAL OPEN SPACE DEEDED ON FAIR ACRES WEST SUBDIVISION)

<p>ENGINEER 2824 BIG HORN AVENUE CODY, WY 82414 PHONE: (307) 527-0915 FAX: (307) 527-0916 sca@sagecivilengineering.com</p>	<p>CONCEPTUAL PLAT BLACKBURN P.U.D. DEVELOPER: ED HIGBIE 1143 SHERIDAN AVE. CODY, WY 82414 Portion of TRACT 40 Resurvey T.53N., R.101W. 6th P.M. City of Cody, Park County, Wyoming</p>
<p>APRIL 25, 2011</p>	<p>2 OF 3</p>



PROPOSED BLACKBURN STREET TYPICAL SECTION



PROPOSED ROAD 2 TYPICAL SECTION

LEGEND

SUBDIVISION BOUNDARY	— P/L —	EXISTING TREATED WATER SERVICE	
PROPOSED LOT LINES	— L/L —	EXISTING TREATED WATER VALVE	
PROPOSED EASEMENT LINES	— EL —	EXISTING FIRE HYDRANT	
EXISTING OVERHEAD POWER	— OPW —	EXISTING SANITARY SEWER MANHOLE	
EXISTING OVERHEAD TELEPHONE	— OTW —	EXISTING SANITARY SEWER SERVICE (E-ONE)	
EXISTING UNDERGROUND TELEPHONE	— T —	EXISTING TELEPHONE BOX	
EXISTING TREATED WATER	— W —	PROPOSED TREATED WATER/SANITARY SEWER SERVICES (E-ONE)	
EXISTING SANITARY SEWER	— SA —	PROPOSED TREATED WATER/SANITARY SEWER VALVES	
PROPOSED TREATED WATER	— W —	PROPOSED FIRE HYDRANT	
PROPOSED SANITARY SEWER (PRESSURE)	— SA —		

 ENGINEER Sage CIVIL ENGINEERING 2824 BIG HORN AVENUE CODY, WY 82414 PHONE: (307) 527-0915 FAX: (307) 527-0916 sca@sagecivilengineering.com	CONCEPTUAL PLAT PROPOSED UTILITIES & STREETS BLACKBURN P.U.D. DEVELOPER: ED HIGBIE 1143 SHERIDAN AVE. CODY, WY 82414 Portion of TRACT 40 Resurvey T.53N., R.101W. 6th P.M. City of Cody, Park County, Wyoming	
	APRIL 25, 2011	3 OF 3



STAFF USE	
File:	<u>SSN 11-12</u>
P&Z Invoice:	<u>461-1</u>
Approved:	<u>ULD</u>
Date:	<u>5-13-11</u>

**PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION**

Applicant's Name: NORCO INC

Applicant's Address: 501 16th ST. City: Cody State: WY Zip: 82414

Phone: (307) 527-9353 Cell: _____ Fax: 527-7997 Email: Codywy@norco-inc.com

Property Owner's Name: Ron Hill

Property Owner's Address: 1139 Rumsey City: Cody State: WY Zip: 82414

Project Address: 501 16th ST., Cody, WY

Legal Description: metes & Bounds Zone: D-3

Linear Foot of Lot Frontage: 220 X 1.5 = 330 = Total Allowable Signage

Current Area of Signage in Square Feet: 24 Proposed Area of Signage in Square Feet: 50

Overall Area of Signage in Square Feet: 50

Licensed Contractor or Sign Installer: Chuck's Signs

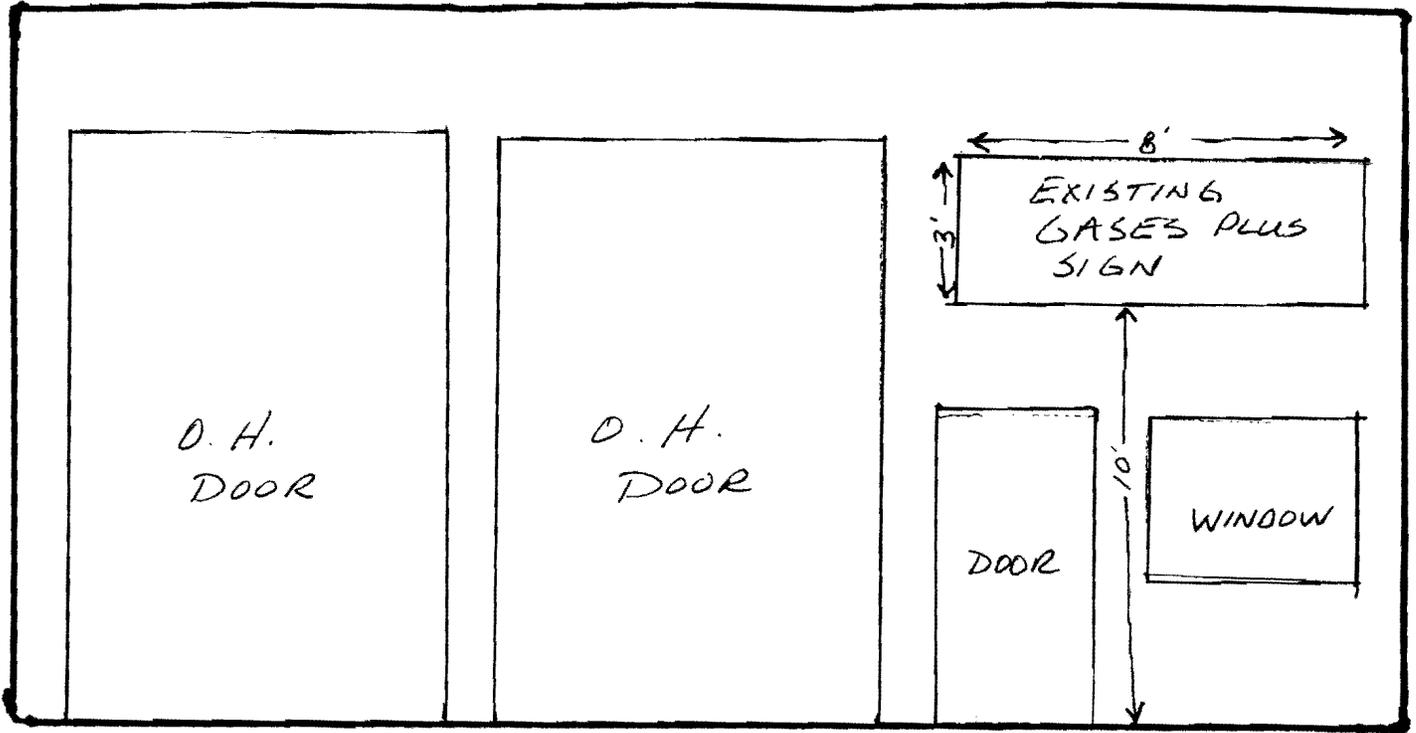
Type of Sign: Flat non electrified FLUSH WALL MOUNT

Description of Proposal: Replace existing signs plus sign with NORCO sign on front of building. Letter will be green & the star will be red. white background.

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

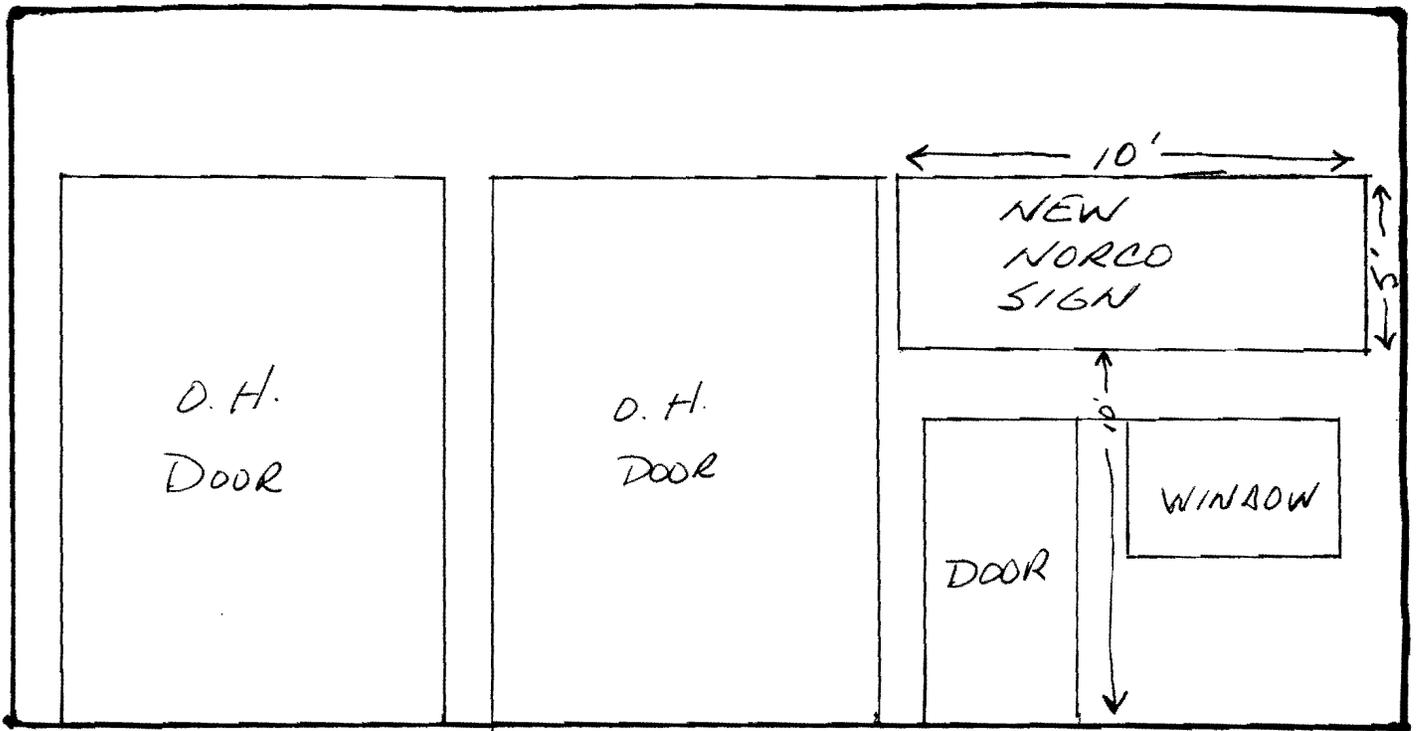
- Two (2) copies of detailed drawings, drawn to scale, containing complete plans & specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
- ***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.
- The sign elevation which must indicate overall and letter/figure dimensions, colors, materials, proposed copy and illumination. This is for design review not content.
 - A site plan indicating all signs existing or proposed for the site with dimensions, colors, materials, and/or illumination for each sign.
 - Building elevations with signs depicted.
 - The linear frontage of the property where the sign is to be located.
 - Letter of authorization from the property owner if applicable.
 - Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.
- Please Select the Appropriate Sign Type:**
- Sign Plans (flush, wall mount w/out electricity): \$25.00
 - Sign Plans (electrical, requiring base structure or projecting): \$50.00
- Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained prior to installation.

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.



FRONT - EAST FACING VIEW
501 16TH STREET

SIGN →
DEPICTION





STAFF USE
File: <u>SGN11-13</u>
P&Z Invoice: <u>464-1</u>
Approved: <u>U.L.D.</u>
Date: <u>5-13-2011</u>

**PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION**

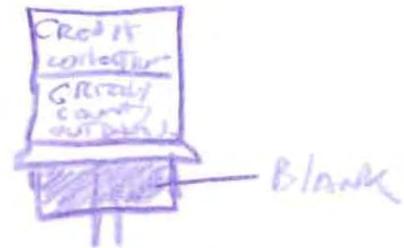
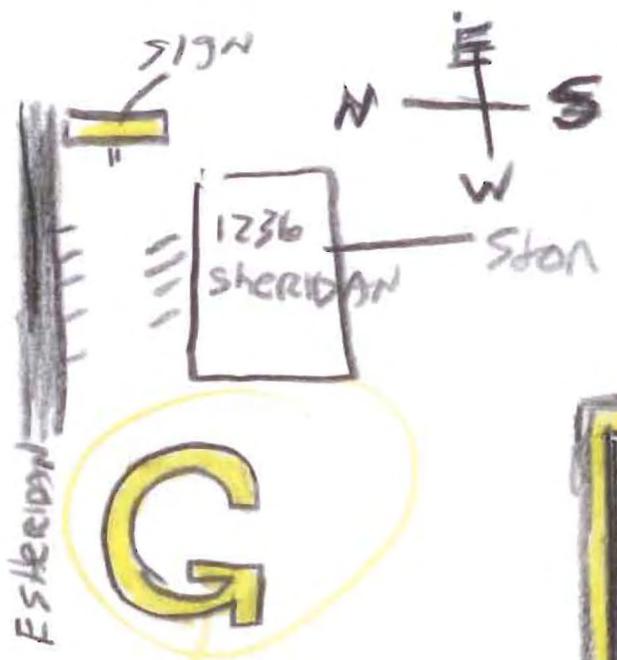
Applicant's Name: Grizzly Country Outdoors / Mark Paul
 Applicant's Address: 1736 Sheridan City: Cody State: WY Zip: 82414
 Phone: 307-587-1243 Cell: 250-8831 Fax: 587-1243 Email: grizzlycountryoutdoors@yahoo.com
 Property Owner's Name: Dennis Lawrence / L-T Investments Inc.
 Property Owner's Address: PO Box 370 City: Buffalo State: WY Zip: 82834
 Project Address: 1736 Sheridan Ave.
 Legal Description: True blood Subd. Lots 8, 9, & 10 Blk 1 Zone: D 2
 Linear Foot of Lot Frontage: 150 X 1.5 = 225 = Total Allowable Signage
 Current Area of Signage in Square Feet: 85.56 Proposed Area of Signage in Square Feet: 32
 Overall Area of Signage in Square Feet: 85.56
 Licensed Contractor or Sign Installer: _____
 Type of Sign: Free Standing
 Description of Proposal: Changing out the bottom 1/2 of existing sign from Eagle Spirit Academy to Grizzly Country Outdoors. The height of the sign is approximately 2 feet high

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) copies of detailed drawings, drawn to scale, containing complete plans & specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
 ***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.
- The sign elevation which must indicate overall and letter/figure dimensions, colors, materials, proposed copy and illumination. This is for design review not content.
- A site plan indicating all signs existing or proposed for the site with dimensions, colors, materials, and/or illumination for each sign.
- Building elevations with signs depicted.
- The linear frontage of the property where the sign is to be located.
- Letter of authorization from the property owner if applicable.
- Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.
Please Select the Appropriate Sign Type:
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- Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained prior to installation.

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

To Replace Existing Sign From
old BUS.



Should Be
4x8

Remove old
Bolts, Replace
SIGN.

lettering
will be in
capital block
CANARY yellow

Black

will
Have some
of these
not All

GUNS ARCHERY SPORTING GOODS GUNSMITHING
AMMO OUTDOOR SUPPLY





STAFF USE
 File: SGN11-14
 P&Z Invoice: 469-1
 Approved: [Signature]
 Date: 5/19/11

**PLANNING, ZONING AND ADJUSTMENT BOARD
 SIGN PLAN REVIEW APPLICATION**

Applicant's Name: Yellowstone Trading Company
 Applicant's Address: 2201 S 17th #11 City: Cody State: WY Zip: 82841
 Phone: 250-8009 Cell: _____ Fax: _____ Email: _____
 Property Owner's Name: Mountain Holding/Bill Nelson
 Property Owner's Address: 2201 S. 17th City: Cody State: WY Zip: 82414
 Project Address: 2201 S. 17th #11

Legal Description: Lot 2 Back Lake Plaza Zone: D2
 Linear Foot of Lot Frontage: 89.99 X 1.5 = 134.99 = Total Allowable Signage
 Current Area of Signage in Square Feet: _____ Proposed Area of Signage in Square Feet: _____

Overall Area of Signage in Square Feet: _____
 Licensed Contractor or Sign Installer: Chucks Signs

Type of Sign: Not a new sign - just refacing existing sign
 Description of Proposal: To replace existing sign (facing east)
Current sign is 44 inches X 88 inches
Monument sign will be replaced by property owner Bill Nelson

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

Two (2) copies of detailed drawings, drawn to scale, containing complete plans & specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.

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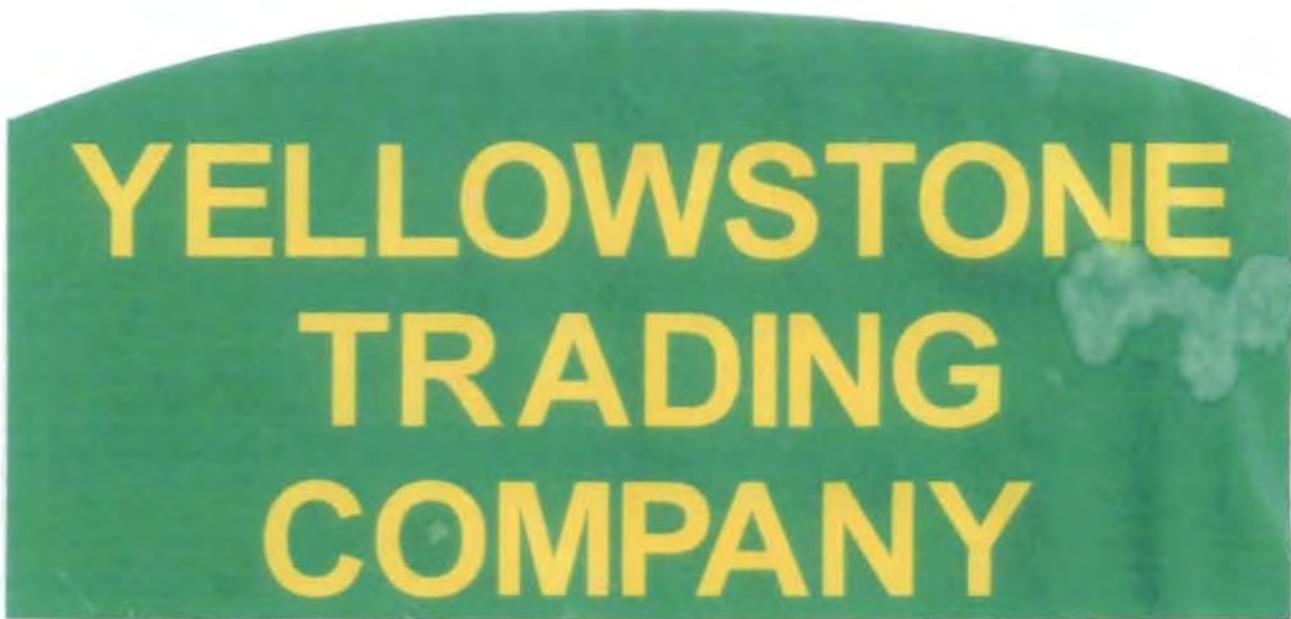
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**YELLOWSTONE
TRADING
COMPANY**

#525⁰⁰
+
TAX



#650⁰⁰
+
TAX

4 inches

8 inches

**YELLOWSTONE
TRADING
COMPANY**

#525⁰⁰
+
TAX

Quizno's
OVEN BAKED
CLASSICS
SUBS

PEPSI
PROM
MADE
WYOM



Beck Lake PLAZA

ACE Hardware

BARE
NECESSITIES

— The —
Cutting Room

Spirit Mountain
Pools & Spas

SPACE
FOR LEASE
587-5515

QUIZNOS
SUB

The
Cutting Room
Hair • Nails • Massage

OPEN

STYLING
SALON

10

SKIN CARE
NAILS
MASSAGE

BARE
NECESSITIES



Spirit Mountain Pools & Spas

SALES SUPPLIES SERVICE

587-8775

Catalina Spas



ABSAROKA BICYCLES

THULE
CAR BACK FITTINGS





ACE Hardware

CAMPING SUPPLIES
IN STOCK!

ACE

