

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, JULY 26, 2011
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

- ❑ Call to Order by Vice Chairperson Kim Borer
- ❑ Roll Call, excused members: Chairperson Greg Gaspers
- ❑ Approval of Minutes for the June 14, 2011 - Regular Meeting

PRESENTATION OF COMMUNICATIONS:

- A. A site plan review application has been submitted by Precision Plan and Design, Inc. on behalf of Boone's Machine, for property located at 341 24th Street. The applicant is proposing to construct a 60' x 70' maintenance building.

Applicant/Spokesperson: Rick Lambert –Precision Plan and Design, Inc.
Staff Reference: Steve Payne –Public Works Director

Staff Comment: *The applicant proposes to build a 60' x 70' maintenance building. The exterior will be metal commercial grade vertical siding in tan with mansard brown trim and fascia. The white windows and doors will also be trimmed in mansard brown. Three outdoor wall sconces will light the east side of the building above the doors, while one wall sconce is proposed above the west doorway. The applicant proposes to construct a perc trench on both the north and south side of the building to address the drainage.*

ACTION/MOTION: *Approval, Approval with conditions, or Denial of the site plan review application for a maintenance building for Boone's Machine, for property located at 341 24th Street.*

Staff recommends approval of the commercial site application submitted by Boone's Machine, for property located at 341 24th Street with the following conditions:

- 1. The applicant will work with the public works department regarding utility layouts.**
- 2. The applicant will submit a complete set of construction plans to the building department for their review and approval.**
- 3. The applicant will pay all assigned building permit and utility fees.**

- B. A landscape, architecture and sign application has been submitted by Whole Foods Trading Co., LLC, for property located at 1134 13th Street. The applicant is proposing to sheet an existing awning with corrugated metal, install lettering and install a new awning with logo above.

Applicant/Spokesperson: Kay Chandler –Whole Foods Trading Co and Chandler Construction
Staff Reference: Steve Payne –Public Works Director

Staff Comment: *The applicant proposes to reface portions of the existing building. On the west side facing 13th Street, the existing brick veneer and windows will be retained. Rusted corrugated metal will be attached to the existing awning frame. Signage on the west side will consist of 20' of 16"*

yellow lettering on the awning that states “Whole Foods TRADING COMPANY.” The existing façade on the south will be retained with the exception of the area around the doorway where brown horizontal “barn wood” siding will cover the upper portion and brown vertical board and batten “barn wood” siding on the lower portion. The current garage door will be replaced with sliding glass entrance doors and windows. An additional awning of rusted corrugated metal will be constructed over the south doorway, cantilevered over the city parking lot at a height of 10 feet. A tan and yellow 4’x3’ oval logo sign with website and phone number will be affixed above the awning on the south side.

ACTION/MOTION: Approval, Approval with conditions, or Denial of the landscape, architecture and sign application for Whole Foods Trading Co., LLC, for property located at 1134 13th Street.

Staff recommends approval of the landscape, architecture and sign application submitted by Whole Foods Trading Co., LLC, for property located at 1134 13th Street with the following conditions:

- 1. The applicant will submit a complete set of construction plans to the building department for their review and approval.**
- 2. The applicant will pay all assigned building permit fees.**

C. A landscape, architectural and sign application has been submitted by Reno Collision Center, for property located at 2221 Lt. Childers Street. The applicant is proposing to place a storage shed on the property.

Applicant/Spokesperson: Todd or Claire Reno –Reno Collision Center
Staff Reference: Steve Payne –Public Works Director

Staff Comment: The applicant proposes to place a pre-constructed storage shed on the property for windshields and miscellaneous parts. The shed will be sided to match the existing building and will have asphalt shingles.

ACTION/MOTION: Approval, Approval with conditions, or Denial of the landscape, architectural and sign application for Reno Collision Center, for property located at 2221 Lt. Childers Street.

Staff recommends approval of the landscape, architectural and sign application submitted by Reno Collision Center, for property located at 2221 Lt. Childers Street with the following conditions:

- 1. The applicant will submit a complete set of construction plans to the building department for their review and approval.**
- 2. The applicant will pay all assigned building permit fees.**

D. P&Z Board Matters

E. Council Update: Steve Miller

F. Approved Sign Applications

1. Serenity Pregnancy Resource Center -1614 Beck Avenue
2. 8th Street at the Ivy Restaurant and Bar -1800 8th Street
3. Winchester Arms Collectors Association –Temporary off-premise A-Frames
4. Relay for Life –Temporary banners at High School
5. Walking Star Marketing & Design -921 14th Street
6. Needlework Paradise -1450 Sheridan Avenue
7. Yellowstone Jazz Festival –Temporary banners at Powwow Grounds
8. Human Canvas Tattoo -1804 East Sheridan Avenue
9. Rocky Mountain MoJoe -1001 Sheridan Avenue

G. Staff Update

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD

Minutes of the Regular Meeting Held June 14, 2011 at 12:00 PM

CALL TO ORDER: Chairperson Greg Gaspers called the meeting to order at 12:00 PM.

ROLL CALL

PRESENT: Jacob Ivanoff; Greg Gaspers, Chairperson; Bud McDonald; Justin Lundvall; Bill Nielson; Steve Miller, Council Liaison; Scott Kolpitcke, City Attorney; Steve Payne, Public Works Director; Jolene Osborne, Engineering Administrative Assistant;

EXCUSED ABSENCE: Kim Borer, Vice Chairperson; Rick Brasher;

ABSENT: None

Bud McDonald made a motion seconded by Jacob Ivanoff to edit the agenda to move Agenda Item E to the beginning of the agenda.

Vote on the motion was unanimous, motion carried.

Justin Lundvall made a motion seconded by Jacob Ivanoff to approve the minutes of the May 24, 2011 regular session meeting.

Vote on the motion was unanimous, motion carried.

PRESENTATION OF COMMUNICATIONS:

- A. Jacob Ivanoff made a motion seconded by Bud McDonald to approve the sign application submitted by Sierra Trading Post for property located at 1402 8th Street with the following conditions:
1. The applicant will submit a complete set of construction plans to the building department for their review and approval.
 2. The applicant will pay all assigned building permit fees.

Vote on the motion was unanimous, motion carried.

- B. Justin Lundvall made a motion seconded by Bud McDonald to approve the commercial site application submitted by Holm, Blough and Company on behalf of Big Horn Energy for property located at 376 33rd Street with the following conditions:
1. The applicant will submit a complete set of construction plans to the building department for their review and approval.
 2. The applicant will pay all assigned building permit fees.

Vote on the motion was unanimous, motion carried.

- C. Bill Nielson made a motion seconded by Jacob Ivanoff to approve the commercial site application modified with to include only one sign submitted by Sid Pratt on behalf of Cody Outdoor Market for property located at 405 and 415 West Yellowstone Avenue with the following conditions:
1. The applicant will submit a complete set of construction plans to the building department for their review and approval.

2. No RV camping will be allowed on the site unless a water main extension and fire hydrant assembly is completed to assure not more than 400' from any RV site.
3. The applicant will apply and pay for a transient merchant's license and will work with all vendors to assure they are licensed as transient merchants as well.
4. The applicant will pay all assigned building permit fees.

Vote on the motion was unanimous, motion carried.

D. Bud McDonald made a motion seconded by Bill Nielson to recommend approval to Council the Preliminary and Final Plats for Leo's Ditch Subdivision for property described as Lot 15, Block 2 of the Seven Mountain Subdivision submitted by Kathleen DiVincenzo, waiving the curb, gutter, sidewalks, alley and irrigation ditch piping requirements.

Vote on the motion was unanimous, motion carried.

- E. Justin Lundvall made a motion seconded by Bud McDonald to approve the commercial site application submitted by Luke Magargal Custom Building on behalf of Cody Meat, Inc. for property located at 702 Yellowstone Avenue with the following conditions:
1. The applicant will submit a complete set of construction plans to the building department for their review and approval.
 2. The applicant will pay all assigned building permit fees.

Vote on the motion was unanimous, motion carried.

F. Discussion Items: None.

G. Council Update: Happy birthday to Jacob Ivanoff and congratulations to Justin Lundvall!

H. Staff Update:

1. K3 Guest Ranch –Park County Variance Application

The meeting was adjourned at 12:47 PM.

Respectfully submitted,

Jolene Y. Osborne
Engineering Administrative Assistant



**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: SPR 11-26
P&Z Invoice: 395-3

Applicant's Name: Leroux Inc. Business Name: Boone's Machine

Applicant's Address: 341 24th Street City: Cody State: WY Zip: 82414

Phone: 307-527-6187 Cell: 272-2583 Fax: _____ Email: _____

Property Owner's Name: Paul Leroux

Property Owner's Address: 341 24th Street City: Cody State: WY Zip: 82414

Project Address: 341 24th Street Legal Description: _____ Zone: D3

Total current area of Signage in Square Feet: Existing Proposed Area of Signage in Square Feet: None

Overall Area of Signage in Square Feet: Existing Licensed Contractor or Sign Installer: None

- Type of Sign: Attached Wall Freestanding Marquee Projecting Awning Suspended
 Banner Inflatable Flag Monument Bulletin Real Estate
 Joint Directory Billboard Other -Please describe _____

Description of Proposal and Proposed Use of Project: Maintenance Building, to service and maintain rental equipment

Estimated Construction Start Date: 7/2011 - 7/2012

Representative Attending P&Z Meeting: Rick Lambert (Precision Plan and Design Inc.)

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.
**Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND
 A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.
 Please see submittal Date and Fee schedule included in this document.**

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit.
 It **must** be dimensioned to scale.

1. Please include all of the following Architectural components:

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

2. Please include all of the following Utility components:

- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

RECEIVED

JUL 06 2011

A MAINTENANCE BUILDING

FOR:

Boones Machine

341 24th Street
Cody, Wyoming 82414



COVER PAGE PERSPECTIVE IS FOR PRESENTATION
ONLY PLEASE REFER TO ELEVATION PAGES FOR ALL
EXTERIOR DETAIL.



CODE CONSIDERATIONS

Maintenance Building For:
Boones Machine
341 24th Street
Cody, Wyoming 82414

CODE USED : INTERNATIONAL BUILDING CODE 2006 (IBC)
OCCUPANCY CLASSIFICATION: S1
ACCESSORY USE: MAINTENANCE
BUILDING CONSTRUCTION TYPE : VB
MAXIMUM ALLOWABLE SQUARE FOOTAGE : 9,000 S.F.
MAXIMUM ALLOWABLE STORIES: 1
ACTUAL SQUARE FOOTAGE: 4,200 S.F.
ACTUAL STORIES: 1
FIRE SPRINKLERING? : NO (PER 903.2.8)

SETBACKS :

NORTH - 590' +
WEST - 20'
EAST - 290' +
SOUTH - 160' TO EXISTING BUILDING

2 EXITS:

OCCUPANCY LOAD - 4,200 / 5,000 = 9 , NO
COMMON PATH - NO
2 EXITS PROVIDED

ACCESSIBLE ENTRANCE: YES 2 PROVIDED

ACCESSIBLE TOILET: YES, 1 UNISEX PROVIDED

PARKING:

CITY OF CODY ZONING: D3
1 / PER EMPLOYEE + 1 PER AVERAGE VISITOR = 3 TOTAL
1 HC PARKING AND 2 NON - HC PROVIDED

EXTERIOR COLORS

WALLS:

COLOR TAN, METAL COMMERCIAL GRADE VERTICAL SIDING

WINDOWS:

WHITE SASH, WITH MANSARD BROWN TRIM.

DOORS:

WHITE FLUSH PANEL WITH MANSARD BROWN TRIM

TRIM / FACIA:

MANSARD BROWN

GUTTERS:

MANSARD BROWN

METAL ROOF:

STANDING SEAM, COLOR BROWNSTONE

ATTACHED:

DRAINAGE CALCULATIONS
EXTERIOR LIGHTING

INDEX TO DRAWINGS:

C1- COVER
A1- SITE PLAN
A2- FLOOR PLAN
A4- ELEVATIONS
A5- ELEVATIONS
S1 - FOUNDATION
E1- ELECTRICAL

IMPORTANT:

BUILDER VERIFY ALL DIMENSIONS,
ALL DRAWINGS SUBJECT TO CHANGE PER
ARCHITECT.
ALL CONSTRUCTION METHODS
TO MEET LOCAL CODES AND STANDARDS.

COVER SHEET

Boones Machine / Maintenance Building

341 24th Street
Cody Wyoming 82414
Paul Leroux 307-527-6178



SUSAN HOVDE -
Architect

P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.

Custom Plan Service
930 12th Street
Cody Wyo. 82414
(307) 587-6227
Project # 739

DATE:

June 27, 2011

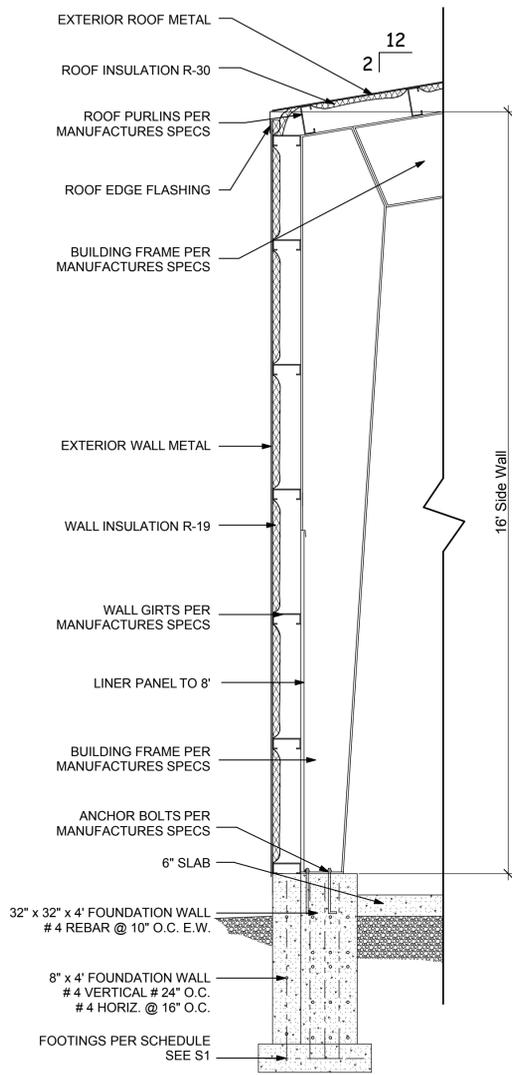
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C1

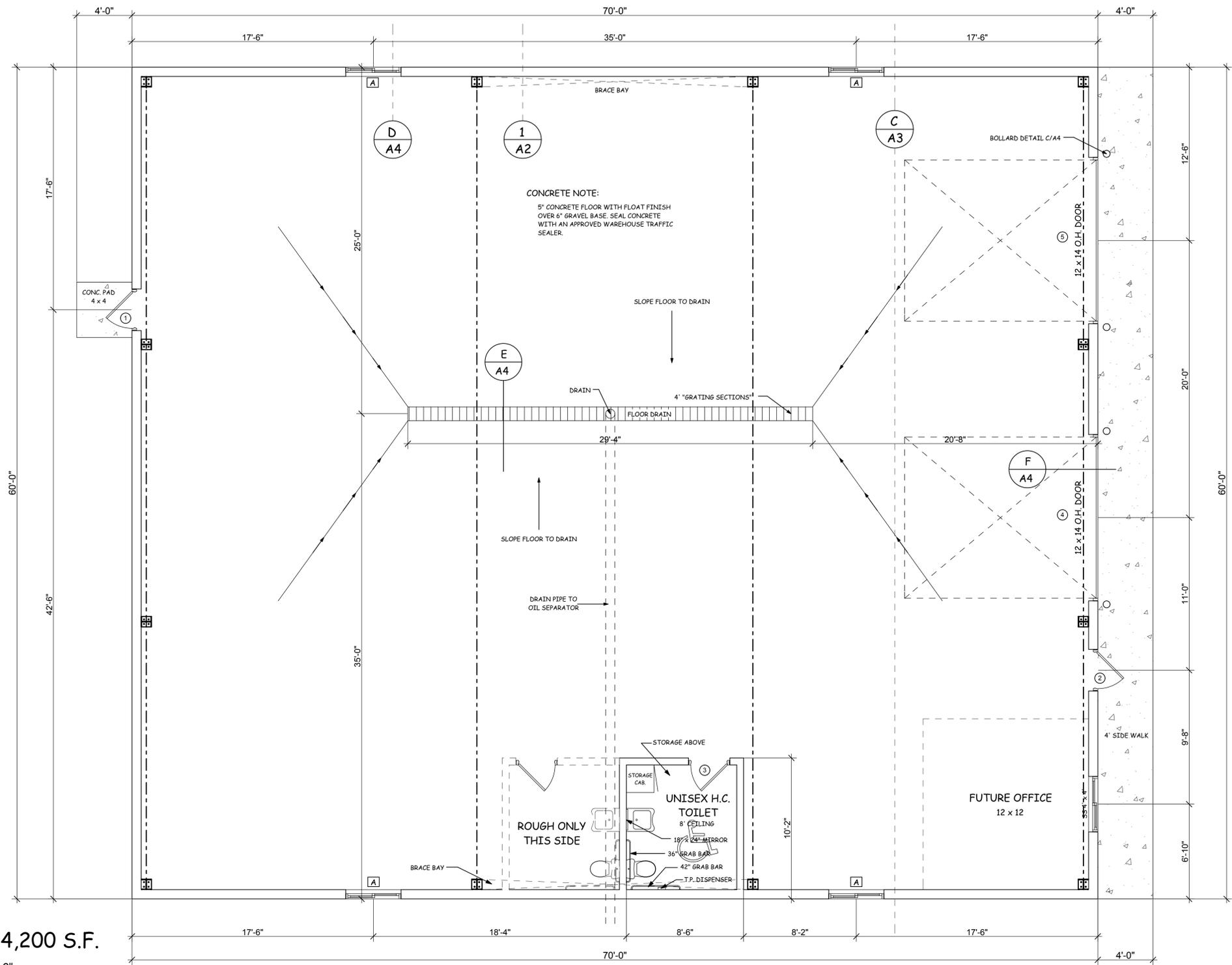
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WALL SECTION

SCALE 1/2" = 1'-0"

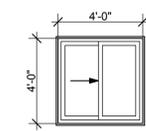
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A2



FLOOR PLAN = 4,200 S.F.

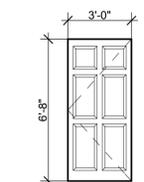
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WINDOW TYPES

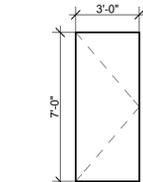


③ ALUMINUM SLIDING
SCALE: 1/4" = 1'-0"

DOOR TYPES

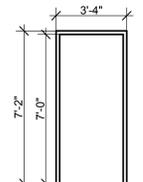


① SOLID CORE WOOD
SCALE: 1/4" = 1'-0"

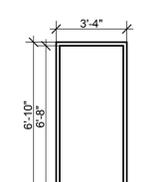


② H.M. INSULATED
SCALE: 1/4" = 1'-0"

DOOR FRAME TYPES



④ HOLLOW METAL
SCALE: 1/4" = 1'-0"



⑤ WOOD
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR NUMBER	ROOM	SIZE	TYPE	FINISH	GLASS TYPE	FRAME			H'DWARE GROUP	REMARKS
						MATERIAL	TYPE	FINISH		
①	EAST DOOR (FRONT)	3-0 x 7-0	2	PAINTED	NONE	H.M.	A	PAINTED	MATCH (2)	OUT SWING
②	WEST DOOR (BACK)	3-0 x 7-0	2	PAINTED	NONE	H.M.	A	PAINTED	MATCH (1)	OUT SWING
③	UNISEX TOILET	3-0 x 6-8	1	STAINED	NONE	WOOD	B	STAINED		
④	O.H. DOOR	12' W x 14' T	O.H.	PREFINISHED	TEMPERED	METAL	METAL	WRAPPED P.F.		INSULATED WITH COMMERCIAL OPERATOR
⑤	O.H. DOOR	12' W x 14' T	O.H.	PREFINISHED	TEMPERED	METAL	METAL	WRAPPED P.F.		INSULATED WITH COMMERCIAL OPERATOR

WINDOW SCHEDULE

WINDOW MARK	QTY.	SIZE	R.O.	TYPE	FINISH	GLASS TYPE	FRAME			REMARKS
							MATERIAL	TYPE	FINISH	
A	4	4' x 4'		3	PREFINISHED	INSULATED	ALUMINUM	ALUMINUM	PREFINISHED	INSULATED GLASS

FLOOR PLAN
Boones Machine / Maintenance Building
 341 24th Street
 Cody Wyoming 82414
 Paul Leroux 307-527-6178



SUSAN HOVDE - Architect
 P.O. Box 1514
 Red Lodge MT, 59068
 (406) 446-3160

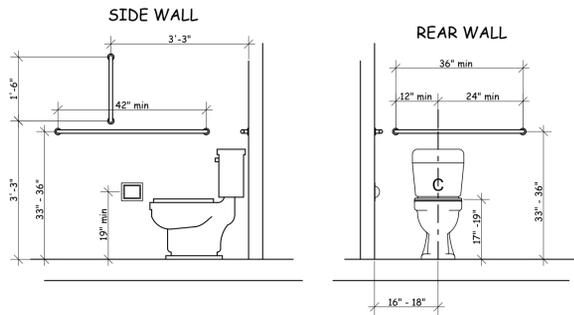


Precision Plan and Design Inc.
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 (307) 587-6227
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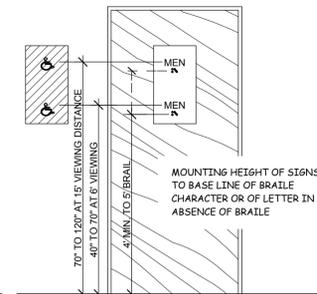
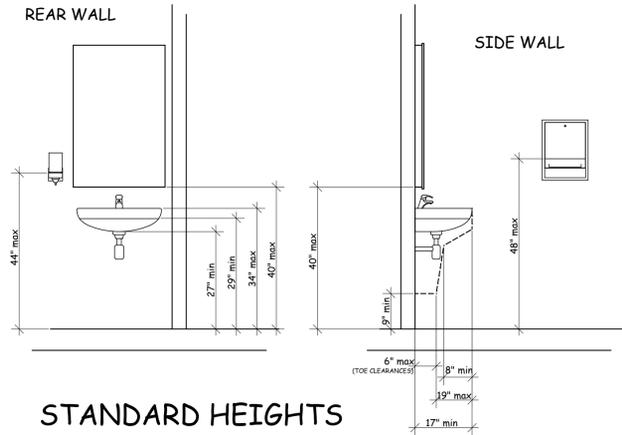
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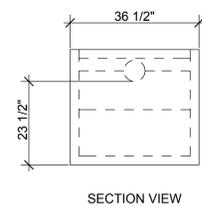
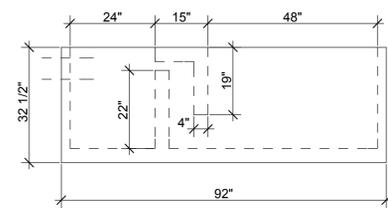
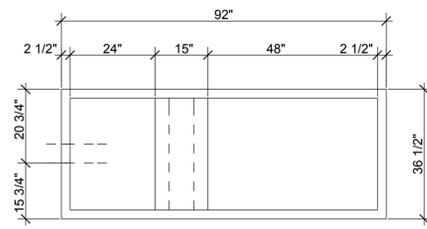


NOTE:
 WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS.

NOTE:
 ALL CONSTRUCTION METHODS AND FIXTURES TO MEET ADA CODES AND STANDARDS.

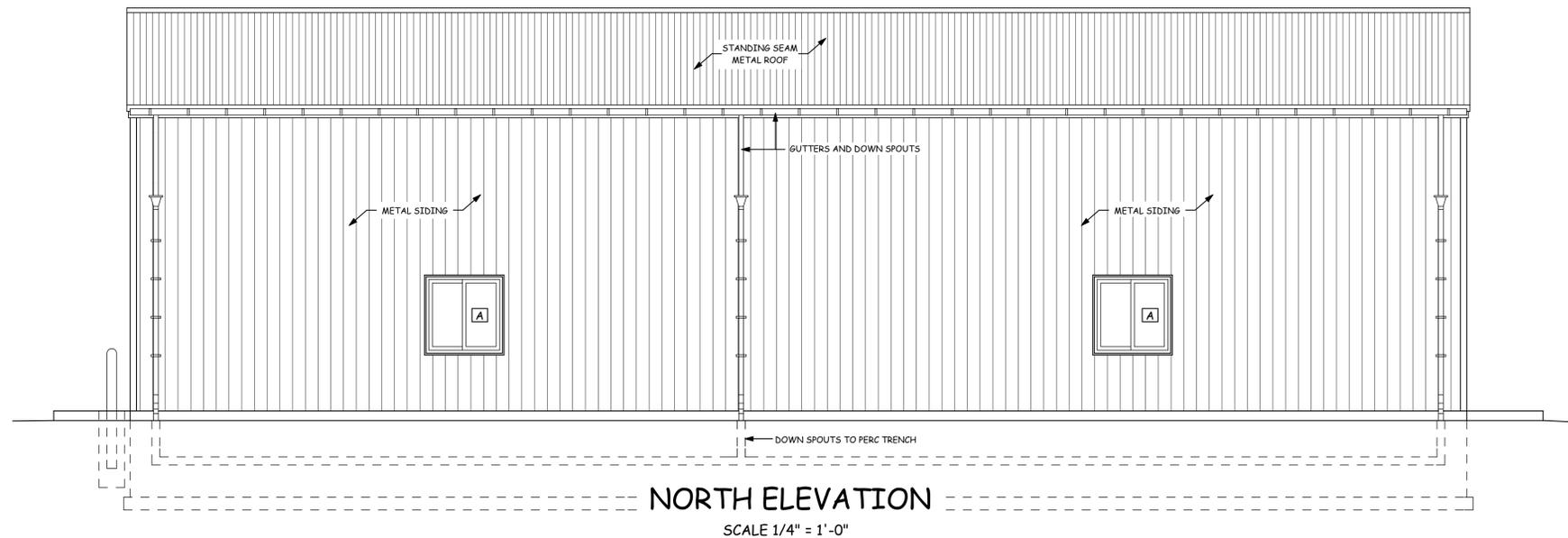
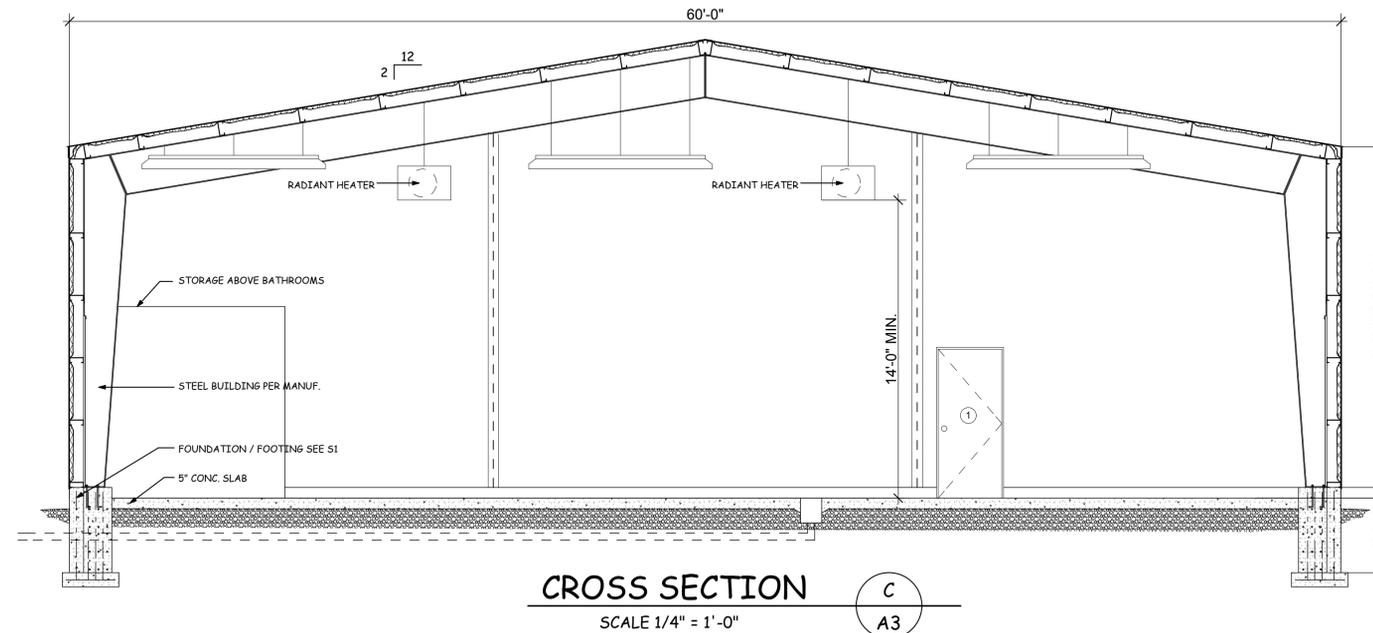
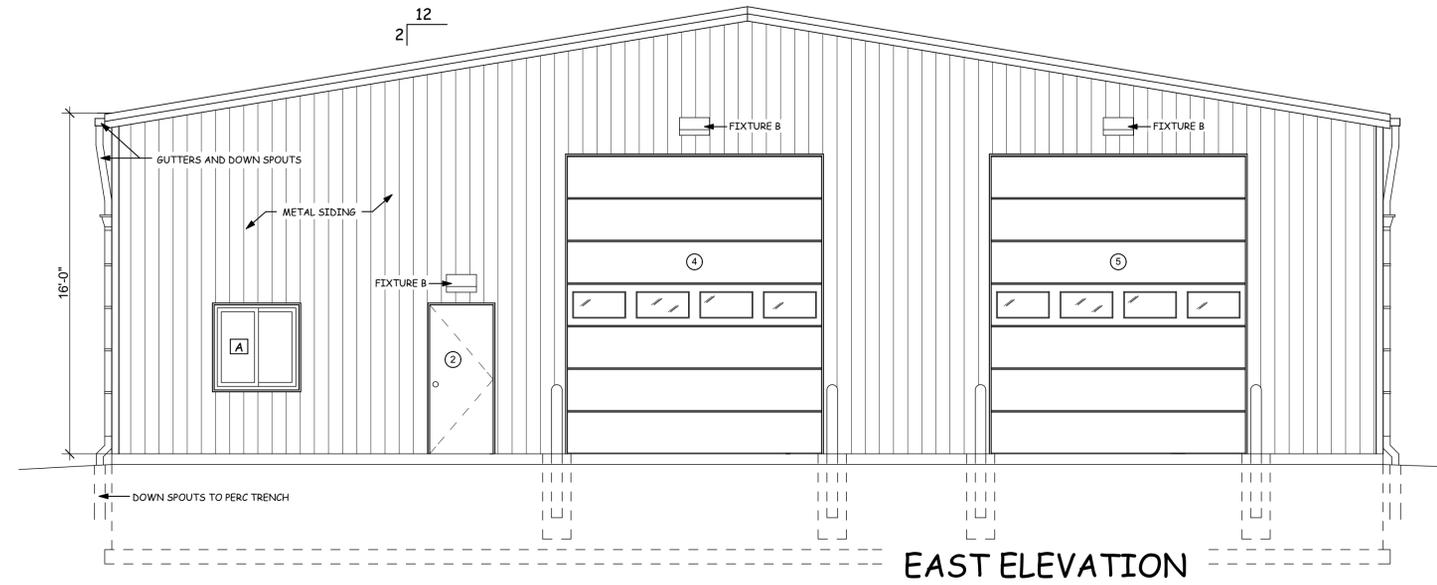


STANDARD HEIGHTS
 N.T.S.



OIL SEPARATOR DETAIL
 SCALE 1/2" = 1'-0"

B
A3



ELEVATIONS
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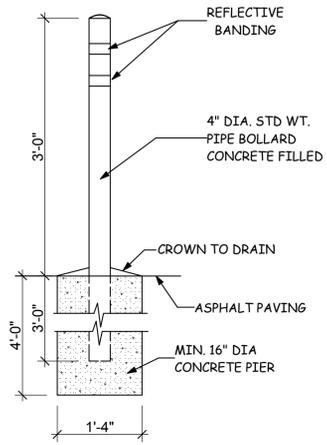


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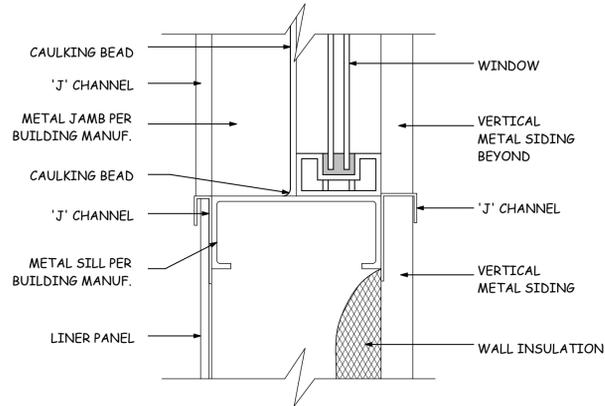
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 June 27, 2011

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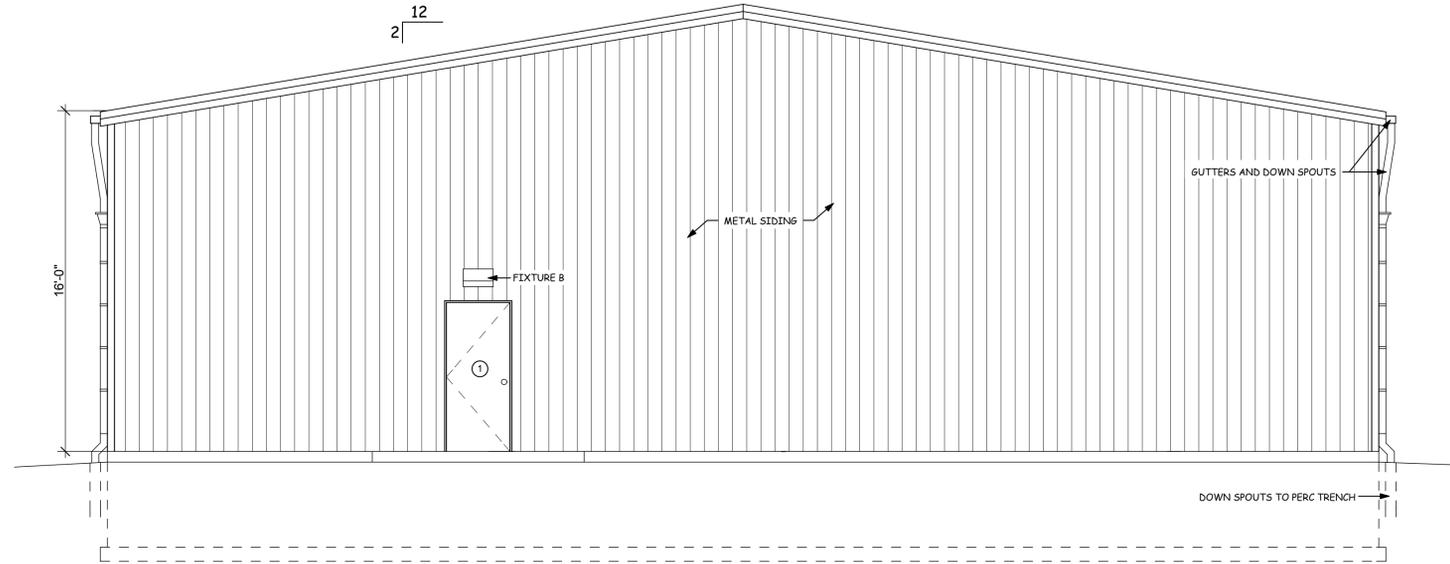
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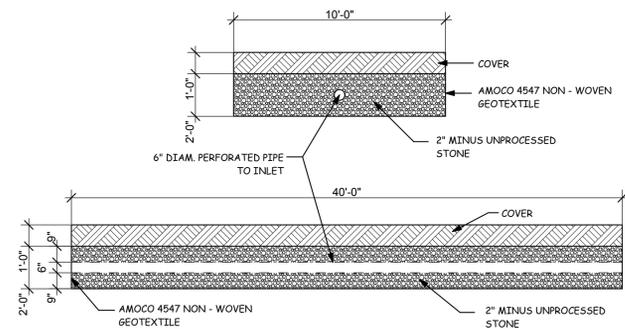
C BOLLARD DETAIL
A4 SCALE: 3/4" = 1'-0"



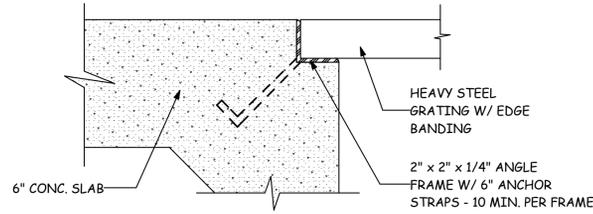
D SILL DETAIL
A4 SCALE: 3" = 1'-0"



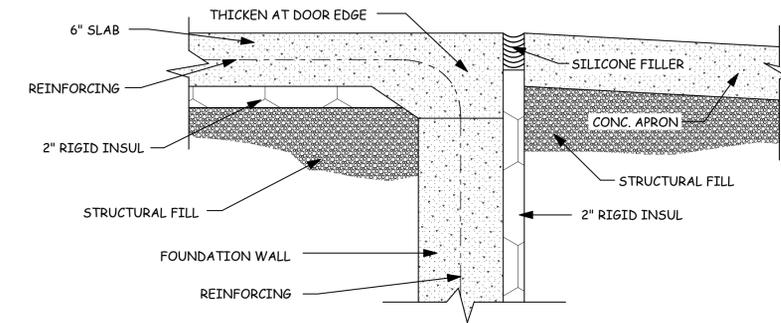
WEST ELEVATION
SCALE 1/4" = 1'-0"



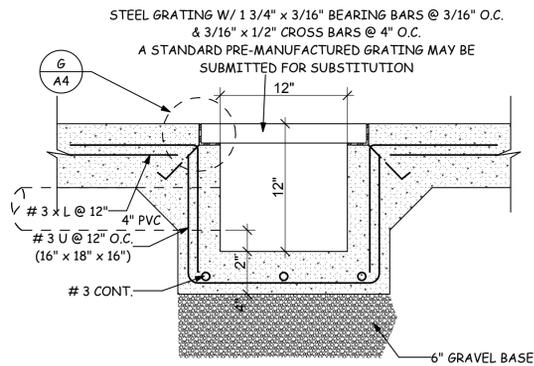
A PERC TRENCH DETAIL
A4 N.T.S.



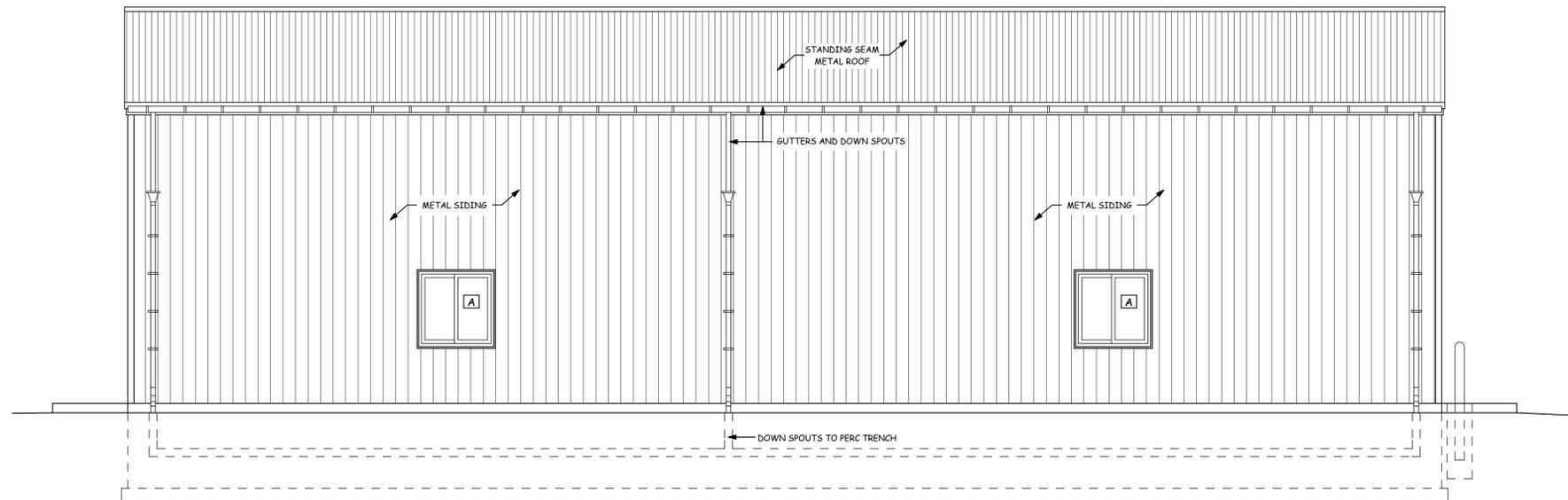
G GRATE DETAIL
A4 SCALE: 3" = 1'-0"



F SLAB @ O.H. DOOR
A4 SCALE 1 1/2" = 1'-0"



E GUTTER DRAIN DETAIL
A4 SCALE: 1/2" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

ELEVATIONS
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Project # 739

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A4
SHEET #
1 OF

PROJECT INFORMATION:

BOONE MACHINE MAINTENANCE BLDG.
 JOBSITE - 341 24TH STREET
 CODY, WY 82414

DESIGN LOADINGS:

WIND: 90 mph BASIC WIND SPEED, EXP 'C'
 ROOF SNOW: 40 psf, NO REDUCTIONS
 SEISMIC SITE CLASSIFICATION "D"; IBC
 SLAB CONTROL JOINTS MAXIMUM 20' OC TYPICAL
 SCORED OR SAWN 1/3 OF SLAB DEPTH

REFER TO METAL BLDG MNF DRWGS FOR

ANCHOR BOLT PLACEMENT. VERIFY
 ALL DIMENSIONS, PIER SIZES, AND
 ANCHOR BOLT SIZES WITH METAL BLDG
 MANUFACTURER'S FINAL ISSUE DRAWINGS
 12" MIN STRUCTURAL FILL UNDER ALL SLABS.
 8" MAXIMUM LIFTS COMPACTED TO MIN 95%
 ASTM D698.

CONCRETE:

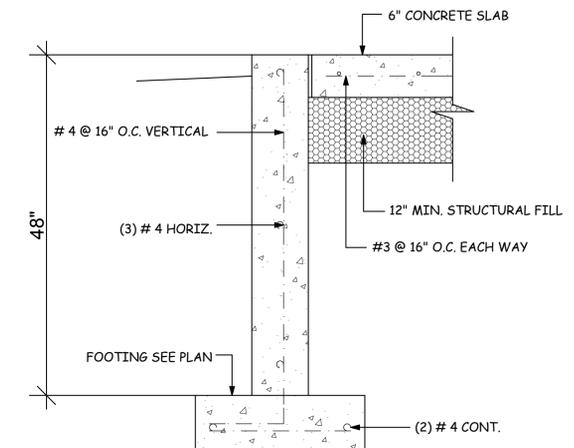
4%-6% AIR ENTRAINMENT FOR ALL CONCRETE
 EXPOSED TO FREEZING TEMPERATURES
 MECHANICALLY VIBRATE ALL CONCRETE
 DURING PLACEMENT
 ALL GRADE 60 REBAR
 COMPLY WITH ACI 318 & ALL APPLICABLE
 LOCAL CODES & STANDARDS.

CONCRETE - FOOTINGS & FOUNDATIONS:

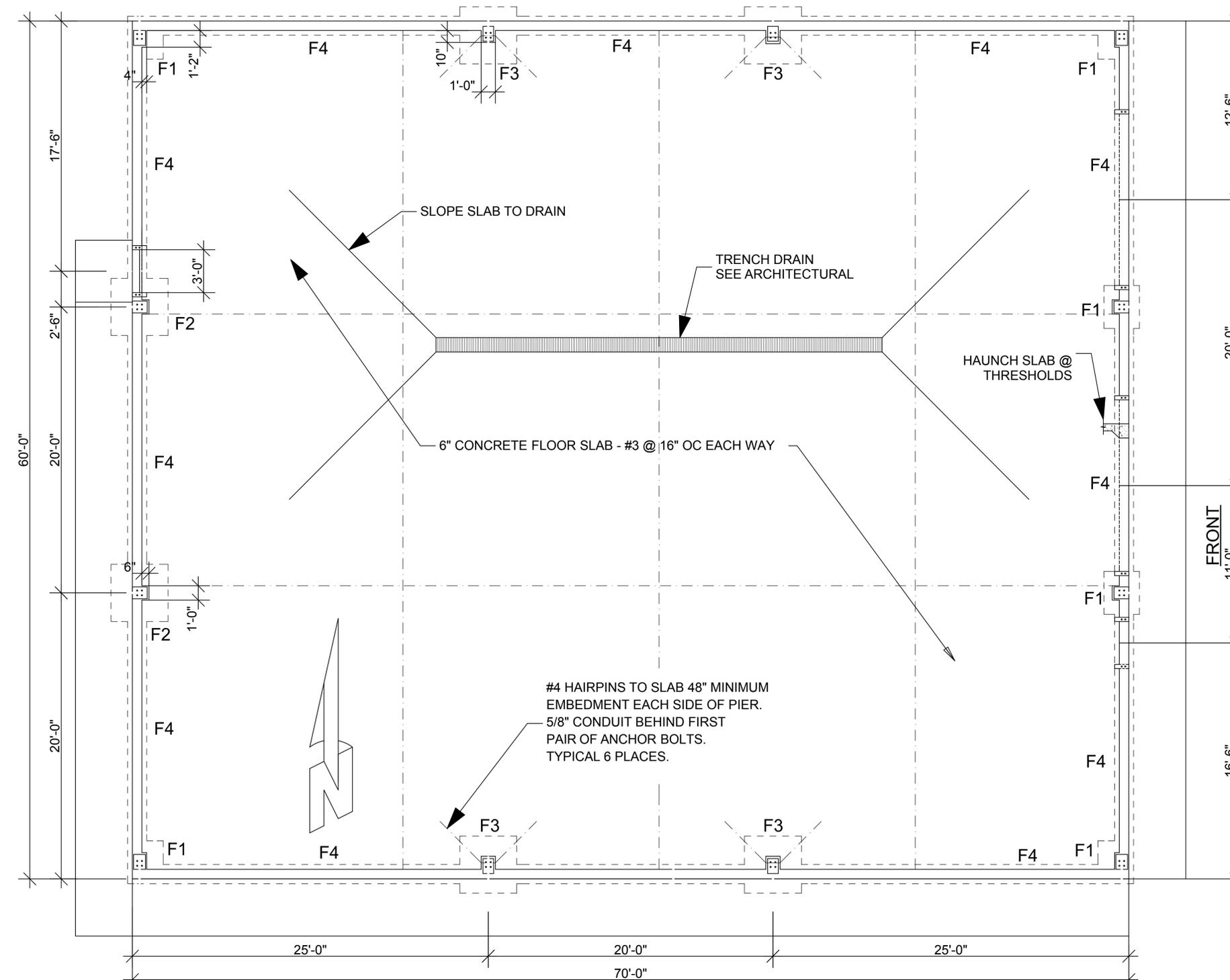
MINIMUM 3 ksi 28 DAY YIELD STRENGTH
 MIN 5 1/2 SACK / CY TYPE II CEMENT
 SLUMP: 3" - 5"

CONCRETE - SLABS:

MINIMUM 4 ksi 28 DAY YIELD STRENGTH
 MIN 6 SACK / CY TYPE II CEMENT
 SLUMP: 3" - 5"



B EXTERIOR FNDTN
 S4 SCALE : NTS



A FOUNDATION PLAN
 S1 SCALE : 3/32"=1'-0"

FOOTING SCHEDULE:		TKNS	BOTTOM REINF.	ANCHOR BOLTS	SIZE	PIER VERTICAL REINFORCING	TIES
MARK	SIZE						
F1	2'-0"x2'-0"	8"	#5 @ 10" OC EACH WAY	PER METAL BLDG MNF	1'-4"x1'-4"	(4) #5	#3 @ 12" OC
F2	3'-0"x3'-0"	10"	#5 @ 10" OC EACH WAY	PER METAL BLDG MNF	1'-4"x1'-4"	(4) #5	#3 @ 12" OC
F3	5'-0"x5'-0"	12"	#5 @ 10" OC EACH WAY	PER METAL BLDG MNF	1'-6"x2'-0"	(4) #5	#3 @ 12" OC
F4	16" STRIP	8"	(2) #4 CONT	DNA	DNA	DNA	DNA

FOUNDATION
Boones Machine / Maintenance Building
 341 24th Street
 Cody Wyoming 82414
 Paul Leroux 307-527-6178



SUSAN HOVDE - Architect

P.O. Box 1514
 Red Lodge MT, 59068
 (406) 446-3160

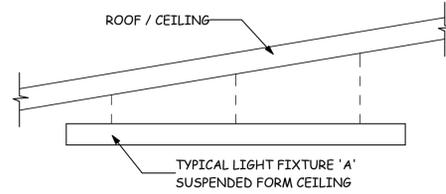


Precision Plan and Design Inc.
 Custom Plan Service
 930 12th Street
 Cody WY, 82414
 (307) 587-6227
 Project # 739

DATE:
 June 27, 2011

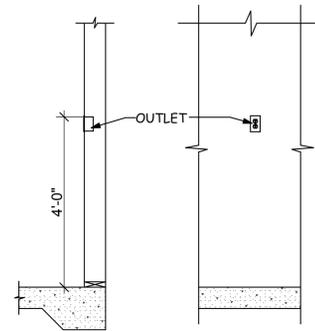
#	DESC.	CHANGE ORDER	DATE:

S1
 SHEET #
 1 OF



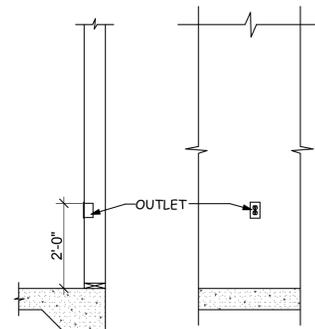
HANGING LIGHT DETAIL

SCALE: 1/2" = 1'-0"



SHOP AREA OUTLET HEIGHT DETAIL

SCALE: 1/2" = 1'-0"

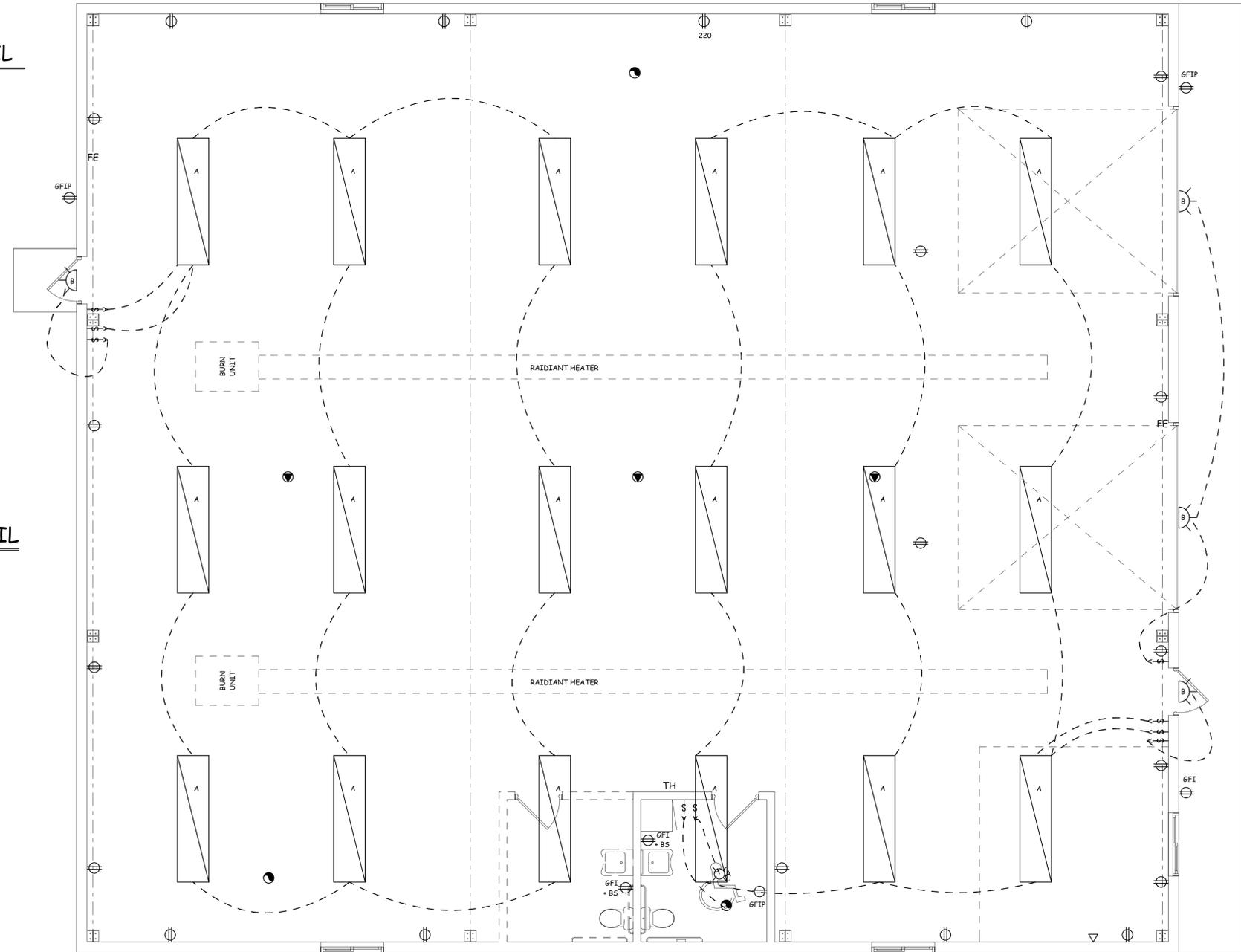


FUTURE OFFICE AREA OUTLET HEIGHT DETAIL

SCALE: 1/2" = 1'-0"

ELECTRICAL SYMBOLS KEY & FIXTURE SCHEDULE

- | | |
|----|--|
| | FLUORESCENT LIGHTING 2' x 8'
8' 4L T8 W LENSE HINWO GASKET
(4) BULB SWITCHED 2 EA. |
| FE | FIRE EXTINGUISHER |
| TH | THERMOSTAT |
| | CEILING FIXTURE |
| | EXTERIOR LIGHTING FIXTURE
6BWS 175 W |
| | CEILING MOUNTED POWER
FOR CHORD REEL |
| | DUPLEX GROUND FAULT INTERRUPTER |
| | DUPLEX OUTLET GROUND FAULT PROTECTED |
| | EXHAUST FAN |
| | DUPLEX OUTLET |
| | TELEPHONE / DATA * |
| | SINGLE POLE LIGHT SWITCH |
| | DOUBLE POLE LIGHT SWITCH |
| | 220 OUTLET |



ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

ELECTRICAL

Boones Machine / Maintenance Building
341 24th Street
Cody Wyoming 82414 307-527-6178

Paul Leroux



SUSAN HOVDE -
Architect

P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.

Custom Plan Service
930 12th Street
Cody Wyo. 82414
(307) 587-6227
Project # 739

DATE:
June 27, 2011

#	DESC.	CHANGE ORDER	DATE:

E1
SHEET #
1 OF

Fixture B

GREENBRIAR® WALL SCENCE (Various reflectors are protected by U.S. Patent No. 6,464,378)

WALL MOUNTED

HOUSING - The aluminum housing is available in two sizes and is a rectangular shape. All mounting hardware is stainless steel or electro-zinc plated steel.

WALL MOUNT - A galvanized-steel universal wall mounting plate easily mounts directly to a 4" octagonal or square junction box. An EPDM gasket is supplied to be installed between the mounting plate and junction box, sealing the junction box from entrance of water. The galvanized-steel universal plate allows the fixture to be suspended while making wiring connections. A unique clamping design securely locks the fixture to the wall mounting plate by utilizing two hex head screws. The universal plate permits the fixture to be mounted in the uplighting position (listed for damp locations) or downlighting position (listed for wet locations).

DOOR FRAME - The aluminum door frame with two stainless steel captive fasteners allows easy access into the fixture. A one piece extruded silicone gasket seals the door frame against the housing. The door swings open and is held in place by a retainer.

LENS/GASKET - A flat clear tempered glass lens, which is sealed to the door frame with EPDM gasketing, is standard. An optional polycarbonate lens is available on most Compact Fluorescent fixtures.

SOCKETS - HID lampholders are glazed porcelain, medium base for the small fixture and mogul base for the medium fixture, 4KV pulse rated. The Compact Fluorescent fixtures feature a one-piece thermoplastic socket.

LIGHT SOURCES - The fixture is designed to operate with horizontal Pulse-Start Metal Halide, Pulse-Start Metal Halide Reduced, Super Metal Halide, Super Metal Halide Reduced, Metal Halide, Metal Halide Reduced, High Pressure Sodium, and single, double or triple Compact Fluorescent lamps. Lamps supplied as standard - HID (clear, shipped installed), and Compact Fluorescent (coated, 4100K shipped in separate carton).

BALLASTS/ELECTRICAL COMPONENTS - Electrical components are factory-mounted in housing and prewired with voltage specific leads which extend out the back of the unit through a rubber grommet. This grommet prevents the entry of insects, dust, and moisture into the fixture. The need to open the fixture to make wiring connections is eliminated, thus making installation quick and easy. UL listed HID components with high-power factor ballasts rated for -20°F starting. Compact Fluorescent ballasts are Electronic Universal Voltage (120-277V 50/60 Hz) or 347V (60 HZ), 0°F starting. Compact Fluorescent fixtures with UE (Universal Electronic) voltage are available with an optional dimming ballast for multiple types of controls such as building lighting controls and occupancy sensors. Available battery back-up is voltage specific with 32°F rated starting temperature for U.S. applications for 26 watt through 70 watt lamps. Consult factory for available wattages and voltages for use in Canada.

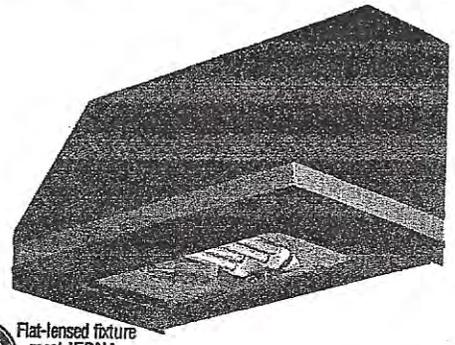
EMERGENCY OPERATION - A variety of integral emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress on the building's exterior, so building occupants can exit safely. Integral Emergency Battery Back-up option is available on Compact Fluorescent units. Emergency Quartz option is offered on HID units. Options for one or two 12 volt separate circuit(s), for use with up to 35 watt Halogen lamp(s) are available on both Compact Fluorescent and HID units.

REFLECTORS/DISTRIBUTION PATTERNS - Forward Throw (FTM, FT) and Type III (3) reflectors are available on small and medium. Wall Wash (WW) reflectors are also available on small. All are high performance, full cut-off distribution as defined by the IESNA (downlight position only). Photometric data is tested in accordance with IESNA guidelines.

FINISHES - Each fixture is finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, buff, white, green, metallic silver, and graphite.

DECAL STRIPING - LSI offers optional color-coordinated decals in 9 standard colors to accent the fixture. Decals are guaranteed for five years against peeling, cracking, or fading.

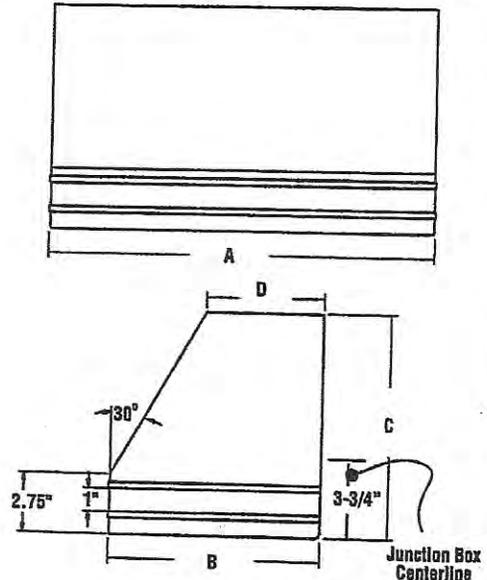
PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.



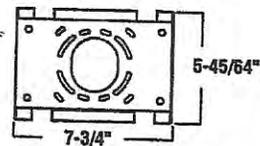
Flat-lensed fixture meet IESNA full cutoff classification.

Refer to Greenbriar Wall Sence-Advanced Asymmetric specification guide for additional offerings.

DIMENSIONS



	A	B	C	D
Small	17-1/2"	9-5/8"	10-1/8"	5-3/8"
Medium	20"	13-7/16"	11-5/32"	8-1/2"



Universal Mounting Plate

SHIPPING WEIGHTS - Greenbriar Wall Sence

Catalog Number	Est. Weight (lbs.)	Length (In.)	Width (In.)	Height (In.)
GBWS-HID	22	24.25	15.5	13.5
GBWM-HID	32	24.25	15.5	16.5
GBWS-CFL	17	24.25	15.5	13.5
GBWM-CFL	24	24.25	15.5	16.5



(Downlight only)
Listed for damp locations.
(Uplight - covered locations only)

wet location



Project Name _____

Fixture Type **B**

Catalog # _____

© 2006 LSI INDUSTRIES

GREENBRIAR® WALL SCONCE

Fixture B

MINIATURE ORDERING INFORMATION

Miniature Prefix	Distribution	Lamp Wattage	Light Source	Lens	Line Voltage	Luminaire Finish	
GBWS (Small)	3 - Type III FT - Forward Throw WW - Wall Wash	50 70 100 150 175	MH - Metal Halide 50, 70, 100 ¹ , 150, 175 Watt HPS - High Pressure Sodium 50, 70, 100, 150 Watt	F - Flat Clear Tempered Glass	120 208 240 277 347	BRZ - Bronze BLK - Black WHT - White PLP - Platinum Plus BUF - Buff GRN - Green GPT - Graphite MSV - Metallic Silver	
	FTM - Forward Throw Medium	26 32 42	CFL - Compact Fluorescent Single 26, 32, 42 Watt CFL2 - Compact Fluorescent Double 26, 32, 42 Watt	F - Flat Clear Tempered Glass FPC - Flat Clear Polycarbonate	UE - Universal Electronic (120-277V 50/60Hz) 347 ⁴		
	WW - Wall Wash		CFL - Compact Fluorescent Single 26, 32, 42 Watt				
GBWM (Medium)	3 - Type III FT - Forward Throw	250 320 400	PSMH - Pulse Start Metal Halide 250, 320 Watt PSMHR - Pulse Start Metal Halide Reduced 400 Watt SMH - Super Metal Halide 250 Watt SMHR - Super Metal Halide Reduced Envelope 400 Watt MH - Metal Halide 250 Watt MHR - Metal Halide Reduced Envelope 400 Watt HPS - High Pressure Sodium 250, 400 Watt	F - Flat Clear Tempered Glass	120 208 240 277 347 480		
		26 32 42 57 70	CFL - Compact Fluorescent Single 57, 70 Watt CFL2 - Compact Fluorescent Double 57, 70 Watt CFL3 - Compact Fluorescent		F - Flat Clear Tempered Glass FPC - Flat Clear Polycarbonate ²		UE - Universal Electronic (120-277V 50/60Hz) 347 ⁴

GBWS 3 175 MH F 120 BRZ SQT

EXAMPLE OF A TYPICAL ORDER

FOOTNOTES:

- Supplied with a HX-HPF transformer as standard. Also available with a 120/277 volt CWA transformer. Consult factory.
- If a polycarbonate lens is required on an Uplight Medium fixture in 70 CFL2 or 42 CFL3, the glass lens with Polycarbonate Shield (CHWM PLS) accessory must be ordered.
- For international voltages, consult factory.
- 347V CFL is not available with dimming ballast (DIM) option. Consult factory for battery back-up (BB) option.
- Tamper-proof Screwdriver must be ordered separately (See Accessory Ordering Information)
- CFL Dimming Control by others.
- SQN or SQT available on 100 Watt minimum HID fixtures.
- Fixtures 250 Watt and below are shipped with 100 Watt quartz lamp. 320 and 400 Watt fixtures are shipped with 250 Watt quartz lamp.
- Battery Back-up available on single, double and triple voltage specific units. On double and triple units, one lamp will be energized by Battery Back-up (BB) option. Battery Back-up complies with "Means of Egress" requirements only when used in connection with CFL WW reflector and 42 watt lamp in downlight position. Consult factory for specific job application compliance.
- Utilizes GY6.35 socket(s). 12 volt separate circuit(s) required.

Options
PC120 - Button-Type Photocell
PC1208 - Button-Type Photocell
PC1240 - Button-Type Photocell
PC1277 - Button Type-Photocell
PC1347 - Button Type-Photocell
TP - Tamper Proof ⁵
PMA - Pole Mount Adaptor for use with square poles
PMAR - Pole Mount Adaptor for use with round poles
DIM - CFL Control Voltage Dimming Ballast ⁶
C - Coated MH or PSMH Lamp
SQT - Standby Quartz (Time Delay) ^{7,8}
SQN - Standby Quartz (Non-Time Delay) ^{7,8}
EQ - Emergency Quartz (separate circuit - HID only) ⁹
BB - CFL Battery Back-up ⁹
EM1 - One Emergency 12V Circuit Provision with 35 Watt Halogen Lamp ¹⁰
EM1LL - One Emergency 12V Circuit Provision - Less Halogen Lamp ¹⁰
EM2 - Two Emergency 12V Circuit Provisions with (2) 35 Watt Halogen Lamps ¹⁰
EM2LL - Two Emergency 12V Circuit Provisions - Less Halogen Lamps ¹⁰
LL - Less Lamp

ACCESSORY ORDERING INFORMATION

(Accessories are field installed)

Description	Order Number	Description	Order Number
FK120 - Single Fusing	FK120+	GBWS PLS - Polycarbonate Shield for Small	172786
FK277 - Single Fusing	FK277+	GBWM PLS - Polycarbonate Shield for Medium	172787
DFK208, 240 - Double Fusing	DFK208, 240+	SW BLK - Surface Wiring Box	173156BLK+++
DFK480 - Double Fusing	DFK480++	SGD - Tamper-proof Screwdriver	36449
FK347 - Single Fusing	FK347+		

- + Available on HID fixtures only. Fusing to be installed in a compatible junction box supplied by contractor.
- ++ Available on HID Medium fixture only. Fusing to be installed in a compatible junction box supplied by contractor.
- +++ SW BLK not compatible with PMA or PMAR option.

Project Name _____ Fixture Type **B**

Catalog # _____



LSI OUTDOOR LIGHTING | WALL MOUNTED

Boone Mach. Maint 6/27/2011 DRAINAGE BASIN 1

NOTE: CALCULATIONS ARE PROPRIETARY AND ANY USE OR DISTRIBUTION TO PARTIES OR PURPOSES UNRELATED TO THIS SPECIFIC PROJECT IS EXPRESSLY FORBIDDEN.

Russell R. Taylor, PE
W.S. #6096

SIZE DRAINAGE RETAINABLE BASIN FOR RUNOFF FROM A NEW MAINTENANCE BUILDING FOR BOONE'S MACHINE, COOY, WYOMING.

[REF "COOY STORM WATER MANAGEMENT PLAN" MARCH, 2003]

$$Q = C \cdot I \cdot A ; \quad Q = \text{PEAK RUNOFF VOLUME}$$

$C = \text{RUNOFF COEFFICIENT}$
 $I = \text{RAINFALL INTENSITY}$
 $A = \text{CONTRIBUTARY AREA}$

Basis \Rightarrow 10 YEAR, 2 HOUR STORM PER REF.

$$A = \text{ROOF} + \text{APRON AREA}$$
$$= (60' \times 70') + (4 \times 60')$$
$$= 4200 + 240 = \underline{4440 \text{ FT}^2} = A$$

$C = 1.0$ - ASSUMED FOR METAL ROOF

$I = 1.05$ IN / HR, 2 HOUR EVENT

[APPENDIX 19, REF]

$$\therefore \underline{I = 0.53 \text{ IN/HR}}$$

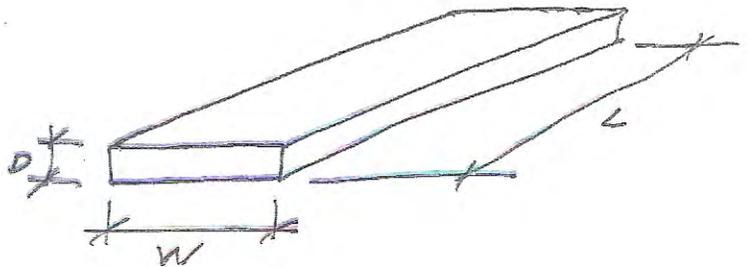
Boone MACH. MAINT 6/27/2011 DRAINAGE BASIN ^{2/}

$$Q_{FT^3} = 1.0 \cdot \left(0.53 \frac{1.05}{144 \cdot 2.314} \right) \frac{1.57}{12 \text{ IN}} \cdot 4,440 \text{ FT}^2$$

($Q = C \cdot I \cdot A$ PER REF)

$$\therefore Q = \underline{388.5 \text{ FT}^3}$$

Let $D = 2'$, $W = 10'$



$$Q = D \cdot W \cdot L$$

$$\therefore L = Q / D \cdot W = 388.5 / 2 \cdot 10$$

$$\Rightarrow L = 19.425 \text{ FT}^3$$

2" ROUNDED GRAVEL: ASSUME 25% VOIDS;
CONSERVATIVE BUT ALLOWS FOR
HIGHER % OF PINES & CRUSHED
MATERIAL

$$Q_N = Q / 0.25 = 388.5 / 0.25 = 1554 \text{ FT}^3$$

$$L_N = Q_N / 2 \cdot 10 = 1554 / 2 \cdot 10 = 77.7'$$

$$\therefore L \times W \cdot D = \underline{80' \cdot 10' \cdot 2'} \quad \leftarrow \text{DRAINAGE BASIN}$$

2" ROUNDED GRAVEL
FILTER FABRIC WRAP

$$\underline{(2 \text{ EACH}) @ 40' \times 10' \times 2'} \quad \leftarrow \text{TWO BASINS}$$





**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: SPR 11-28
P&Z Invoice: 223-2

Applicant's Name: Kay Chandler Business Name: Whole Foods Trading Co
 Applicant's Address: 1407 Hillcrest dr City: Cody State: WY Zip: 82414
 Phone: 307-272-5108 Cell: same Fax: _____ Email: KAY@wholefoods-trading.com
 Property Owner's Name: J. Edwards
 Property Owner's Address: PO Box 1806 City: Cody State: WY Zip: 82414
 Project Address: 1134 13th St Legal Description: lots 17-22 Bk 10 Zone: Commercial
 Total current area of Signage in Square Feet: 240 Proposed Area of Signage in Square Feet: 240
 Overall Area of Signage in Square Feet: 240 Licensed Contractor or Sign Installer: Chandler Const.
 Type of Sign: Attached Wall Freestanding Marquee Projecting Awning Suspended
 Banner Inflatable Flag Monument Bulletin Real Estate
 Joint Directory Billboard Other -Please describe _____
 Description of Proposal and Proposed Use of Project: Sheet existing awning with corrugated metal, install lettering^{20'}, Install new awning and logo above 8'x12'
 Estimated Construction Start Date: mid Aug.
 Representative Attending P&Z Meeting: Kay Chandler

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.
Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.
Please see submittal Date and Fee schedule included in this document.

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

1. Please include all of the following Architectural components:

- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins. **Drainage computations must be supplied with all commercial applications.** Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

2. Please include all of the following Utility components:

- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

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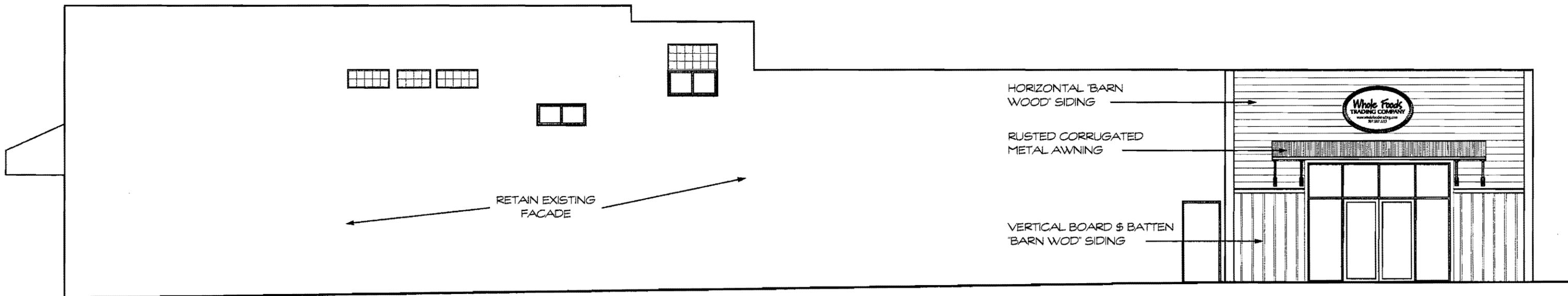
CITY OF CODY

WHOLE FOODS TRADING CO. - BUILDING REMODEL

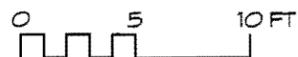
CODY, WYOMING



WEST ELEVATION

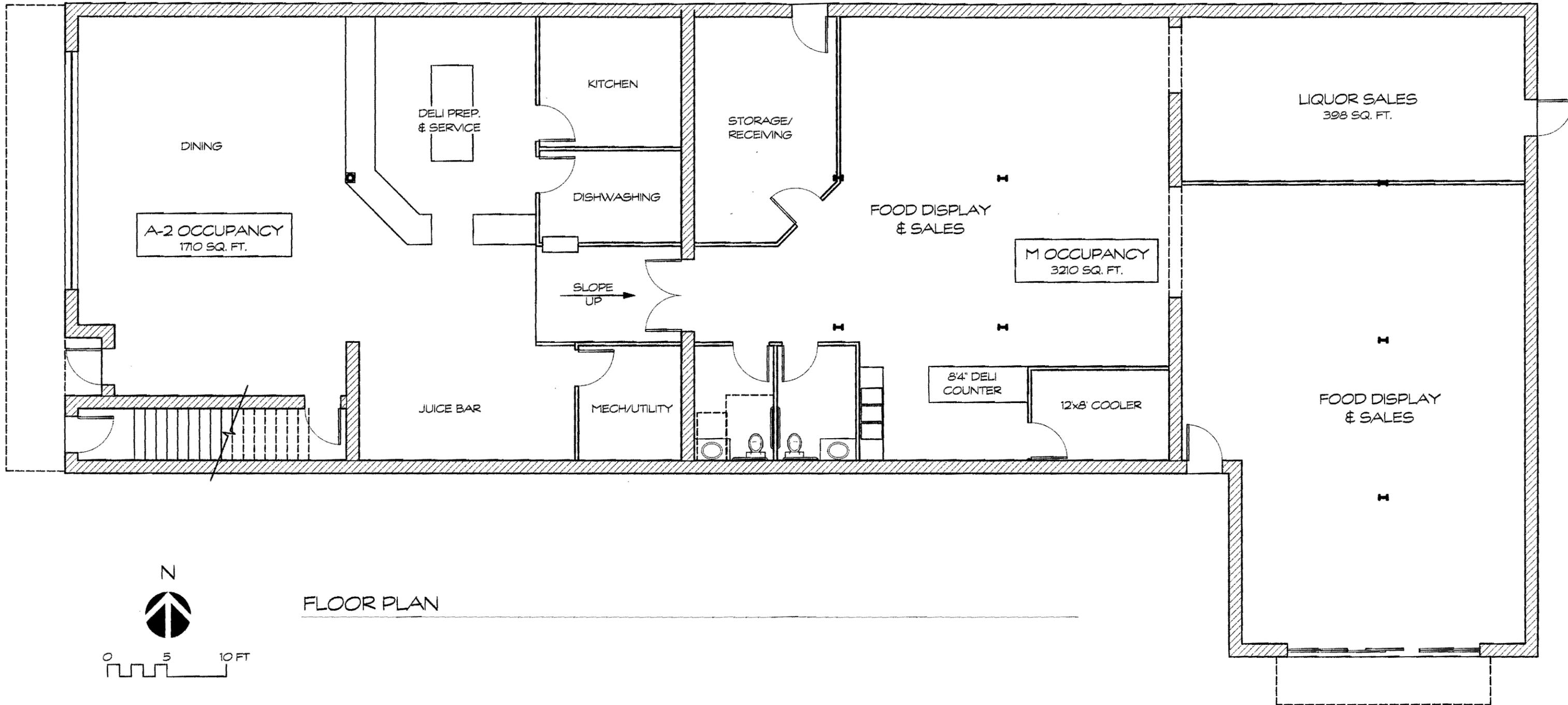


SOUTH ELEVATION



WHOLE FOODS TRADING CO. - BUILDING REMODEL

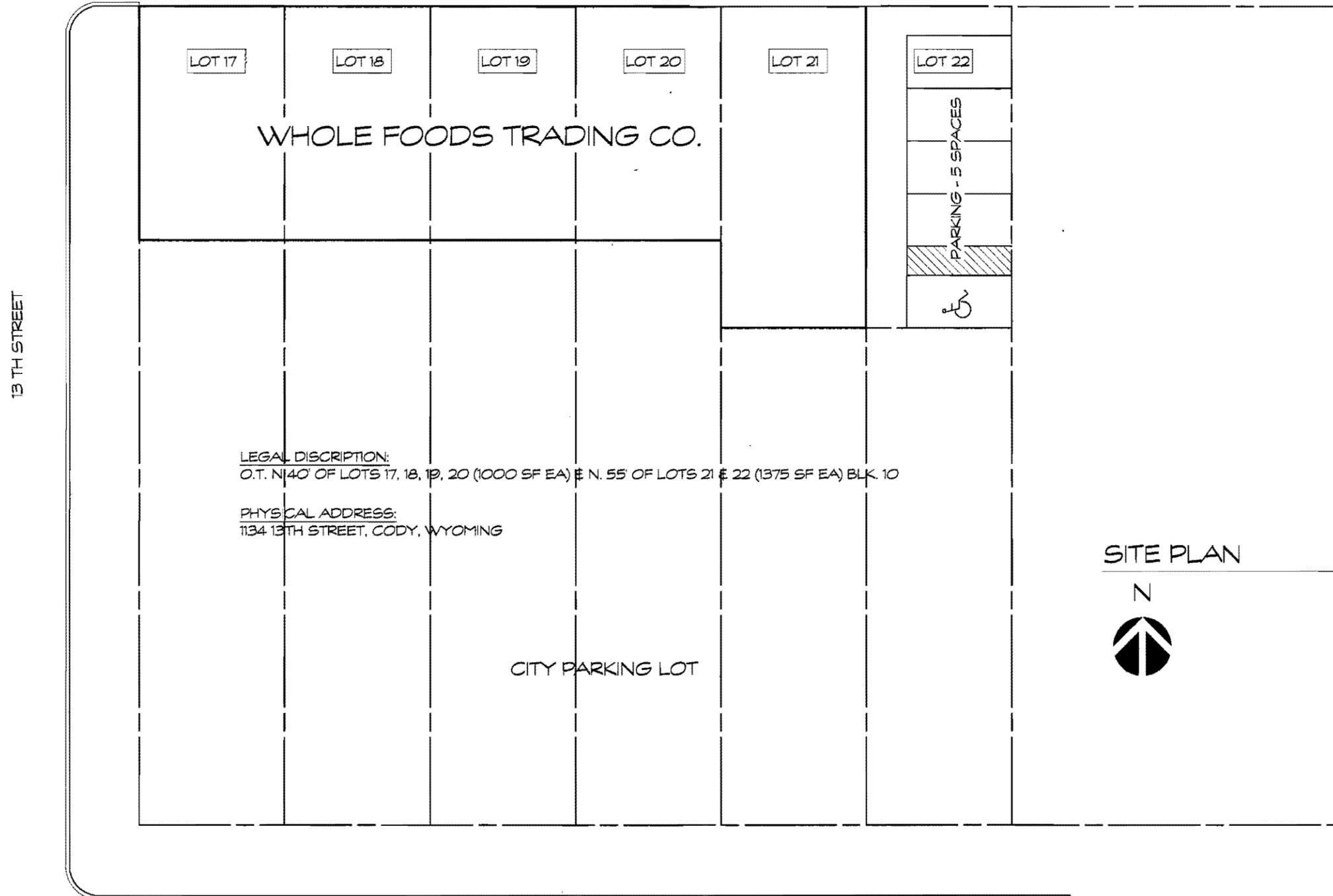
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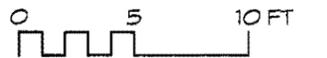
WHOLE FOODS TRADING CO. - BUILDING REMODEL

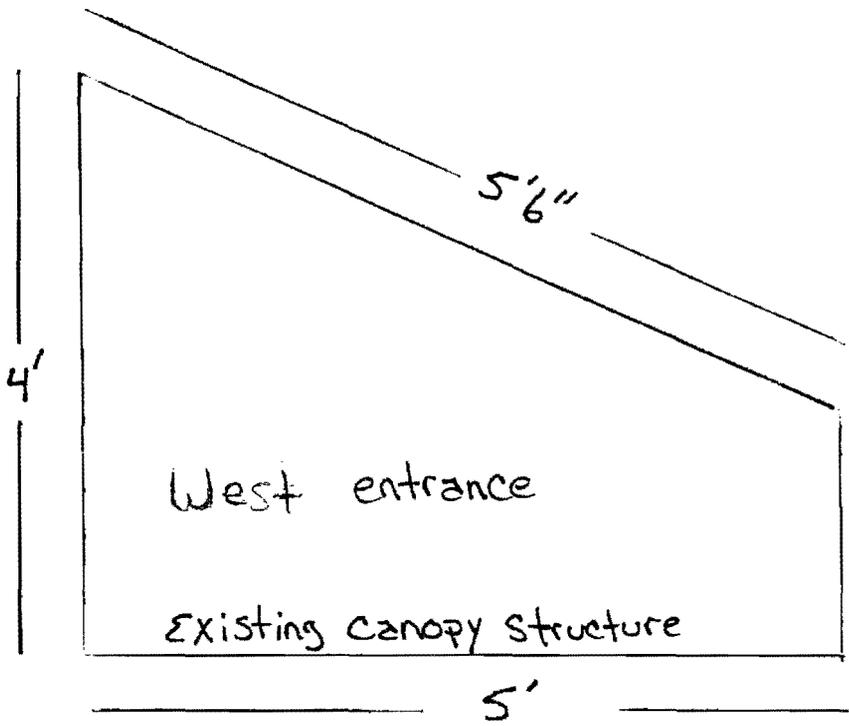
CODY, WYOMING

ALLEY

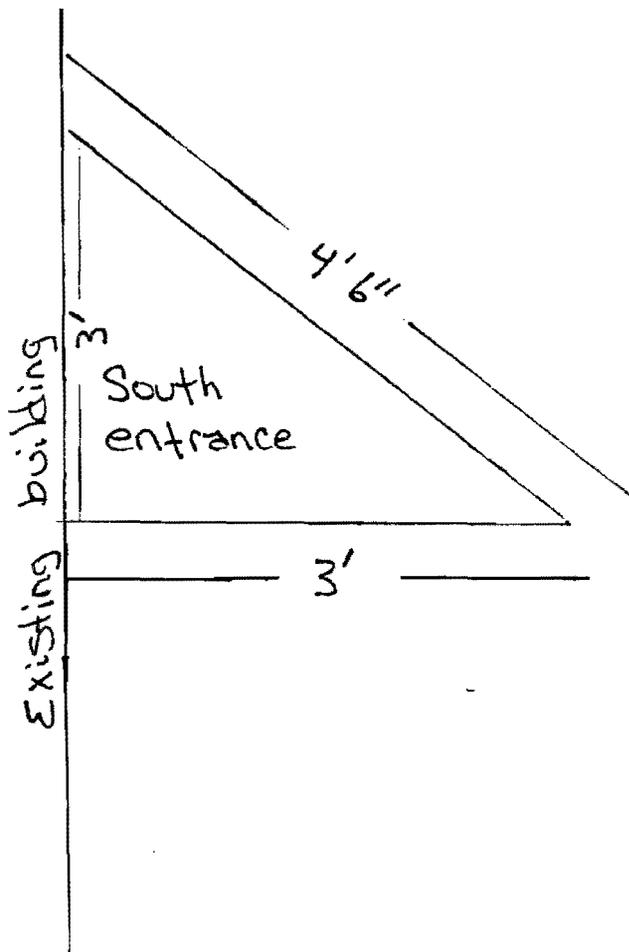


SITE PLAN





40' long
 10' off ground
 New yellow lettering
 whole Foods trading Co.
 14" high letters
 25' in length
 color yellow



Zwing Cantilever
 Over parking area
 9' off ground
 10' long
 whole Foods trading Co
 Sign above 4'x8'

HEALTH FOODS. VITAMINS. HERBS. HOMEOPATHY.

Whole Foods
TRADING COMPANY

www.wholefoodstrading.com

307.587.3213

CODY, WYOMING

For 7/26/2011
Meeting @ 12-00



**PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION
FOR LANDSCAPING, ARCHITECTURAL & SIGN PLANS**

STAFF USE
File: 5PR11-27
P&Z Invoice: 553-1

Applicant's Name: TODD RENO Business Name: RENO COLLISION CENTER
Applicant's Address: 2221 Lt. Childress City: Cody State: WY Zip: 82414
Phone: 307 527 5556 Cell: 899 5471 Fax: 527 5562 Email: reno@collisioncenter.com

Property Owner's Name: SAME
Property Owner's Address: _____ City: _____ State: _____ Zip: _____
Project Address: 2221 Lt. Childress Legal Description: lot 7 Frank Sub Zone: E Indust.

Total current area of Signage in Square Feet: _____ Proposed Area of Signage in Square Feet: _____
Overall Area of Signage in Square Feet: _____ Licensed Contractor or Sign Installer: _____

- Type of Sign:
- Attached Wall
 - Freestanding
 - Marquee
 - Projecting
 - Awning
 - Suspended
 - Banner
 - Inflatable
 - Flag
 - Monument
 - Bulletin
 - Real Estate
 - Joint Directory
 - Billboard
 - Other -Please describe _____

Description of Proposal and Proposed Use of Project: Storage shed for parts & Windshields - mis.

Estimated Construction Start Date: _____
Representative Attending P&Z Meeting: TODD or CLARINE RENO

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.
Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.
Please see submittal Date and Fee schedule included in this document.

The **Architectural & Landscape plan** should be incorporated into the Site Development Plan required for a building permit. It must be dimensioned to scale.

1. Please include all of the following Architectural components:

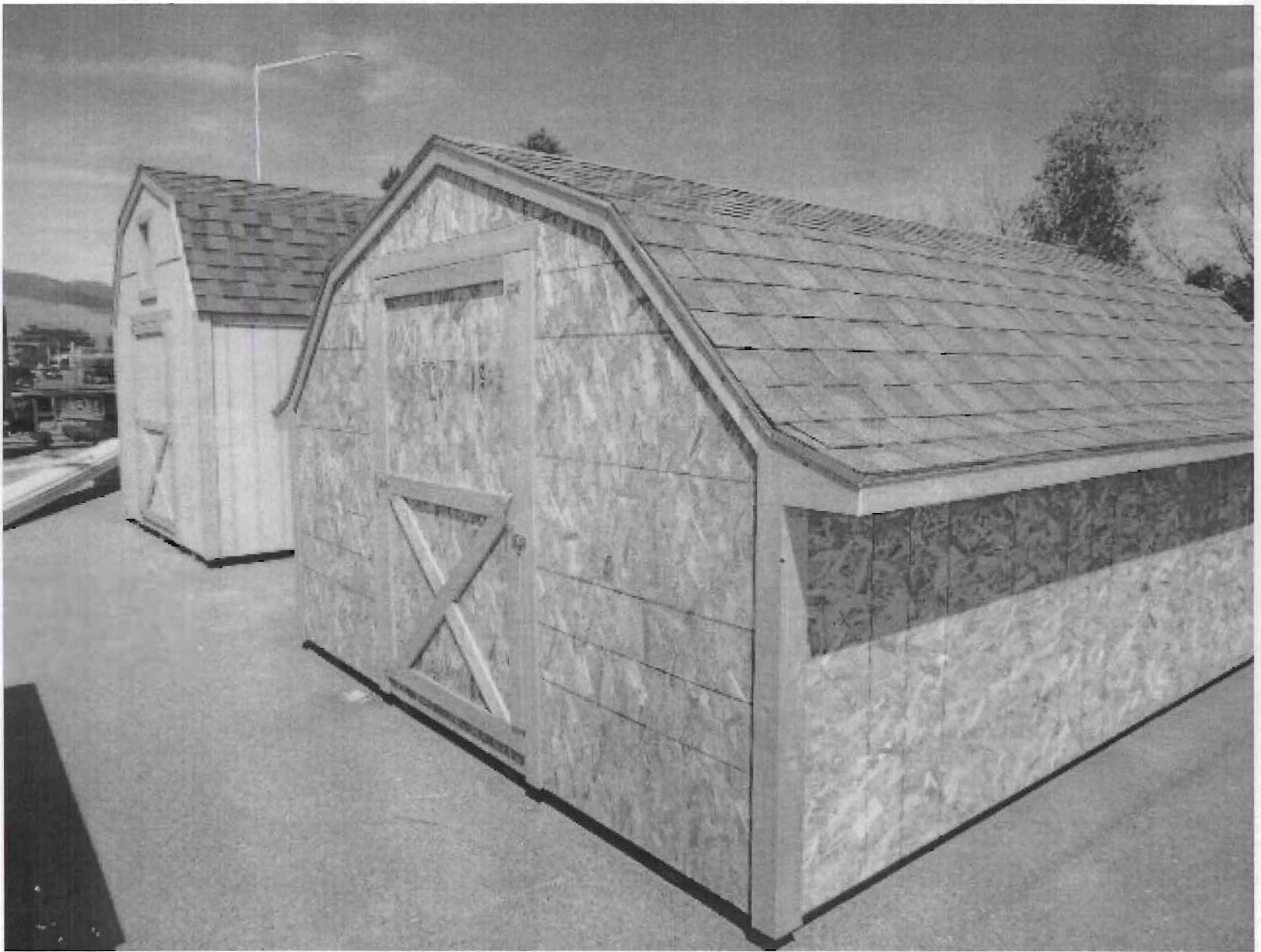
- Provide elevation views of each building face to illustrate scale, materials, color and roof lines including dimensions.
- Indicate lot lines, setbacks, easements and rights of way. Include a vicinity map with vicinity information describing surrounding land use, structures and zoning.
- Show parking layout (pavement limits, curb and gutter), pedestrian circulation and onsite parking with ADA compliance. Include information to support number of parking spaces provided and how it satisfies the city code requirement.
- Identify fencing on site (location, height, materials).
- Identify the site access points with dimensions.
- Depict the general site lighting techniques (please provide location, size, type of lighting, and cut sheets).
- Show the general grading and drainage scheme. Identify the location of drainage facilities and drainage basins.
Drainage computations must be supplied with all commercial applications. Identify the direction of flow onsite, buildings and types of surface improvements. All drainage reports must be stamped by a PE.

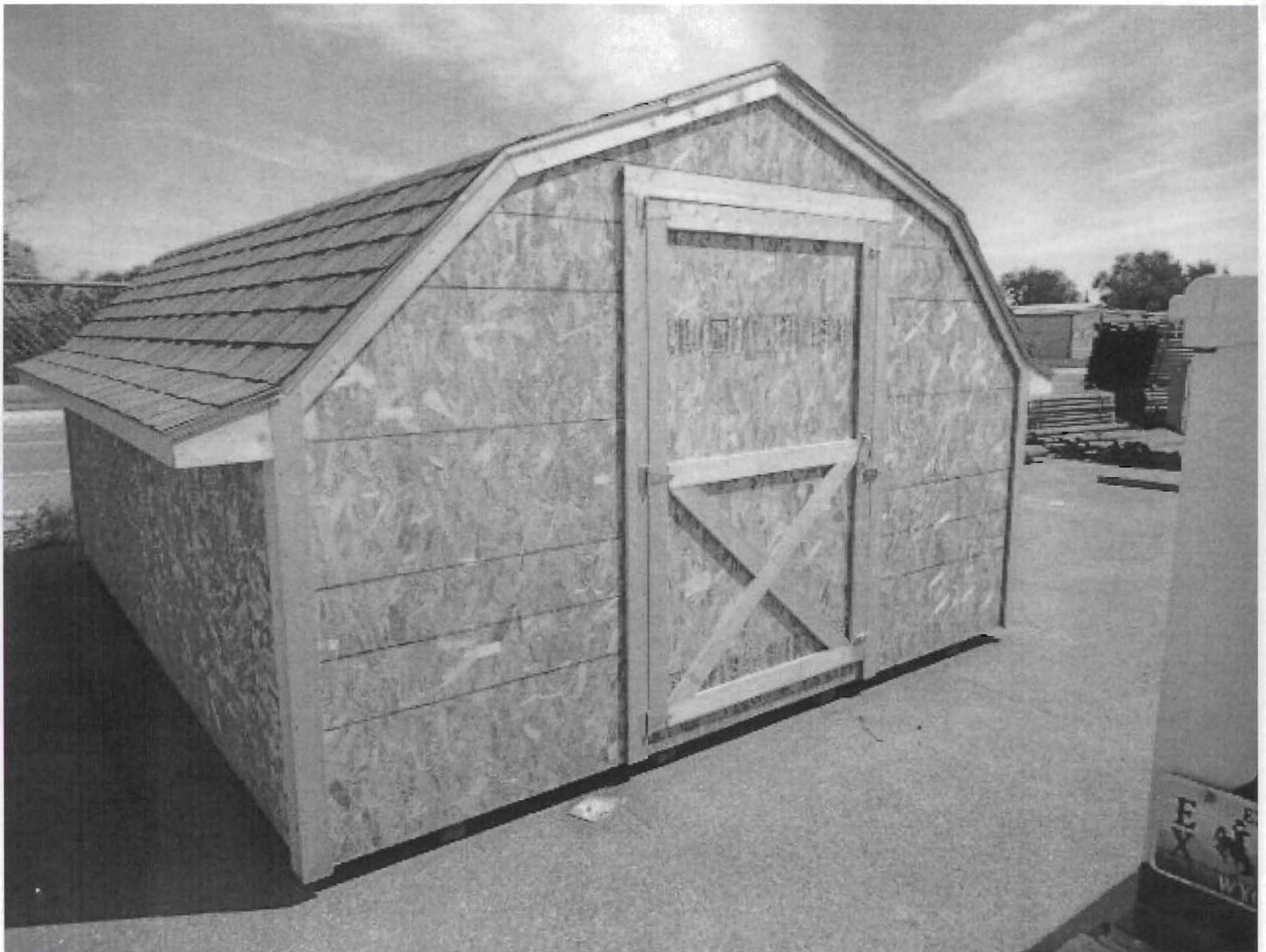
2. Please include all of the following Utility components:

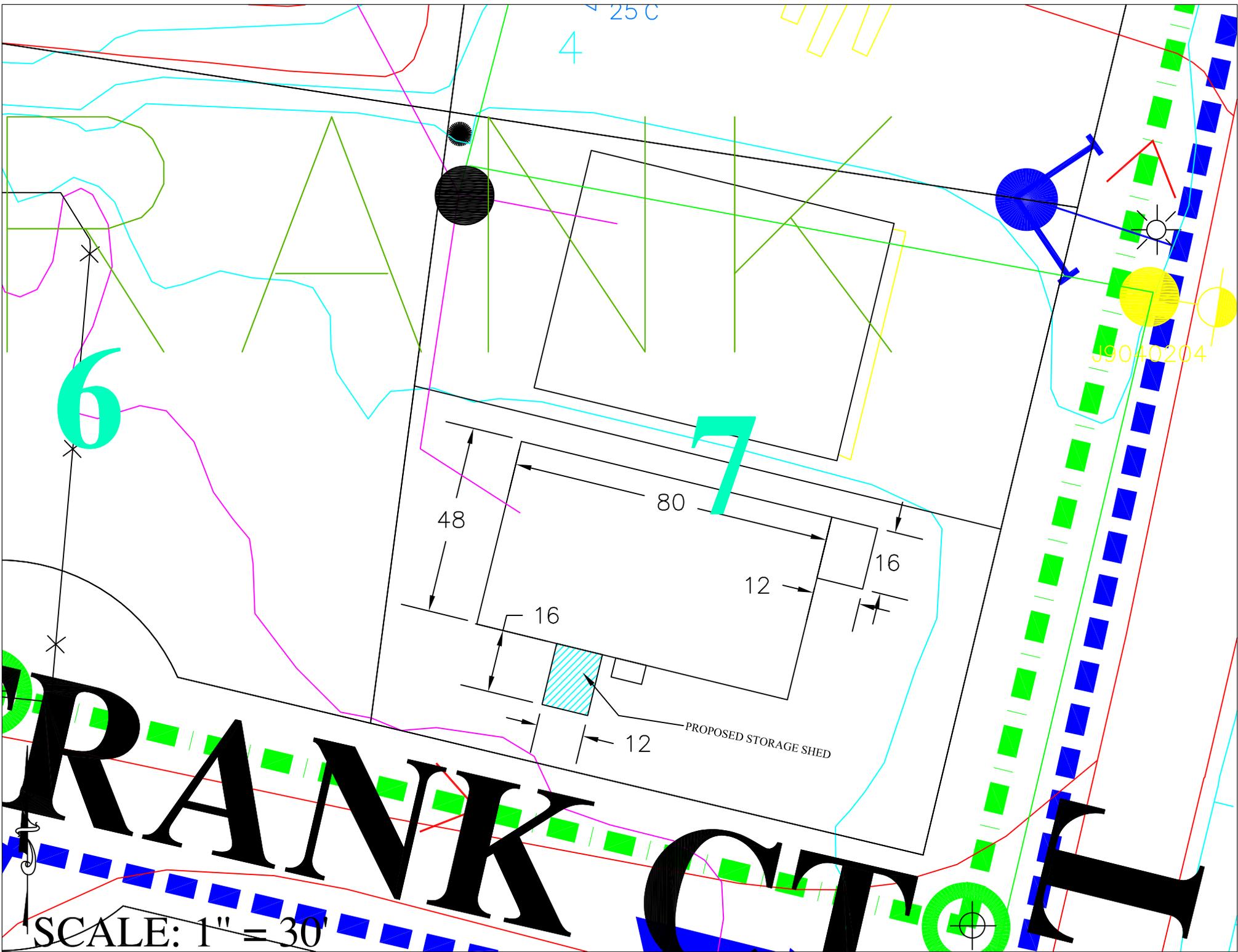
- Identify all existing and proposed water, sanitary sewer, storm water, electrical power, raw water, gas, telephone and cable utility lines.
- Provide specific electrical information - new service entrance size (in amps) and location on building, required service voltage, three phase or single phase service, electric load size-total connected load and expected coincident load, underground or overhead service to building(s), transformer location, and **estimated dates for temporary and permanent service installations.** On the site plan, include locations and layout of existing electrical power lines, electrical equipment and utility easements on or adjacent to the project site.
- Identify all locations of trash/dumpster and any proposed screening.
- Identify the location for snow removal.

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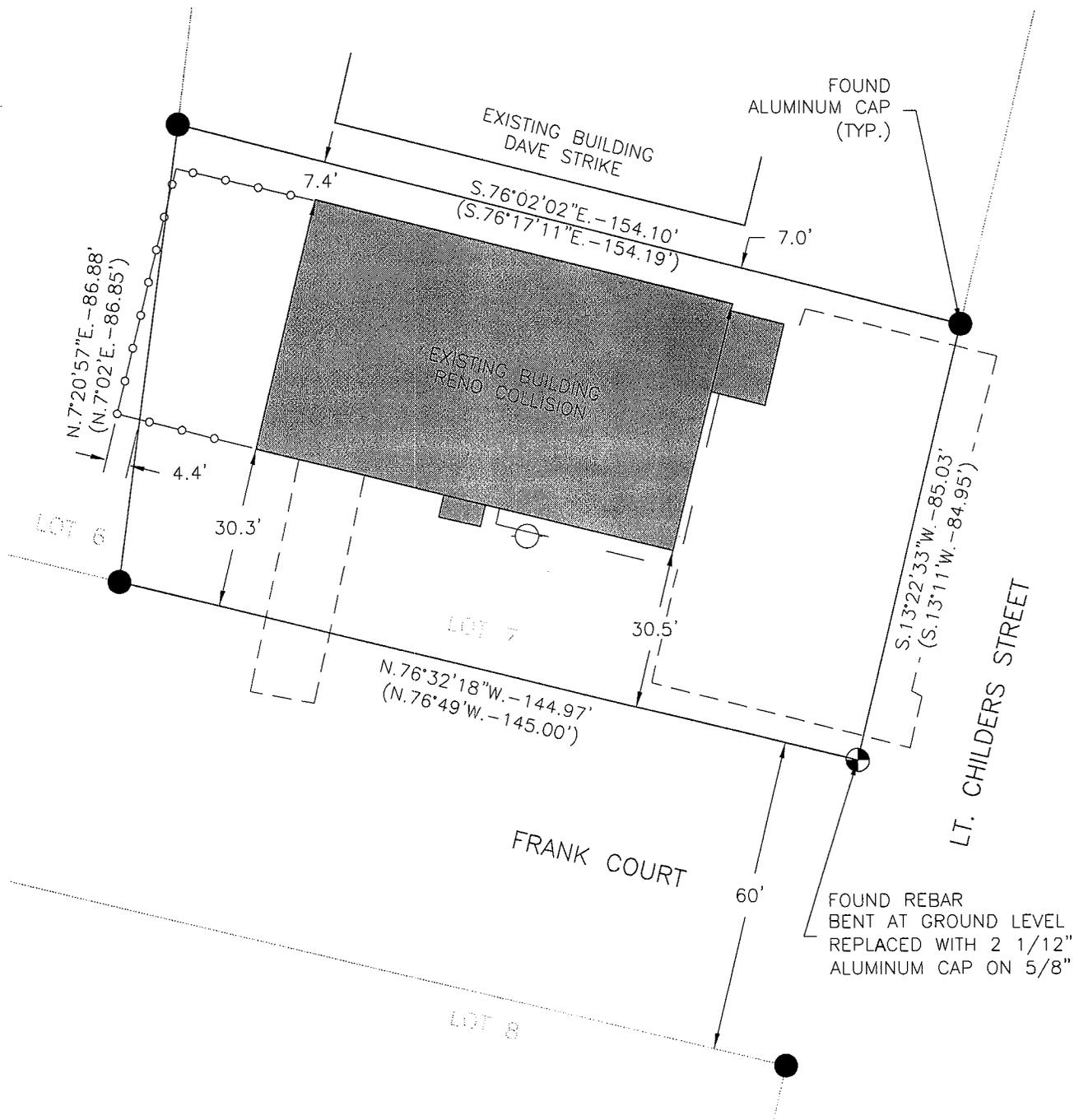
12

PROPOSED STORAGE SHED

SCALE: 1" = 30'

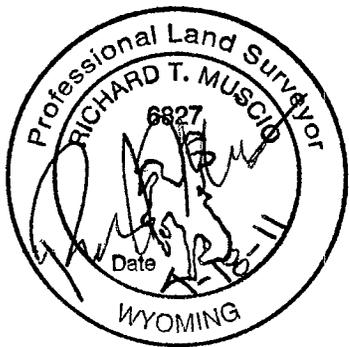
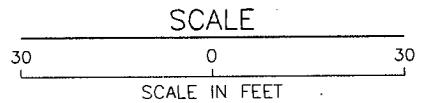
GRANK CT





BASIS OF BEARINGS ESTABLISHED FROM CITY OF CODY RECOGNIZED CONTROL SYSTEM.

THIS SURVEY IS INTENDED TO SHOW THE PROPERTY LINES AND IMPROVEMENTS ON THE PARCEL OF LAND OWNED BY TODD J RENO LIVING TRUST DESCRIBED IN QUITCLAIM DEED DOCUMENT#2008-683 ON RECORD IN THE OFFICE OF THE PARK COUNTY CLERK, PARK COUNTY, WYOMING.



DATED THIS 18 DAY OF ARR, 2011.

WYOMING REGISTRATION NO. PLS 6827



EXHIBIT A
 SHOWING
RENO COLLISION LOT SURVEY
 WITHIN
 LOT 7, FRANK SUBDIVISION
 CITY OF CODY
 PARK COUNTY, WYOMING
 TODD RENO CODY, WY

PROJECT NO. 111116



ENGINEERING • SURVEYING • PLANNING
 1508 STAMPEDE AVE., CODY, WYOMING 82414



STAFF USE
 File: SGN 11-19
 P&Z Invoice: 502-1
 Approved: [Signature]
 Date: 6/10/18

**PLANNING, ZONING AND ADJUSTMENT BOARD
 SIGN PLAN REVIEW APPLICATION**

Applicant's Name: Heart Mountain Crisis Pregnancy Center
 Applicant's Address: 11614 Beck Ave. City: Cody State: WY Zip: 82414
 Phone: (307) 213-5025 Cell: _____ Fax: (307) 213-5026 Email: sandi@serenityprc.org
 Property Owner's Name: Soot & Karin Palmour
 Property Owner's Address: P.O. Box 1987 City: Cody State: WY Zip: 82414
 Project Address: 11614 Beck Ave
 Legal Description: Lot 6, E 1/2 Lot 7 Block 3 Trueblood Subdivision Zone: D-2
 Linear Foot of Lot Frontage: 75 X 1.5 = 112.50 ft² = Total Allowable Signage
 Current Area of Signage in Square Feet: 116 Proposed Area of Signage in Square Feet: 116
 Overall Area of Signage in Square Feet: 116
 Licensed Contractor or Sign Installer: Roxenna Signs & Design
 Type of Sign: _____
 Description of Proposal: Replace existing "space for rent" sign with business sign, refacing existing sign

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) copies of detailed drawings, drawn to scale, containing complete plans & specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
 ***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.
- The sign elevation which must indicate overall and letter/figure dimensions, colors, materials, proposed copy and illumination. This is for design review not content.
- A site plan indicating all signs existing or proposed for the site with dimensions, colors, materials, and/or illumination for each sign.
- Building elevations with signs depicted.
- The linear frontage of the property where the sign is to be located.
- Letter of authorization from the property owner if applicable.
- Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.
Please Select the Appropriate Sign Type:
- Sign Plans (flush, wall mount w/out electricity): \$25.00
- Sign Plans (electrical, requiring base structure or projecting): \$50.00
- Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained prior to installation.

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.





PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION

STAFF USE
File: SGN11-20
P&Z Invoice: 246-3
Approved: [Signature]
Date: 7/28/11

Applicant's Name: Sunset Properties Inc Business Name: Eighth Street
Applicant's Address: 1800 8th Street City: Cody State: WY Zip: 82414
Phone: 587-5323 Cell: _____ Fax: 587-9029 Email: _____

Property Owner's Name: Sunset Properties, Inc.
Property Owner's Address: 1601 8th Street City: Cody State: WY Zip: 82414
Project Address: 1800 8th Street Legal Description: _____ Zone: D2

Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 150 + or -

Overall Area of Signage in Square Feet: _____ Licensed Contractor or Sign Installer: Sign Products, Inc.

- Type of Sign: Attached Wall Freestanding Marquee Projecting Awning Suspended
 Banner Inflatable Flag Monument Bulletin Real Estate
 Joint Directory Billboard Other - Please describe _____

Description of Proposal: _____

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.

*****In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.**

A site plan which identifies: City has the plans.
• The location of all exterior signs existing or proposed for the premise.
• Building elevations with signs depicted.
• Sign Elevations must indicate overall and letter/figure dimensions
• Colors, materials and illumination for each sign

- Letter of authorization from the property owner if applicable.
- Billboard applications must also include:
• Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
• Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.
- Inflatable applications must also include:
• Design and construction details to demonstrate compliance with City wind load requirements
• How the electricity will be supplied to the inflatable
• Demonstrate that the anchoring mechanisms will not present a danger to the public
• Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
• Altitude _____ Total Aggregated Square Footage _____

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- Sign Plans (flush, wall mount w/out electricity): \$25.00
 Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart
Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

DESIGN As Designed
 Approval for Production With Changes

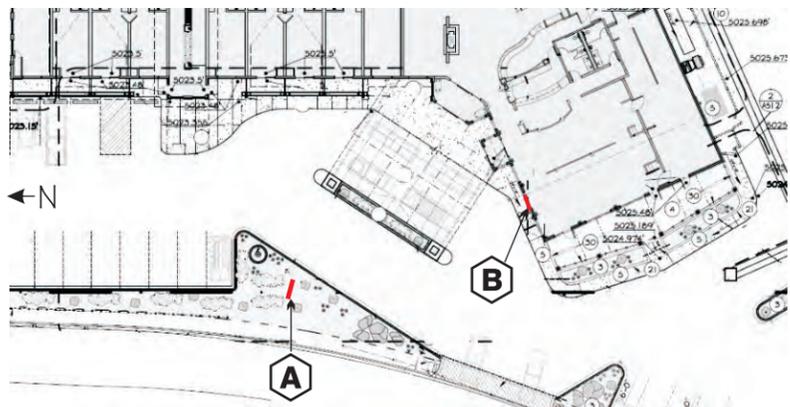
X
 Client Signature _____

Sales _____

DATE ____/____/____



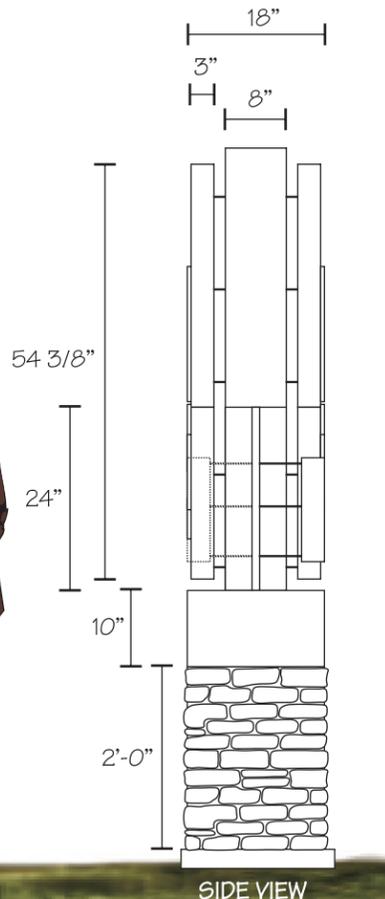
NIGHT VIEW



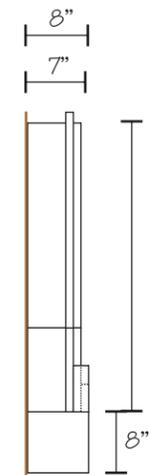
PARTIAL SITE PLAN NO SCALE



DOUBLE FACED GROUND SIGN SCALE 1/2" = 1'-0"



SIDE VIEW



SIDE VIEW



BUILDING ELEVATION SCALE 1/8" = 1'-0"



SINGLE FACED BUILDING SIGN SCALE 1/2" = 1'-0"

A MANUFACTURE AND INSTALL ONE DOUBLE FACED GROUND MONUMENT SIGN, FABRICATED SHEET METAL CABINET WITH INTERNAL ANGLE IRON FRAME, PAINT FINISH TAN, FACES ARE 3" DEEP ALUMINUM REVERSE PAN CHANNELS, PAINT FINISH DARK BRONZE METALLIC. ROUTE COPY AREA FROM FACES, COPY IS 1/2" DEEP CLEAR ACRYLIC WITH A 3/16" WHITE ACRYLIC LAMINATED FACE. PUSH THRU APPLICATION. PORTION OF IVY GRAPHIC ON FACES IS 1/2" DEEP SINTRA WITH A OLIVE GRAY PAINT FINISH, PORTION THAT EXTENDS OFF OF FACE IS 3" DEEP SIGN FOAM OR METAL REVERSE PAN. ATTACH TO FRAME WITH STANDOFFS. ILLUMINATE FACES WITH WHITE NEON GRID BEHIND COPY. MOUNT FACES TO CABINET WITH 1 1/2" PEG OFF FROM SURFACE TO ALLOW FOR HALO ILLUMINATION OF FACES, LOWER CABINET IS FABRICATED ALUMINUM WITH ALUMINUM FACES, PAINT FINISH DARK BRONZE, ROUTE COPY FROM FACES AND BACK ROUTE AREA WITH #2146 IVORY PLEXIGLAS, ILLUMINATE FROM INTERIOR WITH FLUORESCENT LAMPS. FRAME WORK AROUND CABINET IS 1" SQUARE TUBE WITH A TAN PAINT FINISH, MOUNT SIGN TO A FABRICATED ANGLE IRON BASE, COVER BASE WITH PLYWOOD. CULTURED ROCK APPLIED TO PLYWOOD BASE TO MATCH ROCK ON BUILDING AND APPLIED BY OTHERS. MOUNT ALL TO A CONCRETE MOW PAD IN AREA SHOW IN SITE PLAN.

B MANUFACTURE AND INSTALL ONE SINGLE FACED BUILDING SIGN, 7" DEEP REVERSE PAN TYPE CABINETS, ENAMEL PAINT FINISH DARK BRONZE METALLIC. ROUTE COPY AREAS FROM FACES BACK "8TH STREET" WITH #7328 WHITE ACRYLIC, BACK "RESTAURANT & BAR" WITH #2146 IVORY ACRYLIC. ILLUMINATE FROM INTERIOR WITH FLUORESCENT LAMPS. FRAME WORK AROUND UPPER CABINET IS 1" SQUARE TUBE WITH A TAN PAINT FINISH. IVY GRAPHIC ON UPPER FACE IS 1" HDU SIGN FOAM, PORTION ON FRAME WORK IS 2" DEEP SIGN FOAM, AND PORTION ON LOWER CABINET IS FLAT PAINTED. FINISH GRAPHIC OLIVE GRAY, MOUNT SIGN TO BUILDING ABOVE ENTRANCE AS SHOWN IN BUILDING ELEVATION.

This design is the property of Sign Products Inc. and all rights to its use or reproduction are reserved

DESIGNER	TP
SHEET #	1 OF 1
DESIGN #	16884-11B
SALES	MIKE N.
DATE	04-11-11
REVISED	06-08-11
SCALE	SHOWN
CLIENT	8TH STREET RESTAURANT BEST WESTERN CODY, WY
SIGN PRODUCTS, INC. 1425 MONAD, BILLINGS, MT 59104 Phone: (406) 252-6348 Fax: (406) 252-6654	
SIGN PRODUCTS MONTANA • WYOMING	



ENGINEERING ASSOCIATES
A Wyoming Corporation
P.O. BOX 1900 ♦ 902 13TH STREET
CODY, WYOMING 82414
307-587-4911 ♦ FAX 587-2596

MEMORANDUM

TO: City of Cody Planning – Attn: Jolene
FROM: Robert A. Overfield, PE *RAO*
DATE: July 6, 2011
SUBJECT: **Best Western Ivy – Monument Sign Permit Application**

This email is a compilation and supplement to the Monument Sign Permit Application for the new Best Western Ivy – Inn and Suites on 8th Street. This package includes the following:

1. Doc 2010-4654; Gas Easement document between Garlow and Energy West.
2. Doc 2011-2675; Gas Easement document between Garlow and Energy West.
3. Partial site plan showing gas easements, and location of sign, flagpole, and fire hydrant.
4. Sign Design by Sign Products, Inc.
5. Plan Sheet AS1.2, showing planned island details.

Please consider this memo a request for a variance regarding placement of the monument sign on the gas easement. As can be seen in the easement documents, Energy West did acknowledge and agree to allow the placement of a sign on the easement.

Please call with any questions you may have or if you need additional information.

RAO

STATE OF WYOMING

COUNTY OF PARK

RIGHT-OF-WAY AGREEMENT

FOR AND IN CONSIDERATION OF Ten Dollars (\$10.00) in hand paid, the receipt and sufficiency of which is hereby acknowledged, that **Sunset Properties, Inc.** hereinafter called **GRANTOR**, does hereby **GRANT, BARGAIN, SELL and CONVEY** to **Energy West Wyoming, a division of Energy West Inc.** and its successors in interest hereinafter called **GRANTEE**, an non-exclusive right-of-way and easement along a route, to construct and install, maintain inspect, operate, replace, repair, change or remove a natural gas pipeline across, under and upon the lands of **GRANTOR** in County of **PARK**, State of **WYOMING**, which parcel of land is more particularly described in the attached Exhibit "A" which by this reference is made a part hereof.

IT IS FURTHER AGREED AND UNDERSTOOD as follows:

1. The **GRANTEE** shall have all the rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, including, but not limited to, the free right of ingress to and egress over and across said land to and from said right-of-way and easement. **GRANTEE** may use such portion of the property along and adjacent to said right-of-way as may be reasonably necessary in connection with the construction, maintenance, repair, removal, or replacement of its facilities; provided **GRANTEE** shall be obligated to pay for all damages. **GRANTEE** understands that **GRANTOR** will install improvements on the easement granted by **GRANTOR**. The improvements will include curb and gutter, paving landscaping and signage. **GRANTEE** agrees that if it is ever necessary to access, replace change or remove the Natural Gas Pipe line, that it replace **GRANTORS** improvements in equal or better condition.

2. **TO HAVE AND TO HOLD** unto **GRANTEE**, its successors, and assigns, so long as the rights and easements herein granted, or any one of them shall be used by, or useful to, **GRANTEE** for the purposes herein granted with ingress to and egress from the premises for the purpose of construction, inspecting, repairing, maintaining, replacing and removing the property of **GRANTEE** herein described; and the undersigned hereby bind themselves, their heirs, executors and administrators (and successors and assigns) to warrant and forever defend all singular said premises unto the **GRANTEE**, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

3. The **GRANTEE** agrees to bury all pipes at a sufficient depth. **GRANTEE** understands **GRANTOR** will start installing improvements on the easement in January, 2011. The improvements will include curb gutter, paving landscaping and signage.

4 This agreement shall be binding upon and shall be for the benefit of the heirs, successor, representatives and assigns of **GRANTOR**. This right-of-way may only be assigned by **GRANTEE** to the successors in interest to the single gas pipeline identified herein.

5. It is agreed that this grant covers all the agreements between the parties and that no representation or statements, verbal or written, have been made modifying, adding to, or changing the terms of the Agreement.

IN TESTIMONY WHEREOF, the GRANTORS herein have executed this conveyance this

21st day of June, 2010.

LANDOWNER'S SIGNATURE

W. Olson

ACKNOWLEDGEMENT

State of Wyoming

County of Park

The foregoing instrument was acknowledged before me

by William C. Carlson

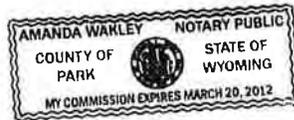
this 21st day of June, 2010.

Witness my hand and official seal.

Amanda Wakley

Notary Public

My Commission expires March 20, 2012



**- EXHIBIT A -
CERTIFIED LAND DESCRIPTION**

State of Wyoming)
) SS.
County of Park)

I, Lyle J. Casciato, of Engineering Associates in Cody, Wyoming, hereby certify that this description was prepared by me for Sunset Properties, Inc., from records on file in the Park County Clerk's office.

AN EASEMENT BEING 10.00 FEET IN WIDTH, located within that parcel of land filed as Document #2007-124 on file in the office of the Park County Clerk, within Lot 68, Resurvey Township 52 North, Range 102 West, 6th P.M., Park County, Wyoming, being more particularly described as follows:

The west 10.00 feet of the north 225.00 feet of said parcel:

said easement containing 0.052 acres, more or less;

ALL IN ACCORDANCE with a Map to Accompany Description of Easement for Sunset Properties, Inc., entitled in part "Lot 68, Resurvey T.52N., R.102W., 6th P.M." attached hereto and by this reference made a part hereof.

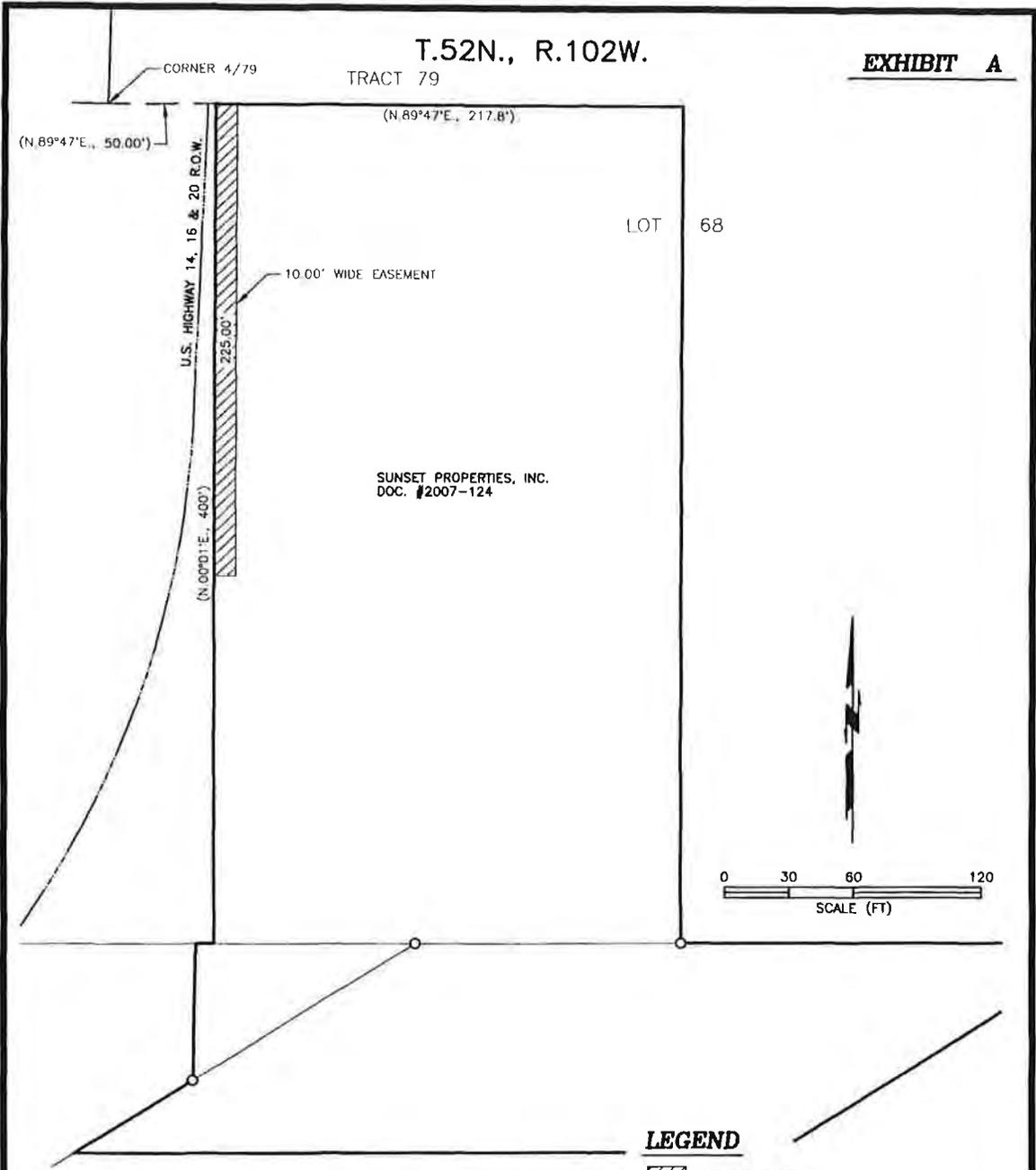
THIS DESCRIPTION is prepared for location purposes. Specific conditions of land use are to be fully described in the conveyance documents this description accompanies. Title to the lands described herein is to be investigated and reported by others.



ENGINEERING ASSOCIATES
Cody, Wyoming 82414
Job No. 08134.02

Alteration of this description other than by the above certifying Professional Engineer and Professional Land Surveyor or as otherwise allowed by law may affect liability for the accuracy of said description.

 Pg. 3 of 4
2010-4654 Park County WY 7/21/2010 9:25 AM Fees: \$17.00



LEGEND

- SUBJECT EASEMENT.
- FOUND 1/2" PIPE (UNLESS OTHERWISE NOTED)
- (N.89°47'E., 50.00') RECORD DIMENSIONS, BOOK 175, PAGE 685.

CERTIFICATE OF SURVEYOR

STATE OF WYOMING } ss.
COUNTY OF PARK }

I, LYLE J. CASCIATO, OF CODY, WYOMING, HEREBY CERTIFY THAT THIS MAP WAS MADE FROM RECORDS ON FILE IN THE PARK COUNTY CLERK'S OFFICE AND THAT THIS MAP IS MADE TO ACCOMPANY A DESCRIPTION OF THE EASEMENT SHOWN HEREON.



ALTERATION OF THIS MAP OTHER THAN BY THE ABOVE PROFESSIONAL ENGINEER AND LAND SURVEYOR OR AS OTHERWISE ALLOWED BY LAW MAY AFFECT LIABILITY FOR THE ACCURACY OF SAID MAP.

Map To Accompany Description
Of Easement

SUNSET PROPERTIES, INC.
- Located In -
LOT 68,
RESURVEY T.52N., R.102W., 6TH P.M.,
PARK COUNTY, WYOMING
- Prepared By -
ENGINEERING ASSOCIATES, CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

MARCH 23, 2010
FB 415 08134.02
08134\ACAD\ESMT

RMN, LLC SHEET 1 OF 1

STATE OF WYOMING

COUNTY OF PARK

RIGHT-OF-WAY AGREEMENT

FOR AND IN CONSIDERATION OF Ten Dollars (\$10.00) in hand paid, the receipt and sufficiency of which is hereby acknowledged, that **Sunset Properties, Inc.** hereinafter called **GRANTOR**, does hereby **GRANT, BARGAIN, SELL and CONVEY** to **Energy West Wyoming, a division of Energy West Inc.** and its successors in interest hereinafter called **GRANTEE**, an non-exclusive right-of-way and easement along a route, to construct and install, maintain inspect, operate, replace, repair, change or remove a natural gas pipeline across, under and upon the lands of **GRANTOR** in County of **PARK**, State of **WYOMING**, which parcel of land is more particularly described in the attached Exhibit "A" which by this reference is made a part hereof.

IT IS FURTHER AGREED AND UNDERSTOOD as follows:

1. The **GRANTEE** shall have all the rights and benefits necessary or convenient for the full enjoyment or use of the rights herein granted, including, but not limited to, the free right of ingress to and egress over and across said land to and from said right-of-way and easement. **GRANTEE** may use such portion of the property along and adjacent to said right-of-way as may be reasonably necessary in connection with the construction, maintenance, repair, removal, or replacement of its facilities; provided **GRANTEE** shall be obligated to pay for all damages. **GRANTEE** understands that **GRANTOR** will install improvements on the easement granted by **GRANTOR**. The improvements will include curb and gutter, paving landscaping and signage. **GRANTEE** agrees that if it is ever necessary to access, replace change or remove the Natural Gas Pipe line, that it replace **GRANTOR**s improvements in equal or better condition.

2. **TO HAVE AND TO HOLD** unto **GRANTEE**, its successors, and assigns, so long as the rights and easements herein granted, or any one of them shall be used by, or useful to, **GRANTEE** for the purposes herein granted with ingress to and egress from the premises for the purpose of construction, inspecting, repairing, maintaining, replacing and removing the property of **GRANTEE** herein described; and the undersigned hereby bind themselves, their heirs, executors and administrators (and successors and assigns) to warrant and forever defend all singular said premises unto the **GRANTEE**, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

3. The **GRANTEE** agrees to bury all pipes at a sufficient depth. **GRANTEE** understands **GRANTOR** will start installing improvements on the easement in January, 2011. The improvements will include curb gutter, paving landscaping and signage.

4 This agreement shall be binding upon and shall be for the benefit of the heirs, successor, representatives and assigns of **GRANTOR**. This right-of-way may only be assigned by **GRANTEE** to the successors in interest to the single gas pipeline identified herein.

5. It is agreed that this grant covers all the agreements between the parties and that no representation or statements, verbal or written, have been made modifying, adding to, or changing the terms of the Agreement.

 Pg: 1 of 4
2011-2675 Park County WY 5/9/2011 3:40 PM Fees: \$17 00

IN TESTIMONY WHEREOF, the GRANTORS herein have executed this conveyance this _____ day of _____, 20_____.

[Handwritten Signature]

LANDOWNER'S SIGNATURE

ACKNOWLEDGEMENT

State of Wyoming)

County of Park)

The foregoing instrument was acknowledged before me

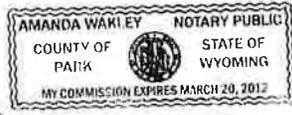
by Bill Baerlow

this 9th day of May, 2011.

Witness my hand and official seal.

[Handwritten Signature: Amanda Wakley]

Notary Public



My Commission expires March 20, 2012

2011-2675 Park County WY 5/9/2011 3:40 PM Fees: \$17 00 Pg 2 of 4

**- EXHIBIT A -
CERTIFIED LAND DESCRIPTION**

State of Wyoming)
) SS.
County of Park)

I, Lyle J. Casciato, of Engineering Associates in Cody, Wyoming, hereby certify that this description was prepared by me for Sunset Properties, Inc., from records on file in the Park County Clerk's office.

AN EASEMENT BEING 10.00 FEET IN WIDTH, located within that parcel of land filed as Document #2007-124 on file in the office of the Park County Clerk, within Lot 68, Resurvey Township 52 North, Range 102 West, 6th P.M., Park County, Wyoming, being more particularly described as follows:

The south 25.00 feet of the north 250.00 feet of the west 10.00 feet of said parcel:

said easement containing 0.006 acres, more or less;

ALL IN ACCORDANCE with a Map to Accompany Description of Easement for Sunset Properties, Inc., entitled in part "Lot 68, Resurvey T.52N., R.102W., 6th P.M." attached hereto and by this reference made a part hereof.

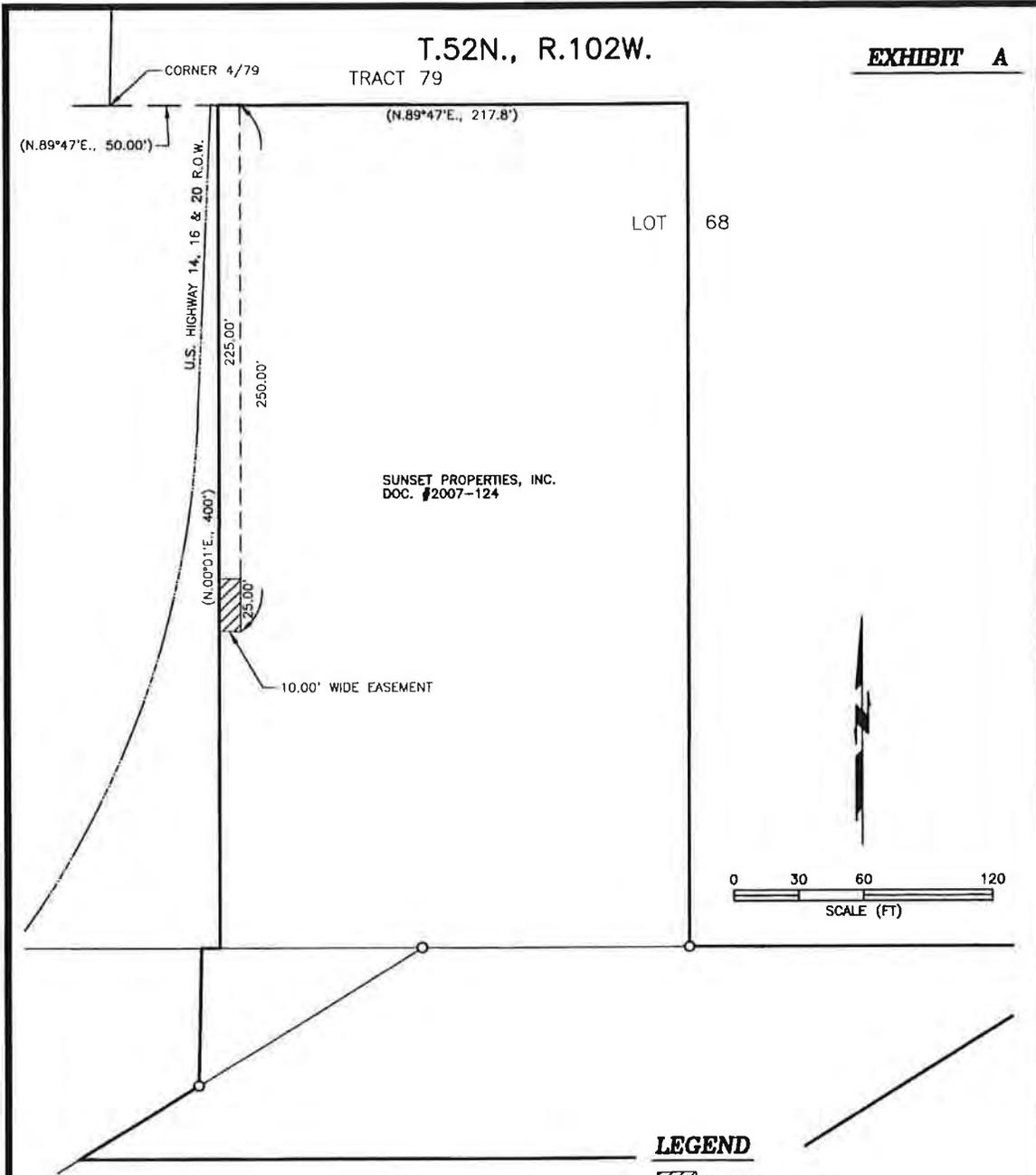
THIS DESCRIPTION is prepared for location purposes. Specific conditions of land use are to be fully described in the conveyance documents this description accompanies. Title to the lands described herein is to be investigated and reported by others.



ENGINEERING ASSOCIATES
Cody, Wyoming 82414
Job No. 08134.02

Alteration of this description other than by the above certifying Professional Land Surveyor or as otherwise allowed by law may affect liability for the accuracy of said description.

Pg: 3 of 4
2011-2675 Park County WY 5/9/2011 3:40 PM Fees. \$17.00



CERTIFICATE OF SURVEYOR

STATE OF WYOMING }
 COUNTY OF PARK } ss.

I, LYLE J. CASCIATO, OF CODY, WYOMING, HEREBY CERTIFY THAT THIS MAP WAS MADE FROM RECORDS ON FILE IN THE PARK COUNTY CLERK'S OFFICE AND THAT THIS MAP IS MADE TO ACCOMPANY A DESCRIPTION OF THE EASEMENT SHOWN HEREON.



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LEGEND

- SUBJECT EASEMENT.
- FOUND 1/2" PIPE (UNLESS OTHERWISE NOTED)
- (N.89°47'E., 50.00') RECORD DIMENSIONS, BOOK 175, PAGE 685.

Map To Accompany Description
 Of Easement

SUNSET PROPERTIES, INC.

- Located In -
 LOT 68,
 RESURVEY T.52N., R.102W., 6TH P.M.,
 PARK COUNTY, WYOMING

- Prepared By -
 ENGINEERING ASSOCIATES, CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS



MARCH 3, 2011
 FB 415 08134.02
 08134\ACAD\ESMT
 RMN, LJC SHEET 1 OF 1

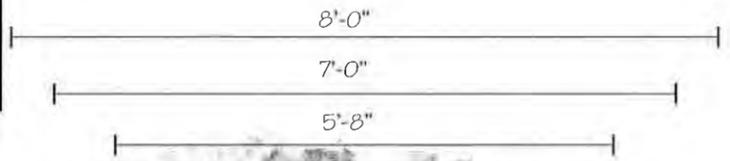
DESIGN As Designed
 With Changes

Approval for Production

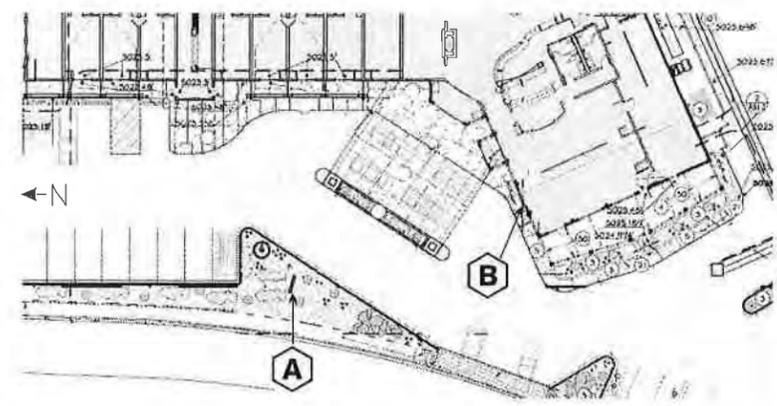
X
 Client Signature

Scale

DATE / /



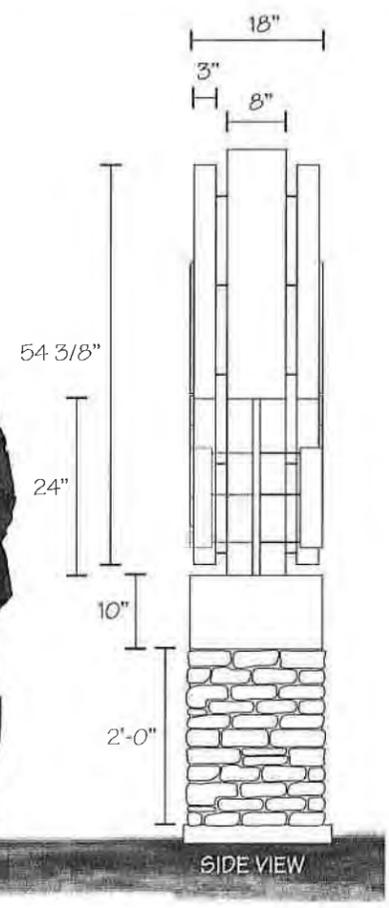
NIGHT VIEW



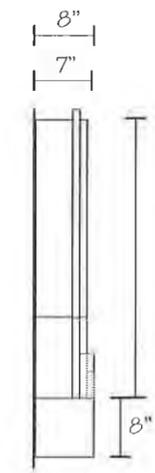
PARTIAL SITE PLAN NO SCALE



DOUBLE FACED GROUND SIGN SCALE 1/2" = 1'-0"



SIDE VIEW



SIDE VIEW



BUILDING ELEVATION SCALE 1/8" = 1'-0"

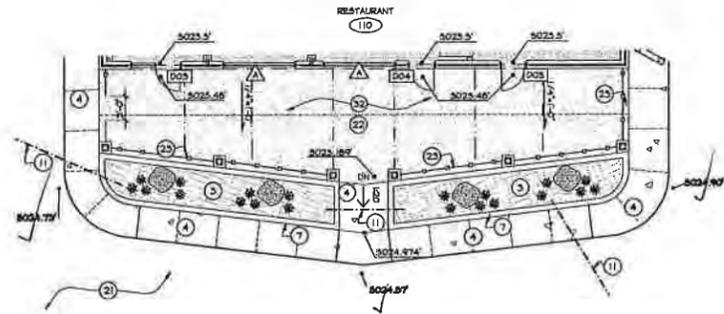


SINGLE FACED BUILDING SIGN SCALE 1/2" = 1'-0"

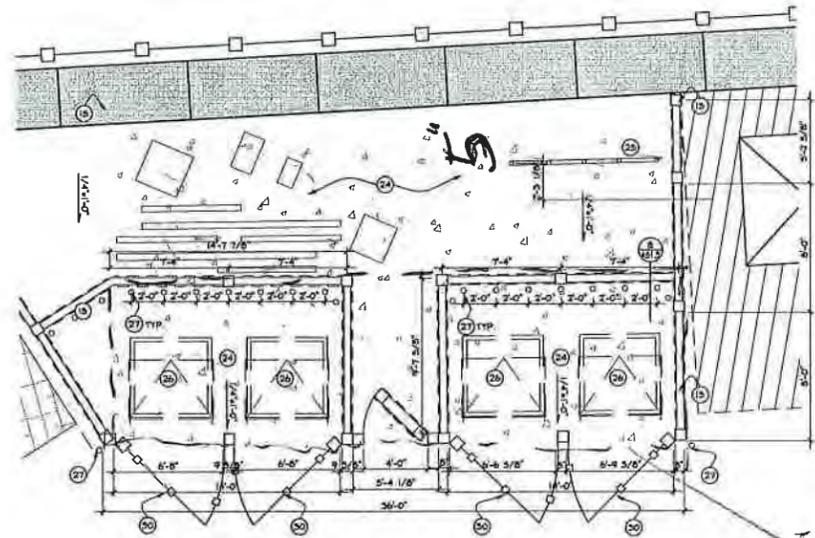
A MANUFACTURE AND INSTALL ONE DOUBLE FACED GROUND MONUMENT SIGN, FABRICATED SHEET METAL CABINET WITH INTERNAL ANGLE IRON FRAME, PAINT FINISH TAN, FACES ARE 3" DEEP ALUMINUM REVERSE PAN CHANNELS, PAINT FINISH DARK BRONZE METALLIC. ROUTE COPY AREA FROM FACES, COPY IS 1/2" DEEP CLEAR ACRYLIC WITH A 3/16" WHITE ACRYLIC LAMINATED FACE. PUSH THRU APPLICATION. PORTION OF IVY GRAPHIC ON FACES IS 1/2" DEEP SINTRA WITH A OLIVE GRAY PAINT FINISH, PORTION THAT EXTENDS OFF OF FACE IS 3" DEEP SIGN FOAM OR METAL REVERSE PAN. ATTACH TO FRAME WITH STANDOFFS. ILLUMINATE FACES WITH WHITE NEON GRID BEHIND COPY. MOUNT FACES TO CABINET WITH 1 1/2" PEG OFF FROM SURFACE TO ALLOW FOR HALO ILLUMINATION OF FACES, LOWER CABINET IS FABRICATED ALUMINUM WITH ALUMINUM FACES, PAINT FINISH DARK BRONZE, ROUTE COPY FROM FACES AND BACK ROUTE AREA WITH #2146 IVORY PLEXIGLAS, ILLUMINATE FROM INTERIOR WITH FLUORESCENT LAMPS. FRAME WORK AROUND CABINET IS 1" SQUARE TUBE WITH A TAN PAINT FINISH, MOUNT SIGN TO A FABRICATED ANGLE IRON BASE, COVER BASE WITH PLYWOOD. CULTURED ROCK APPLIED TO PLYWOOD BASE TO MATCH ROCK ON BUILDING AND APPLIED BY OTHERS. MOUNT ALL TO A CONCRETE MOW PAD IN AREA SHOW IN SITE PLAN.

B MANUFACTURE AND INSTALL ONE SINGLE FACED BUILDING SIGN, 7" DEEP REVERSE PAN TYPE CABINETS, ENAMEL PAINT FINISH DARK BRONZE METALLIC, ROUTE COPY AREAS FROM FACES BACK "8TH STREET" WITH #7328 WHITE ACRYLIC, BACK "RESTAURANT & BAR" WITH #2146 IVORY ACRYLIC. ILLUMINATE FROM INTERIOR WITH FLUORESCENT LAMPS. FRAME WORK AROUND UPPER CABINET IS 1" SQUARE TUBE WITH A TAN PAINT FINISH. IVY GRAPHIC ON UPPER FACE IS 1" HDU SIGN FOAM, PORTION ON FRAME WORK IS 2" DEEP SIGN FOAM, AND PORTION ON LOWER CABINET IS FLAT PAINTED. FINISH GRAPHIC OLIVE GRAY, MOUNT SIGN TO BUILDING ABOVE ENTRANCE AS SHOWN IN BUILDING ELEVATION.

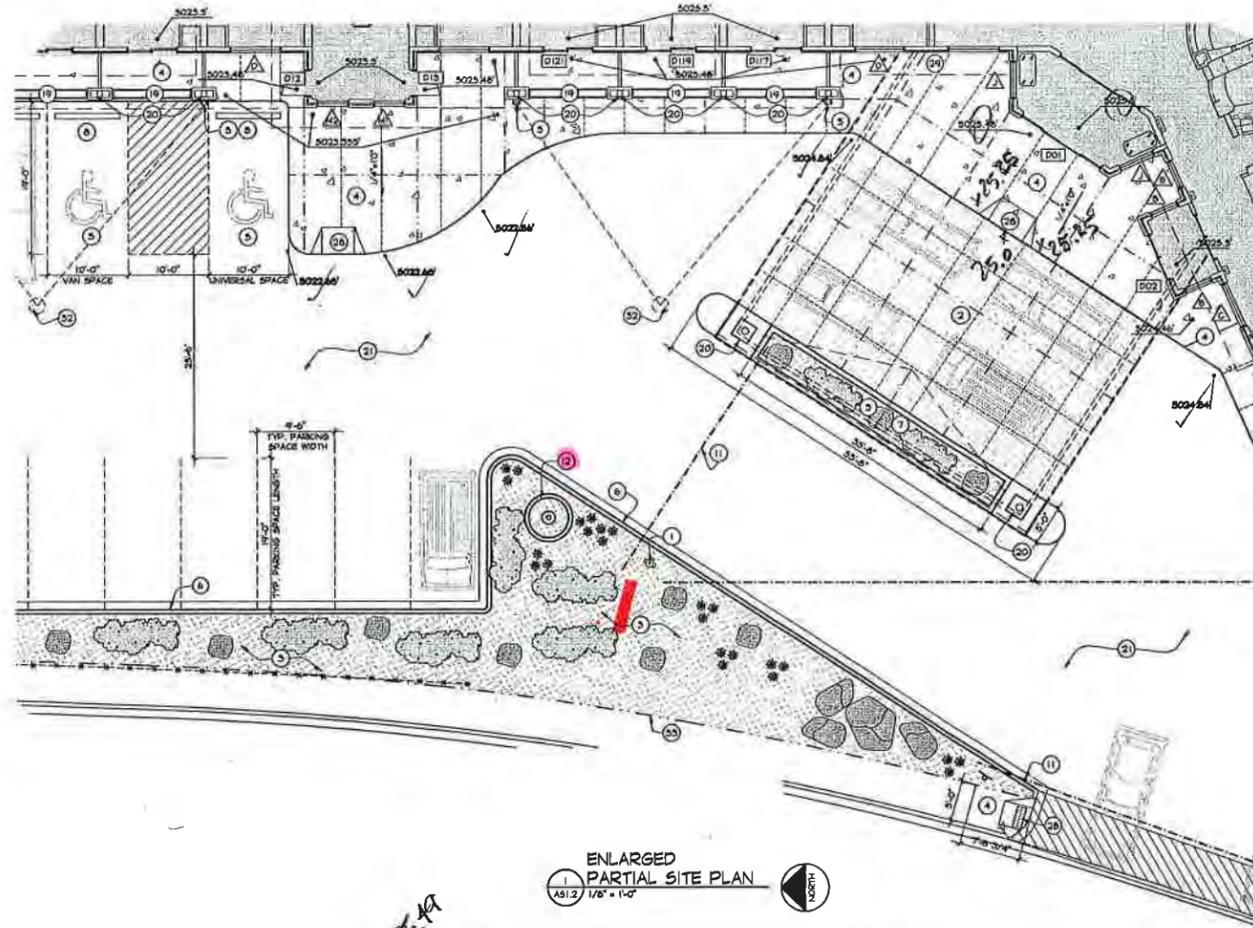
This design is the property of Sign Products Inc. and all rights to its use or reproduction are reserved	
DESIGNER	TP
DESIGN #	16884-11B
SALES	MIKE N.
DATE	04-11-11
REVISID	06-08-11
SCALE	SHOWN
CLIENT	8TH STREET RESTAURANT BEST WESTERN CODY, WY
SIGN PRODUCTS, INC. 1425 MONAD, BILLINGS, MT 59104 Phone: (406) 252-6348 Fax: (406) 252-6654	
SIGN PRODUCTS RESTAURANT SIGNS	



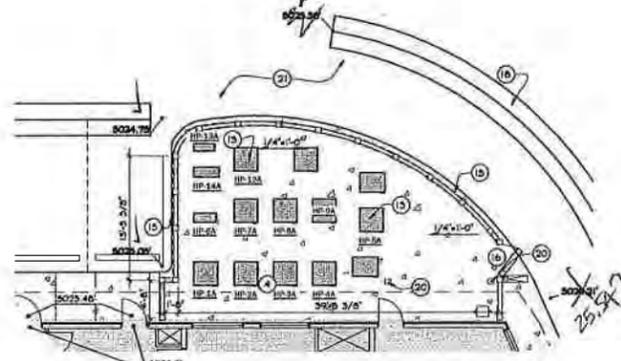
2 ENLARGED PARTIAL SITE PLAN
AS1.2 1/8" = 1'-0"



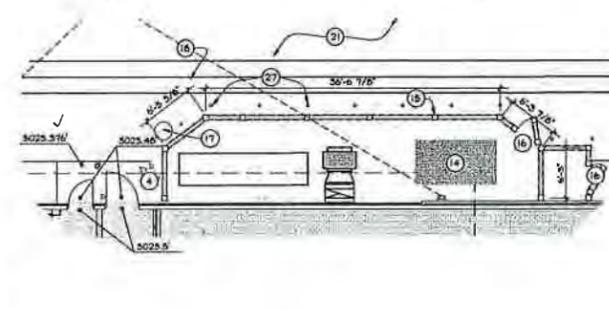
3 PARTIAL ENLARGED SITE PLAN
AS1.2 1/4" = 1'-0"
DUMPSTER PAD



ENLARGED PARTIAL SITE PLAN
AS1.2 1/8" = 1'-0"



4 ENLARGED PARTIAL SITE PLAN
AS1.2 1/8" = 1'-0"



3 ENLARGED PARTIAL SITE PLAN
AS1.2 1/8" = 1'-0"

GENERAL NOTES

1. SEE SHEET AS1.1 FOR GENERAL NOTES THAT PERTAIN TO THE AS1.X SERIES SHEETS.

KEYED NOTES

- 1 NEW FIRE HYDRANT - SEE CIVIL DRAWINGS
- 2 6" COLORED, STAMPED VEHICULAR CONCRETE. SEE CIVIL FOR SECTION
- 3 LANDSCAPED AREA - LANDSCAPED AREA TO HAVE RAW WATER POP IRRIGATION SYSTEM PROVIDE 18" TOPSOIL, WEED MAT AND 6" SCORIA STONE MULCH
- 4 4" CONCRETE SIDEWALK - SLOPED TO DRAIN. SEE CIVIL FOR SECTION
- 5 ACCESSIBLE PARKING SIGNAGE
- 6 NEW CONCRETE CURB AND BUTTER. SEE CIVIL
- 7 CONCRETE LANDSCAPE PLANTER - SEE DETAIL 4/AS1.3
- 8 CONCRETE PARKING BUMPER
- 9 NOT USED
- 10 EXPANSION JOINT - SEE DETAIL 4/2.1
- 11 4" PVC SLEEVE FOR IRRIGATION SYSTEM
- 12 30'-0" HIGH FLAGPOLE - SEE DETAIL 10/AS1.3 AND ELECTRICAL FOR LIGHTING
- 13 CONDENSING UNITS - SEE MECHANICAL DRAWINGS
- 14 HE HANDLER UNIT - SEE MECHANICAL DRAWINGS
- 15 NEW 6'-0" HIGH CEDAR FENCE. SEE DETAIL 11/AS1.3
- 16 NEW 6'-0" HIGH CEDAR GATE. SEE DETAIL 11/AS1.3

NOTED THIS

- 17 NEW CONCRETE 1,000 GALLON GREASE TRAP - SEE PLUMBING DRAWINGS
- 18 NEW VALLEY GUTTER - SEE CIVIL DRAWINGS
- 19 ROOM PATIO LANDSCAPE PLANTER. SEE DETAIL 2/AS1.1
- 20 COLLAR AND BASE FOR STRUCTURE ABOVE - SEE AS.X SERIES
- 21 NEW ASPHALT PARKING / DRIVEWAYS - SEE CIVIL DRAWINGS
- 22 6" COLORED, STAMPED CONCRETE PATIO
- 23 4'-0" HIGH METAL FENCE. SEE DETAIL 9/AS1.3
- 24 6" CONC. SLAB - SLOPED 1/4" PER FOOT FOR DRAINAGE
- 25 BICYCLE RACK - SEE 7/AS1.3
- 26 DUMPSTER BY OTHERS, N.I.C.
- 27 4" DIA PIPE BOLLARD, PAINTED - TYPICAL - SEE 6/AS1.3
- 28 ADA COMPLIANT RAMP WITH TACTILE WARNINGS - SEE CIVIL
- 29 MAN WATER ENTRANCE LOCATION - SEE CIVIL AND PLUMBING
- 30 ROLLING/SWINGING GATE. RETRACTS BACK INTO DUMPSTER ENCLOSURE DETAIL SIMILAR TO 9/AS1.3
- 31 WOOD ARBOR OVER RESTAURANT PATIO - SEE DETAIL 13/AS1.3
- 32 NEW DRYWELL - SEE 3/AS1.3
- 33 CONSTRUCTION BARRIER FENCE

LANDSCAPE PLAN LEGEND

- TILIA AMERICANA 'BOULEVARD ASH' - 2" CAL (5)
- JANIPARUS SADINA - 'BROADMORE JUNIPER' - 5 GAL (32)
- ACER GINNALA 'AHLR MAPLE' - 15 GAL (17)
- CALAMAGROSTIS X ACUTIPLORA - 'CARL FORESTERY' - 1 GAL (7B)
- XERISCAPE PERENNIAL MIX (29)
A) AGHELLEA MOON SHINE
B) RUSSULA SAUCE
C) SALVIA SUPER
D) SEDUM AUTUMN JOY
E) SHADEA DAISY
- LIChEN BOULDER (50-125 LBS.) (4)
- SPECIMEN BOULDER (150-200 LBS.) (4)
- IRRIGATION SLEEVE
- CIVIL SPOT ELEVATIONS
- ARCHITECTURAL SPOT ELEVATIONS

SITE PLAN PLAN LEGEND

- NEW BEST WESTERN IVY HOTEL BUILDING
- ASPHALT PARKING / DRIVEWAYS
- RIVER WASH STONE MULCH
- CONCRETE SIDEWALK
- COLORED, STAMPED CONCRETE
- 6'-0" HIGH CEDAR FENCE
- 4'-0" HIGH CEDAR FENCE
- 6'-0" HIGH METAL FENCE
- 4'-0" HIGH METAL FENCE
- EXISTING STEEL VEHICULAR BARRIER
- CONSTRUCTION BARRIER FENCE
- PROPERTY LINE

CONCRETE JOINTS

SEE CIVIL DRAWINGS 4 4/2.1 FOR CONCRETE JOINT DETAILS
WEAKENED PLANE JOINTS MAXIMUM 6'-0" O.C.
EXPANSION JOINTS MAXIMUM 30'-0" O.C.

ARCHITECTS



project: 0613
date: 6/16/10
revisions: 1/26/11

AS1.2

CODY, WYOMING
BEST WESTERN IVY
 Daniel Coates Architects
 Cody, Wyoming, 1001 12th St., 82414 (307) 587-8646
 Rock Springs, Wyoming, 4020 Dewar Dr., Suite A, 82901 (307) 352-2954
 Driggs, Idaho, 189 North Main, Suite 112, 83422 (208) 354-8036



STAFF USE
 File: SGN 11-23
 P&Z Invoice: 548-1
 Approved: [Signature]
 Date: 7/11/11

PLANNING, ZONING AND ADJUSTMENT BOARD
 SIGN PLAN REVIEW APPLICATION

Applicant's Name: PEG POTTER Business Name: WALKING STAR
 Applicant's Address: 921 14th City: Cody State: WY Zip: 82414
 Phone: 587-5994 Cell: _____ Fax: _____ Email: _____
 Property Owner's Name: PEG POTTER
 Property Owner's Address: 921 14th City: Cody State: WY Zip: 82414
 Project Address: 921 14th Legal Description: _____ Zone: _____
 Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: _____
 Overall Area of Signage in Square Feet: _____ Licensed Contractor or Sign Installer: Ed Higbie
 Type of Sign: Attached Wall Freestanding Marquee Projecting Awning Suspended
 Banner Inflatable Flag Monument Bulletin Real Estate
 Joint Directory Billboard Other -Please describe _____
 Description of Proposal: this will be a 4'x4' simple sign supported by 2 posts

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.

***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.

- A site plan which identifies: see attached
 - The location of all exterior signs existing or proposed for the premise.
 - Building elevations with signs depicted.
 - Sign Elevations must indicate overall and letter/figure dimensions
 - Colors, materials and illumination for each sign



Letter of authorization from the property owner if applicable.

- Billboard applications must also include:
 - Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
 - Bond suitable in value to cover the removal of all portions of the sign (the sign itself and the support structure) at the end of the lease.

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- Sign Plans (flush, wall mount w/out electricity): \$25.00
- Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

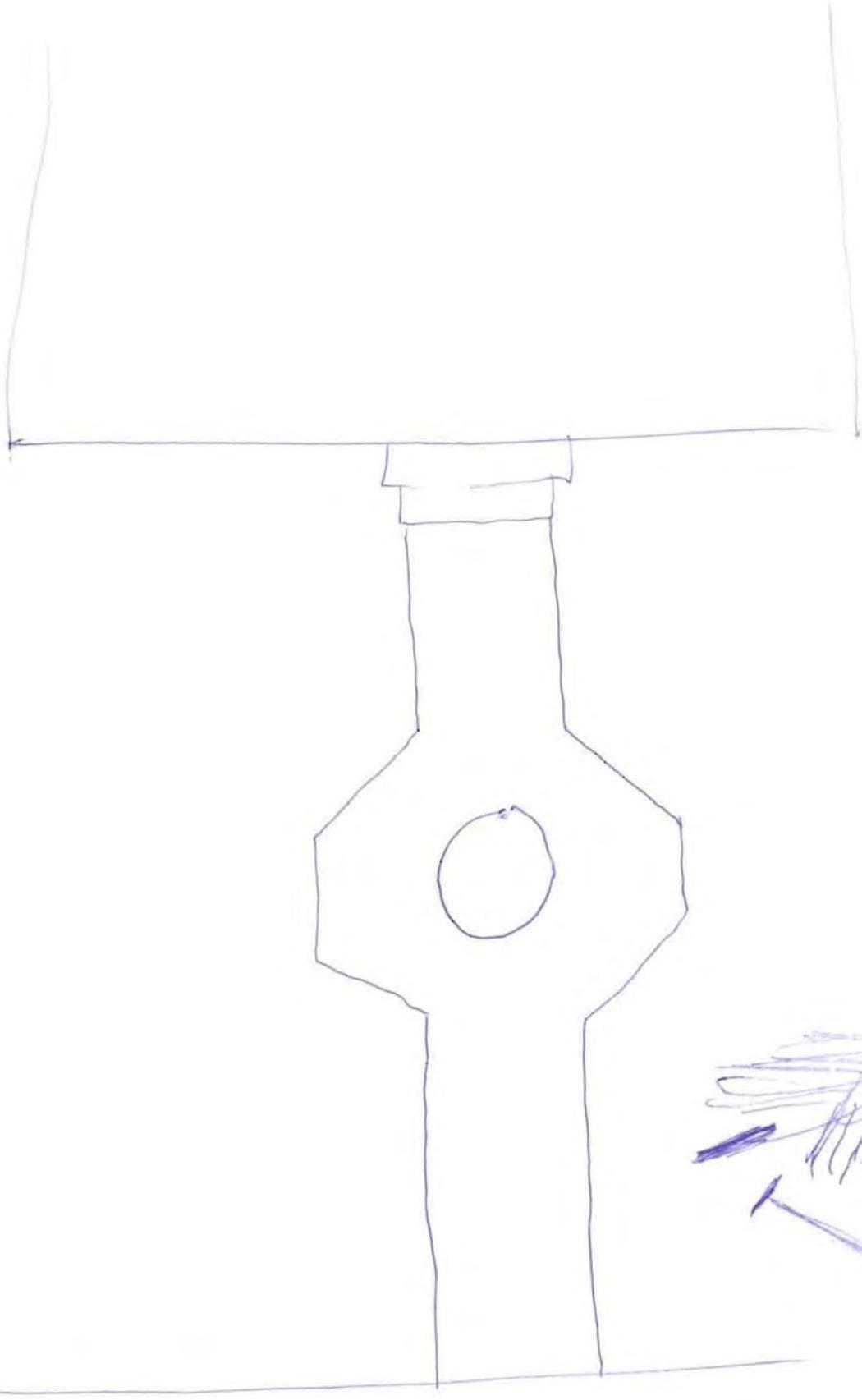
- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

Sign Dimensions 48" tall x 38" wide



*Applied Graphics



Alley



*no Building Permit issued
Per Scott K.*

PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION

STAFF USE
File: 54N11-24
P&Z Invoice: 551-1
Approved: WEO
Date: 7-16-11

Applicant's Name: Anna Sepp Business Name: Needlework Paradise
Applicant's Address: 1450 Sheridan Ave City: Cody State: WY Zip: 82414
Phone: 307-587-5660 Cell: 307-272-0593 Fax: 307-587-5660 Email: anna@vcn.com
Property Owner's Name: Bob Newsome
Property Owner's Address: _____ City: _____ State: _____ Zip: _____
Project Address: 1450 Sheridan Ave Legal Description: _____ Zone: _____

Total current area of Signage in Square Feet: 32 sf Proposed Area of Signage in Square Feet: 26 sf / 25 sf
Overall Area of Signage in Square Feet: 26 sf / 25 sf Licensed Contractor or Sign Installer: Campbell Construction
Type of Sign: Attached Wall - Freestanding Marquee Projecting Awning Suspended
 Banner Inflatable Flag Monument Bulletin Real Estate
 Joint Directory Billboard Other -Please describe _____

Description of Proposal: Business Sign attached to building facade with lag bolts - 1 small sign suspended from facade.
MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
*****In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.**
- A site plan which identifies:
 - The location of all exterior signs existing or proposed for the premise.
 - Building elevations with signs depicted.
 - Sign Elevations must indicate overall and letter/figure dimensions
 - Colors, materials and illumination for each sign
- Letter of authorization from the property owner if applicable.
- Billboard applications must also include:
 - Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
 - Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.
- Inflatable applications must also include:
 - Design and construction details to demonstrate compliance with City wind load requirements
 - How the electricity will be supplied to the inflatable
 - Demonstrate that the anchoring mechanisms will not present a danger to the public
 - Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
 - Altitude _____ Total Aggregated Square Footage _____

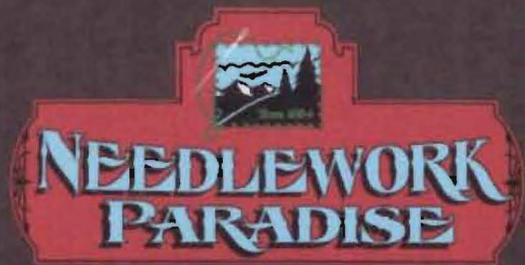
Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- Sign Plans (flush, wall mount w/out electricity): \$25.00
- Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart
Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

A red, stylized sign with a decorative border. At the top center is a small square logo depicting a landscape with a mountain and a river. Below the logo, the words "NEEDLEWORK" and "PARADISE" are written in a white, serif, all-caps font with a black outline. The sign is mounted on a dark brown building facade.

NEEDLEWORK
PARADISE





STAFF USE
 File: SGN 11-25
 P&Z Invoice: N/A
 Approved: [Signature]
 Date: 7/13/10

PLANNING, ZONING AND ADJUSTMENT BOARD
 SIGN PLAN REVIEW APPLICATION

Applicant's Name: Yellowstone Jazz Festival Business Name: NON profit
 Applicant's Address: PO Box 2868 City: Cody State: WY Zip: 82414
 Phone: 307-527-5505 Cell: — Fax: — Email: brad@secrettooth.com
 Property Owner's Name: Buff Bill Hist Center
 Property Owner's Address: Pow Wow Grounds City: Cody State: WY Zip: 82414
 Project Address: ~~—~~ Ave 8th St. Legal Description: — Zone: —

Total current area of Signage in Square Feet: 30' Proposed Area of Signage in Square Feet: —

Overall Area of Signage in Square Feet: 3' x 10' Licensed Contractor or Sign Installer: YJF

- Type of Sign:
- Attached Wall
 - Freestanding
 - Marquee
 - Projecting
 - Awning
 - Suspended
 - Banner
 - Inflatable
 - Flag
 - Monument
 - Bulletin
 - Real Estate
 - Joint Directory
 - Billboard
 - Other -Please describe —

Description of Proposal: Banner + small sandwich board in front of Pow Wow grounds for event on Sat. 7/16. Banner on fence for 7/12-7/16.
MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.

Emailed Logo
 ***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.

- A site plan which identifies: — Pow Wow Fence — moved to entrance day of
 - The location of all exterior signs existing or proposed for the premise.
 - Building elevations with signs depicted.
 - Sign Elevations must indicate overall and letter/figure dimensions
 - Colors, materials and illumination for each sign
- Letter of authorization from the property owner if applicable.

- N/A* Billboard applications must also include:
- Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
 - Bond suitable in value to cover the removal of all portions of the sign (the sign itself and the support structure) at the end of the lease.

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- Sign Plans (flush, wall mount w/out electricity): \$25.00
- Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

ZZ Friday and Satu



FESTIVAL

om

Jolene Osborne

From: Tyrel Pedersen [tyrelp@BBHC.ORG]
Sent: Wednesday, July 13, 2011 11:02 AM
To: joleneo@cityofcody.com
Subject: Jazz Fest Signage

Jolene,

The BBHC gives permission for the posting of two Jazz Festival signs for their event this weekend on the Powwow grounds fence.

If anything else is required on our end feel free to get in contact with me.

Thanks,

Tyrel Pedersen
Assistant Grounds Supervisor
Buffalo Bill Historical Center
720 Sheridan Ave.
Cody, WY 82414
tyrelp@bbhc.org



STAFF USE	
File:	_____
P&Z Invoice:	<u>560-1</u>
Approved:	<u>LLLO</u>
Date:	<u>7-19-2011</u>

**PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION**

Applicant's Name: Justin Mariani Business Name: Human Canvas Tattoo
 Applicant's Address: 1804 E. Sheridan City: Cody State: WY Zip: 82414
 Phone: 587-2595 Cell: _____ Fax: _____ Email: humancanvas.tattoo@yahoo.com
 Property Owner's Name: Mike Schnell - 587-5533
 Property Owner's Address: 802 Canyon Dr. City: Cody State: WY Zip: 82414
 Project Address: 1804 E. Sheridan Legal Description: Lot 7 BIKI Trueblood SubZone: D-2
 Total current area of Signage in Square Feet: 0 Proposed Area of Signage in Square Feet: 16'

Overall Area of Signage in Square Feet: _____ Licensed Contractor or Sign Installer: _____

- Type of Sign:
- | | | | | | |
|--|--|---|-------------------------------------|-----------------------------------|--------------------------------------|
| <input type="checkbox"/> Attached Wall | <input checked="" type="checkbox"/> Freestanding | <input type="checkbox"/> Marquee | <input type="checkbox"/> Projecting | <input type="checkbox"/> Awning | <input type="checkbox"/> Suspended |
| <input type="checkbox"/> Banner | <input type="checkbox"/> Inflatable | <input type="checkbox"/> Flag | <input type="checkbox"/> Monument | <input type="checkbox"/> Bulletin | <input type="checkbox"/> Real Estate |
| <input type="checkbox"/> Joint Directory | <input type="checkbox"/> Billboard | <input type="checkbox"/> Other -Please describe _____ | | | |

Description of Proposal: Double Sided Freestanding Sign 2' x 8' on Needle Board (Composite Aluminum) on 1 1/2 Angle Iron Frame on 3" Steel Pipe
MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.

***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.

- A site plan which identifies:
- The location of all exterior signs existing or proposed for the premise.
 - Building elevations with signs depicted.
 - Sign Elevations must indicate overall and letter/figure dimensions
 - Colors, materials and illumination for each sign
- Letter of authorization from the property owner if applicable.
- Billboard applications must also include:
- Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
 - Bond suitable in value to cover the removal of all portions of the sign (the sign itself and the support structure) at the end of the lease.

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- | | |
|---|---------|
| <input checked="" type="checkbox"/> Sign Plans (flush, wall mount w/out electricity): | \$25.00 |
| <input type="checkbox"/> Sign Plans (electrical, requiring base structure or projecting): | \$50.00 |

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.



**HUMAN
CANVAS**

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Boone's Fabrication
is making frame &
post

Applied Graphics is
making sign

2x8' on
10' ~~8'~~ Steel 3"
pipe
Cemented into
ground 3'

Double face

June 16, 2011

City of Cody
Planning Department

Re: Sign Application
1804 E. Sheridan Ave
Cody, Wy 82414

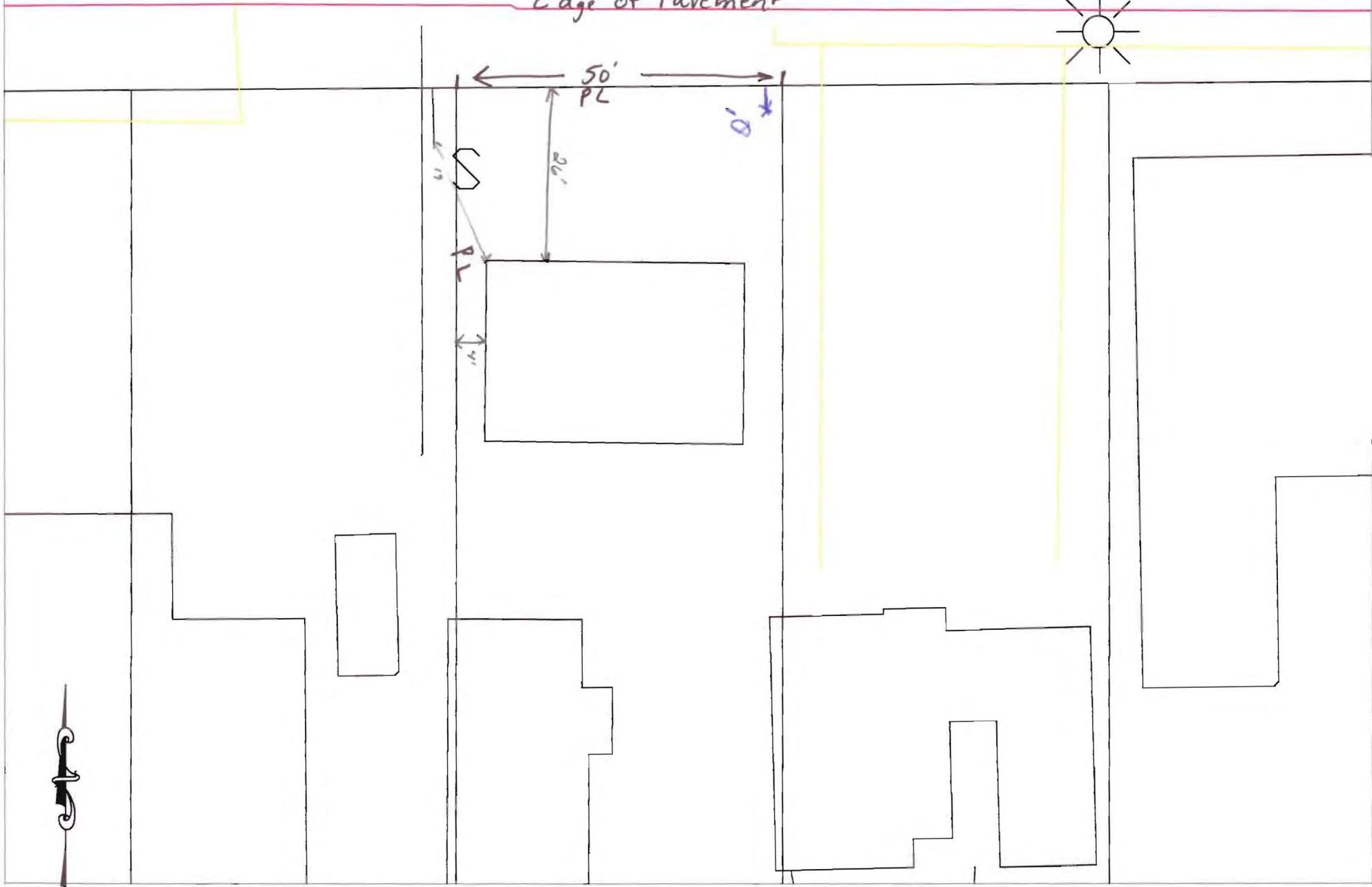
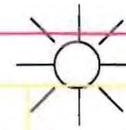
Please be advised that I, Mike Schnell owner of the above referenced property hereby give permission to Justin Mariani of Human Canvas Tattoo, tenant, to install a free standing sign on the property. The sign and placement of the sign must conform to regulations set by the City of Cody.

Thank you,

A handwritten signature in blue ink, appearing to read "Mike Schnell", written in a cursive style.

Mike Schnell

Edge of Pavement



SCALE: 1"=20'



PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION

STAFF USE
File: SG N11-28
P&Z Invoice: 9101-1
Approved:
Date:

Applicant's Name: KEVIN MURRAY Business Name: ROCKY MOUNTAIN MOTEL, LLC
Applicant's Address: 1001 SHERIDAN AVE City: CODY State: WY Zip: 82414
Phone: 899-3774 Cell: Fax: Email: ROCKYMOUNTAINMOTEL@YAHOO.COM

Property Owner's Name: WILDER ENTERPRISES
Property Owner's Address: 902 RUMSEY AVE City: CODY State: WY Zip: 82414

Project Address: 1001 SHERIDAN AVE Legal Description: LOT 9, 10 & 11, BLOCK 52 Zone: D-2

Total current area of Signage in Square Feet: Proposed Area of Signage in Square Feet:

Overall Area of Signage in Square Feet: Licensed Contractor or Sign Installer:

- Type of Sign: [X] Attached Wall [X] Freestanding [] Marquee [] Projecting [] Awning [] Suspended
[] Banner [] Inflatable [] Flag [] Monument [] Bulletin [] Real Estate
[] Joint Directory [] Billboard [] Other -Please describe

Description of Proposal: SIGNS (3) FOR NEW BUSINESS

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- [] Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.

- [] A site plan which identifies:
• The location of all exterior signs existing or proposed for the premise.
• Building elevations with signs depicted.
• Sign Elevations must indicate overall and letter/figure dimensions
• Colors, materials and illumination for each sign

- [] Letter of authorization from the property owner if applicable.

- [] Billboard applications must also include:
• Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
• Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.

- [] Inflatable applications must also include:
• Design and construction details to demonstrate compliance with City wind load requirements
• How the electricity will be supplied to the inflatable
• Demonstrate that the anchoring mechanisms will not present a danger to the public
• Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
• Altitude Total Aggregated Square Footage

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- [] Sign Plans (flush, wall mount w/out electricity): \$25.00
[X] Sign Plans (electrical, requiring base structure or projecting): \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- [] Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

MoJoe Wooden Sign for building *front of store.*
inches = feet



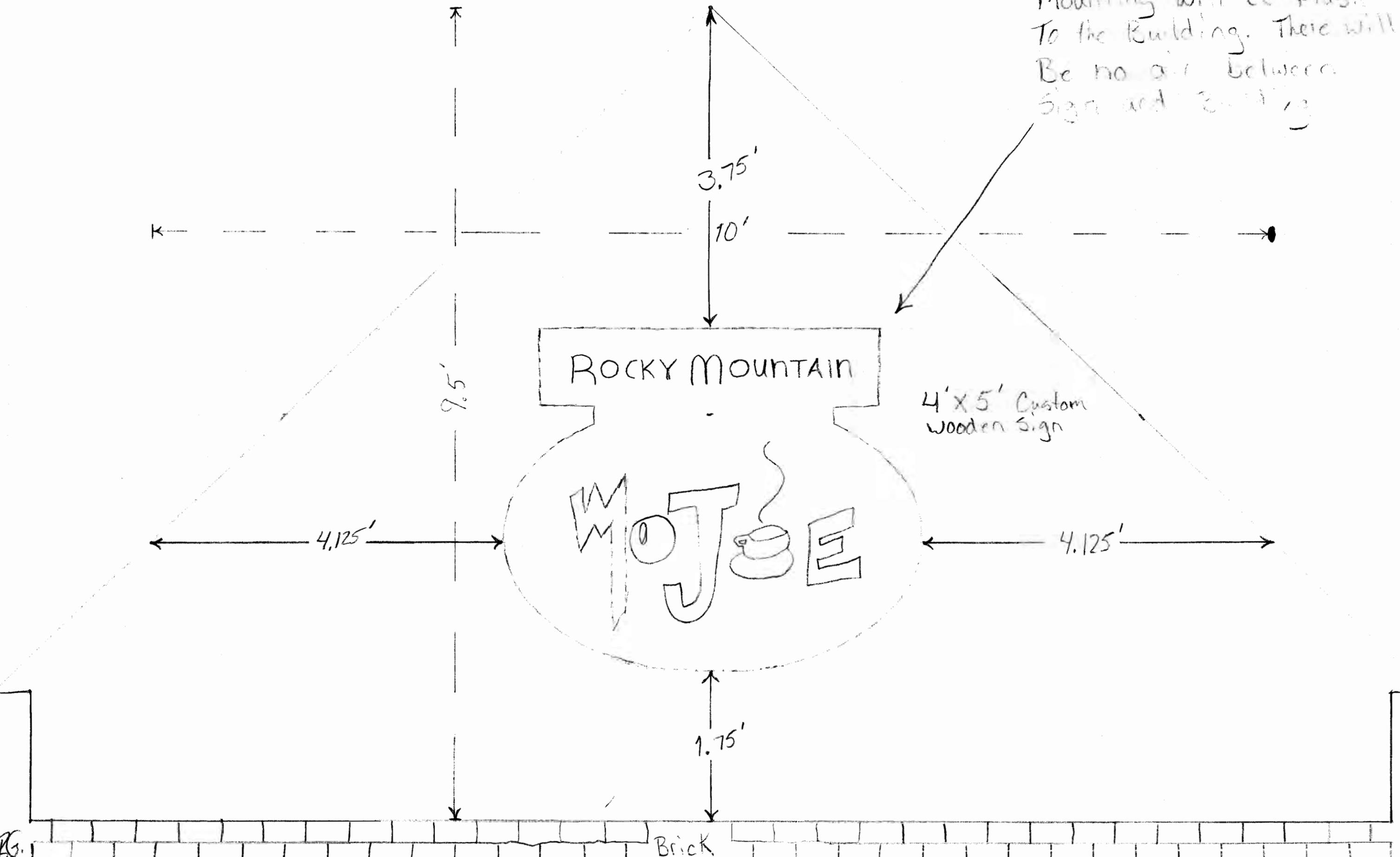


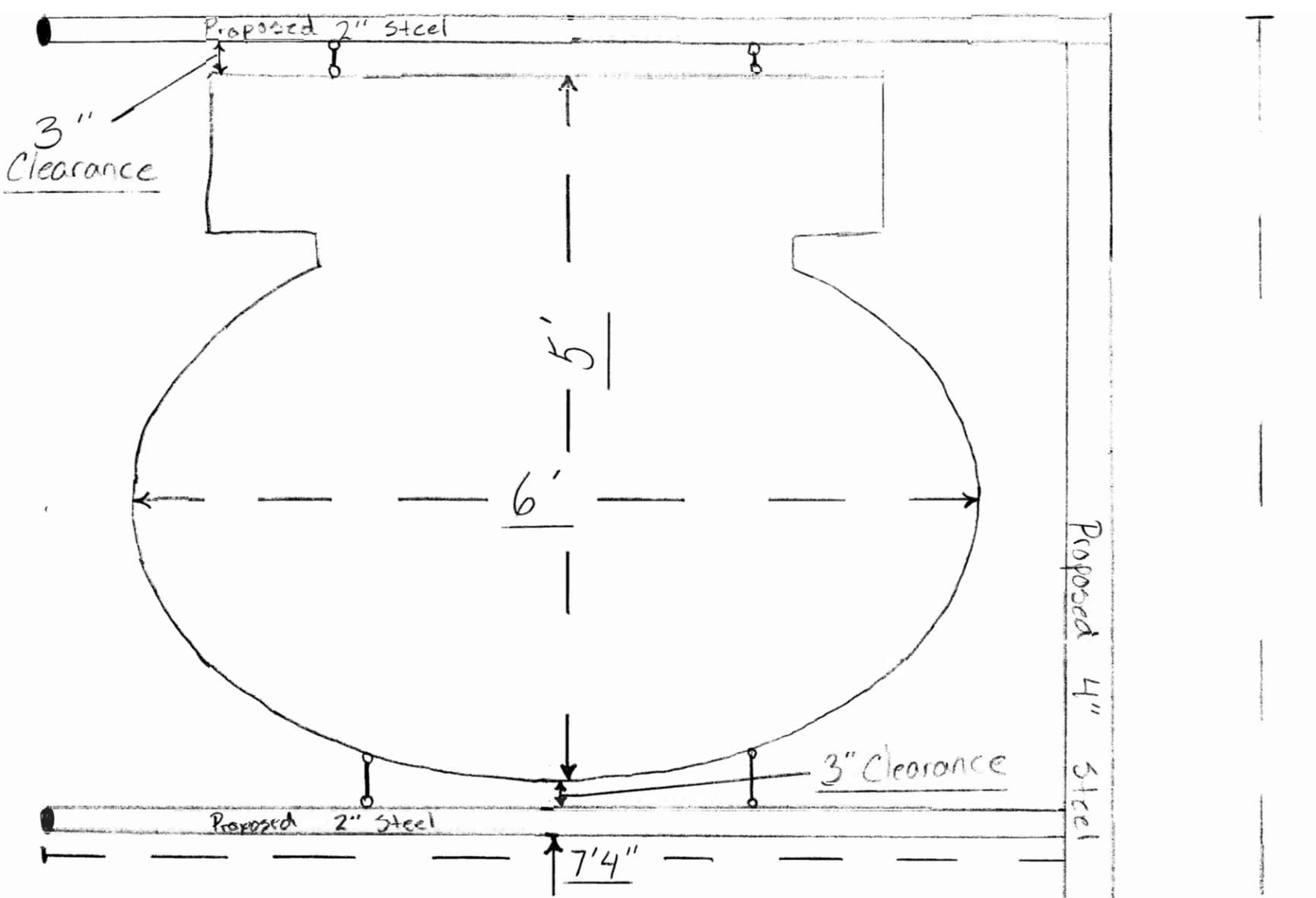
Susan Gray
2011
Resign's

Rocky mtn. moJoe
1083

Wooden sign

Mounting will be flush
To the Building. There will
Be no air between
Sign and Building





Rocky mtn. Moose
1085

5'x6' Lighted
Sign

Sign will be centered
over edge of sidewalk
3' on each side of edge

R.G.

Edge of
S/W

Dir./grass

11'4"

10'6"

7'4"

Proposed 4" Steel

Existing

3" Clearance

3" Clearance

Proposed 2" Steel

Proposed 2" Steel

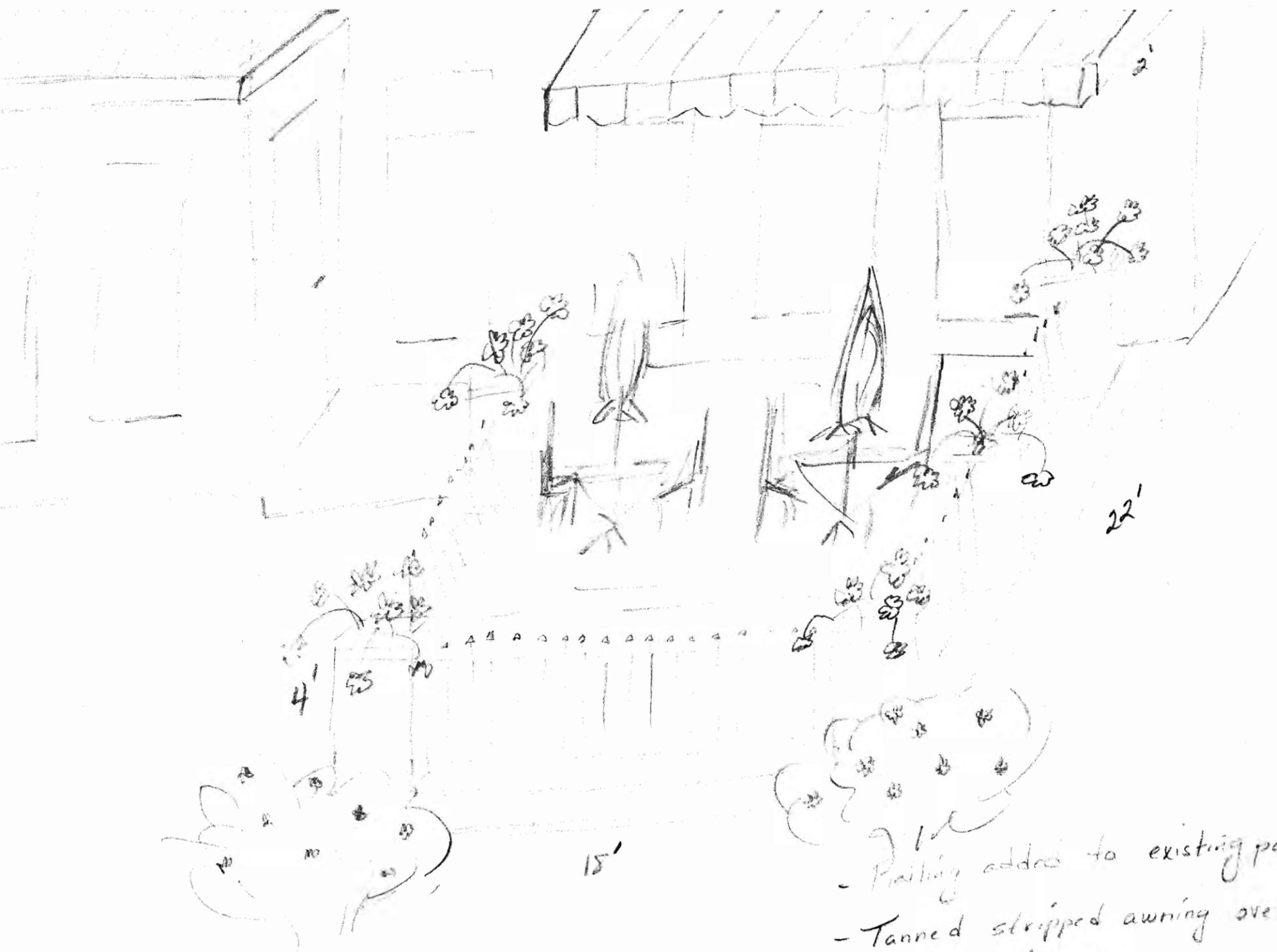
6'

5'

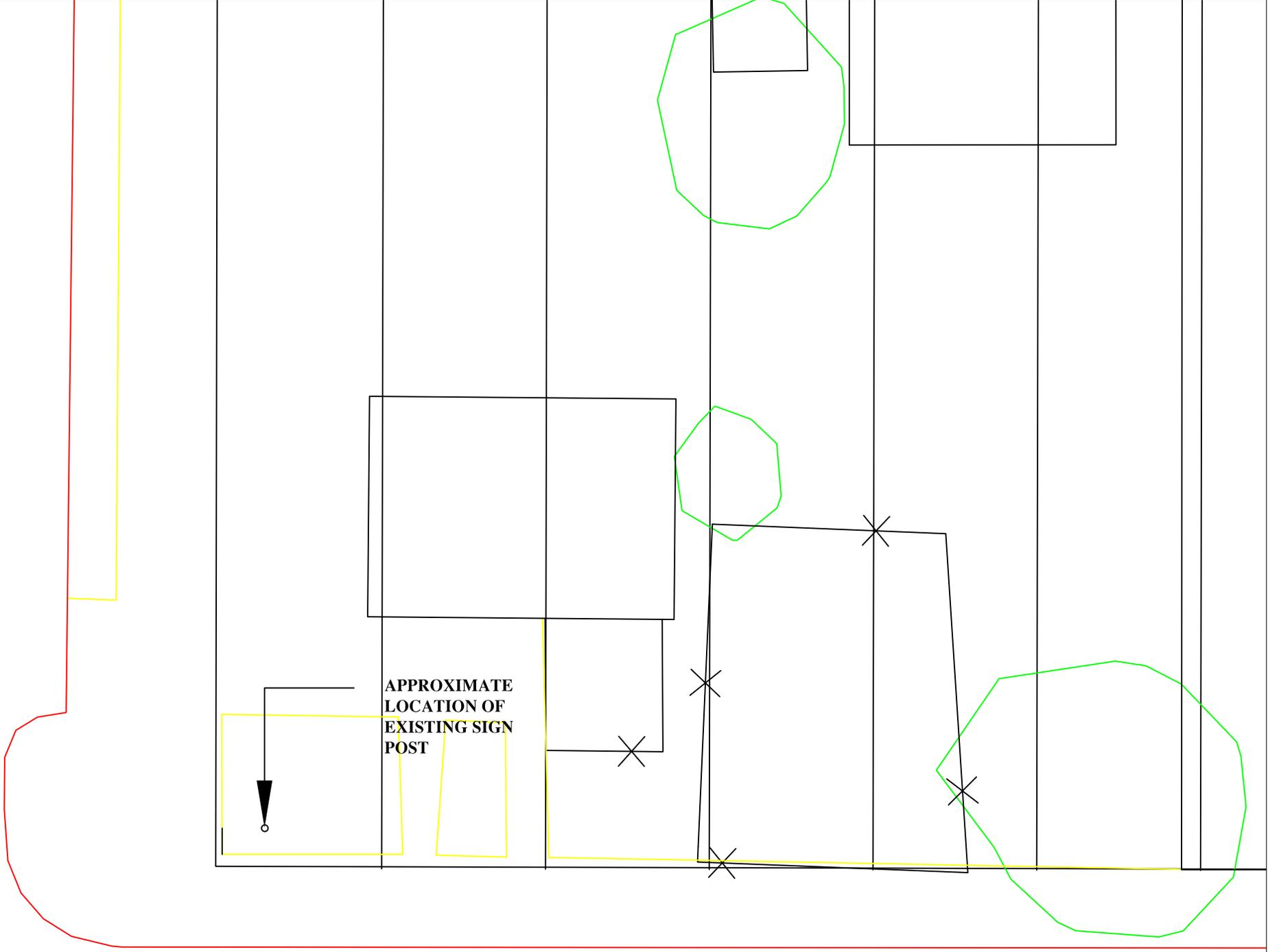


Mojoc patio fence.

Susan
Guzman
2011



- Paving added to existing patio
- Tanned striped awning over 3 front windows.



APPROXIMATE
LOCATION OF
EXISTING SIGN
POST

SCALE: 1" = 20'







