

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, APRIL 11, 2017
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairman, Steve Miller
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the April 11, 2017 regular meeting.
6. NEW BUSINESS:
 - A. Public Hearing: Special Exemption to sign for Juniper Wine & Spirits, located at 1128 12th Street.
 - B. Special Exemption sign review: sign for Juniper Wine & Spirits, located at 1128 12th Street.
 - C. Site Plan Review: Juniper Wine & Spirits, for bike rack, rain barrel, menu display, balcony railing located at 1128 12th Street.
 - D. Site Plan Review: Riverside Cemetery Committal Shelter, located at 1721 Gulch Street.
7. P&Z Board Matters (announcements, comments, etc.).
8. Council Update:
9. Staff Items:
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, April 11, 2017

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, April 11, 2017 at 12:00 pm.

Present: Steve Miller, Chairman, Heidi Rasmussen; Kayl Mitchell; Curt Dansie; Buzzy Hassrick; Sandra Kitchen, City Deputy Attorney; Todd Stowell, City Planner; Bernie Butler, Administrative Assistant.

Absent: Richard Jones, Reese Graham, Glenn A. Nielson

Chairman, Steve Miller called the meeting to order at 12:04 pm, followed by the pledge of allegiance.

Buzzy Hassrick made a motion, seconded by Heidi Rasmussen, to approve the agenda. Vote on the motion was unanimous, motion carried.

Heidi Rasmussen made a motion, seconded by Curt Dansie, to approve the minutes for the March 28, 2017 meeting. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Kayl Mitchell, to approve the minutes for the April 4, 2017 special meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

- A. Todd Stowell presented a Downtown Architectural District sign review, for a 4' x 8', internally illuminated freestanding sign, for Gasthaus Cardi Restaurant, located at 1385 Sheridan Avenue.

Curt Dansie made a motion, seconded by Kayl Mitchell, to approve the sign, located at 1385 Sheridan Avenue. Vote on the motion was unanimous, motion carried.

- B. Todd Stowell presented a site plan review for a retail liquor store, located at 3330 Big Horn Avenue. The liquor store license will be held by Soaring Peak Enterprises.

Buzzy Hassrick made a motion, seconded by Kayl Mitchell, to grant zoning approval for the site plan for the retail liquor store, located at 3330 Big Horn Ave, subject to the following items:

1. Modify the infiltration swale to be 15' by 33' and 22 inches deep, or an equivalent capacity authorized by the City engineer. Provide the 3:1 side slopes as proposed. The swale should be turned 90 degrees and moved towards the south property line.
2. The applicant and staff shall field verify the proper grading of the site as part of the construction process.
3. Any applicable city utility fees (water, sewer) are to be paid prior to building permit issuance—coordinate with Public Works.
4. All exterior lighting fixtures must be recessed or full cut-off in style.

5. Modify the ADA space to be 11 feet wide to meet van-accessible requirements, and include appropriate signage.
6. A city encroachment permit must be obtained by the contractor for work within the Date Street right of way.
7. An easement or other legal agreement must be established for the shared approach/drive prior to occupancy of the building. Use of the shared approach by this property must be verified by WYDOT.
8. N/A
9. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
10. A building permit must be obtained within three years or this authorization will expire.

Vote on the motion was unanimous, motion carried.

C. Todd Stowell presented a site plan review for Sprint/Powder River Development to install a temporary, self-contained cell tower on wheels (cow) trailer, behind the business located at 602 Yellowstone Avenue. The tower will be 100 ft. tall (approx. 105' to the top of the antenna). The proposed time frame will be 6 to 12 months.

Heidi Rasmussen made a motion, seconded by Curt Dansie, to approve the site plan for the temporary cell tower on wheels (cow) trailer, behind the business located at 602 Yellowstone Avenue, subject to the following:

1. Authorization of the facility shall expire May 31, 2018, after which the facility shall be removed from the property.
2. No logos or other advertising signs are permitted on the communication tower and antennas.
3. Lighting of the communication tower is not authorized, unless specifically required by the FAA.
4. The project must otherwise comply with the submitted plans and applicable building, fire, and electrical codes.

Vote on the motion was unanimous, motion carried.

P & Z Board Matters – none
Council Updates – none
Staff Items – none

Heidi Rasmussen made a motion, seconded by Kayl Mitchell to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairman Miller adjourned the meeting at 12:50 p.m.

Bernie Butler, Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 25, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SPECIAL EXEMPTION PUBLIC HEARING: ALLOW SIGN TO PROJECT 5 FEET OVER SIDEWALK AT 1128 12 TH STREET. SUP 2017-03	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION & BACKGROUND:

Michele Prevost of Juniper Wine and Spirits located at 1128 12th Street, has submitted an application requesting authorization to install a new sign that would project five feet over the public sidewalk in front of the business, when only three feet is permitted.

The proposed design of the sign is indicated to the right. The “bottle” portion of the sign would be 30 inches wide—with the mounting hardware it would extend less than 36 inches from the wall of the building. The “bottle” would be 8 ½ feet tall. For comparison, the existing sign measures 36 inches wide by 7.5 ft. tall. The “Juniper” portion of the sign is proposed to extend approximately five feet from the building and be 16 inches tall. The sidewalk is approximately 11 ½ feet wide (12’ from building to face of curb). Clearance from the sidewalk to the bottom of the sign would be roughly 9 ½ feet (about same as existing).

The public hearing for the exemption request was advertised as required by mail to neighboring properties within 140 feet, and by publication in the newspaper on April 13, 2017.



REVIEW CRITERIA:

Pursuant to Section 10-14-2(B)(1)(e) of the City of Cody Code, the Planning and Zoning Board may consider special exemptions to the city sign standards. The standards for approval of a special exemption are as follows, with staff comments provided.

No special exemption shall be approved unless the planning and zoning board finds:

- a. *The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*

Staff Comment: Twenty neighboring property owners were notified of the proposal. As of the time of this staff report, seven responses have been received. Four neighboring property owners indicate "no objection" to the request. Two neighboring property owners and one neighboring business owner submitted comments of objection. The neighboring business owner is currently across the street and will soon be moving into the building immediately south of Juniper. Their main objection is that the sign will block the view of their store, necessitating them to install a projecting sign even further than Juniper. The other two objections effectively note the same concern—that the sign would unnecessarily block off the view of businesses further down the side street.

Neighbor comment is a primary factor in determining whether an undesirable change would result, but is not the only factor.

- b. *The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*

Staff Comment: It is noted that the sign would comply with the other applicable sign code requirements, such as size (< 25 sq. ft.) and clearance above the sidewalk (8' minimum). However, the component that is to be analyzed here is whether the additional 2-foot projection is done in such a way that it is compatible with adjacent land uses and the downtown area.

The setting is a commercial area of 25 to 50-foot wide lots, located on a side-street from main street, with the buildings maintaining a zero-foot setback from the front property line. The elevation of the 5-foot wide sign is somewhat limited by the height of the bottle portion and the required clearance above the sidewalk. As a result, it is at just the "wrong" height to avoid blocking advertising signs on the neighboring building to the south, when viewed from the main street area. A 3-foot projecting sign will block the neighbors advertising from some viewpoints, but the 5-foot projection greatly increases the problem.

- c. *The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*

Staff Comment: The applicant has not presented why the additional width is desired, other than to mention it will help increase visibility. The sign would be located about 195 feet from the sidewalk on main street (Sheridan Avenue). Some internet information from sign manufacturers was reviewed—based on the distance from main street, the sign letters should be at least 6 inches tall, and up to 18 inches tall for best visibility. The proposed “JUNIPER” lettering is 10 inches tall, which seems reasonable when the goal is to have it read from main street. On the other hand, “JUNIPER” does not let an observer know what kind of business is being advertised—the wine “bottle” does.

In other exemptions, the Board has noted that the amount of justification for the “minimum deviation” should be somewhat proportional to the extent of the deviation requested. In other words, a few inches in one thing, but a request for several feet requires more substantial justification. In this case, the request is 66% more than what is permitted by the standard regulation.

- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*

Staff Comment: No other options have been identified that would achieve the requested result.

- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use;*

Staff Comment: No additional services are proposed or needed.

- f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

Staff Comment: There is the general statement found in Objective 1.2: *Promote the beautification of Cody through sign regulations, guidelines and standards that ensure size, design, and character consistent with an attractive City and the desired character for the area.*

ALTERNATIVES:

Approve, deny or approve with conditions.

ATTACHMENTS:

Application materials.

RECOMMENDATION:

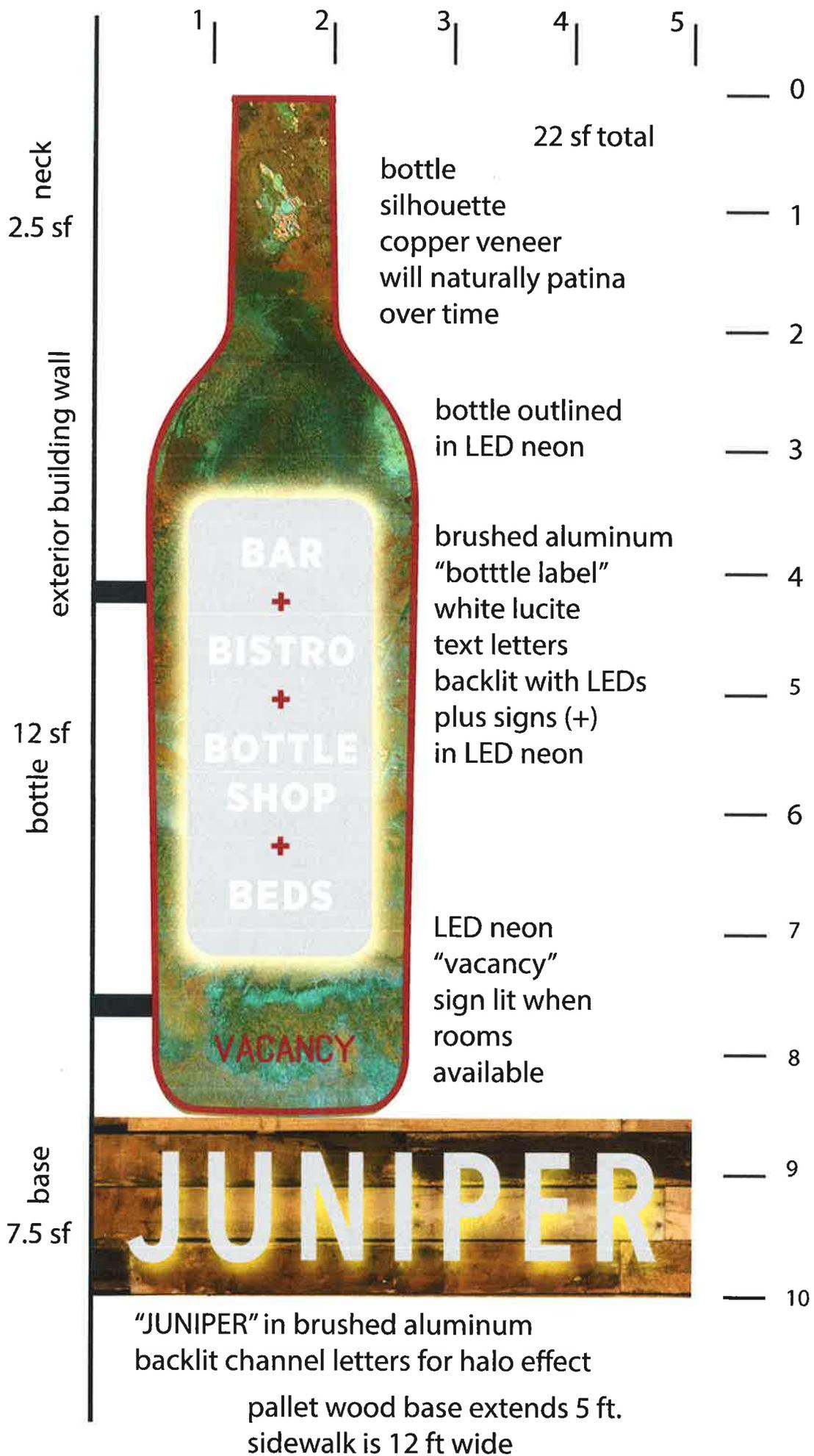
That the Planning and Zoning Board make the following findings:

(Draft, subject to information received at public hearing.)

1. That proper notice of the special exemption public hearing was provided by advertising in the Cody Enterprise and by mail to all property owners within 140 feet at least ten days before the hearing.
2. That the Planning and Zoning Board may grant special exemptions that are reasonable and harmless deviations from the zoning ordinance as determined by the standards outlined in Section 10-14-2(B)(1), City of Cody Code.
3. That the Planning and Zoning Board has held a public hearing as required and has considered all comments pertaining to the request; and,
4. That the findings in the staff report, along with the following points, are justification for the Board's decision.
5. (Continue findings.)

AND, (Determine if the request should be approved, approved in part, or denied. Due to the many components and neighbor input, staff is not making a recommendation at this point. Additional input and discussion at the hearing is thought to be needed.)

NOTE: If approved, the applicant will need to complete and record a special exemption permit at the County Clerk's office within 10 days. Staff will draft the permit based on the Board decision.



Notice to Owners of Neighboring Properties:

Please return this letter by April 19, 2017 to:

Date: April 10, 2017

Cody City Planner
P.O. Box 2200
Cody, WY 82414

RE: **SPECIAL EXEMPTION REQUEST**

THE CITY OF CODY HAS RECEIVED THE FOLLOWING REQUEST FOR A SPECIAL EXEMPTION. YOUR COMMENTS WOULD BE APPRECIATED.

Applicant Name(s): Michele Prevost (Juniper Wine and Spirits)

Address or Location/Legal Description: 1128 12th Street

Description of Request: Install a sign that will project 5 feet over the sidewalk in front of 1128 12th Street, when the limit is typically 3 feet.

This request will be considered by City of Cody Planning & Zoning Board at their regularly scheduled meeting on Tuesday, April 25, 2017, at 12:00 p.m. in the City Hall Council Chambers, at 1338 Rumsey Ave.

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Keith Seidel and I am familiar with the proposal by Michele Prevost
(Printed name)

for the special exemption described above. I am the legal owner of Seidel's Saddlery, 1200 Sheridan Ave
(Address or property location)

I have **NO OBJECTION** to the Special Exemption Request.

Name: _____

Address: _____

Comments: _____

I **OBJECT** to the Special Exemption Request:

Name: Keith Seidel

Address: 1200 Sheridan Ave

Reason for Objection: It is my opinion that 5' is too wide and interferes with the visual of the rest of the buildings on the street. It is too intrusive.

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: 18keith@gmail.com

Online Gun Auctions:

- Licensed – FFL/Class III
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WEB SITE: www.gunrunnerauctions.com



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Gunrunner Auctions – Cody LLC

1108 14th St., 502

Cody, Wyoming 82414

(307) 587-5242

(440) 834-0160

(440) 223-0946

scott@thegunrunner.com

April 14, 2017

TO: Cody Planning and Zoning Board

FROM: Scott Weber, Owner, Gunrunner Firearms, 1131 12th St.

RE: Special Sign Exemption request by Michele Prevost - NO

PROTEST

I must absolutely **PROTEST** the request for a "Special

Exemption" to make Juniper Wine's (Michele Prevost) sign larger.

Gunrunner Firearms and Pawn, LLLP will soon be moving to the adjacent property by Juniper Wine at 1138 12th Street and as owner I do **NOT** want the view to our store blocked by a sign that is proposed to protrude **FIVE FEET** over the sidewalk.

By granting this exception to Juniper that would mean that I would be asking for a variance to make my sign **TEN FEET** over the sidewalk so that it would be seen from Main Street. Otherwise, their sign will block me. We protest Juniper Wine's request.

Scott T. Weber

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property.
(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is BOB CARTER and I am familiar with the proposal by Michele Prevost
(Printed name)

for the special exemption described above. I am the legal owner of 1138 12TH ST
(Address or property location)

I have NO OBJECTION to the Special Exemption Request.

Name: _____
Address: _____
Comments: _____

I OBJECT to the Special Exemption Request:

Name: BOB CARTER
Address: 2304 MEADOWLARK CT
Reason for Objection: BLOCKS OFF VIEW DOWN SIDEWALK AS MY BUILDING IS SOUTH OF HIS. STICK TO RULES. YOU CAN SEE HIS SIGN JUST FINE. WHY GO LARGER.

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: bobbarb@live.com

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:
(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is JOPE BROTHERS, LLC and I am familiar with the proposal by Michele Prevost
(Printed name) JOHN O. HOUSEL, MANAGER

for the special exemption described above. I am the legal owner of 1236 SHERIDAN AVENUE
(Address or property location) CODY, WYOMING

**NO
OBJECTION**

I have NO OBJECTION to the Special Exemption Request.

Name: JOHN HOUSEL, MANAGER - JOPE BROTHERS LLC
Address: 1106 RUMSEY AVENUE CODY WYOMING
Comments: MICHELE JOPE RUFIN HAVE PROPOSED AN ATTRACTIVE SIGN WHICH WILL OBVIOUSLY ENHANCE THE CHARACTER OF DOWNTOWN CODY.

I OBJECT to the Special Exemption Request:

Name: _____
Address: _____
Reason for Objection: _____

*John O. HouseL, Manager
JOPE BROTHERS, LLC*

If you would like to receive a copy of the Planning and Zoning Board agenda materials for this request, please provide your email address: E-mail address: housellaw@futures.net

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Louis Kousoutos and I am familiar with the proposal by Michele Prevost
(Printed name)

for the special exemption described above. I am the legal owner of 1234 Sheridan Ave,
(Address or property location)

 I have NO OBJECTION to the Special Exemption Request.

Name: Louis Kousoutos

Address: 508 17th St - Cody

Comments: _____

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is Shirley Smiley and I am familiar with the proposal by Michele Prevost
(Printed name)

for the special exemption described above. I am the legal owner of 1220 + 1226 Sheridan
(Address or property location)

 I have NO OBJECTION to the Special Exemption Request.

Name: Shirley Smiley

Address: PO Box 38 Cody

Comments: no objection here

Response Letter from Owners of Neighboring Properties within 140 Feet of Subject Property:

(Responses may be submitted in any written format. The following form is provided for your convenience.)

Dear Planning and Zoning Board Members:

My name is David Smiley and I am familiar with the proposal by Michele Prevost
(Printed name)

for the special exemption described above. I am the legal owner of 1220 + 1226 Sheridan
(Address or property location)

 I have NO OBJECTION to the Special Exemption Request.

Name: David Smiley

Address: PO Box 38 Cody

Comments: _____

 I OBJECT to the Special Exemption Request:

Name: _____

Address: _____

Reason for Objection: _____

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 25, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	DOWNTOWN ARCHITECTURAL DISTRICT REVIEW—JUNIPER WINE & DUDE RANCHERS ASSOCIATION MISCELLANEOUS IMPROVEMENTS. SPR 2017-11	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Michelle Prevost of Juniper, located at 1128 12th Street, requests approval for a number of small exterior projects proposed at the property and next door at the Dude Ranchers Association building (12th Street). Proposed improvements at the front of the building include a new 2nd floor balcony, door, and railing within the inset of the building, and an exterior menu board/community flyer display case (sign) next to the entrance. To the rear of the building are proposed two signs (panels from existing sign on 12th Street). On the Dude Ranches property, they would install a bike rack and rain barrel. The plans are attached.

REVIEW CRITERIA:

The property is within the Downtown Architectural District. Pursuant to Subsection B of 9-2-2, within the Downtown Architectural District, *“The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

In addition, the proposal is subject to applicable development standards for signage, etc.

STAFF COMMENTS:

Architecture:



The 2nd floor balcony would be composed of a deck, railing and new exterior door. The deck design and color is not identified, but is presumed to match the railing and new door. The railing will be black or dark grey. The door will be dark grey or earth tone. The existing brick façade has a light brown color.

The rain barrel does not appear to require review.

The bike rack would be located at the back of building and provide order to the bike parking situation in a location that does not conflict with parking or access. The wood frame and metal mesh design of the bike rack has a residential fence-like appearance.

Signage:

The property is in the D-2 sign district, which permits the number, size, and location of the individual proposed signs. Total allowable square footage is well within the allowable limit, even considering the existing signs. Provided the freestanding sign is mounted so that it does not overhang the property line, the signs are all within the boundaries of the property.

ALTERNATIVES:

Determine if applicable standards are met, and if so, approve the project, with or without making recommendations and suggestions.

RECOMMENDATION:

Approve the project as proposed.

Dude Ranchers' Association
1122 12th St. Cody WY 82414
(307) 587-2339

4 April 2017

Todd Stowell, planner
City of Cody
1338 Rumsey Ave
Cody, WY 82414-3713

Dear Todd:

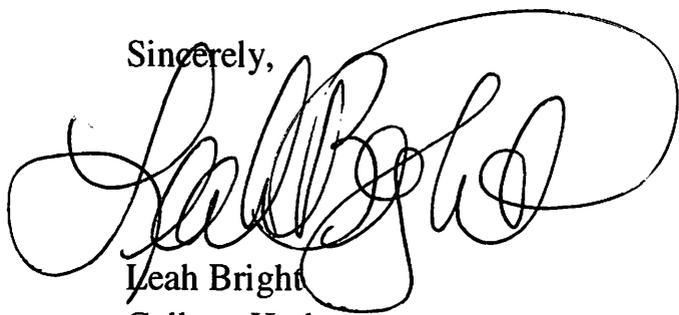
I am writing in support of the application from Michele Prevost and Juniper: Bar +Market+Bistro to place a bike rack and rainwater collection barrel along our common boundaries at the rear of our buildings. We own the building at 1122 12th Street and would like to see these improvements made.

We do not have a convenient outdoor faucet near that area, and the rain barrel would let us water any attractive plants back there, which would keep weeds down.

A bike rack would allow a safe, orderly and secure spot where our staff and Juniper's staff and customers could park and lock their bikes. Previously, cyclists have used utility poles, trees, a gas meter and other items, which is not ideal.

Please contact us with any questions.

Sincerely,



Leah Bright
Colleen Hodson

4/4/2017

Hudson Partners
1128 12th St. Cody WY 82414
323-422-5523 ruffinprevost@gmail.com

6 April 2017

Todd Stowell, planner
City of Cody
1338 Rumsey Ave
Cody, WY 82414-3713

Dear Todd:

I am writing in support of the sign and minor commercial review application from Michele Prevost and Juniper: Bar+Market+Bistro to hang a new projecting sign at 1128 12th Street in Cody, along with installing a menu display case, bike rack, balcony railing, rain barrel and other minor additions.

I am the sole proprietor of Hudson Partners, LLC, owner of the building at 1128 12th Street. Juniper has a long-term lease to occupy the building, including provisions in that lease allowing for the sale/serving on-site of alcoholic beverages.

I support the application and have been involved in the design of the sign and other installations, so I am familiar how everything will look. I am happy to answer any questions you might have.

Sincerely,

A handwritten signature in blue ink, appearing to read "Thomas Ruffin Prevost". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Ruffin Prevost



Exemplar of proposed balcony railing for Juniper, 1128 12th St. color to be black or dark grey



**Exemplar of proposed balcony & door locations for Juniper, 1128 12th St
door to be dark grey or earth tone**

**Location of proposed bike rack near alley at rear of
Juniper & Dude Ranchers 1128 12th St**





Exemplar of proposed menu display and community flyer display case at Juniper, 1128 12th St appx 3'x5' color to be black, dark gray or earth tone



**Location of proposed menu board/community flyer display
Juniper 1128 12th St.**



**Design guide for proposed bike rack
Juniper/Dude Ranchers in rear alley
square or round posts, natural or dark stain**



**Rain barrel and support at Dude Ranchers & Juniper
plan new wood support, needed for water pressure
can wrap barrel if artwork is unacceptable
1128 12th St**



Request to repurpose old sign at rear of building in alley.

Prefer mounting at angle on old tree trunk so visible from both alleys, would be fully within our property line as a pole mounted sign.

Other option is mounting on outside of fence as a wall sign, but top of sign would extend about 12 inches above top of 6-foot fence.

Sign is 7.5' tall x 2.8' wide.

location is rear of Juniper 1128 12th Street

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 25, 2017	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: RIVERSIDE CEMETERY COMMITTAL SHELTER FILE: SPR 2017-12	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Point Architects, representing the Riverside Cemetery District, has submitted an application for a 2,579-square foot building to be located near the main entrance of Riverside Cemetery. The building is called a committal shelter, which is a place for funeral/memorial services. The cemetery intends to have its customers use the shelter instead of grave-side locations for services.

The shelter would be located in the round-a-bout near the cemetery entrance. On the photo, it is the area within the larger concrete circle (former fountain area and portion of driving surface). The larger circle is a storm water valley gutter. A basic site plan and architectural plans are attached.



Looking North:



Looking South:



REVIEW CRITERIA:

As noted in prior cemetery reviews, cemeteries are not mentioned in the zoning ordinance, but by practice have been permitted when located in the R-2 zone.

Pursuant to City of Cody Code 9-2-3:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

Existing Conditions:

The location is in a central location within the existing cemetery. The cemetery is heavily landscaped along Yellowstone Avenue and the building will have a relatively stately position clearly visible as persons enter the cemetery. The landscaping is existing, not to hide the cemetery and its buildings, but to create a somewhat isolated retreat away from the regular views of developed areas.

Architecture:

The building elevations are attached. The building will utilize significant glazing on the exterior walls, architectural stone (river rock or other), open wood beam supports, and a standing seam metal roof. Exact colors are not indicated, but are expected to be earth tone. It would appear to be a rather attractive building.

Landscaping:

The cemetery already provides the required amount of landscaping for the entry corridor requirements. The small landscape beds next to the building will be landscaped in a manner similar to the directory area to the north (see photo next page). A landscape architect has been retained to design the landscaping, but the plan is not yet available.

Access and Frontage:

No new access points to public streets are proposed. The public street frontage along the highway is fully developed with curb, gutter, sidewalk and streetlights.

Parking:

Due to the nature of the facility, no formal parking plan has been submitted. The plan is simply to allow parking on the cemetery drive lanes, as typically occurs with

graveside services. There are some formal parking spaces, including ADA parking, at the directory area to the north.

Capacity of the building is calculated at 160 occupants (note bench seating along perimeter). The cemetery drive lanes have capacity for parking. The only concern of staff, is that some may park too close to the building. The building location reduces the current drive lane width around the round-a-bout to a width of about 18-20 feet. To allow free-flow of traffic and



emergency vehicles access, the “intersection” area should be marked and signed “No Parking”. As the traffic flow is one-way, signage should also be provided to direct traffic to the right of the shelter, in a counter-clockwise manner. Signage should meet MUTCD standards for mounting height (7-foot clearance in walking areas).

Exterior Lighting

The exterior lighting plan is described on Sheet #1.0. Exterior lighting is limited to a large pendant light at each of the four entrances and two decorative lanterns on the north side of the building. Fixture details and mounting heights of the pendants have not been provided. The Board can discuss lighting with the applicant if they have any concerns.

Storm Water Plan:

There is a developed storm water/drainage system in the cemetery, which will be maintained and utilized by the new building. Grading details around the new building have not been submitted—confirmation of acceptable grading for ADA access and storm water drainage should be submitted for staff review.

Utility Services

The applicant indicates that no new utility services are needed. Water and power are currently at the site.

Signage

No commercial signage is proposed.

Hydrants

The distance to the nearest fire hydrant exceeds the typical standard. The Building Official and Fire Marshal will need to coordinate on the fire protection requirements. The Fire Marshal can allow further distances when the building has fire sprinklers, which planning staff believes is required, but has not been verified at this time. Additional information on this matter should be available Monday before the meeting.

Garbage

No garbage is shown. It is anticipated that any garbage cans could be small and located inside the building, or landscape area.

Setbacks/Buffer

Applicable setbacks are met—there are no setbacks from private driveways.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

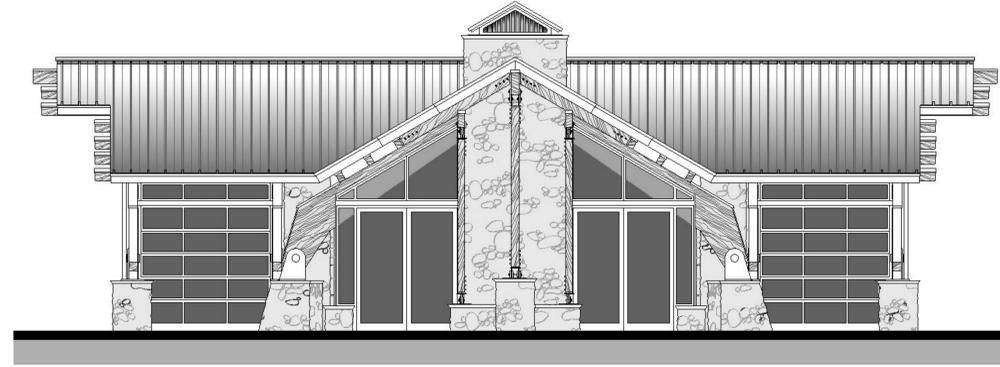
Approve or deny the site plan with or without changes.

RECOMMENDATION:

Provided sufficient information is available for lighting and fire protection, approve the project subject to the following conditions:

1. The "intersection area around the building shall be marked as signed "No Parking".
2. Provide traffic control signs for the "round-a-bout".
3. Coordinate fire protection requirements with the building official, fire marshal, and if necessary Public Works.
4. Provide grading details to confirm appropriate drainage around the site, and ADA access into the building. Staff may review and authorize.
5. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.

RIVERSIDE COMMITTAL SHELTER



ARCHITECT:

POINT ARCHITECTS

RICHARD CHILDRESS
209 E 35th Street
Garden City, ID 83714
p. 208-284-2999
rich@pointarchitects.com

KANE MORRIS
P.O. Box 1001
Cody, WY 82414
p. 307-272-4006
kane@pointarchitects.com

www.pointarchitects.com

STRUCTURAL ENGINEER:

WHITTEN & BORGES, PC

P.O. Box 559
Sheridan, WY 82801
p.307.752.9083

www.whittenborges.com

GENERAL CONTRACTOR:

TBD

PROJECT LOCATION:

1721 Gulch Ave,
Cody, WY 82414

SHEET INDEX:

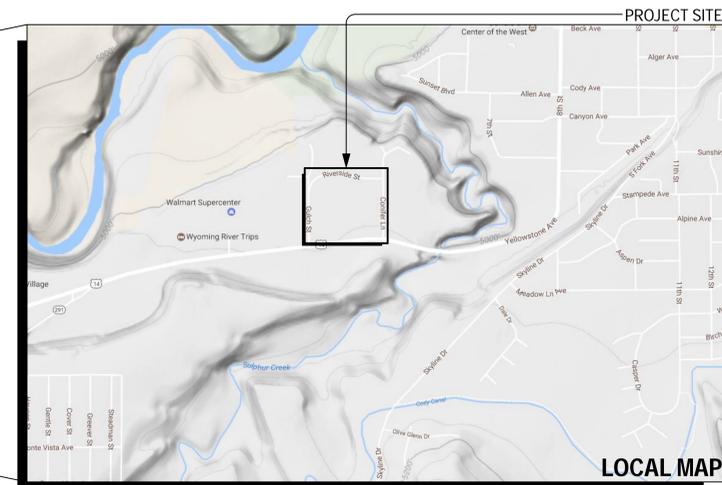
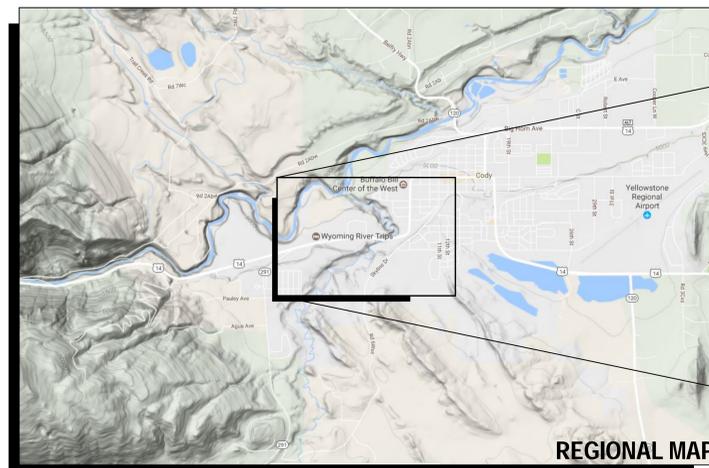
A0.0 COVER	A8.0 REFLECTED CEILING PLAN
A2.0 MAIN FLOOR PLAN	E1.0 MAIN FLOOR ELECTRICAL PLAN
A2.1 ROOF PLAN	S0.1 GENERAL NOTES AND TYPICAL DETAILS
A3.0 NORTH & SOUTH ELEVATIONS	S1.1 FOUNDATION PLAN
A3.1 EAST & WEST ELEVATION	S1.2 ROOF FRAMING PLAN
A4.0 BUILDING SECTIONS	S2.1 ELEVATIONS
A5.0 WALL SECTIONS	S5.1 DETAILS
A5.1 FIREPLACE	S5.2 DETAILS
A6.0 ARCHITECTURAL DETAILS	
A7.0 DOOR & WINDOW SCHEDULE	

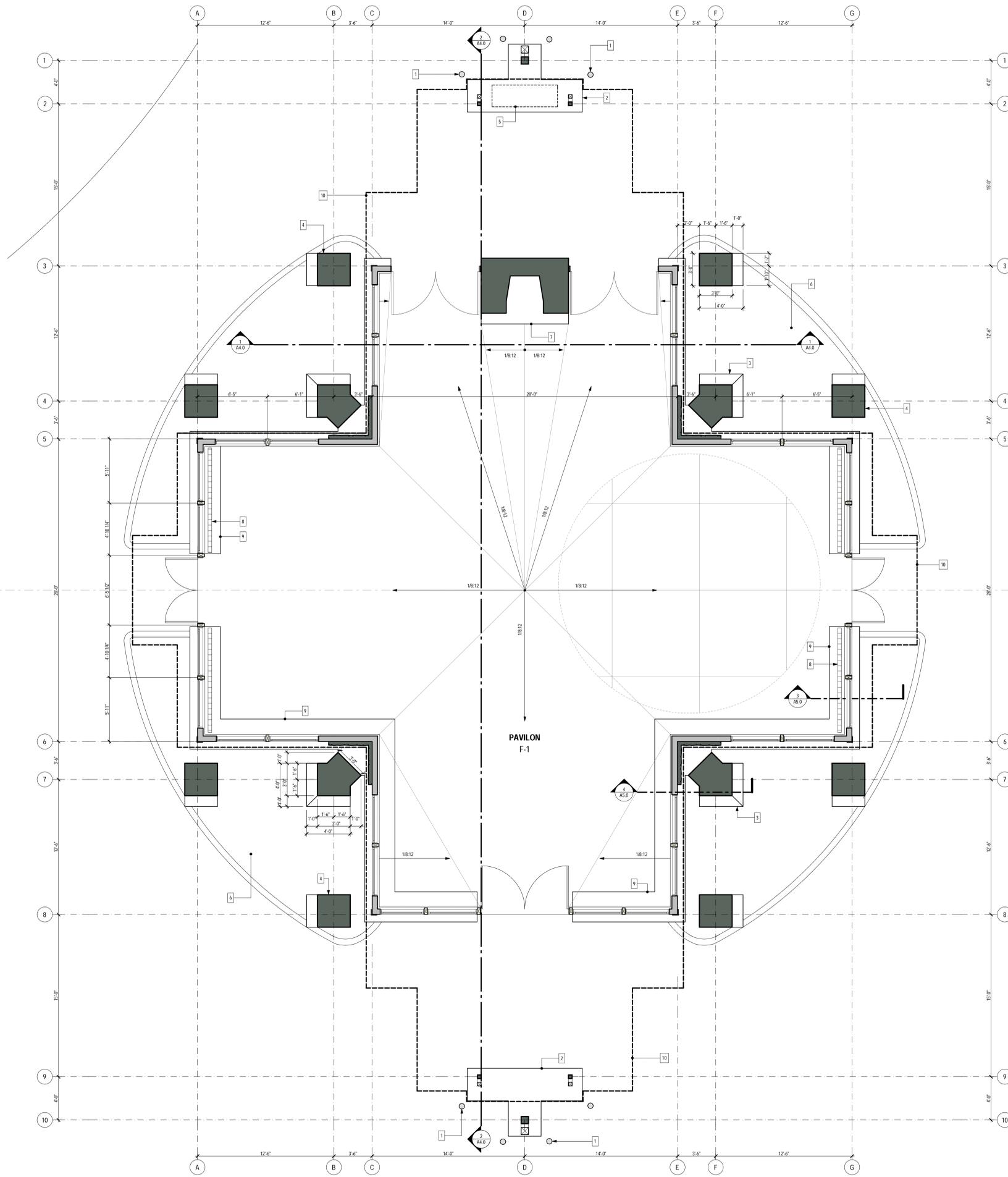
CODE ANALYSIS:

Applicable Codes:	IBC 2015, ICC/ANSI A117.1, Cody Zoning Code
Zone:	Open Space / Agricultural
Construction Type:	III-A, 2h Exterior Walls, 1h Structural Frame
Occupancy Group:	Assembly
Use:	A-3
Floor Area:	2,579 sq. ft.
Occupant Load:	160 occupants (fixed seating)
Exit Required:	2
MAX. Travel Distance Allowed	200 ft.

GENERAL NOTES:

1. ALL WORK, PRODUCTS AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES.
2. ALL QUESTIONS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF POINT ARCHITECTS PRIOR TO COMMENCING THE AFFECTED WORK.
3. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS.
4. CONTRACTOR SHALL ADHERE TO ALL WRITTEN DIMENSIONS. ANY QUESTIONS ABOUT DIMENSIONS NOT PROVIDED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING THE AFFECTED WORK.
5. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO EXCAVATION.
6. CONTRACTOR SHALL DEMOLISH ANY STRUCTURE AND REMOVE ANY LANDSCAPE OR PAVING MATERIAL PRIOR TO COMMENCING NEW CONSTRUCTION.
7. THE INTENT OF THIS DOCUMENT SET IS TO SERVE AS A BASELINE OF INFORMATION TO ESTABLISH A COST OF CONSTRUCTION, SECURE PERMITS AND PROVIDE A SET OF INSTRUCTIONS FOR BUILDING THE BUILDING AS ENVISIONED BY THE OWNER AND ARCHITECT. IT IS NOT EXHAUSTIVE. THERE WILL BE MANY MANY QUESTIONS THROUGHOUT THE CONSTRUCTION PROCESS. THE SUCCESS AND POLISH OF THE FINAL PRODUCT WILL DEPEND ON THOUGHTFUL SEQUENCING, PREPARATION, CARE AND CRAFTSMANSHIP. IT IS THE INTENT OF THE OWNER AND DESIGNER TO UNDERTAKE THE CONSTRUCTION PROCESS AS A TEAM WHERE EVERY MEMBER CONTRIBUTES SKILL KNOWLEDGE OPINION AND EXPERIENCE. THERE WILL BE AREAS THAT THESE DOCUMENTS DO NOT EXPLICITLY ADDRESS OR DEPICT. WHEN THE TIME COMES TO PERFORM WORK IN THOSE AREAS, IT IS THE RESPONSIBILITY AND OBLIGATION OF THE CONTRACTOR TO CONTACT THE ARCHITECT AND WORK THROUGH THEM AS A TEAM. THIS COMMUNICATION WILL RESULT IN THE BEST FINAL PRODUCT.





ASSEMBLY DESCRIPTIONS

FLOOR ASSEMBLIES
 F-1 - 20# GRID CONCRETE SLAB
 F-1 - 4" CONCRETE SLAB 8X8 GRID SAWCUT W/ SMOOTH TROWELED FINISH OF 6" WYDOT GRADING K O/ STRUCTURAL FILL ENVELOPE A PER STRUCTURAL PLANS

MAIN FLOOR KEY NOTES:

- 1 BOLLARDS
- 2 COLUMN BASE
- 3 TYPICAL VALLEY BENT COLUMN BASE
- 4 TYPICAL BENT COLUMN BASE
- 5 PROPANE TANK SPACE
- 6 LANDSCAPE PER LANDSCAPE ARCHITECT
- 7 RAISED FIREPLACE HEARTH
- 8 LINEAR DRAIN
- 9 WALL MOUNTED BENCH
- 10 LINE OF ROOF ABOVE

MAIN FLOOR PLAN
 1/4" = 1'-0"

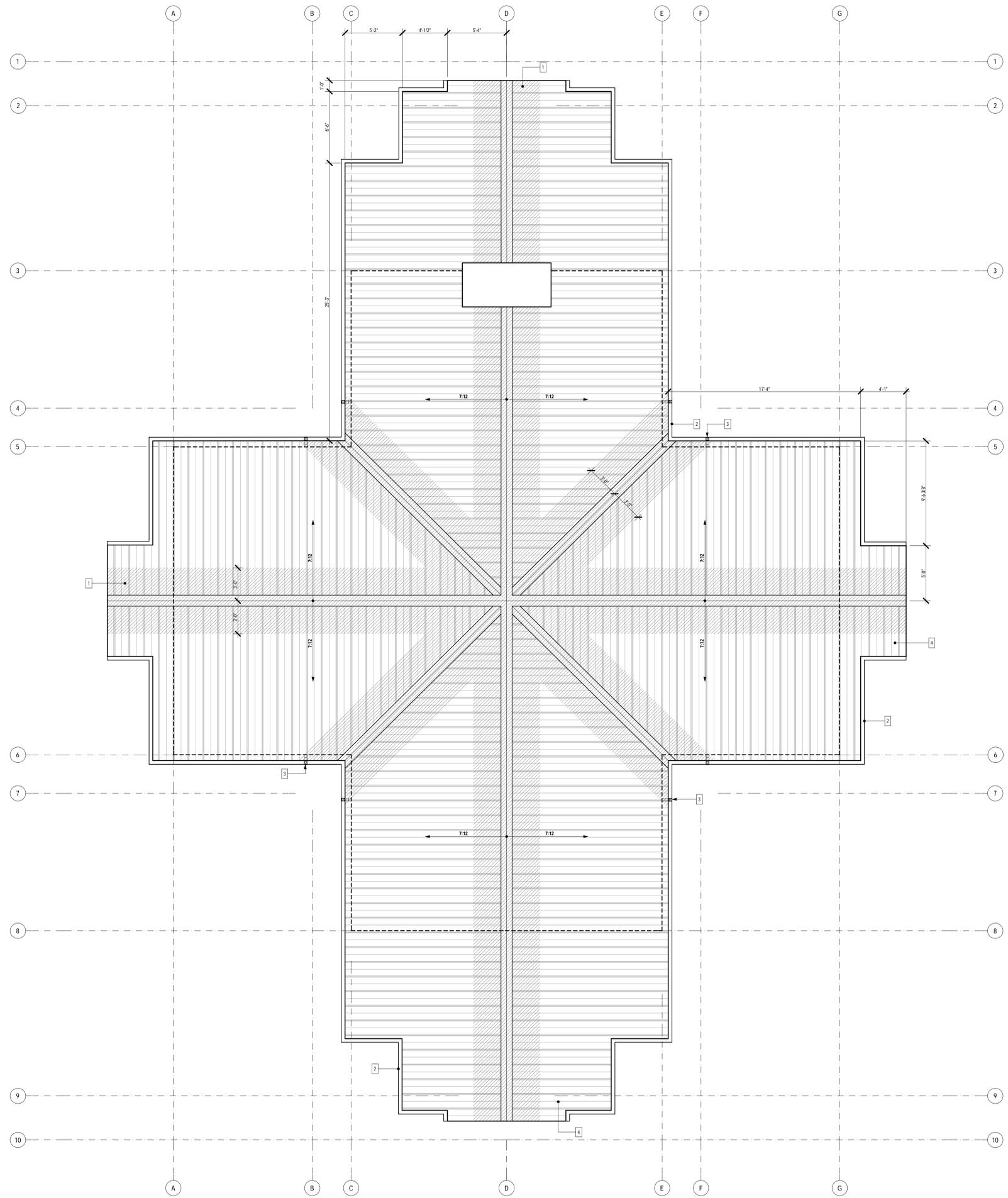
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DATE: REV. 4/7/2017

SCALE: RCS-ph
 BY: RVC

A2.0



ASSEMBLY DESCRIPTIONS

ROOF ASSEMBLIES:
 R-1 STANDING SEAM METAL ROOFING OF SIP PANELS
 STANDING LOCKSEAM METAL ROOFING OF
 ROOFING FELT (PLUS ICE AND SHIELD PER ROOF PLAN) OF
 10' 1/4" SIP PANELS OF
 6' 3/4" TO 12" GULCHAM PURLINS PER STRUCTURAL FRAMING PLAN
 W/ STAINED TAG IN BETWEEN PURLINS OF
 ENGINEERED GULCHAM BEAMS

ROOF KEY NOTES:

- 1 SELF-ADHERED ROOFING UNDERLAYMENT
- 2 GUTTERS
- 3 DOWNSPOUT
- 4 LOCKSEAM METAL ROOF

ROOF PLAN
 1/4" = 1'-0"

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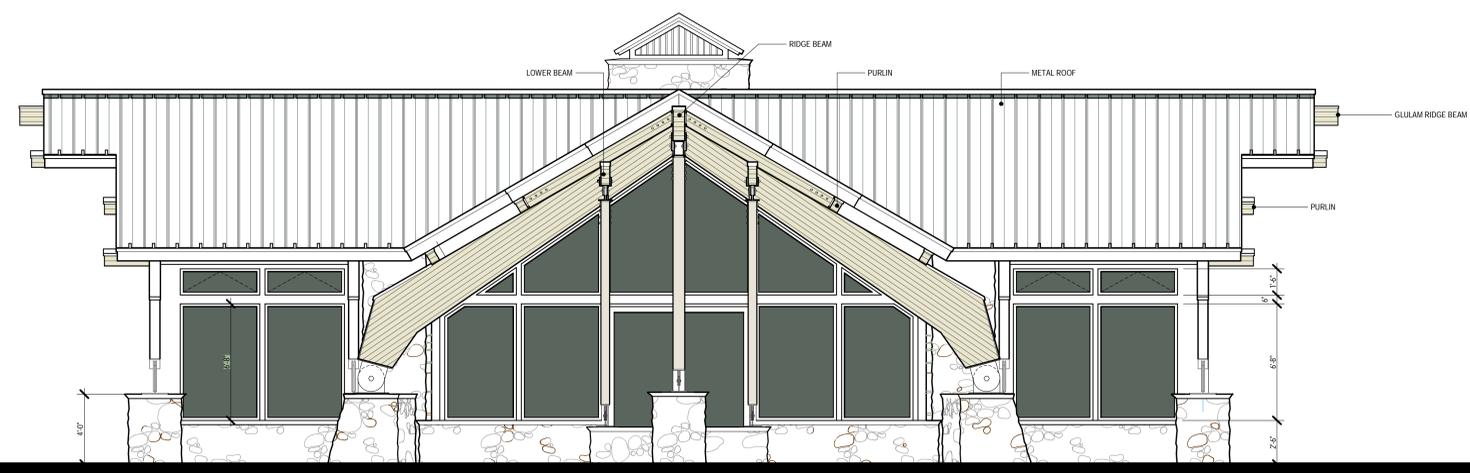
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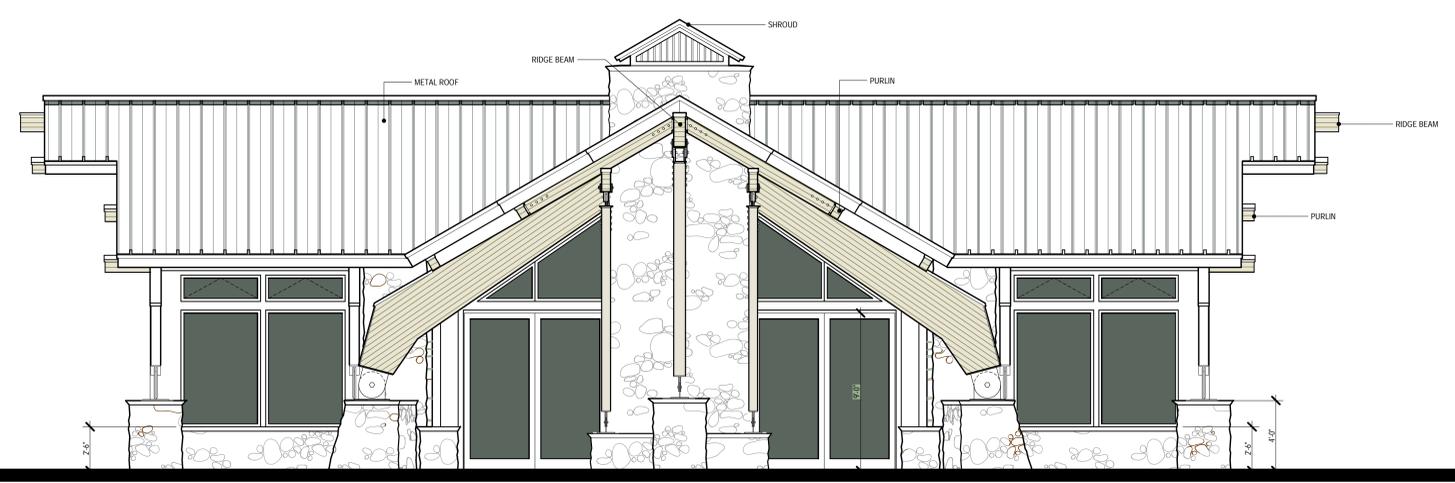
DATE: 4/7/2017
 SCALE: RC5.pn
 BY: RVC



- ASSEMBLY DESCRIPTIONS**
- FLOOR ASSEMBLIES:**
F-1 - 2x8 GRID CONCRETE SLAB
 4" CONCRETE SLAB 8x8 GRID SAWCUT W/ SMOOTH TROWELED FINISH O/ 8" W/ DOT GRADING K O/ STRUCTURAL FILL ENVELOPE A PER STRUCTURAL PLANS
- WALL ASSEMBLIES:**
W-1 - RIVER ROCK BOARD AND BATTEN O/ 2x6 FRAMING
 5/8" X 7 1/4" CEMENT BOARD O/ 3/4" X 3 1/2" CEMENT BOARD @ 8" O.C. O/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ 8" R-38 INSULATION O/ VISQUELEN VAPOR BARRIER O/ TEXTURED, PAINTED W/ SHEETROCK
- W-2 - RIVER ROCK O/ 2x6 FRAMING**
 4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ 8" R-38 INSULATION O/ VISQUELEN VAPOR BARRIER O/ TEXTURED, PAINTED W/ SHEETROCK
- W-3 - RIVER ROCK VENEER O/ CONCRETE FOUNDATION WALL**
 4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ R-11 (MIN) CLOSED CELL INSULATION O/ 8" CONCRETE WALL PER STRUCTURAL PLANS WITH EXTERIOR BITUMINOUS WATERPROOFING

- ROOF ASSEMBLIES:**
R-1 - STANDING SEAM METAL ROOFING O/ SIP PANELS
 STANDING SEAM METAL ROOFING O/ ROOFING FELT (PLUS ICE AND SHIELD PER ROOF PLAN) O/ 10 1/4" SIP PANELS O/ 6.5" X 10 1/2" GULIAM PURLINS PER STRUCTURAL FRAMING PLAN W/ STAMMED TAG IN BETWEEN PURLINS O/ ENGINEERED GULIAM BEAMS

NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

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EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"

ASSEMBLY DESCRIPTIONS

FLOOR ASSEMBLIES:
F-1 - 8x8 GRID CONCRETE SLAB
 4" CONCRETE SLAB 8x8 GRID SAWCUT W/ SMOOTH TROWELED FINISH O/ 6" WYDOT GRADING K O/ STRUCTURAL FILL ENVELOPE A PER STRUCTURAL PLANS

WALL ASSEMBLIES:

W-1 - REVERSE ROOFED AND BATTEN O/ 2x6 FRAMING
 5/8" X 7 1/4" CEMENT BOARD O/ 3/4" X 3 1/2" CEMENT BOARD @ 8" O.C. O/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 80 COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ "R-38 INSULATION O/ VISQUEEN VAPOR BARRIER O/ TEXTURED, PAINTED "S SHEETROCK

W-2 - RIVER ROCK O/ 2x6 FRAMING
 4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 80 COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ "R-38 INSULATION O/ VISQUEEN VAPOR BARRIER O/ TEXTURED, PAINTED "S SHEETROCK

W-3 - RIVER ROCK VENEER O/ CONCRETE FOUNDATION WALL
 4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ R-17 (M) CLOSED CELL RIGID INSULATION O/ 8" CONCRETE WALL PER STRUCTURAL PLANS WITH EXTERIOR BITUMINOUS WATERPROOFING

ROOF ASSEMBLIES:

R-1 - STANDING SEAM METAL ROOFING O/ SIP PANELS
 STANDING SEAM METAL ROOFING O/ ROOFING FELT (PLUS ICE AND SHIELD PER ROOF PLAN) O/ 10 1/4" SIP PANELS O/ 6 3/4" X 10 1/2" GLULAM PURLINS PER STRUCTURAL FRAMING PLAN W/ STAMMED TAG IN BETWEEN PURLINS O/ ENGINEERED GLULAM BEAMS

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 SCALE: R/C5-pn
 BY: RVC

A3.1

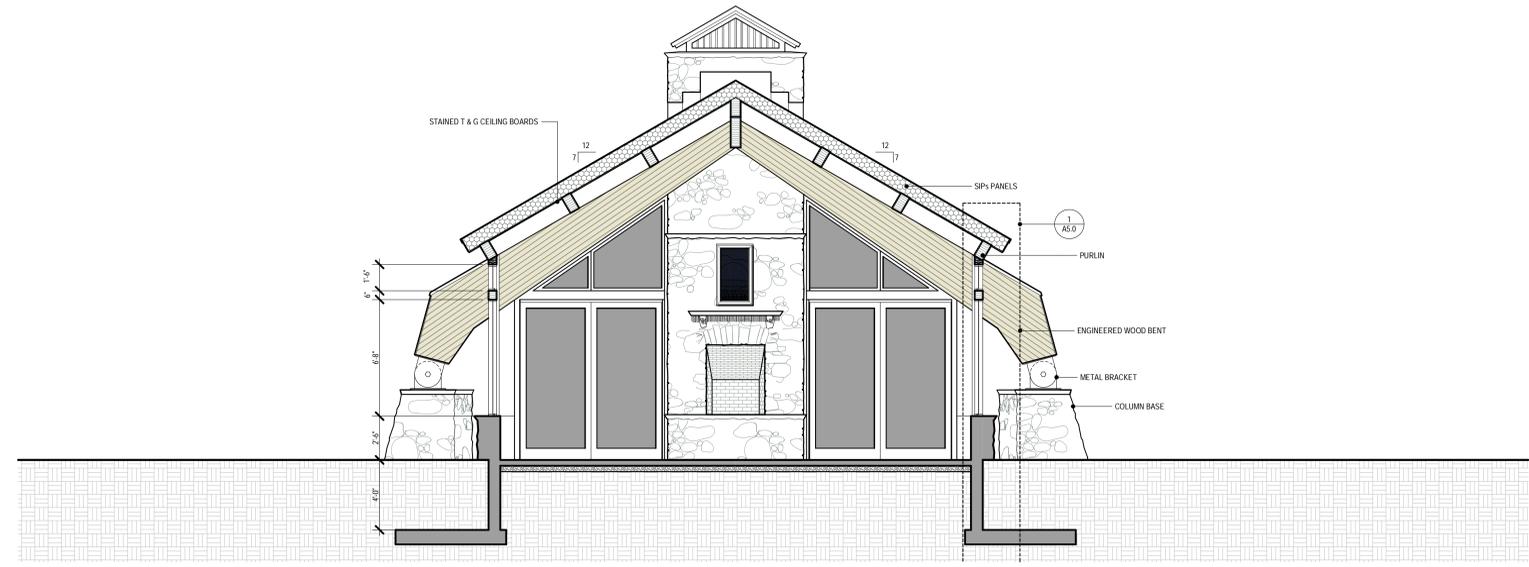
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SCALE: RCS-ph
BY: RVC

A4.0



BUILDING SECTION 1
1/4" = 1'-0"

ASSEMBLY DESCRIPTIONS

FLOOR ASSEMBLIES:
F1 - 20# GRID CONCRETE SLAB
F1 - 8# CONCRETE SLAB 8X8 GRID SAWCUT W/ SMOOTH TROWELED FINISH OF 8" WYDOT GRADING K OF STRUCTURAL FULL ENVELOPE A PER STRUCTURAL PLANS

WALL ASSEMBLIES:
W1 - **CEILING BOARD AND BATTEN OF 2x6 FRAMING**
5/8" X 1 1/4" CEMENT BOARD @ 8" O.C.
3/8" X 1 1/2" CEMENT BOARD @ 8" O.C.
MOISTURE BARRIER @ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES OF 2x6 STUDS @ 16" O.C. W/ 1/2" R-38 INSULATION @ VISQUELEN VAPOR BARRIER @ TEXTURED, PAINTED w/ SHEETROCK

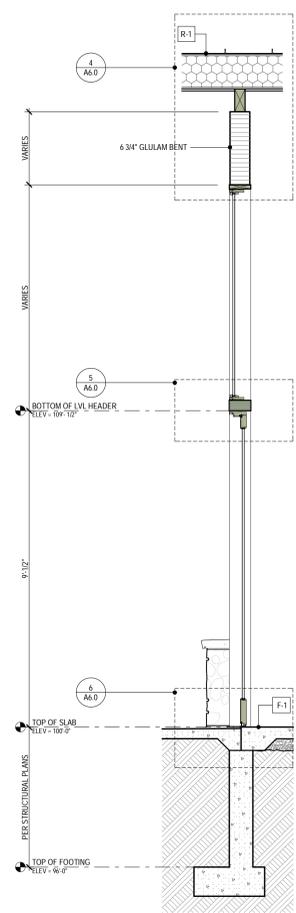
W2 - **RIVER ROCK OF 2x6 FRAMING**
4" STACKED RIVER ROCK @ 1 1/2" AIR GAP @ MOISTURE BARRIER @ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES OF 2x6 STUDS @ 16" O.C. W/ 1/2" R-38 INSULATION @ VISQUELEN VAPOR BARRIER @ TEXTURED, PAINTED w/ SHEETROCK

W3 - **RIVER ROCK VENEER OF CONCRETE FOUNDATION WALL**
4" STACKED RIVER ROCK @ 1 1/2" AIR GAP @ R-11 (MIN) CLOSED CELL RIGID INSULATION @ 8" CONCRETE WALL PER STRUCTURAL PLANS WITH EXTERIOR BITUMINOUS WATERPROOFING

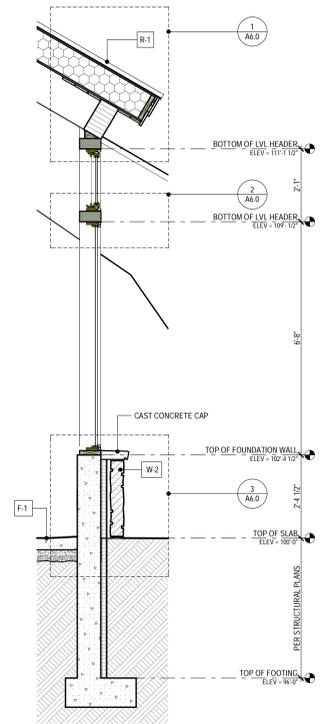
ROOF ASSEMBLIES:
R1 - **STANDING SEAM METAL ROOFING OF SIP PANELS**
STANDING SEAM METAL ROOFING @ ROOFING FELT (PLUS ICE AND SHIELD PER ROOF PLAN) @ 10" X 14" SIP PANELS @ 6.34" X 10" GLULAM PURLINS PER STRUCTURAL FRAMING PLAN W/ STAINED T&G IN BETWEEN PURLINS OF ENGINEERED GLULAM BENS



BUILDING SECTION 2
1/4" = 1'-0"



WALL SECTION 2
1/2" = 1'-0"



WALL SECTION 1
1/2" = 1'-0"

ASSEMBLY DESCRIPTIONS

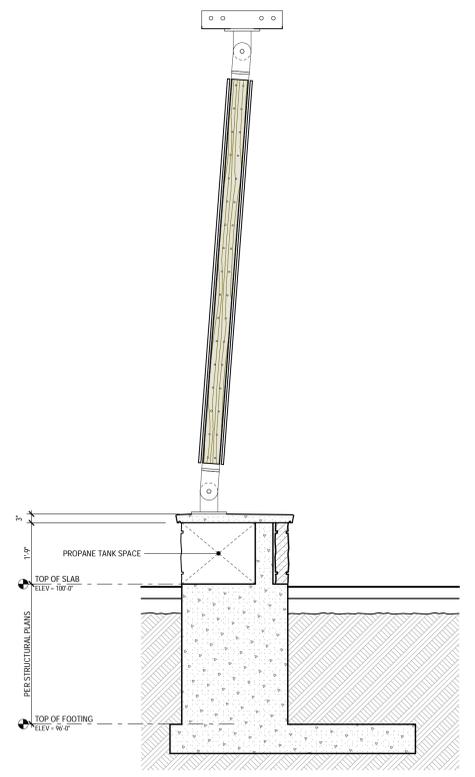
FLOOR ASSEMBLIES:
F-1 - 2x8 GRID CONCRETE SLAB
4" CONCRETE SLAB 8x8 GRID SAWCUT W/ SMOOTH TROWELED FINISH OF 8" WYDOT GRADING K O/ STRUCTURAL FILL ENVELOPE A PER STRUCTURAL PLANS

WALL ASSEMBLIES:
W-1 - **CEILING BOARD AND BATTEN** OF 2x6 FRAMING
5/8" X 7 1/4" CEMENT BOARD O/ 3/8" X 1 1/2" CEMENT BOARD @ 8" O.C/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ 1" X 3/8" INSULATION O/ VISQUEEN VAPOR BARRIER O/ TEXTURED, PAINTED w/ SHEETROCK

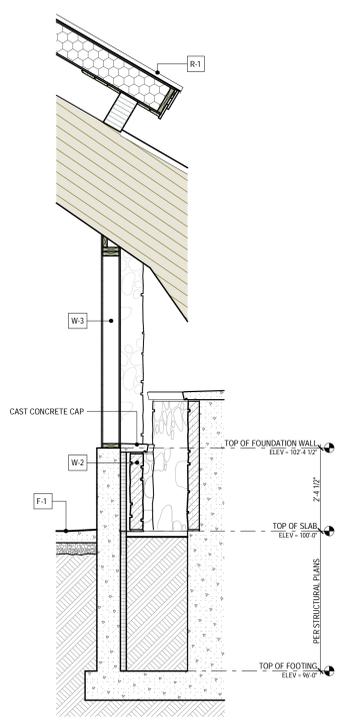
W-2 - RIVER ROCK OF 2x6 FRAMING
4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ MOISTURE BARRIER O/ SHEATHING PER STRUCTURAL PLANS W/ 8D COMMON NAILS @ 16" O.C. @ EDGES & 12" O.C. IN THE FIELD AND BLOCKING AT ALL EDGES O/ 2x6 STUDS @ 16" O.C. W/ 1" X 3/8" INSULATION O/ VISQUEEN VAPOR BARRIER O/ TEXTURED, PAINTED w/ SHEETROCK

W-3 - RIVER ROCK VENEER OF CONCRETE FOUNDATION WALL
4" STACKED RIVER ROCK O/ 1 1/2" AIR GAP O/ R-11 (MIN) CLOSED CELL RIGID INSULATION O/ 8" CONCRETE WALL PER STRUCTURAL PLANS WITH EXTERIOR BITUMINOUS WATERPROOFING

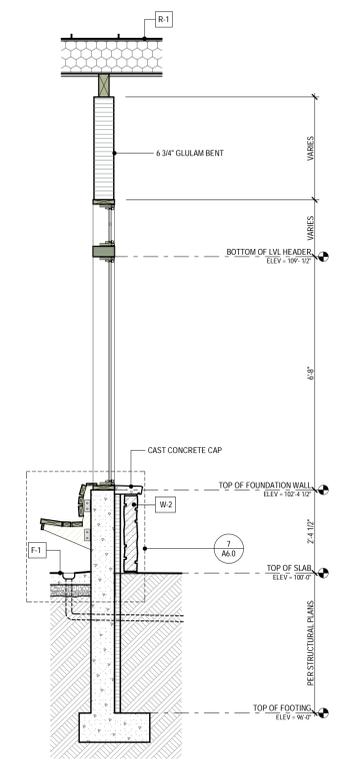
ROOF ASSEMBLIES:
R-1 - STANDING SEAM METAL ROOFING O/ SIP PANELS STANDING JOIST METAL ROOFING O/ ROOFING FELT PLUS ICE AND SHIELD PER ROOF PLAN O/ 10 1/4" SIP PANELS O/ 6 3/4" X 12" GLULAM PURLINS PER STRUCTURAL FRAMING PLAN W/ STAINED 1x6 IN BE TWEEN PURLINS O/ ENGINEERED GLULAM BEAMS



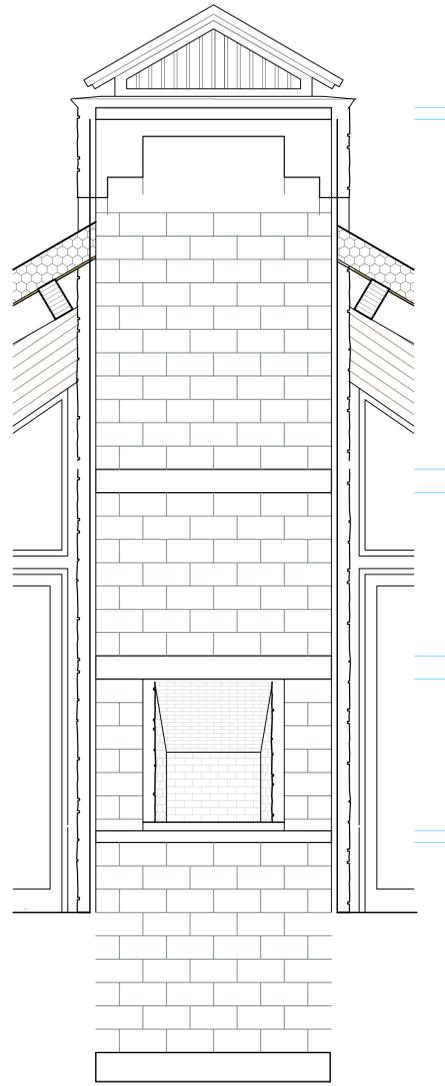
PIER SECTION @ NORTH SIDE 5
1/2" = 1'-0"



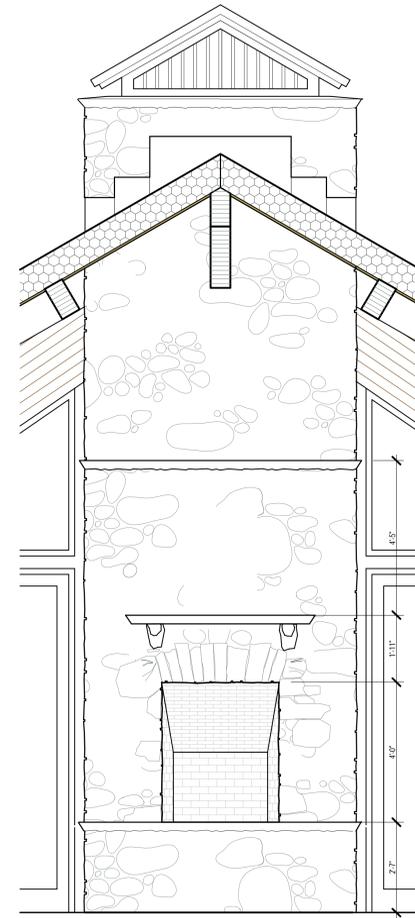
WALL SECTION 4
1/2" = 1'-0"



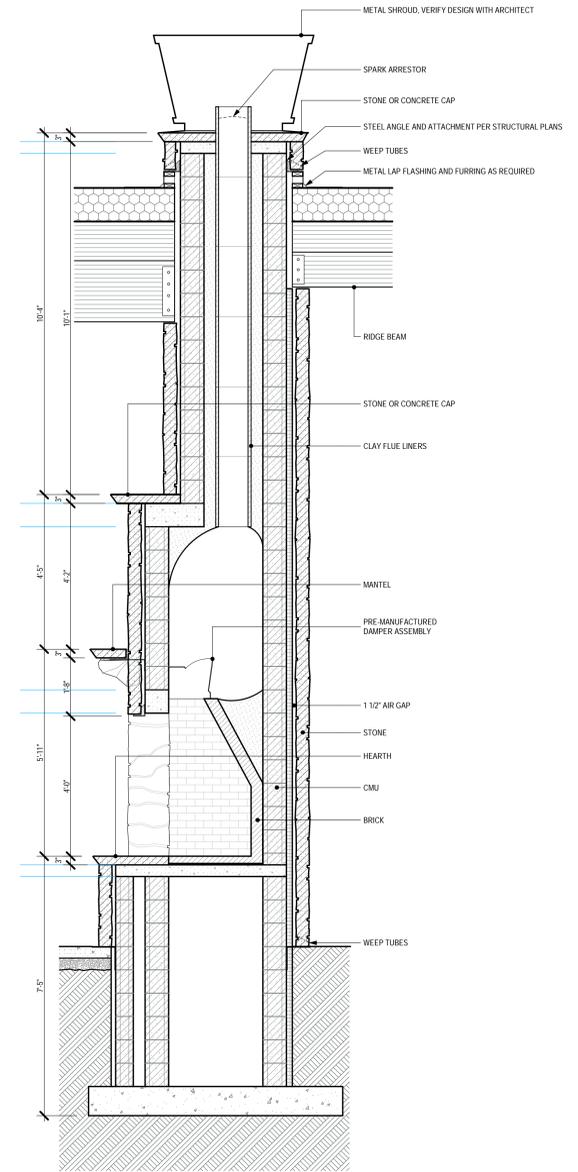
WALL SECTION 3
1/2" = 1'-0"



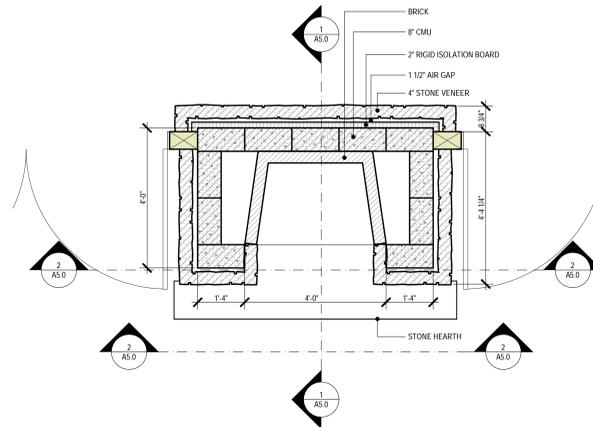
FIREPLACE STRUCTURE ELEVATION 2
1/2" = 1'-0"



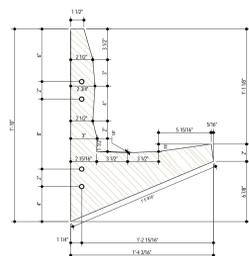
FIREPLACE ELEVATION 2
1/2" = 1'-0"



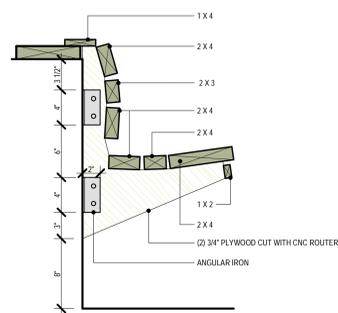
FIREPLACE SECTION 1
1/2" = 1'-0"



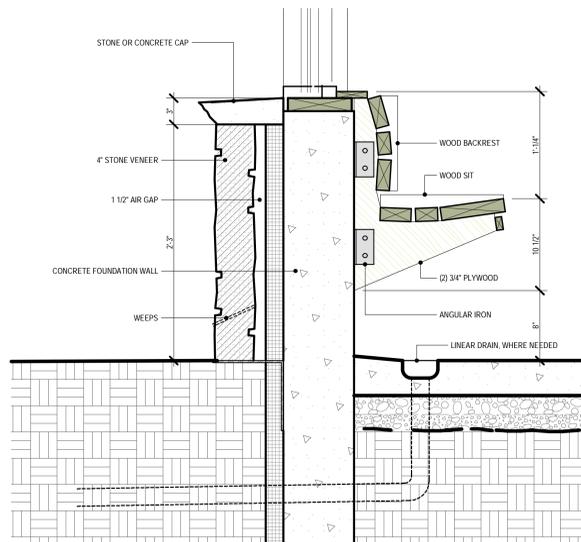
FIREPLACE PLAN
1/2" = 1'-0"



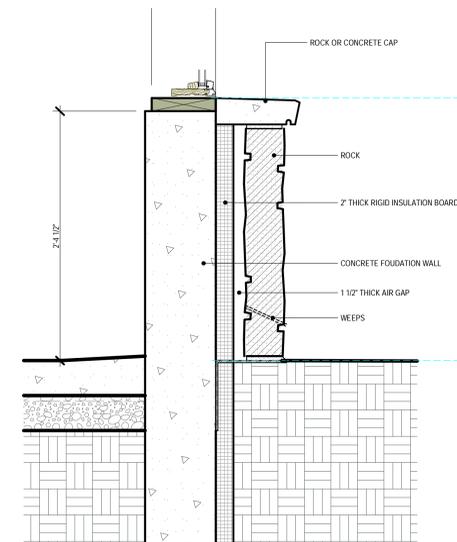
PLYWOOD PROFILE for CNC
1 1/2" = 1'-0"



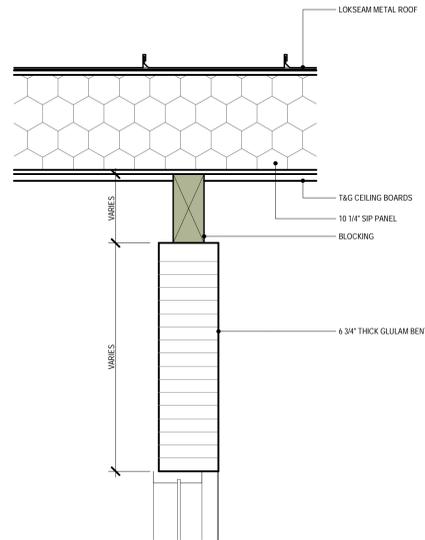
SEAT DETAIL
1 1/2" = 1'-0"



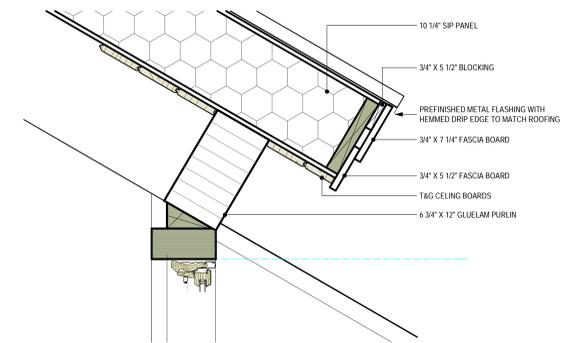
WALL DETAIL 7
1 1/2" = 1'-0"



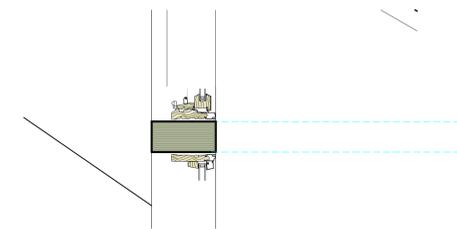
WALL DETAIL 3
1 1/2" = 1'-0"



WALL DETAIL 4
1 1/2" = 1'-0"



WALL DETAIL 1
1 1/2" = 1'-0"

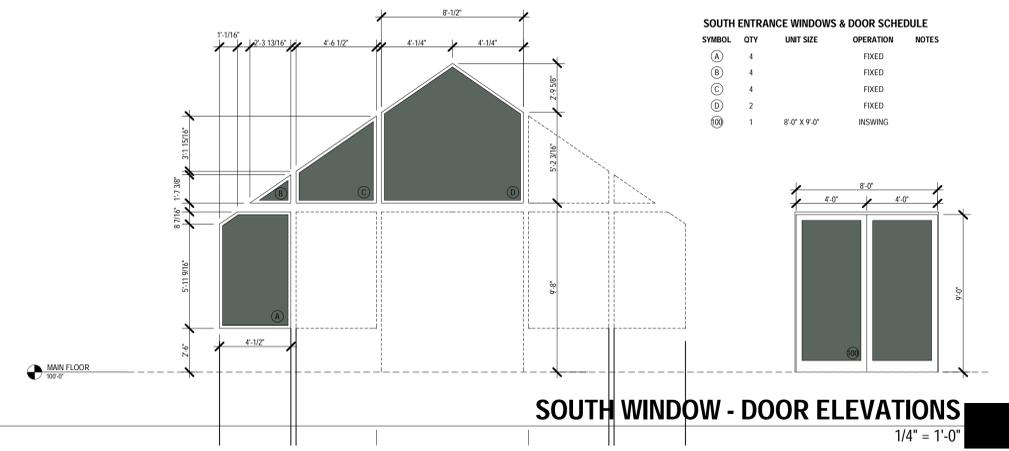


WALL DETAIL 2
1 1/2" = 1'-0"

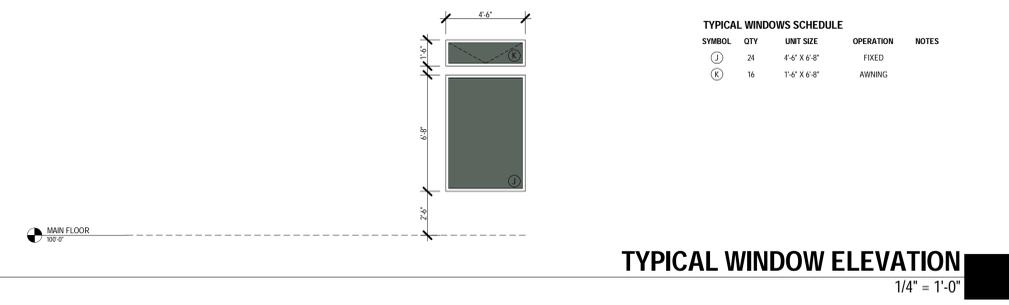
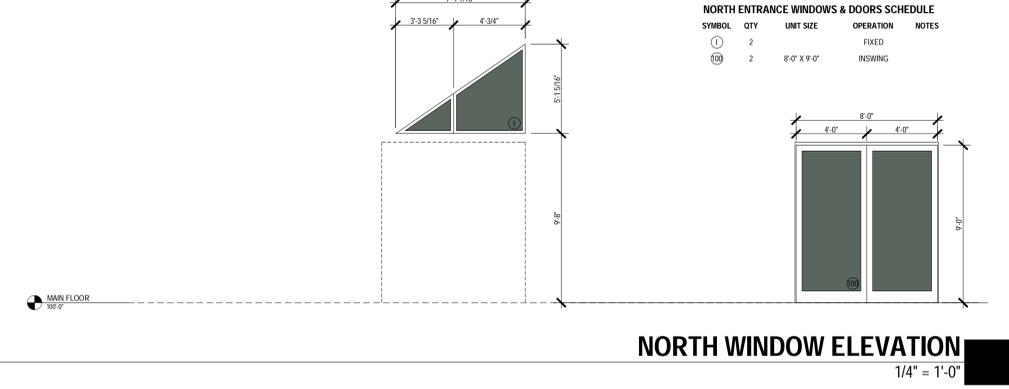
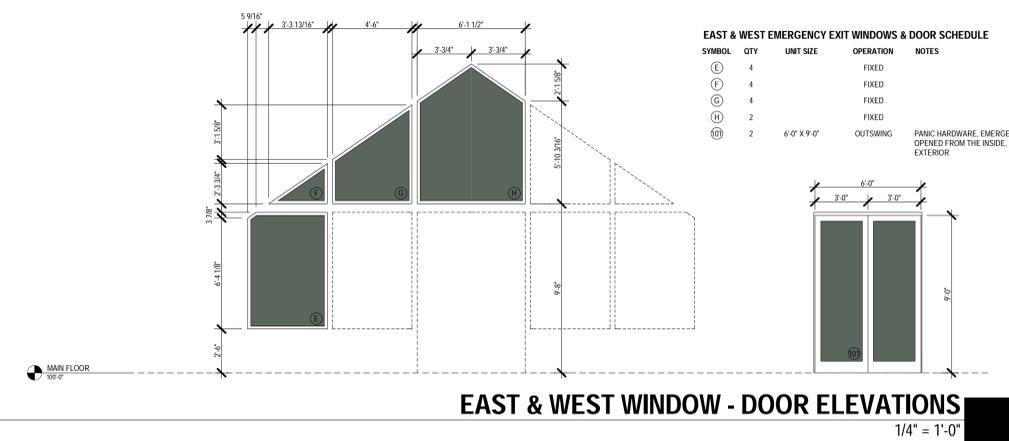
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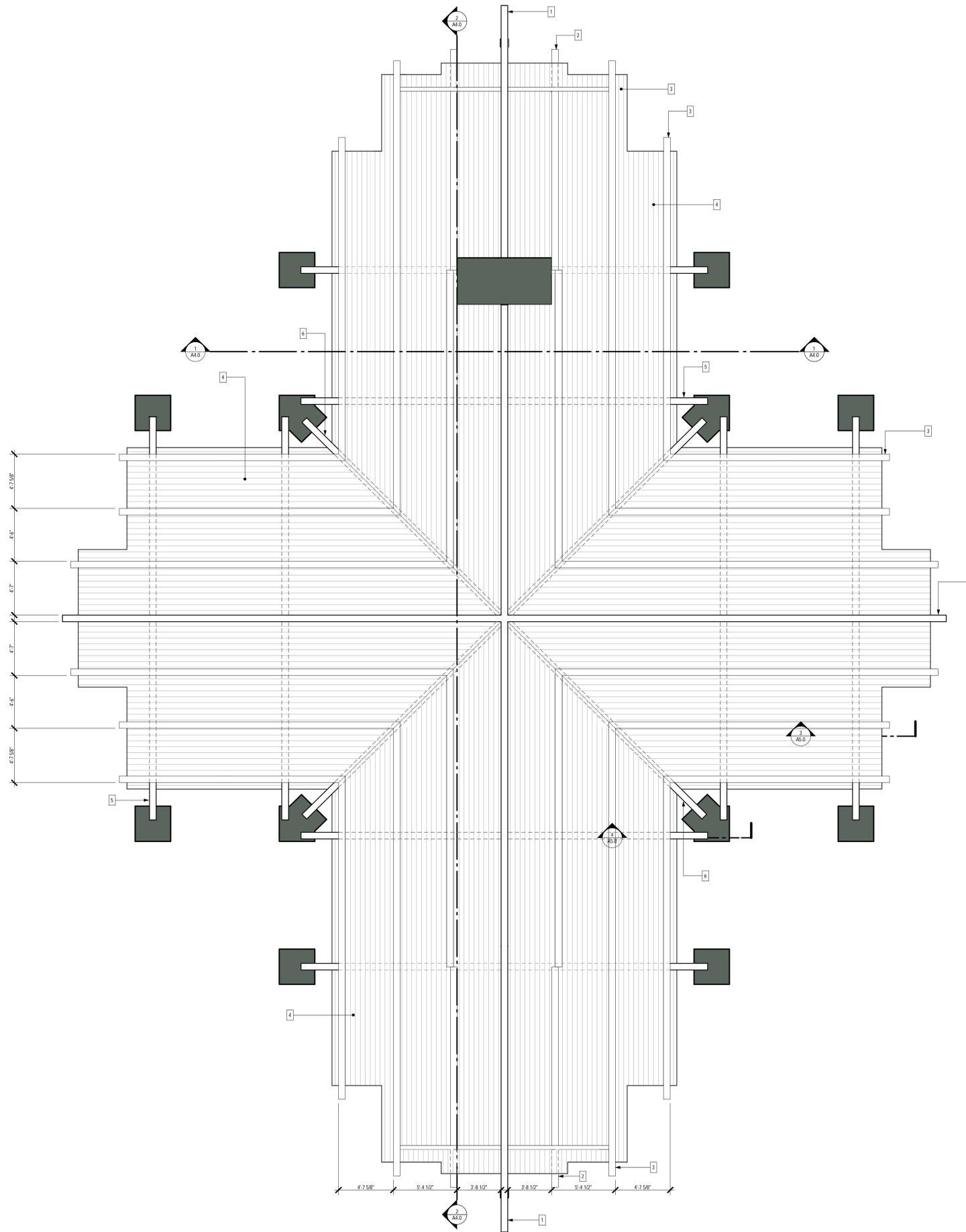
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BY: RVC
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- GENERAL WINDOW & DOOR NOTES**
1. UNIT DIMENSIONS ARE SUBJECT TO ADJUSTMENT PER NEAREST MANUFACTURER STANDARD SIZE.
 2. SUPPLIER SHALL PROVIDE SAFETY GLASS AT ALL HAZARDOUS LOCATION PER 2012 IRC.
 3. ALL DOOR GLAZING SHALL BE SAFETY GLASS PER 2012 IRC.
 4. CONTRACTOR AND WINDOW SUPPLIER SHALL FIELD VERIFY ALL ROUGH OPENINGS AND UNIT SIZES PRIOR TO PLACING ORDER.
 5. CONTRACTOR AND SUPPLIER SHALL VERIFY QUANTITIES PRIOR TO PLACING ORDER.
 6. OPERATION AND HANDING SHALL BE AS DEPICTED IN THE WINDOW ELEVATIONS ABOVE WITH ADDITIONAL HANDING NOTES AS LISTED ON THE WINDOW SCHEDULE.
 7. HANDING DEPICTED ON WINDOW ELEVATIONS AS VIEWED FROM EXTERIOR.
 8. ARCHITECT AND CONTRACTOR SHALL APPROVE SHOP DRAWINGS PRIOR TO PLACING ORDER.
 9. SEE ELEVATIONS FOR MILLING CONFIGURATION AND UNIT DIMENSIONS.
 10. FIXED UNITS SHALL BE PICTURE WINDOWS WHO SASH TO MINIMIZE GLASS AREA.
 11. DOOR AND WINDOW HARDWARE SHALL BE SELECTED FROM MANUFACTURER STANDARD OPTIONS. CONTRACTOR SHALL PROVIDE LITERATURE. SAMPLES.
 12. VERIFY DOOR HARDWARE KEYING REQUIREMENTS WITH OWNER OR ARCHITECT PRIOR TO PLACING DOOR HARDWARE ORDER. UNLESS OTHERWISE DIRECTED, PROVIDE KEYS FOR ALL EXTERIOR DOORS. SEE SCHEDULE NOTES FOR SPECIFIC TYPE.





REFLECTED CEILING KEY NOTES:

- 1 RIDGE BEAM
- 2 LOWER BEAM
- 3 PURLIN
- 4 STAINED TAG
- 5 ENGINEERED GULUM BENT
- 6 ENGINEERED GULUM VALLEY BENT
- 7 TOP OF COLUMN BASE

REFLECTED CEILING PLAN

1/4" = 1'-0"

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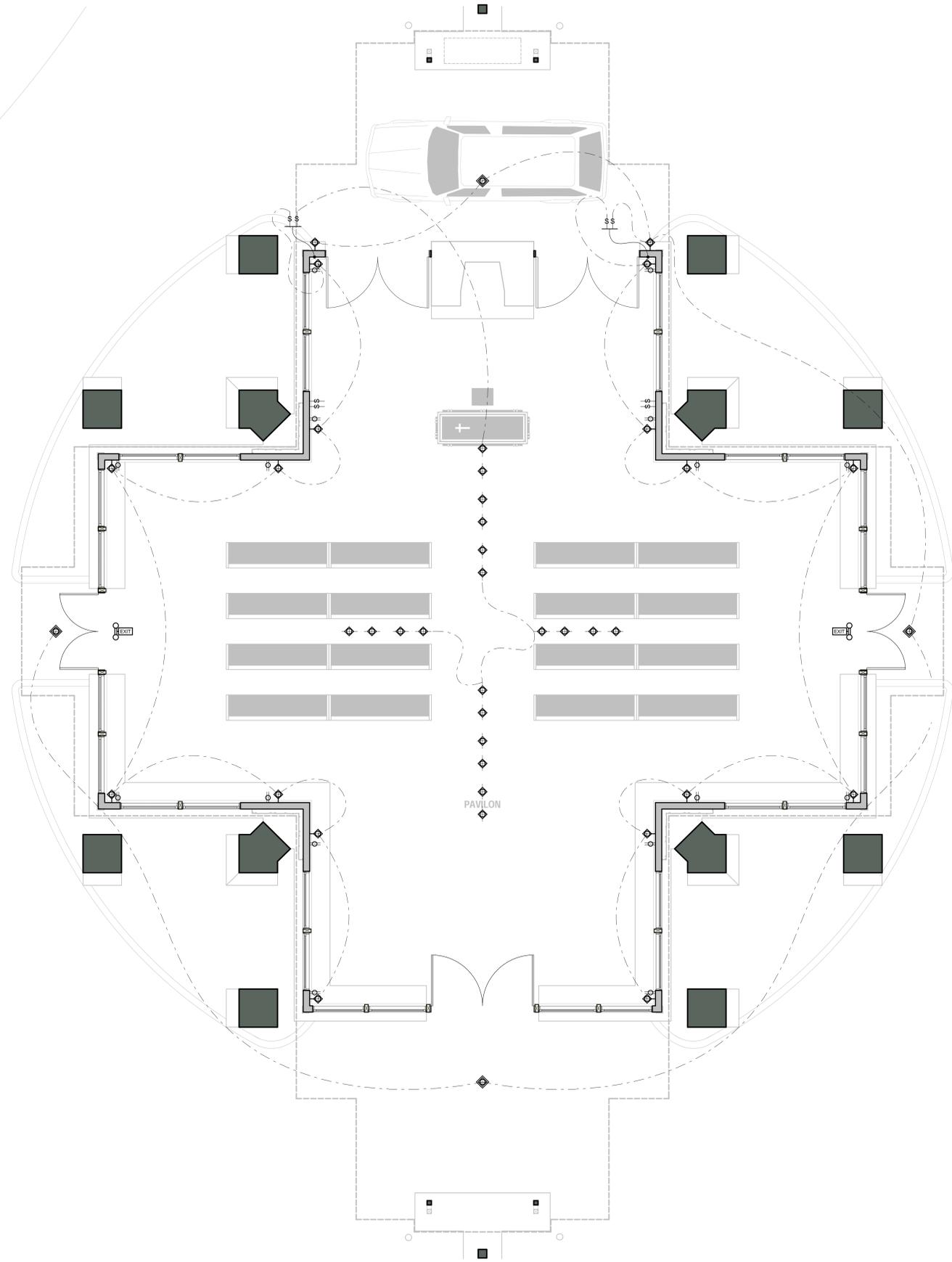
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SCALE: R/C
FILE: RCS-ph
BY: RVC

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ELECTRICAL SYMBOLS LEGEND

- SURFACE MOUNT CEILING FIXTURE
- WALL MOUNT FIXTURE (SCONCE)
- DECORATIVE LANTERNS
- ROPE OR STRIP LIGHTING SYSTEM
- INGROUND LIGHT FIXTURE
- CHANDELIER
- FLOURESCENT FIXTURE
- CEILING FAN (W/ LIGHT)
- 110V SMOKE DETECTOR
- DUPLEX OUTLET, W/HT TO CENTER
W/ GROUND FAULT INTERRUPT
WATERPROOF
- ELECTRIC TOUCH LIGHT SWITCH
- EXHAUST FAN
- LARGE PENDANT LIGHT
- LARGE PENDANT HUNG FROM TRACK
- SMALL PENDANT HUNG FROM TRACK
- EXIT SIGN/EMERGENCY LIGHT COMBO
- EXIT SIGN
- EMERGENCY LIGHT



ELECTRICAL PLAN
1/4" = 1'-0"

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