

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, NOVEMBER 8, 2011
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

- ❑ Call to Order by Chairperson Greg Gaspers
- ❑ Roll Call, excused members
- ❑ Approval of Minutes for the October 25, 2011 - Regular Meeting

PUBLIC HEARING

A public hearing to determine if it is in the public interest to grant a special exemption to John and Jamie Parsons for property located at 1613 Cedar View Drive. The request is for a special exemption from the setback requirements for the proposed construction of an attached two car garage. The garage would encroach 7.32' on the north end of the 25' setback and 4.01' on the south 25' setback. The applicant has sent thirteen (13) certified letters to adjacent property owners within 140' of the property and properly advertised this public hearing per legal notice in the Cody Enterprise. One neighbor letter was hand delivered. Of the thirteen (13) neighbors, one (1) neighbor objected, ten (10) neighbors had no objections and two (2) neighbors did not reply.

PRESENTATION OF COMMUNICATIONS:

- A. A special exemption application has been submitted by John and Jamie Parsons for property located at 1613 Cedar View Drive. The applicant is requesting an exemption from the setback requirements to allow the construction of an attached two car garage in conjunction with a remodel and property update.

Applicant/Spokesperson: John Parsons
HR Coe –Coe Construction
Staff Reference: Steve Payne –Public Works Director

Staff Comment: *The applicant began construction of an attached two car garage when it was determined that the planned construction would encroach on the setback requirements. The required setback from the front property line is 25 feet. The proposal would reduce the north front setback to 17.68' and reduce the south front setback to 20.99'. Section 10-14-2B(1b) allows the Planning, Zoning and Adjustment Board to address special exemptions from "setbacks and yard requirements." If the board is inclined to grant approval of the special exemption, the board must find and state per Section 10-14-2C(2) in the motion the following:*

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties;*
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood;*
- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use;*
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption;*
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use; and*
- f. The special exemption is consistent with the goals, policies and future land use map of the master plan.*

ACTION/MOTION: Approval, Approval with conditions, or Denial of the special exemption application for John and Jamie Parsons for property located at 1613 Cedar View Drive.

Staff recommends the following motion for approval of the special exemption as presented, for property located at 1613 Cedar View Drive:

As the board finds the following requirements of Section 10-14-2C(2):

- 1. As there were minimal neighborhood objections, the special exemption will not produce an undesirable change in the neighborhood;*
- 2. The setback exemption will be compatible with adjacent land uses and the neighborhood as the neighborhood is residentially oriented;*
- 3. An exemption from the setback requirements is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the building;*
- 4. It would be unfeasible for the applicant to move the building as it is already under construction;*
- 5. There are adequate services and infrastructure available to serve the building; and*
- 6. The exemption from the setback requirements has no impact on the goals, policies and future land use map of the master plan;*

Motion for approval of the special exemption from the setback requirements for property located at 1613 Cedar View Drive with the following conditions:

- 1. The Special Exemption will run with the property unless the building is demolished or otherwise destroyed beyond repair in a catastrophic event. Then if the building is rebuilt, it would have to conform to current zoning ordinances.*
- 2. The Special Exemption Permit must be executed and recorded with the Park County Clerk and recorded within 10 days of approval.*

- B. An application has been submitted by for approval of a Preliminary Plat and the Final Plat for the Blackburn Subdivision, a PUD being developed by Ed Higbie. The proposed development is located on Blackburn Street described as a portion of Tract 40, Resurvey T.53N.R.101W.

Applicant/Spokesperson: Ed Higbie
Jeremy Easum –Sage Civil Engineering
Gary Webb –Sage Civil Engineering

Staff Reference: Steve Payne –Public Works Director

Staff Comment: *A Planned Unit Development (PUD) is a subdivision development the intent of which is to encourage flexibility, innovation of design, and a variety of development types in order to promote the most suitable use of a site and so that greater opportunities for housing, recreation, shopping and employment may extend to all citizens of Cody as outlined in Section 11-7-2A of the City Code.*

Pursuant to Section 11-7-3A and B, a PUD may be established in any residential or commercial zoning district. A PUD may be applied to any development having one or more principal uses or structures on a single parcel of ground or contiguous parcels of ground. Any use or combination of uses may be allowed in a PUD provided such uses are consistent with the Cody Master Plan and the intent of this title. All PUDs shall consist of a harmonious arrangement of uses, buildings, parking areas, circulation and common areas. Each PUD shall be designed as an integrated unit, in such a manner as to constitute a safe, efficient and convenient development.

The P&Z Board determined at their regularly scheduled meeting of May 24, 2011, that the Board would consider a PUD application for the subject property.

The applicant is requesting that the Blackburn PUD is approved with paved Private Streets, dedicated for the public use, narrower streets, curb, gutter, no internal alleys and no sidewalks within the subdivision. The sewer system, drainage system and streets will all be operated and maintained by the Lot owners within the subdivision.

The applicant has now complied with the staff recommendation that the storm drainage system, the sewer system and the streets are maintained by the Lot Owners through a lot owners association. Staff would prefer

if sidewalks were constructed as originally proposed within the subdivision, but it is up to the P&Z Board to determine if this is necessary for this subdivision.

ACTION/MOTION: Recommendation to Council of Approval, Recommendation to Council Approval with conditions, or Recommendation to Council Denial of the Preliminary and Final Plat for Blackburn PUD.

Staff recommends that the P&Z Board recommend to Council Approval of the Preliminary and Final Plat of the Blackburn PUD with the following conditions:

- 1. A waiver of the requirement for Alleys.***
- 2. A waiver of the Sidewalk Requirement.***
- 3. Receipt and approval by staff and the City Attorney of By-laws for the Home Owners/Subdivision Lot Owners Association. The by-laws need to spell out how the maintenance of the curb and gutter and landscaping for the boulevard/island will be handled, how the costs will be attributed to the various lots, how monies will be put aside for the various impending costs, how the operation and maintenance of the irrigation system will be handled and how costs will be allocated, etc.***
- 4. Approval by staff and the City Attorney of the Covenants for the Subdivision.***
- 5. The applicant will be required to pay all tap and hook-on fees prior to the signing of the final plat.***
- 6. Receipt of a Signed and Sealed set of both the Preliminary and Final Plat.***

C. P&Z Board Matters

D. Council Update: Steve Miller

E. Approved Sign Applications

1. Harvest Church -1910 Demaris Street

F. Staff Update

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD

Minutes of the Regular Meeting Held October 25, 2011 at 12:00 PM

CALL TO ORDER: Chairperson Greg Gaspers called the meeting to order at 12:04 PM.

ROLL CALL

PRESENT: Jacob Ivanoff; Kim Borer, Vice Chairperson; Rick Brasher; Greg Gaspers, Chairperson; Bud McDonald; Justin Lundvall; Steve Miller, Council Liaison; Sandee Kitchen, Deputy City Attorney; Steve Payne, Public Works Director; Jolene Osborne, Engineering Administrative Assistant;

EXCUSED ABSENCE: None

ABSENT: None

Justin Lundvall made a motion seconded by Bud McDonald to approve the minutes of the October 11, 2011 regular session meeting.

Vote on the motion was unanimous, motion carried.

PRESENTATION OF COMMUNICATIONS:

- A. Bud McDonald made a motion seconded by Kim Borer to approve the site plan review application submitted by North West Group, LLC dba CWDT, LLC for property located at 534 Yellowstone Avenue with the following conditions:
1. The applicant will submit a complete set of construction plans to the building department for their review and approval.
 2. The applicant will pay all assigned building and utility permit fees.

Vote on the motion was unanimous, motion carried.

- B. Jacob Ivanoff made a motion seconded by Rick Brasher to approve the minor commercial review application submitted by Cooter Brown's, LLC for property located at 1134 13th Street with the following conditions:
1. The applicant will submit and pay for an electrical permit and inspection.

Vote on the motion was unanimous, motion carried.

C. P&Z Board Matters:

Kim Borer gave the board an update on the Sheridan Avenue Streetscape Plan. The committee has started the interview process.

D. Council Update:

The council will be interviewing prospective planner candidates Monday, November 7th.

E. Staff Update:

Staff suggested the board form an off-street parking review committee as staff review of requirements has revealed that the City of Cody may be more restrictive than surrounding areas.

Rick Brasher, Greg Gaspers and Bud McDonald agreed to form the committee with input from Steve Miller.

The meeting was adjourned at 12: 27 PM.

Respectfully submitted,

Jolene Y. Osborne
Engineering Administrative Assistant

DRAFT



PLANNING, ZONING AND ADJUSTMENT BOARD
APPLICATION FOR SPECIAL EXEMPTION PERMIT

STAFF USE
File: _____
P&Z Invoice: _____

Owner or Applicant's Name: John and Jamie Parsons

Mailing Address: 1613 Cedar View Dr. Cody Wyoming 82414 Zip:

Phone: 307-587-1703 Cell:307-272-9755 Fax: 307-587-2884 Email: jp@myparsons.com

Project Address: 1613 Cedar View Dr. Cody Wyoming 82414 Zone: AA

Legal Description: Lot 8 Block 4 Adix Addition recorded in Book "E" of plats Park County

Description of Proposal: To Build an attached two car Garage to the existing home in conjunction with a remodel and property update. This garage would be constructed 7.32' on the north end of the 25' setback allowance and 4.01' on the south end of the 25' setback allowance. The garage will not impede any easements or access to utilities.

Representative attending Planning and Zoning Board meeting: John Parsons and HR Coe (contractor)

The Planning, Zoning and Adjustment Board meet the 2nd and 4th Tuesdays at 12:00 p.m., at the City Hall Council Chambers. Please see submittal Date and Fee schedule on page 2 of this document.

Optional Pre-application Conference with the Planning and Zoning Board: The pre-application conference is optional and is scheduled at the applicant's request. The conference allows the applicant to obtain information regarding the special exception process and to identify likely concerns regarding the proposal. No application fee is required and the Planning and Zoning Board takes no formal action concerning the proposal.

Application Procedures: Please submit all materials listed.

- LETTER TO BOARD: A letter to the Planning and Zoning Board requesting a special exemption permit. Describe your proposal in detail and explain why you are requesting a special exemption.
PLOT PLAN: A map showing the major details of the proposal such as location of buildings and structures, parking areas, means of vehicular access, signs, landscaping, fencing, screening, easements, utilities and pedestrian areas.
NEIGHBORING PROPERTIES MAP: A second map showing parcel requested for special exemption permit and surrounding properties within 140' (excluding streets & rights of way). The planning department can provide this map for a fee of \$6.00. Any additional copies made for your project by city staff will be charged at a rate of \$1.00 for the first copy and \$0.50 for each additional copy.
NOTICE TO NEIGHBORING PROPERTIES: Using the attached template, submit letters notifying adjacent property owners within 140' of the special exemption request. Include the desired public hearing date. You will need to use the neighboring properties map from above to research the owners of the lots within 140' of your property at the county courthouse and determine who is to be notified. Letter must be approved by planning department before sending to adjacent property owners.
PROOF OF NOTIFICATION: Along with the copies of notification letters sent via certified mail to all property owners within 140' of subject property, submit the post office certified mail receipts.
LEGAL NOTICE: Submit legal notice of public hearing to local newspaper 10 days prior to public hearing date using the attached template and provide proof of publication. Legal notice must be approved by planning department before submitting to newspaper.
APPLICATION FEE: Provide application fee upon submittal to City of Cody. Applicants are encouraged to arrange a pre-submittal meeting with the planning department to ensure a complete submittal. Re-submittal of any application will result in additional fees.
Recording Special Exemption: If the Planning and Zoning Board approves your special exemption, you will be responsible for recording the exemption at the Park County Clerk's Office within 10 days of approval. An official Filing of Record form is attached to this application and must be signed by the Planning and Zoning Board Chairperson.

Submit a total of twelve (12) copies of the application, plans, and any other information, folded into 8.5"x11"
Submit a digital file containing PDFs of each document submitted

Total application must be submitted to the planning department by 4:00 PM, twenty one (21) business days prior to the anticipated public hearing date.

**P&Z MEETINGS ARE HELD THE 2ND AND 4TH TUESDAY OF EACH MONTH
SPECIAL EXEMPTION PERMIT
2011 SUBMITTAL DEADLINES & MEETING DATES LISTED BELOW**

2 Meetings Per Month City Hall Council Chambers 12:00 p.m.	P&Z Application Submittal Date (21 days before the Meeting)	Submittal Date (To Newspaper) For Public Hearing Notice	Publication Date In Newspaper (10 days before Meeting)	Send Certified Notification to Neighbors within 140' (10 Days Before a Scheduled Meeting)	P&Z Meeting Date	Due Date For Filing Permit At The Courthouse (10 Days After P&Z Approval)
1st Meeting in January	12/21/2010	12/27/2011	12/29/2011	1/1/2011	1/11/2011	1/21/2011
2nd Meeting in January	1/4/2011	1/10/2011	1/12/2011	1/15/2011	1/25/2011	2/4/2011
1st Meeting in February	1/18/2011	1/24/2011	1/26/2011	1/29/2011	2/8/2011	2/18/2011
2nd Meeting in February	2/1/2011	2/7/2011	2/9/2011	2/12/2011	2/22/2011	3/4/2011
1st Meeting in March	2/15/2011	2/21/2011	2/23/2011	2/26/2011	3/8/2011	3/18/2011
2nd Meeting in March	3/1/2011	3/7/2011	3/9/2011	3/12/2011	3/22/2011	4/1/2011
1st Meeting in April	3/22/2011	3/28/2011	3/30/2011	4/2/2011	4/12/2011	4/22/2011
2nd Meeting in April	4/5/2011	4/11/2011	4/13/2011	4/16/2011	4/26/2011	5/6/2011
1st Meeting in May	4/19/2011	4/25/2011	4/27/2011	4/30/2011	5/10/2011	5/20/2011
2nd Meeting in May	5/3/2011	5/9/2011	5/11/2011	5/14/2011	5/24/2011	6/3/2011
1st Meeting in June	5/24/2011	5/30/2011	6/1/2011	6/4/2011	6/14/2011	6/24/2011
2nd Meeting in June	6/7/2011	6/13/2011	6/15/2011	6/18/2011	6/28/2011	7/8/2011
1st Meeting in July	6/21/2011	6/27/2011	6/29/2011	7/2/2011	7/12/2011	7/22/2011
2nd Meeting in July	7/5/2011	7/11/2011	7/13/2011	7/16/2011	7/26/2011	8/5/2011
1st Meeting in August	7/19/2011	7/25/2011	7/27/2011	7/30/2011	8/9/2011	8/19/2011
2nd Meeting in August	8/2/2011	8/8/2011	8/10/2011	8/13/2011	8/23/2011	9/2/2011
1st Meeting in September	8/23/2011	8/29/2011	8/31/2011	9/3/2011	9/13/2011	9/23/2011
2nd Meeting in September	9/6/2011	9/12/2011	9/14/2011	9/17/2011	9/27/2011	10/7/2011
1st Meeting in October	9/20/2011	9/26/2011	9/28/2011	10/1/2011	10/11/2011	10/21/2011
2nd Meeting in October	10/4/2011	10/10/2011	10/12/2011	10/15/2011	10/25/2011	11/4/2011
1st Meeting in November	10/18/2011	10/24/2011	10/26/2011	10/29/2011	11/8/2011	11/18/2011
2nd Meeting in November	11/1/2011	11/7/2011	11/9/2011	11/12/2011	11/22/2011	12/2/2011
1st Meeting in December	11/22/2011	11/28/2011	11/30/2011	12/3/2011	12/13/2011	12/23/2011
2nd Meeting in December	12/6/2011	12/12/2011	12/14/2011	12/17/2011	12/27/2011	1/6/2012
1st Meeting in January 2012	12/20/2011	12/26/2011	12/28/2011	12/31/2011	1/10/2012	1/20/2012
2nd Meeting in January 2012	1/3/2012	1/9/2012	1/11/2012	1/14/2012	1/24/2012	2/3/2012

P&Z Development/Application Fees - Fees Listed Below:

Per Ordinance 2007-20 – Enacted October 17, 2007 – P&Z Development/Application Fees – Due at the time of Submittal.

Special Exemption Permit	\$300.00
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- **Applications WILL NOT BE REVIEWED until application/development fees have been paid. It is the responsibility of the customer to present receipt of payment or inform Planning staff of payment.**
- **A fee will be charged for each re-submittal of a plan.**

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: _____

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: *(Please describe what you wish to do and why are you requesting a Special Exemption Permit.)* We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by _____
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of _____ Owner's Name: _____
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PO Box 2200
Cody, WY 82414

LEGAL NOTICE TEMPLATE

Publish Date: _____
(Publish one time at least ten (10) days prior to the public hearing.)

Legal Advertisement

PUBLIC HEARING **SPECIAL EXEMPTION PERMIT REQUEST**

The City of Cody will hold a public hearing _____ at _____ p.m. or as soon thereafter as practical at
(Date) (Time)

1338 Rumsey Avenue, in Cody City Council Chambers to consider a request from John and Jamie Parsons

_____ (Applicant Name)
for a Special Exemption Permit to (Describe Special Exemption Permit request) Build a two car attached Garage to an existing home.

This garage will be built 7.32' on the north end of the 25' set back, and 4.01' on the South end of the 25' set back.

This will not impede any existing easements or utilities.

The project is located at 1613 Cedar View Dr. Lot 8 Block 4 Adix add'n Cody Wy.82414

(Address & Legal Description)

within a AA zone. Information regarding the requested Special Exemption Permit is available at the Planning

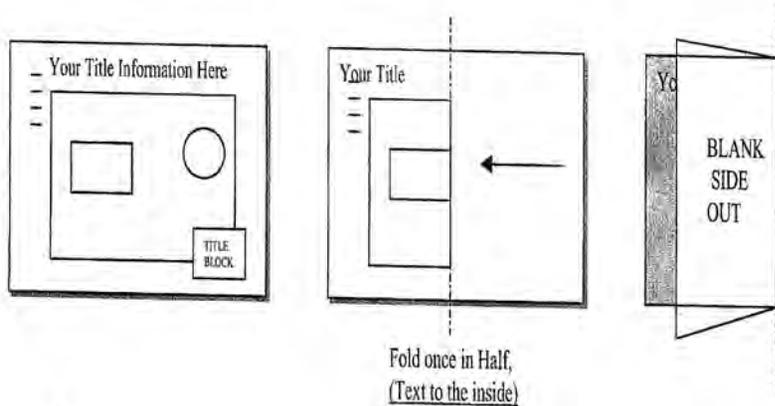
(List Zone District)

Department in City Hall or by calling 307-572-7511.

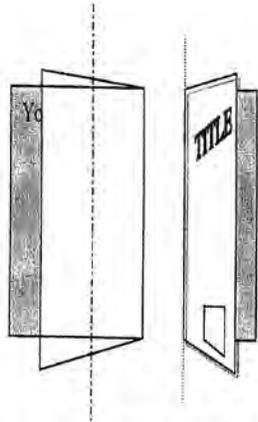
Written comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY 82414 and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511.

Folding Your Plans (18"x24" or larger)

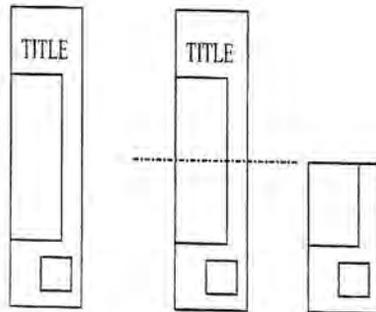
The City of Cody will **NOT ACCEPT ROLLED PLANS**.
So, here are instructions to assist you in folding your 18"x24" or larger plans
PLEASE submit your plans properly or they will be RETURNED for correction!
Thank you!



Fold once in Half,
(Text to the inside)



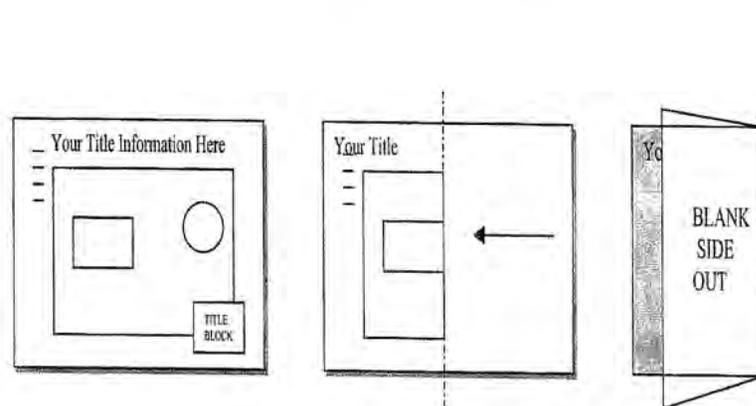
Fold each of these panels text side out, in quarters



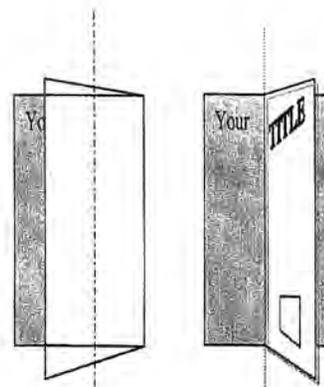
This gets folded in half again, so the title block ends up in the lower right hand portion of the folded plans.

Folding Your Reductions (11"x17")

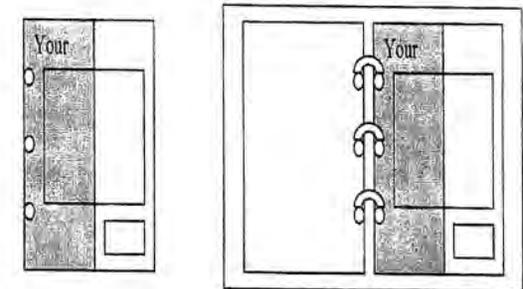
The City of Cody will **NOT ACCEPT ROLLED PLANS**.
So, here are instructions to assist you in folding your 11"x17" or larger plans
PLEASE submit your plans properly or they will be RETURNED for correction!
Thank you!



Fold once in Half,
(Text to the inside)



Fold the **RIGHT** panel in half, text side out, to form a quarter panel.



The final should have the title block in the lower right hand corner, and be able to three hole punch for insertion into a 3 ring binder.

Planning and Zoning Board

City of Cody

Members of planning: The purpose of this letter is to explain why I am requesting a special exception and how we got to this point. We are remodeling and updating our residence at 1613 Cedar View Drive. Part of the remodel was to add garage space and an area to store gear and yard equipment. The current garage only allows parking of vehicles after the mirrors are pulled in. I hired Sonya McLeod of McLeod's Drafting to do the drawings for the remodel. The plans were modified to fit within all of the AA zoning. A building permit was applied for and was issued. The construction began and all was good. The building official Scott King came to inspect the rebar and forms before the cement was poured and it was determined the garage was going to be in the 25' setback. The property line does not start at the street (as we all thought) but 10' from the street. This was a mistake that was made looking at all the available information. Scott King called me and let me know the situation. Cement trucks were waiting to unload the cement; we had purchased the concrete the lumber and the trusses thinking that we had a permit to build. We looked at the risk of labor and the time with winter coming and we made the decision to proceed at our own risk. We started the process of getting a special exception permit and met with Utana Dye. Public Works director Steve Payne looked at what was going on and called me to make sure I understood the all of the risks and possibilities that were involved with moving forward. Steve Payne, Scott King, H.R. Coe and myself met and it was determined that we should not go any further with the section of garage that is outside the setbacks. The garage is 25' from the street and does not block any easements or access to utilities. The garage will add value and is being built to match the existing house and property. We personally tried to visit with all neighbors and explained what happened after the mistake was made. We also explained what our plans are and did not hear any complaints. We are ready to proceed with the garage section of this project with your approval.

John and Jamie Parsons

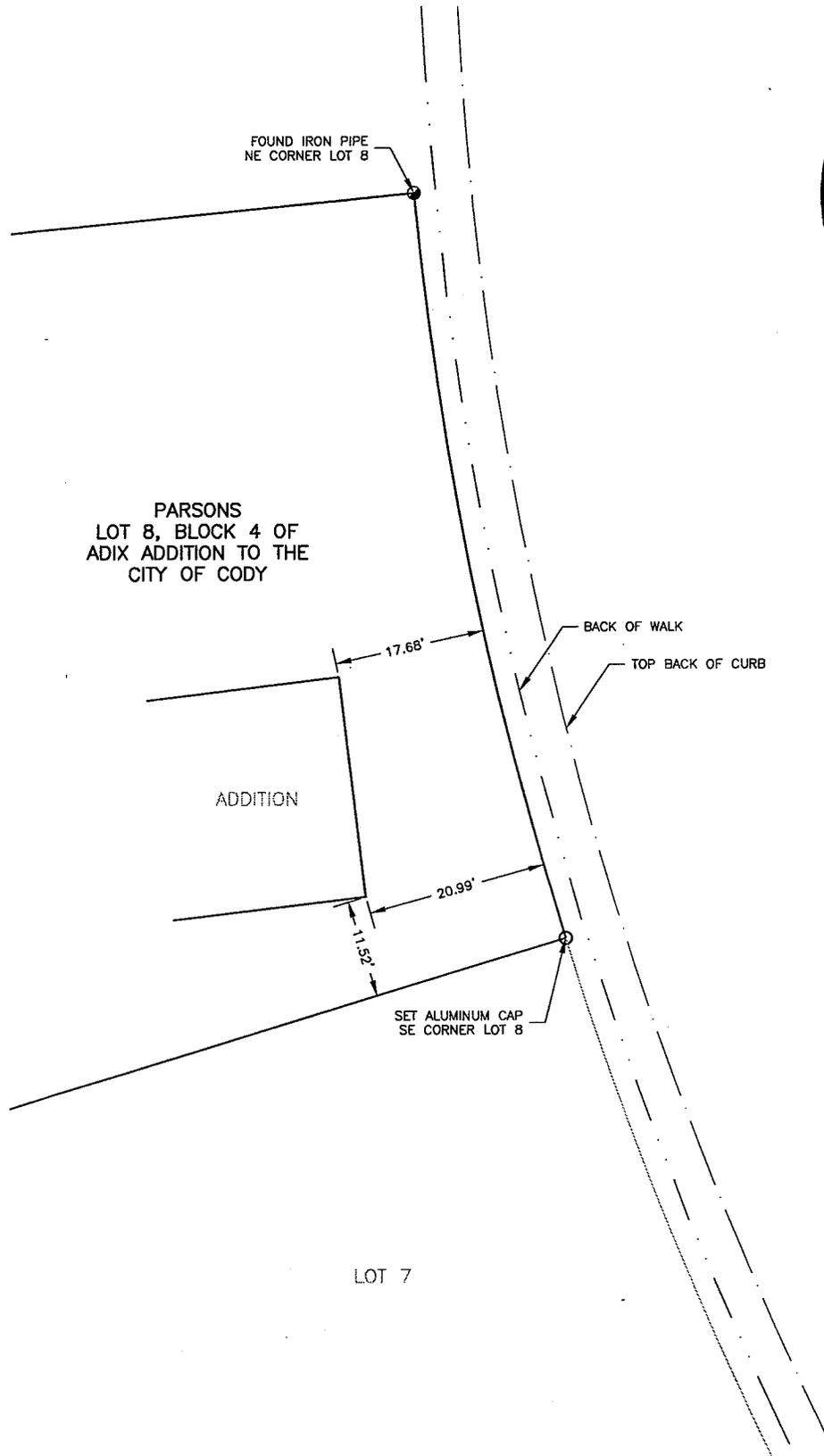
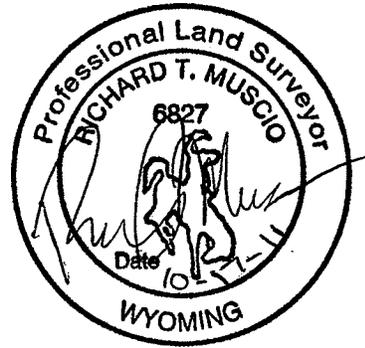
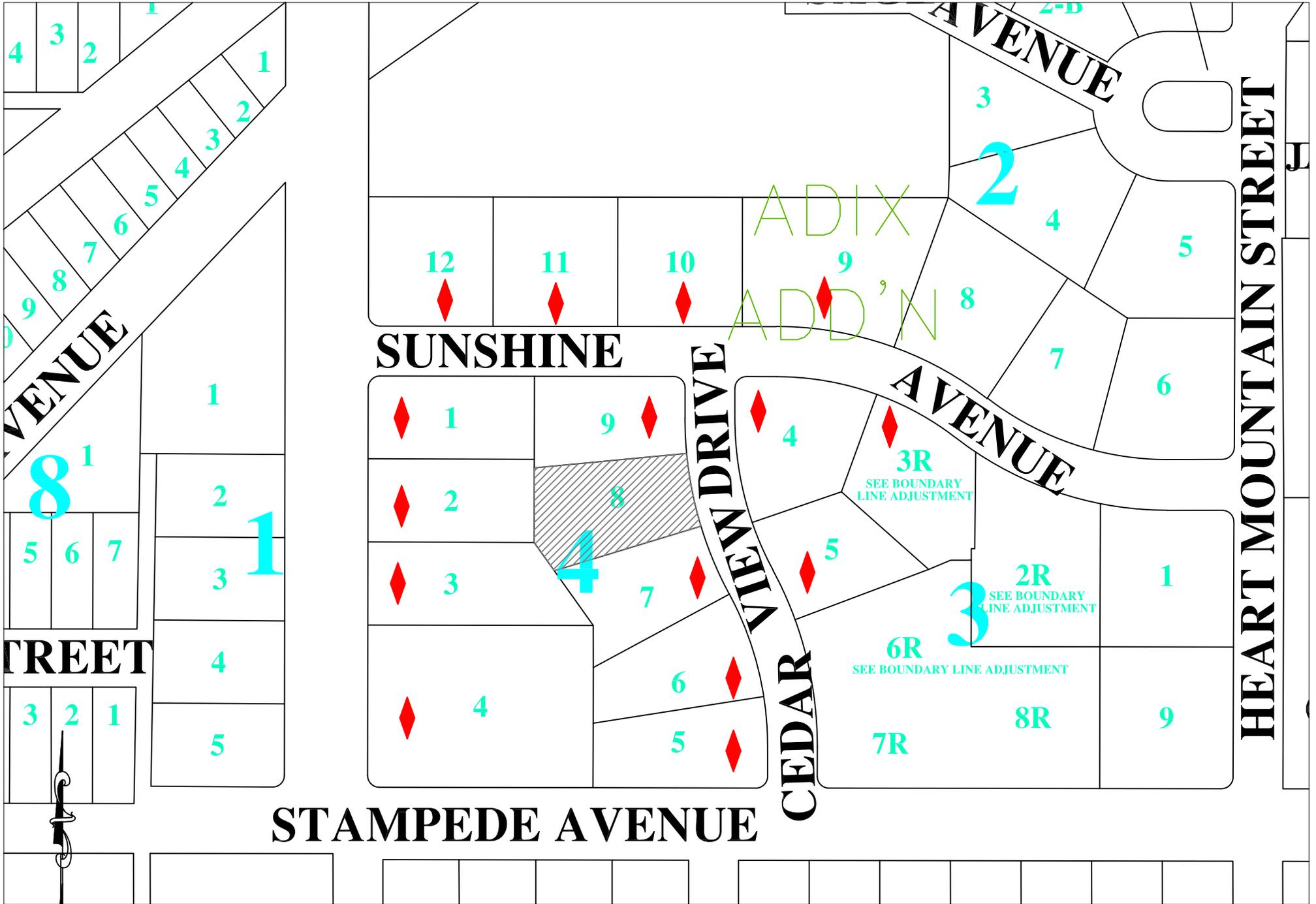


EXHIBIT "A" SHOWING LOT 8, BLOCK 4 OF ADIX ADDITION,
CODY, WYOMING

DATE: OCTOBER 17, 2011

GDA
ENGINEERS

ENGINEERING · SURVEYING · PLANNING



**SPECIAL EXEMPTION FOR JOHN AND JAMIE PARSONS
 NEIGHBOR NOTIFICATION MAP LOT 8 OF ADIX ADDITION**

Affidavit of Publication

THE STATE OF WYOMING,

COUNTY OF PARK

I, Bruce McCormack, do solemnly swear that I am the publisher of THE CODY ENTERPRISE, a newspaper of general circulation, published bi-weekly at Cody, Park County, Wyoming that the notice attached, and which is part of the affidavit and a part of the proof of publication of:

**Legal #0421
Notice of Final Payment**

was published in said newspaper **1 time**, the first publication having been made on the **24th** day of **October** and the last publication on the **24th** day of **October, 2011**. Notice was published in the regular and entire issue of every number of said paper during the period of time of publication, and that the notice was published in the newspaper proper, and not in a supplement.

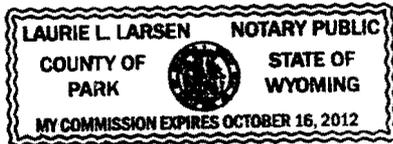
In testimony whereof, I have hereunto set my hand this **25th** day of **October, 2011**.

Subscribed and sworn to before me this **25th** day of **October, 2011**. My commission expires 10/16/12.

Fees: \$100.75

Signed Bruce E. McCormack

Laurie L. Larsen
Notary Public



**PUBLIC HEARING
SPECIAL EXEMPTION
PERMIT REQUEST**

The City of Cody will hold a public hearing 11/8/2011 at 12:00 p.m. or as soon thereafter as practical at 1338 Rumsey Avenue, In Cody City Council Chambers to consider a request from John and Jamie Parsons for a Special Exemption Permit to (Describe Special Exemption Permit request) Build a two car attached Garage to an existing home. This garage will be built 7.32' on the north end of the 25' set back, and 4.01' on the South end of the 25' set back. This will not impede any existing easements or utilities.

The project is located at 1613 Cedar View Dr. Lot 8 Block 4 Adix add'n Cody Wy. 82414 within a AA zone. Information regarding the requested Special Exemption Permit is available at the Planning Department in City Hall or by calling 307-572-7511.

Written comments shall be directed to the Planning Department, P.O. Box 2200, Cody, WY 82414 and shall be received prior to the date and time of the public hearing. Everyone is welcome to comment. If hearing assistance is needed, please call 24 hours in advance: 527-7511.

(s) JOHN PARSONS
Sommers & Voerding Real Estate Brokerage
Office: 307.587.4959
Cell: 307.272.9755
Toll-free: 1.888.581.4959
e-mail: jp@myparsons.com
WWW.realestatecodywyoming.com

Publish: October 24, 2011 only
Legal No. 0445

7010 3090 0000 0667 3789

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *Maisha Harris Revocable Trust*
 Street, Apt. No., or PO Box No. *1137 Stampede Ave.*
 City, State, ZIP+4 *Cody, WY 82414*

PS Form 3800, August 2015 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *Curt Stanley & Mary Trust*
 Street, Apt. No., or PO Box No. *P.O. Box 674*
 City, State, ZIP+4 *Cody, WY 82414*

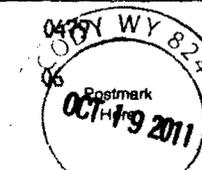
PS Form 3800, August 2015 See Reverse for Instructions

7010 3090 0000 0667 3789

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *Simeon & Melinda Stoddard*
 Street, Apt. No., or PO Box No. *P.O. Box 2283*
 City, State, ZIP+4 *Cody, WY 82414*

PS Form 3800, August 2015 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *John M. and Susan K. Conzer*
 Street, Apt. No., or PO Box No. *POB Sunshine*
 City, State, ZIP+4 *Cody, WY 82414*

PS Form 3800, August 2015 See Reverse for Instructions

7010 3090 0000 0667 3789

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

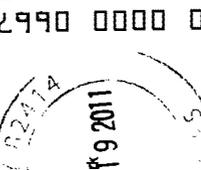
Sent To *Fitzsimmons Properties LLC*
 Street, Apt. No., or PO Box No. *1625 Cedar View Dr.*
 City, State, ZIP+4 *Cody, WY 82414*

PS Form 3800, August 2015 See Reverse for Instructions

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *Jenita Jameson*
 Street, Apt. No., or PO Box No. *1220 Sunstone Ave.*
 City, State, ZIP+4 *Cody, WY 82414*

PS Form 3800, August 2015 See Reverse for Instructions

7010 3090 0000 0667 3789

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

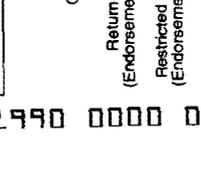
Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

U.S. Postal Service
CERTIFIED MAIL RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 0.44	0479
Certified Fee	\$2.85	
Return Receipt Fee (Endorsement Required)	\$2.30	
Restricted Delivery Fee (Endorsement Required)	\$0.00	
Total Postage & Fees	\$ 5.59	

10/19/2011

Sent To *Jenita Jameson*
 Street, Apt. No., or PO Box No. *1220 Sunstone Ave.*
 City, State, ZIP+4 *Cody, WY 82414*

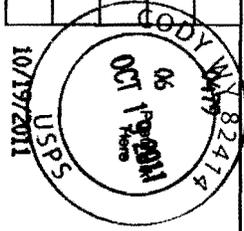
PS Form 3800, August 2015 See Reverse for Instructions

POSTAL SERVICE
CERTIFIED MAIL[®] RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$	\$0.44
Certified Fee		\$2.85
Return Receipt Fee (Endorsement Required)		\$2.30
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.59



Sent To: Simpson, Ann S Trust
Street, Apt. No. or PO Box No.: 1201 Sunshine Ave.
City, State, ZIP+4: Cody, WY 82414

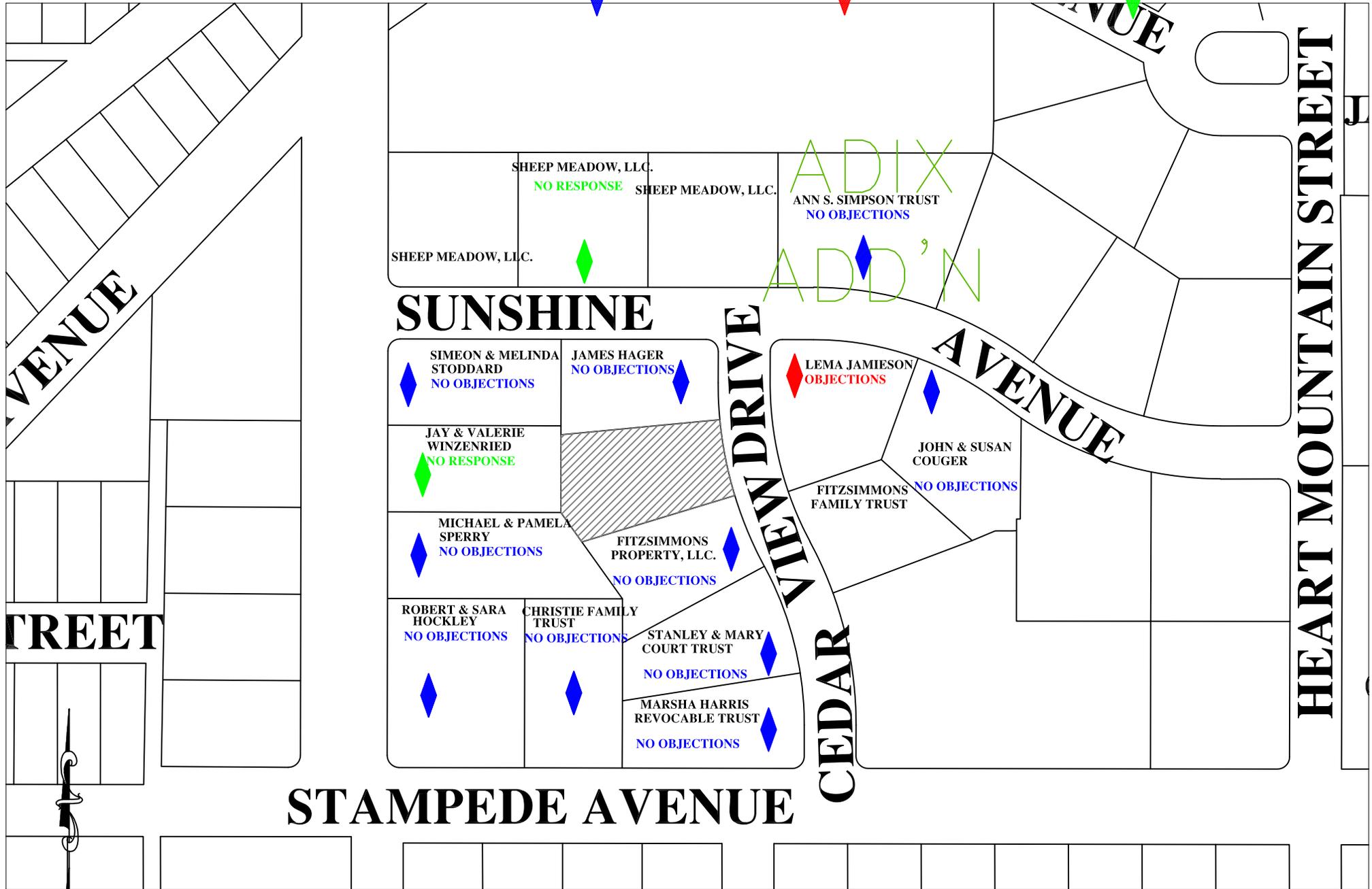
PS Form 3800, April 2009 See Reverse for Instructions

TOTAL NEIGHBOR NOTIFIED:13

NO OBJECTIONS:10

OBJECTIONS:1

NO RESPONSE:2



**SPECIAL EXEMPTION FOR JOHN AND JAMIE PARSONS
 NEIGHBOR RESPONSE MAP LOT 8 OF ADIX ADDITION**

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:
I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)
who is requesting a Special Exemption Permit for the above referenced property.
I am the legal owner of 1220 Sunshine Ave. Owner's Name: Lema Jamieson
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____
Address: _____
Comments: _____
 Yes, I would like to be contacted when this topic comes before the P&Z Board.
E-mail address: _____ or Phone: _____
 No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: Lema Jamieson
Address: 1220 Sunshine Ave + 1202 Sunshine Ave
Comments: _____
 Yes, I would like to be contacted when this topic comes before the P&Z Board.
E-mail address: _____ or Phone: _____
 No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special 11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1115 Stampede Ave. Owner's Name: Hockley, Robert & Sara F.
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Robert Hockley & Sara Hockley

Address: 1115 Stampede Ave Cody, Wyo.

Comments:

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD

STAFF USE
File: _____
P&Z Invoice: _____



Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1137 Stampede Ave. Owner's Name: Harris Marsha Revocable Trust
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Marsha Harris

Address: 1137 Stampede

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special
11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter By: 11/06/2011

(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: 11/05/2011

RE: SPECIAL EXEMPTION PERMIT REQUEST

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.)

We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, November 8, 2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons (Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1125 Stampede Ave. Owner's Name: Christie Family Trust

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

I have NO OBJECTION to the Special Exemption Permit Request.

Name: CHRISTIE FAMILY TRUST; RONALD CHRISTIE, TRUSTEE

Address: 1125 STAMPEDE AVE Ronald Christie

Comments:

[] Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: or Phone:

[X] No, I would not like to be contacted when this topic comes before the P&Z Board.

I OBJECT to the Special Exemption Permit Request:

Name:

Address:

Comments:

[] Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: or Phone:

[] No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1619 Cedar View Dr. Owner's Name: Court Stanley and Mary Trust
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Mary A. Trust

Address: 1619 Cedar View Drive / P.O. Box 674 - Cody

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



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For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.
(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1625 Cedar View Dr. Owner's Name: Fitzsimmons Properties LLC.
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Doreen & Tom Fitzsimmons

Address: 1614 CEDAR VIEW DR

Comments: No Comment

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special 11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1614 Cedar View Dr. Owner's Name: Fitzsimmons Family Trust
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: DONEEN & Tom FITZSIMMONS

Address: 1614 CEDAR VIEW DR.

Comments: NO COMMENT

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special 11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

October 23, 2011

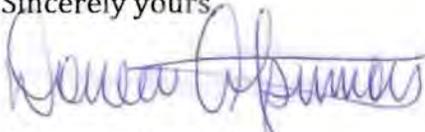
Planning and Zoning Board:

I would like to express my feelings about John and Jamie Parsons' special exemption request at 1613 Cedar View Drive. The Parsons are good neighbors; they were trying to follow all the rules with their house remodel. They applied for the appropriate permits and began pouring concrete and building their garage. They were then notified that their garage addition was encroaching on the setback from the street by about 7 feet. Our street takes a subtle turn and I can see how setback numbers could accidentally occur.

I realize that protocol for issuing special exemptions is being followed. When I received the certified letter asking whether I had any objection to the special exemption, my response was that the building is already there. It is what it is. We can live with it. A special exemption is in order for this event.

Thank you for giving your time to our community on the Planning and Zoning board.

Sincerely yours,



Doneen Fitzsimmons

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1108 Sunshine Ave.

(Lot & block # or Address of Neighboring Property)

Owner's Name: James E Hager

(Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: James E. Hager

Address: 1108 Sunshine Ave. (PO Box 334)

Comments: I believe this should have been taken care of BEFORE construction on the

Yes, I would like to be contacted when this topic comes before the P&Z Board. garage began!

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

James E Hager

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special
11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1102 Sunshine Ave. Owner's Name: Stoddard Simeon H. & Melinda

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Simeon & melinda Stoddard

Address: 1102 Sunshine Ave

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons
Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1614 11th street Owner's Name: Sperry, Michael J. & Pamela K.
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: Michael Sperry

Address: 1614 11th St

Comments: see enclosed letter

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: starshipcab0@yahoo.com or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



C:\Documents and Settings\John\Local Settings\Temporary Internet Files\Content.Outlook\XQG024C0\Special
11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

October 28, 2011,

Planning & Zoning Board

All,

Please understand that in my opinion the Parsons are not at fault in this situation.

Recently the same code violation has happened twice in our neighborhood. Again, I don't fault the owners and don't think they should suffer monetarily. I do feel though that someone or several persons need to understand their responsibility in this issue.

I don't understand how permits were issued without proper setbacks. In the past it was my experience that plot plans were required in order to obtain a building permit. Those plans had to be drawn showing setback compliance.

I also question the city's requirements to obtain a contractor's license. It seems that the test should be reviewed to ensure builders understand the city's position.

Sincerely,

Mike Sperry

A handwritten signature in black ink, appearing to read "Mike Sperry", with a large, stylized flourish at the end.

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1208 Sunshine Ave. Owner's Name: Cowger, John M. and Susan K.

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: John & Susan Cowger

Address: 1208 Sunshine Ave.

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

October 30, 2011

John and Susan Cowger
1208 Sunshine Avenue
Cody, WY 82414

City of Cody
Planning, Zoning and Adjustment Board
Attn: Planning Department
Cody, WY 82414

RE: Parsons Variance Request for 1613 Cedar View Drive

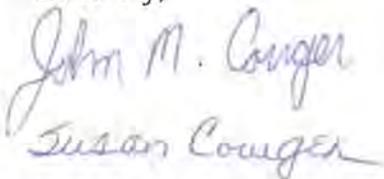
To all concerned,

We have decided not to object to the attached variance request being made by John and Jamie Parsons. We do object to the lack of responsibility and accountability of the city when it comes to building and remodeling procedures. In the recent past, this is the second such request in our neighborhood. It seems the building permit process lacks the necessary review procedures to prevent such violations of planning and zoning.

The accountability for contention in such instances has been shifted from the city to the neighbors, which not only seems misplaced but also hampers the ability for neighbors to coexist for the common good of the neighborhood and the city.

We appreciate the opportunity to express our opinion.

Sincerely,

Handwritten signatures of John M. Cowger and Susan Cowger in blue ink.

John Cowger
Susan Cowger

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1201 Sunshine Ave.

(Lot & block # or Address of Neighboring Property)

Owner's Name: Simpson, Ann S. Trust

(Neighboring Property)

absolutely

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: ANN SIMPSON

Address: 1201 Sunshine Ave.

Comments: They are improving the neighborhood

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



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11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE	
File: _____	
P&Z Invoice: _____	

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011
(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: (Please describe what you wish to do and why are you requesting a Special Exemption Permit.) We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

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(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons
(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1514 11th st. 1113 & 1107 Sunshine Ave. Owner's Name: Sheep Meadow, LLC.
(Lot & block # or Address of Neighboring Property) (Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



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For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE
File: _____
P&Z Invoice: _____

Letter to Neighboring Properties within 140 Feet

Please return this letter by: 11/1/2011

(Date must be 1 week prior to the P&Z scheduled meeting.)

Date: Oct. 19, 2011

RE: **SPECIAL EXEMPTION PERMIT REQUEST**

Applicant Name(s): John and Jamie Parsons

Address/Location & Legal Description: 1613 Cedar View Dr. Lot 8 Block 4 Adix Addition Book "E" Plats Park County Wy.

Description of Request: *(Please describe what you wish to do and why are you requesting a Special Exemption Permit.)* We respectfully request a special Exemption to build an attached two car garage to our existing home. This garage will be constructed 7.32 feet on the north end and 4.01' on the south end of the 25 foot established set back. This will not impede any current easements or utilities. This is in conjunction with a complete remodel and property update.

This Request will be presented to the Planning & Zoning Board at their regularly scheduled meeting on Tuesday, 11/8/2011, at 12:00 p.m. at the City Hall Council Chambers, 1338 Rumsey Ave.

(Date of Meeting)

Letter from Neighboring Properties within 140 Feet

Dear Board Members:

I am familiar with the proposal by John and Jamie Parsons

(Applicant Name)

who is requesting a Special Exemption Permit for the above referenced property.

I am the legal owner of 1608 11th street Owner's Name: Winzenried Jay A. and Valerie A.

(Lot & block # or Address of Neighboring Property)

(Neighboring Property)

I have **NO OBJECTION** to the Special Exemption Permit Request.

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

I **OBJECT** to the Special Exemption Permit Request:

Name: _____

Address: _____

Comments: _____

Yes, I would like to be contacted when this topic comes before the P&Z Board.

E-mail address: _____ or Phone: _____

No, I would not like to be contacted when this topic comes before the P&Z Board.

Please return to:

City of Cody
Planning, Zoning and Adjustment Board
Attention: Planning Department

PLANNING, ZONING AND ADJUSTMENT BOARD



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11.doc

For mapping information and zoning regulations, please visit our website at www.cityofcody-wy.gov.

STAFF USE

File: _____

P&Z Invoice: _____



PLANNING, ZONING AND ADJUSTMENT BOARD
PLANNED UNIT DEVELOPMENT APPLICATION

Owner or Applicant's Name: Ed Higbie
Mailing Address: 1143 Sheridan Avenue Zip: _____
Phone: 307-587-5584 Cell: _____ Fax: _____ Email: ed@wavecom.net
Project Address: Blackburn Street Zone: D-3
Legal Description/ Assessor Parcel Number(s): Portion of Tract 40, Resurvey T.53N., R.101W.
Description of Proposal and Proposed Use of Project: Development of 15 light industrial/commercial lots

Estimated Construction Start Date: Fall 2011
Representative Attending P&Z Meeting: Ed Higbie, Jeremy Easum, Sage Civil Engineering

The Planning, Zoning and Adjustment Board meets the 2nd and 4th Tuesday at 12:00 noon at the City Hall Council Chamber.

**Twelve (12) copies of the application, plans, and any other information folded into 8-1/2" x 11" size AND
A digital file containing PDFs of each document must be submitted to Planning Department by 4:00 PM.**

Please see submittal Date and Fee schedule included in this document.

Please indicate which plat phase you are submitting.

A. The Conceptual Plat should include:

A description of the proposed PUD must be submitted and shall contain:

- A written explanation of the objectives to be achieved by the PUD.
- A written statement of the scope of the proposed development to include:
 - Architectural theme.
 - Uses of single-family and multi-family dwellings, townhouses, condominiums, commercial structures, and other proposed uses.
 - Approximate size and number of lots.
 - Availability of adequate or provision of adequate utilities, including raw water.
 - Availability of adequate or provision of adequate new streets.
 - Statement of compatibility of proposed PUD with adjacent land uses.
 - A graphic Sketch plan describing the land uses to be permitted with each area.
 - A common area landscaping concept graphically illustrating the location and character of common area, recreational amenities, pathways, and other proposed site improvements.
 - A proposed phasing plan.

B. The Preliminary Plat should include: (Included with this phase is a Public Hearing)

- A list of abutting landowners of record and their addresses from the county assessor's office
- A description of uses and activities proposed within each area, including the following:
 - The type, sizes, and mixture of dwelling units.
 - The acreage or square footage of each use, including parking, roadways, easements, rights-of-way, and recreational areas.
 - The number of off-street parking spaces.
 - Any other applicable restrictions such as building setbacks, structural height limits, access, grades, or widths of roads.
 - The overall density for the entire PUD, as well as the ratio of common area in areas to be developed, stated on a percentage basis, including the number of square feet.
- A written statement by a registered professional engineer, which shall describe the following:
 - The proposed method and arrangement for connection to the municipal water system, and the projected usage and needs.

RECEIVED

NOV 3 4 2011

CITY OF CODY

- The proposed method and arrangement for connecting to the municipal sewer system, and the projected usage and needs.
- The soil, geological, and ground water conditions of the site and the manner in which storm drainage will be handled.
- The manner in which raw water or irrigation water will be provided.
- If the PUD is to be developed in phases, a description of each phase and an estimated date of completion for each phase. Any substantial change or alteration in the design of the PUD or completion schedule will require the owner to submit an amended plan in compliance with the most current rules and regulations adopted by the City of Cody.
- The applicant shall provide an estimate of water consumption and amount of sanitary sewer discharge based on the proposed land use plan.
- Appendices:
 - Appendix 1 (Site Plans Check List) See Attached**
 - Appendix 2 (Traffic Impact Analysis Check List) See Attached**
 - Appendix 3 (Landscape and Common Area Plan Check List) See Attached**
 - Appendix 4 (Master Utility plan Check List) See Attached**
 - Appendix 5 (Drainage Study and Site Detention Plan Check List) See Attached**
 - Appendix 6 (Common Area Maintenance Plan Check List) See Attached**
 - Appendix 7 (PUD Design Objectives Review Forms) See Attached**

All Development, Residential, Commercial, Industrial
- Primary Contact.
- Scale not less than 1" = 100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Location/Boundaries tied to official government survey.
- Names and address of subdivider, designer of PUD, licensed PE or LS.
- Date of preparation.
- North Arrow.
- Exact bearings/distance dimensions.
- Total acreage.
- All proposed subdivided lands.
- All lands and owners adjacent to proposed lands within 200ft.
- Location/dimensions and names of proposed streets, typical cross-sections, alleys, easements, lot lines.
- Contour lines.
- Designated flood areas.
- Lot designated/lot size.
- Names of adjacent subdivisions.
- Existing Utilities including: location within subdivision, size, grade, type of material, approx. depth of bury, service locations.
- Existing Utilities including: location adjacent to subdivision, size grade, type of material, approx. bury depth.
- Proposed Utilities (conforming to city master plan) including: location within PUD, size, grade, type of material, approx. depth of bury, service locations.
- Drainage plan.
- Proposed Street and Traffic Signs.
 - Supplemental Materials**
 - Warranty Deed
 - Copies of easements/rights of ways.
- na Written requests for variances to regulations.
 - Proposed Utilities systems.
 - Water line design.
 - Surface Improvements.

- Any additional preliminary information pertaining to utility systems.
- Agreement for transfer of water rights to the city.
- Common Area
- CD containing digital files of all maps and drawings submitted for this application.
- Application fees due upon submittal to City of Cody.

C. The Final Plat should include:

- Scale of not less than 1"=100' and shown on plans.
- 24" x 36" reproducible.
- Name of PUD.
- Date of preparation.
- North arrow.
- Legal description of property to be divided.
- Primary control points.
- Tract boundary lines, right-of-ways lines (streets & easements), lot lines with accurate dimensions, bearings or angles.
- Curve data (spirals not permitted).
- Right-of-way widths for each street, alley or other right-of-way.

Supplemental Materials

- Statement from the state engineers office regarding water rights.
- Utility company statements.
- Covenants.
- Three sets of approved plans and specifications for improvements to be installed with appropriate signatures of federal agencies, local agencies and companies affected by development (i.e. **DEQ Approval**).
- Deed for open space land to city or cash in lieu of open space received.
- Special requirements by P&Z or Council.
- Utility fees paid.
- Application fees due upon submittal to City of Cody.

After Final Plat Approval by P&Z & Council

- 2 Mylar copies of signed/sealed and filed final plat.
- Electronic copy of subdivision providing the following data:
Prior to recordation of the Final Plat, electronic media shall be provided in AutoCad.dwg or AutoCad.dxf format, which contains the physical features of the survey for this development. The drawings shall be referenced to a known coordinate system. A Project (PRJ) file should be submitted. If not, include a text file with all the parameters describing the datum, projection and coordinate system used for the project. The drawings shall include either a data dictionary to explain the layers, or a self-explanatory layering system.

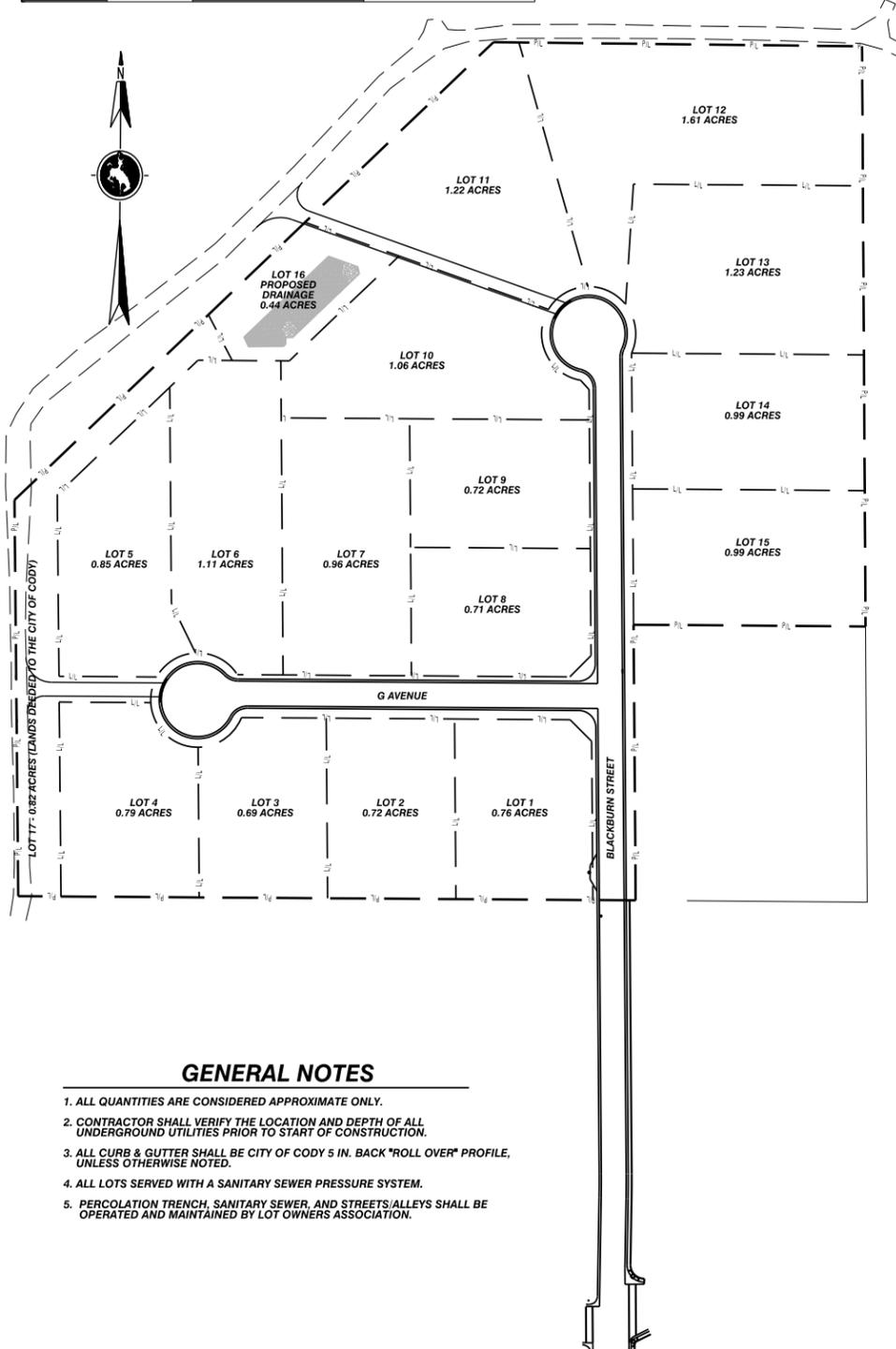
Appendix 1. (Site Plans)

A. Submittal Requirements

The site plan is a plot plan of the entire area to be developed, which shows location and size of buildings, the size and area of the land under consideration, street names and widths, parking area size, and all other items required on the following site plan checklist. A site plan is required for all PUDs, and must be prepared by an architect, a civil engineer, a land surveyor, or a planner and must comply with the standards and requirements set forth in this Appendix. A complete site plan application consists of:

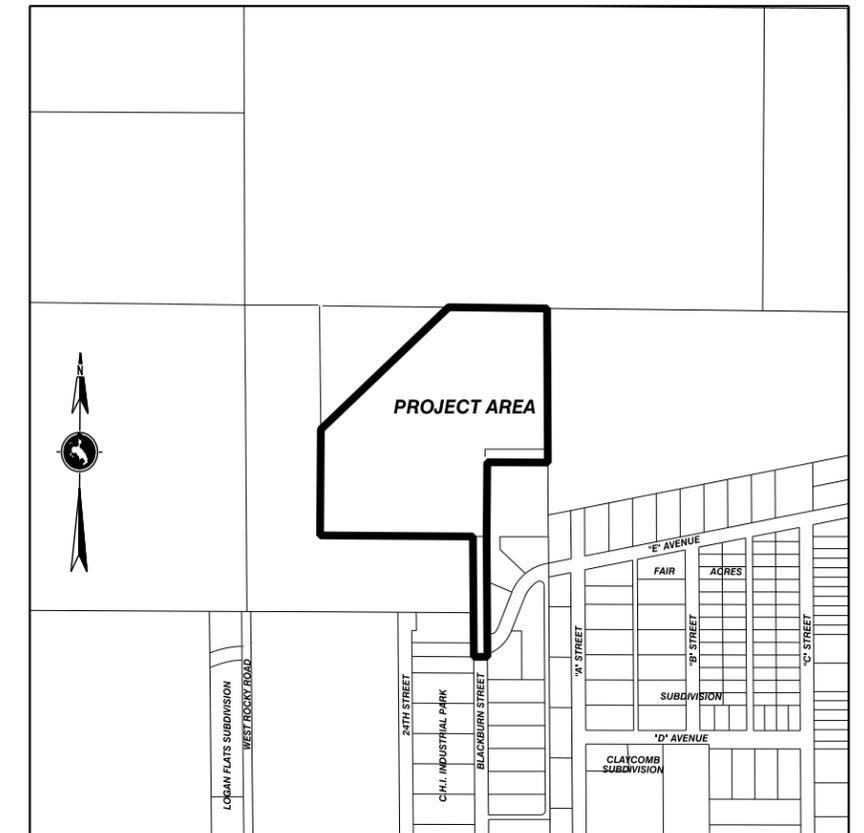
- The site plan application form.
- Vicinity map (8 1/2" x 11" or if less than one acre, a scale of 1":200')
- 12 copies of a site plan and site plan checklist.
- Drainage Study and Site Detention Plan, see appendix number 5.
- Traffic Impact Analysis; see appendix number 2.
- Master Utility Plan, see appendix number 4.
- Landscape Common Area Common area Plan; see appendix number 3.

0 200 400 600



PRELIMINARY PLAT OF BLACKBURN P.U.D.

INDEX OF SHEETS	
SHEET NO.	SHEET
1	GENERAL PLAN
2A-2D	PRELIMINARY PLAT SHEETS
3	TYPICAL STREET SECTIONS/ADA RAMP DETAILS
4	BLACKBURN STREET PLAN & PROFILE
5	G AVENUE PLAN & PROFILE
6	ALLEY PLAN & PROFILES AND ALLEY TYPICAL SECTION
7	BLACKBURN STREET/E AVE. INTERSECTION DETAIL BLACKBURN STREET/G AVENUE INTERSECTION &
8	BLACKBURN STREET CUL-DE-SAC DETAIL
9	G AVENUE CUL-DE-SAC DETAIL
10	BLACKBURN STREET TREATED WATER PLAN AND PROFILE
11	G AVENUE TREATED WATER PLAN & PROFILE
12	BLACKBURN STREET SANITARY SEWER PLAN & PROFILE
13	G AVENUE SANITARY SEWER PLAN & PROFILE
14	SANITARY SEWER DETAILS
15	BLACKBURN STREET STORM SEWER PLAN & PROFILE
16	STORM SEWER 1/STORM SEWER 3 PLAN & PROFILE
17	PERCOLATION TRENCH PLAN
18	UTILITY PLAN
19	SIGNAGE PLAN
20	CITY OF CODY DETAILS - WATER & SEWER
21	CITY OF CODY DETAILS - STREET



GENERAL NOTES

1. ALL QUANTITIES ARE CONSIDERED APPROXIMATE ONLY.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
3. ALL CURB & GUTTER SHALL BE CITY OF CODY 5 IN. BACK "ROLL OVER" PROFILE, UNLESS OTHERWISE NOTED.
4. ALL LOTS SERVED WITH A SANITARY SEWER PRESSURE SYSTEM.
5. PERCOLATION TRENCH, SANITARY SEWER, AND STREETS/ALLEYS SHALL BE OPERATED AND MAINTAINED BY LOT OWNERS ASSOCIATION.

LEGEND

SUBDIVISION BOUNDARY	— P/L —	PROPOSED TREATED WATER MAIN	— W — W —
PROPOSED LOT LINES	— L/L —	PROPOSED SANITARY SEWER MAIN	— SA — SA —
PROPOSED EASEMENT LINES	— EL —	PROPOSED STORM SEWER	— ST — ST —
EXISTING TREATED WATER MAIN	— W —	PROPOSED 3 PHASE POWER (INCLUDING PHONE, FIBER, & TV)	— P — P —
EXISTING SANITARY SEWER (PRESSURE)	— SA —	PROPOSED STREET LIGHT POWER LINE	— p — p —
EXISTING PHONE LINE (FIBER)	— T —	PROPOSED GAS MAIN	— G — G —
EXISTING OVERHEAD PHONE LINE	— OTW —	PROPOSED JOINT UTILITY TRENCH	— J — J —
EXISTING OVERHEAD POWER	— OPW —	PROPOSED TREATED WATER SERVICE	⊙
EXISTING STORM DRAINAGE	— S — S —	PROPOSED FIRE HYDRANT	⊕
EXISTING TREATED WATER SERVICE	⊙	PROPOSED SANITARY SEWER SERVICE	⊕
EXISTING FIRE HYDRANT	⊕	PROPOSED 3ø POWER VAULTS (INCLUDING PHONE, FIBER, & TV SERVICES)	⊕
EXISTING SANITARY SEWER SERVICE (PRESSURE)	⊕	PROPOSED STREET LIGHT JUNCTION BOX	□
EXISTING SANITARY SEWER MANHOLE (ABANDONED)	⊕	PROPOSED STREET LIGHT	✱
EXISTING PHONE BOX (FIBER)	⊕	PROPOSED GAS SERVICE	○
EXISTING POWER POLE	●	PROPOSED STORM SEWER MANHOLE	●
EXISTING TREE	⊕		

DATE 8-3-11

DRAWN BY - B/JF
CHECKED BY - J/AE
FILE NO. 2011-08

GENERAL PLAN

BLACKBURN P.U.D.
OWNER: ED HIGBIE

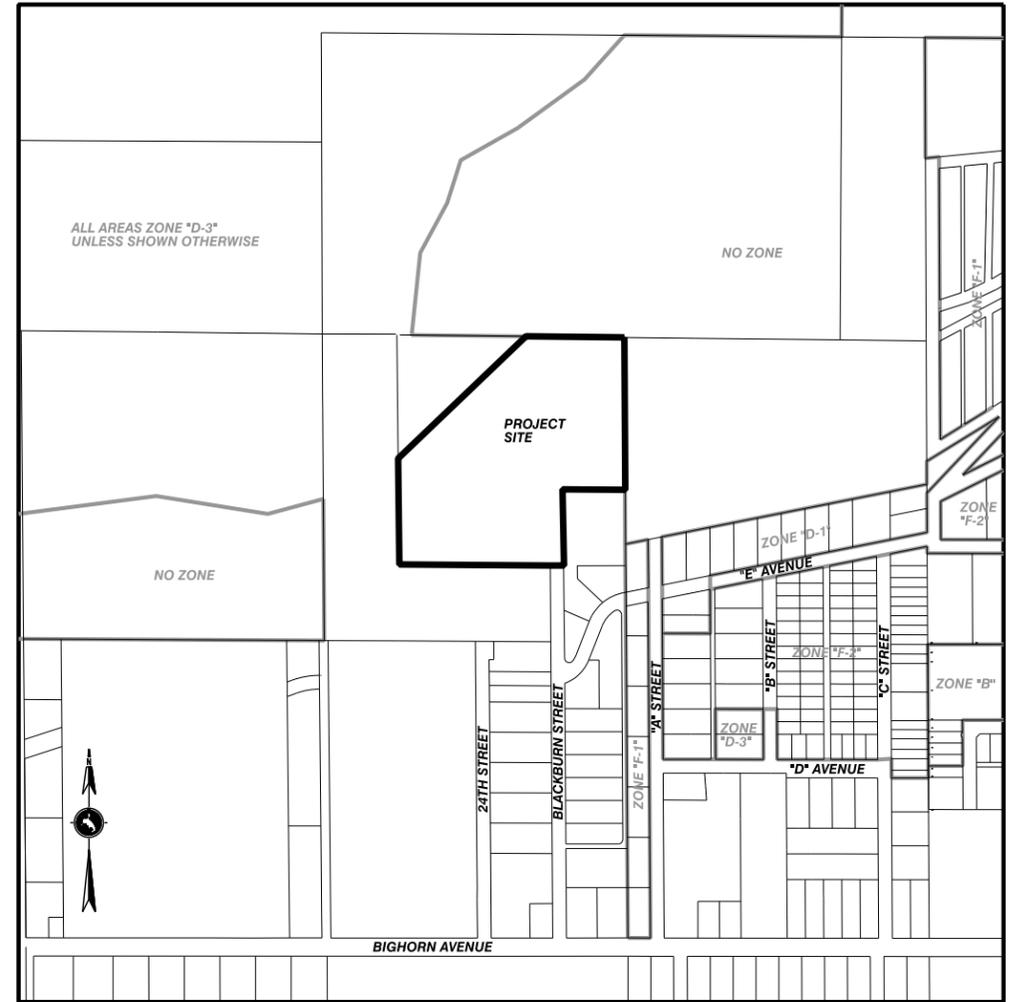
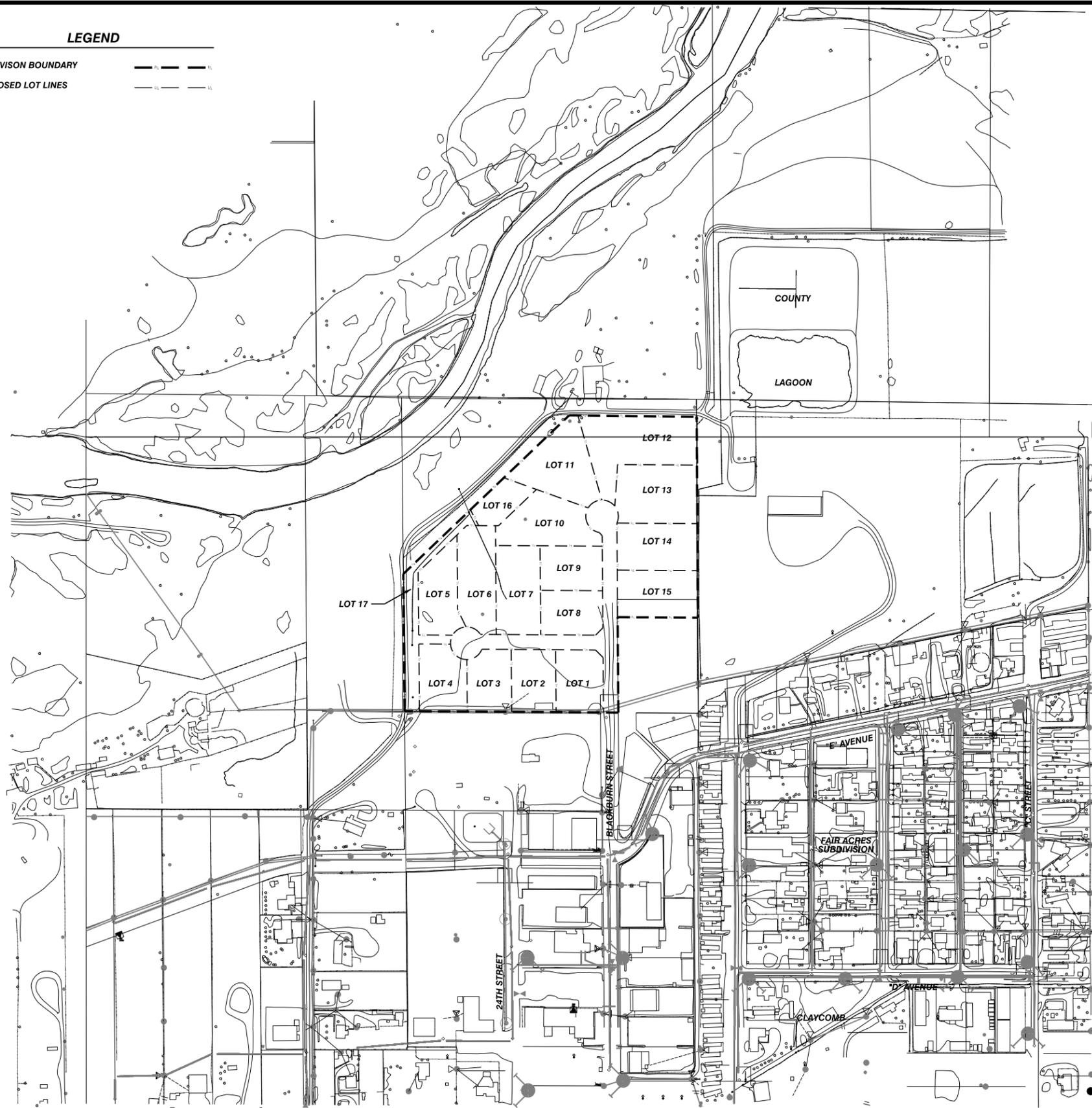
Sage
CIVIL ENGINEERING

2824 BIG HORN AVE
CODY, WY 82414
PHONE: (307) 527-0915 FAX: (307) 527-0916

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OF
21

LEGEND

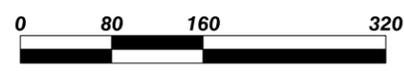
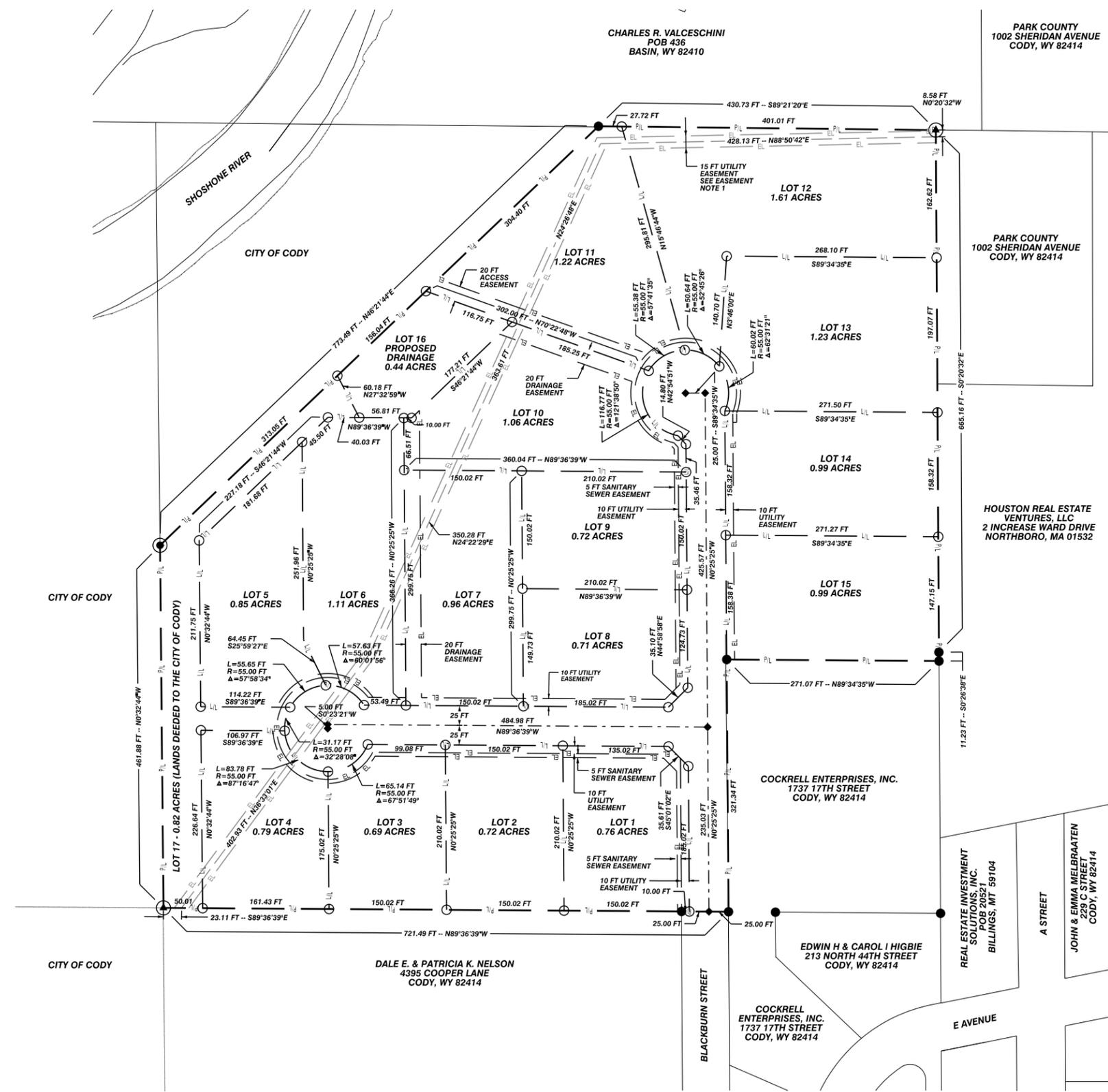
SUBDIVISION BOUNDARY 
 PROPOSED LOT LINES 



ZONING MAP



<p>ENGINEER  2824 BIG HORN AVENUE CODY, WY 82414 PHONE: (307) 527-0915 FAX: (307) 527-0916 sce@sagecivilengineering.com</p>	<p>PRELIMINARY PLAT/AREA MAP BLACKBURN P.U.D. DEVELOPER: ED HIGBIE 1143 SHERIDAN AVE. CODY, WY 82414 Portion of TRACT 40 Resurvey T.53N., R.101W. 6th P.M. City of Cody, Park County, Wyoming</p>	<p>NOVEMBER 2011</p>
		<p>2A OF 21</p>



LEGEND

SUBDIVISION BOUNDARY	— P.L. —
PROPOSED LOT LINES	— L.L. —
PROPOSED EASEMENT LINES	— E.L. —
STREET CENTERLINES	— — — — —
SET ALUMINUM CAP	○
SET STREET MONUMENT	◆
FOUND BRASS CAP	⊕
FOUND ALUMINUM CAP	●

NOTES

- Bearing base for this survey is Geodetic NAD 83/West Central Zone.
- Bearing base for this survey is Geodetic NAD 83/West Central Zone.
- Bench Mark = Brass Cap Southwest corner of Subdivision and center of West Rocky Road. Elevation = 4916.08 feet (City of Cody Datum)
- All lots to be light industrial/commercial.
- Adjacent Zoning is D-3 and no zone.
- Corners to be set after construction is complete.
- Reference Utility, Site, Landscape, Drainage and contract documents for additional information.
- All survey work was completed to an accuracy of 1:15,000.
- A right to drain is hereby granted to the City of Cody for the purpose of disposal of storm water from the streets in the percolation areas located in Lot 16. Percolation area shall be operated and maintained by the Blackburn P.U.D. Lot Owners Association.
- Drainage plan to be addressed on the site plan application process for the individual lots.
- All commercial development shall go through the Planning & Zoning Review process and must provide to the City of Cody a drainage, irrigation, landscape, and off-street parking plans.
- No structures or fences shall be placed within a utility or drainage easement as per city ordinance.
- Sanitary sewer systems to be operated and maintained by Blackburn P.U.D. Lot Owners Association.
- Sanitary sewer easement is in favor of the lot owners.
- Sanitation containers will be required to be placed on the streets and placed on the east side of Blackburn Street and on the north side of G Avenue.
- No on street parking.

EASEMENT NOTES

- Utility easement in favor of Rocky Mountain Power for maintenance of overhead powerline. Easement will be relinquished at time when overhead powerline is relocated.

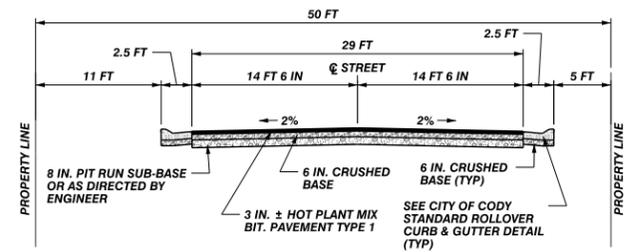
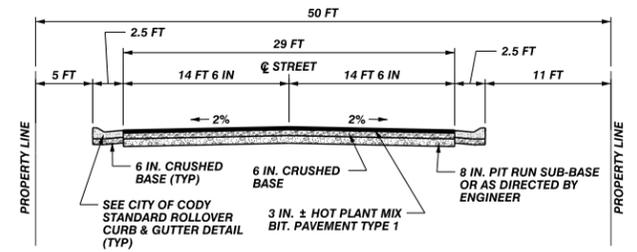
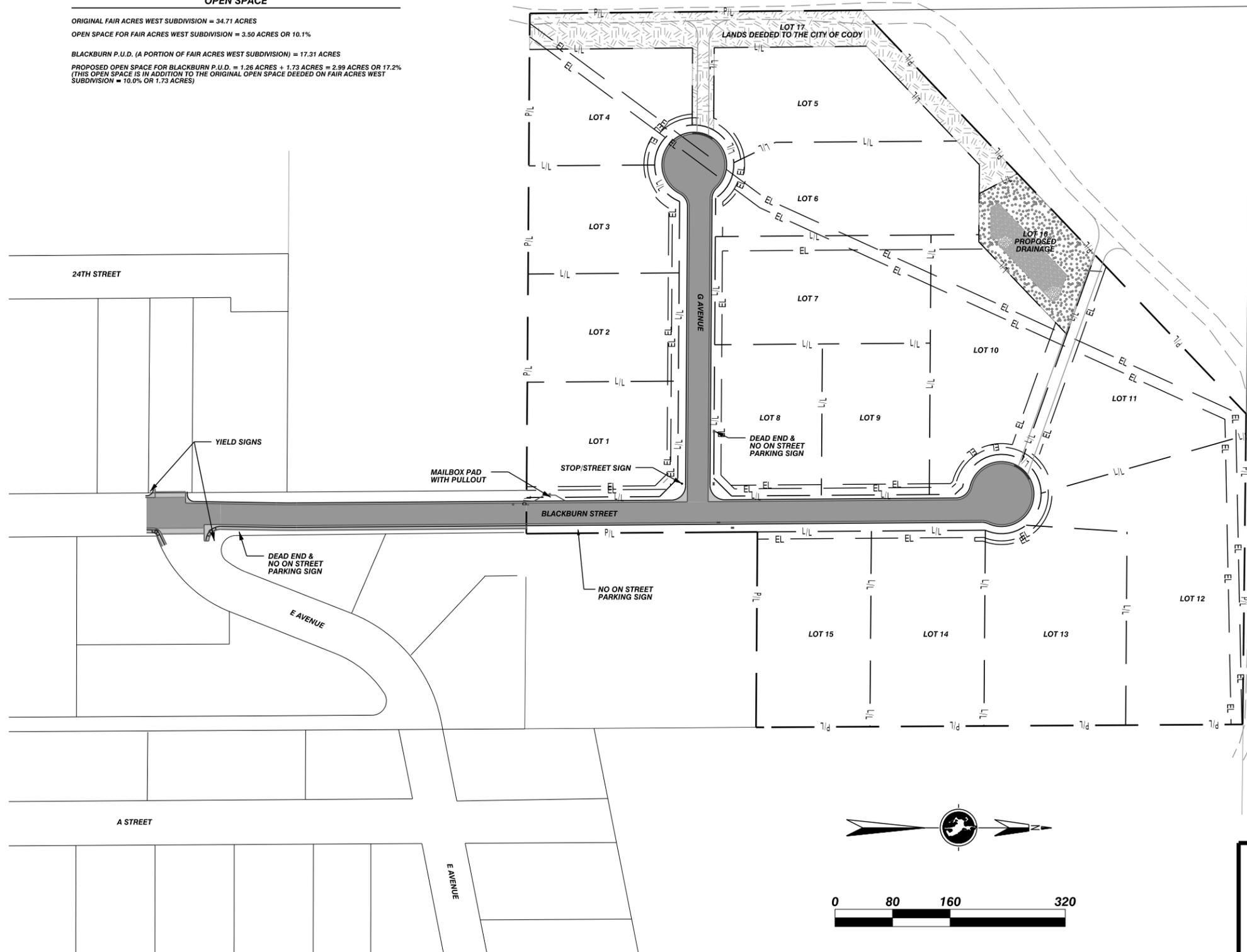
ENGINEER

 2824 BIG HORN AVENUE
 CODY, WY 82414
 PHONE: (307) 527-0915 FAX: (307) 527-0916
 sce@sagecivilengineering.com

PRELIMINARY PLAT
BLACKBURN P.U.D.
 DEVELOPER: ED HIGBIE
 1143 SHERIDAN AVE.
 CODY, WY 82414
 Portion of TRACT 40
 Resurvey T.53N., R.101W. 6th P.M.
 City of Cody, Park County, Wyoming
 NOVEMBER 2011

OPEN SPACE

ORIGINAL FAIR ACRES WEST SUBDIVISION = 34.71 ACRES
 OPEN SPACE FOR FAIR ACRES WEST SUBDIVISION = 3.50 ACRES OR 10.1%
 BLACKBURN P.U.D. (A PORTION OF FAIR ACRES WEST SUBDIVISION) = 17.31 ACRES
 PROPOSED OPEN SPACE FOR BLACKBURN P.U.D. = 1.26 ACRES + 1.73 ACRES = 2.99 ACRES OR 17.2%
 (THIS OPEN SPACE IS IN ADDITION TO THE ORIGINAL OPEN SPACE DEEDED ON FAIR ACRES WEST SUBDIVISION = 10.0% OR 1.73 ACRES)



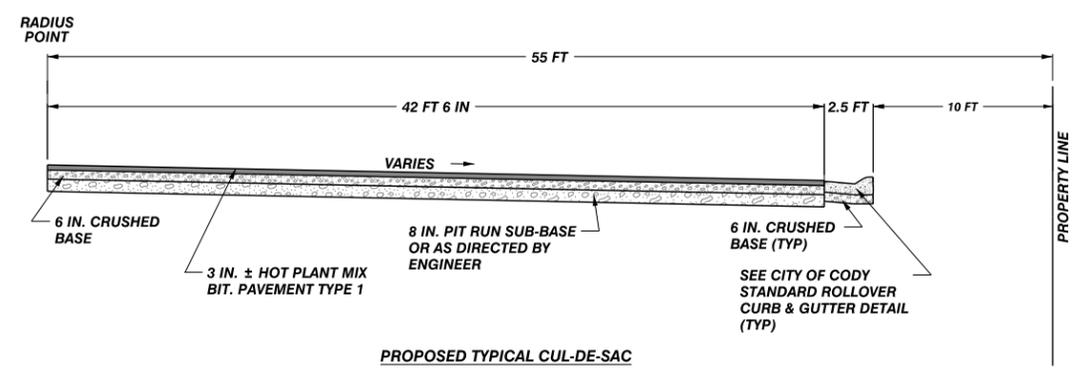
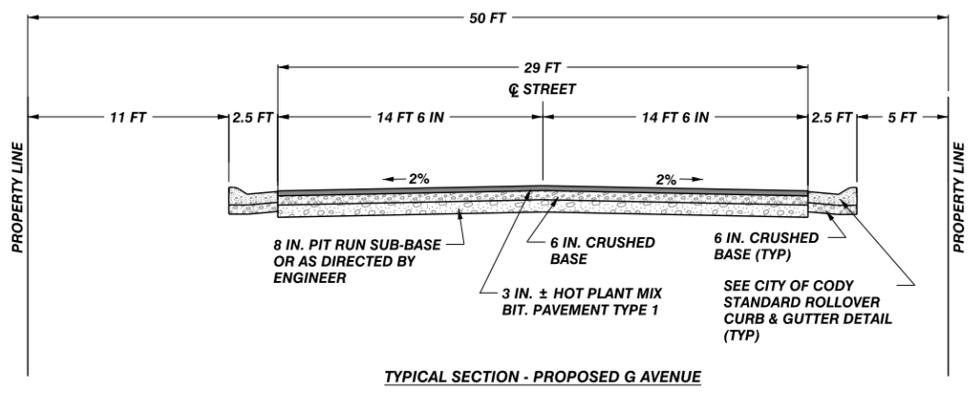
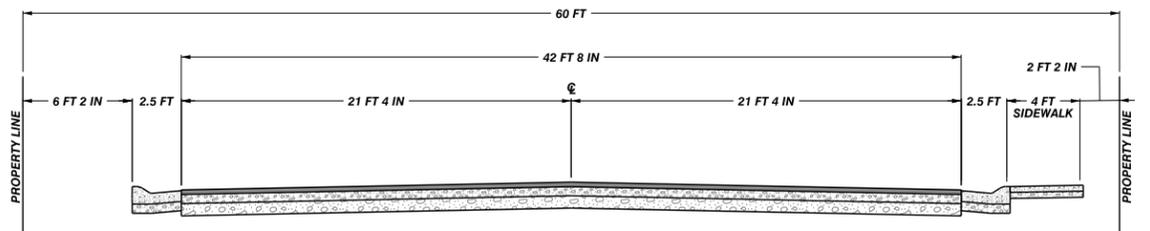
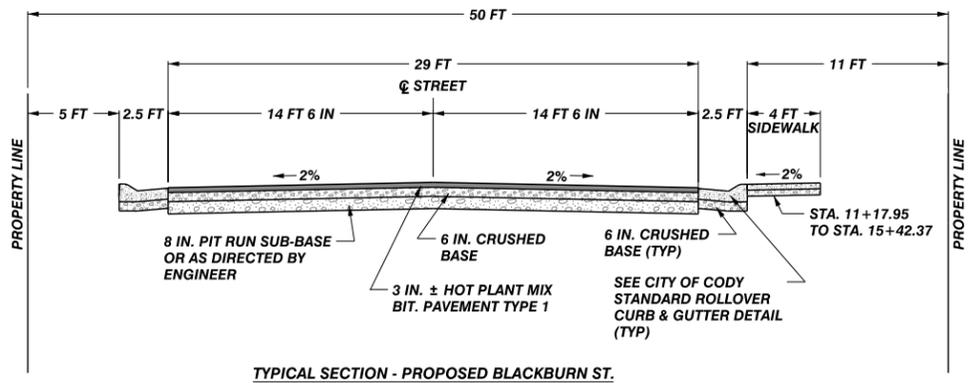
TYPICAL SECTION - PROPOSED G AVENUE

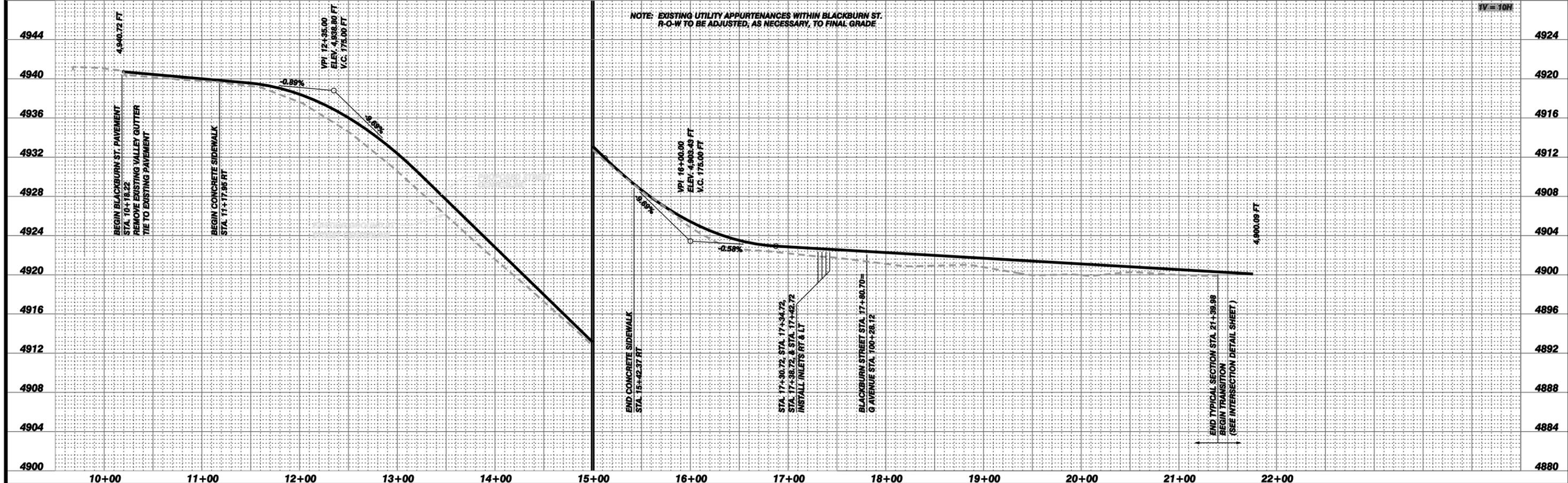
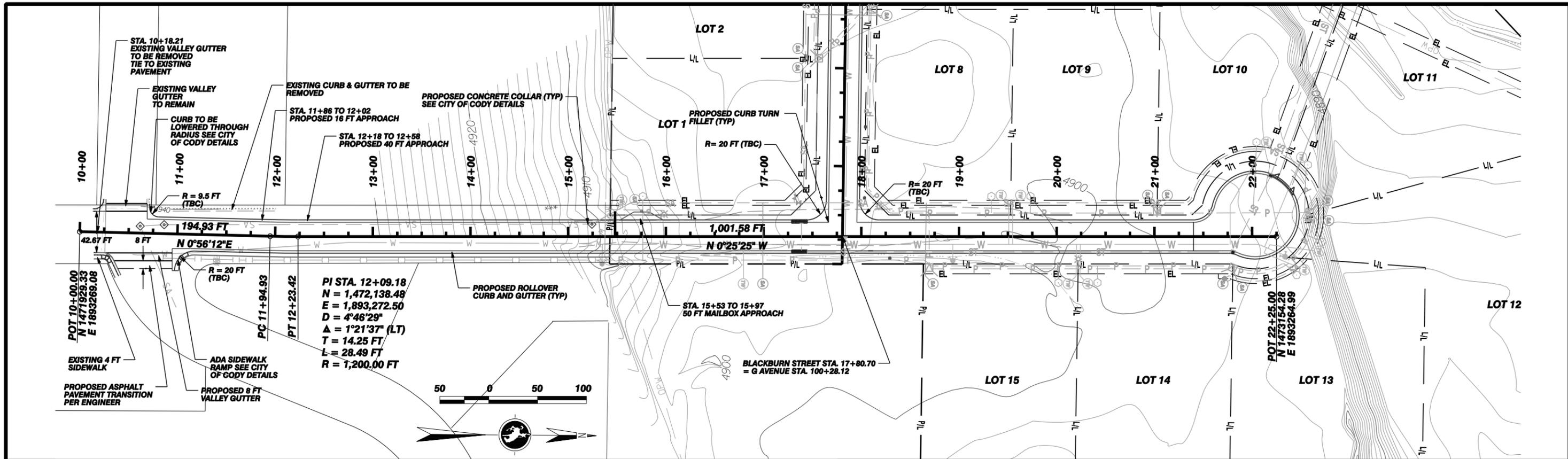
LEGEND

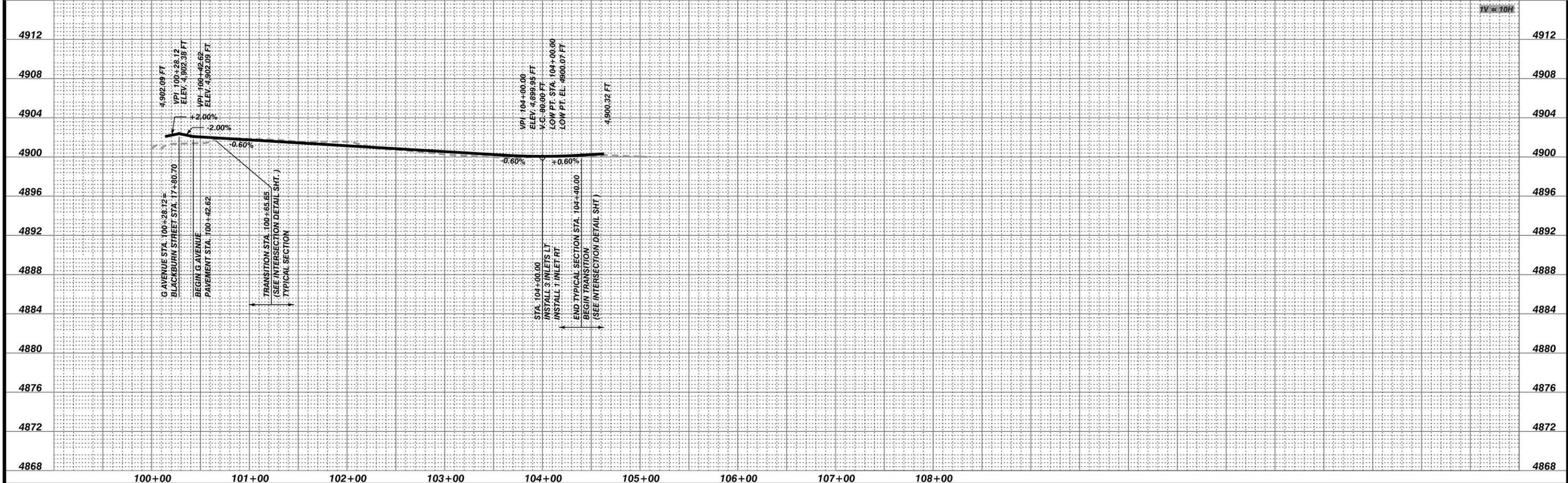
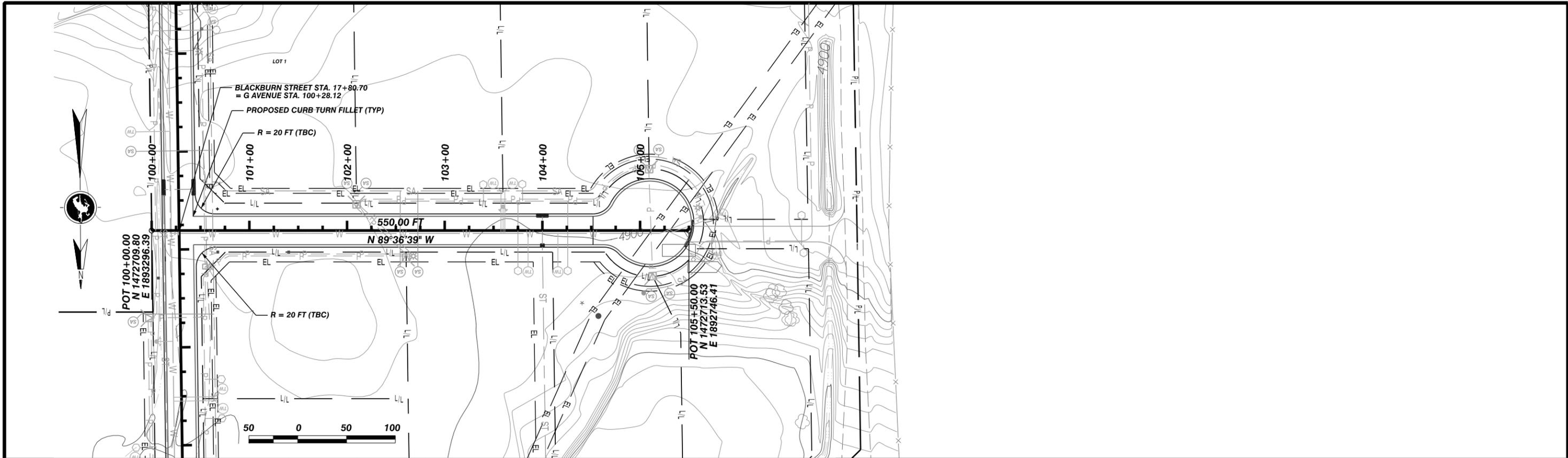
- SUBDIVISION BOUNDARY — P/L —
- PROPOSED LOT LINES — L/L —
- PROPOSED EASEMENT LINES — EL —
- EXISTING DRAINAGE — —
- PERCOLATION TRENCH COBBLE AREA — [Pattern]
- COMMON AREA — [Pattern]
- LANDS DEEDED TO THE CITY OF CODY — [Pattern]

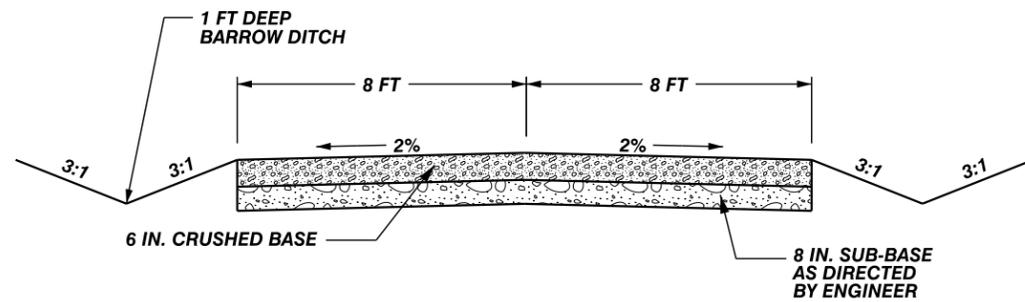
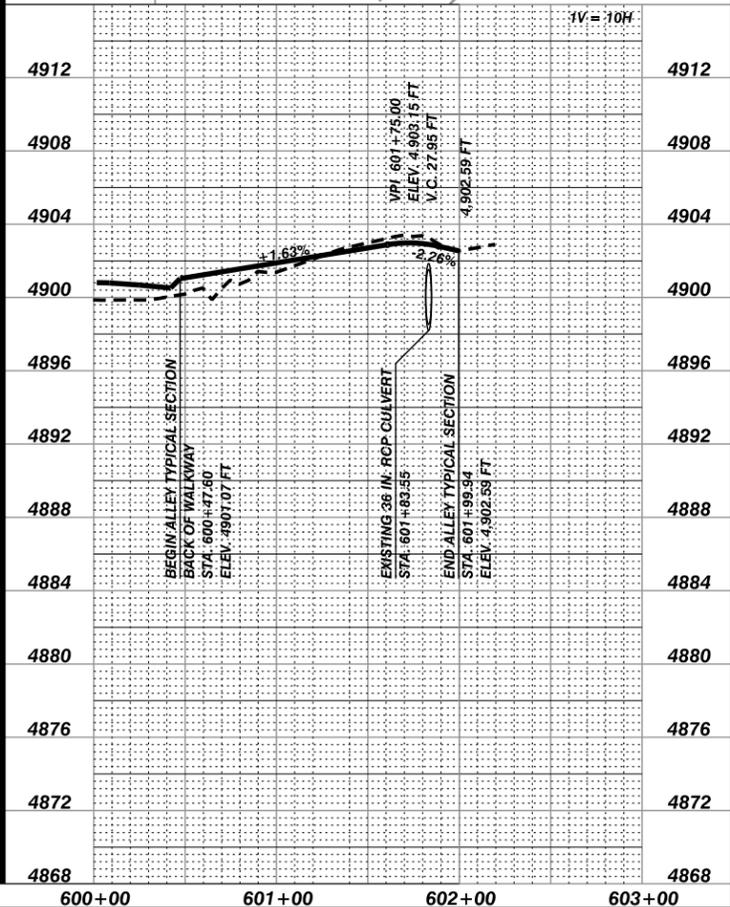
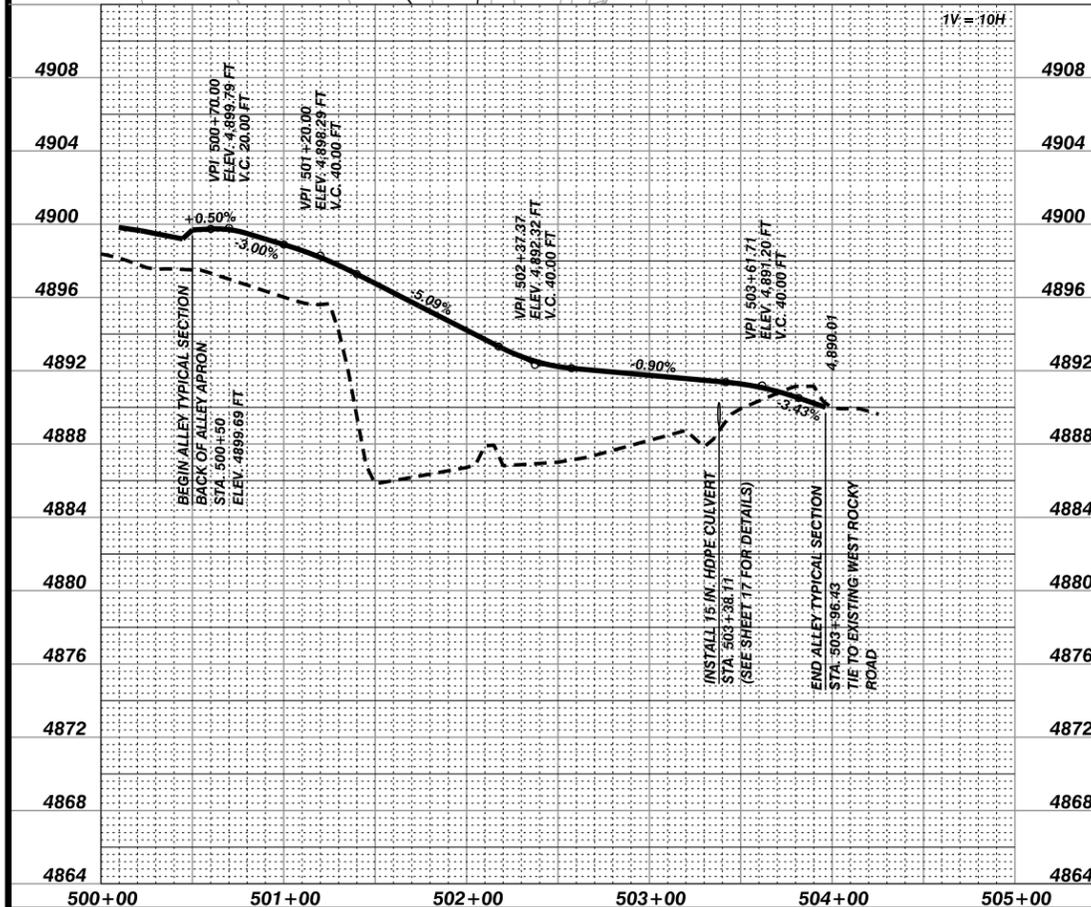
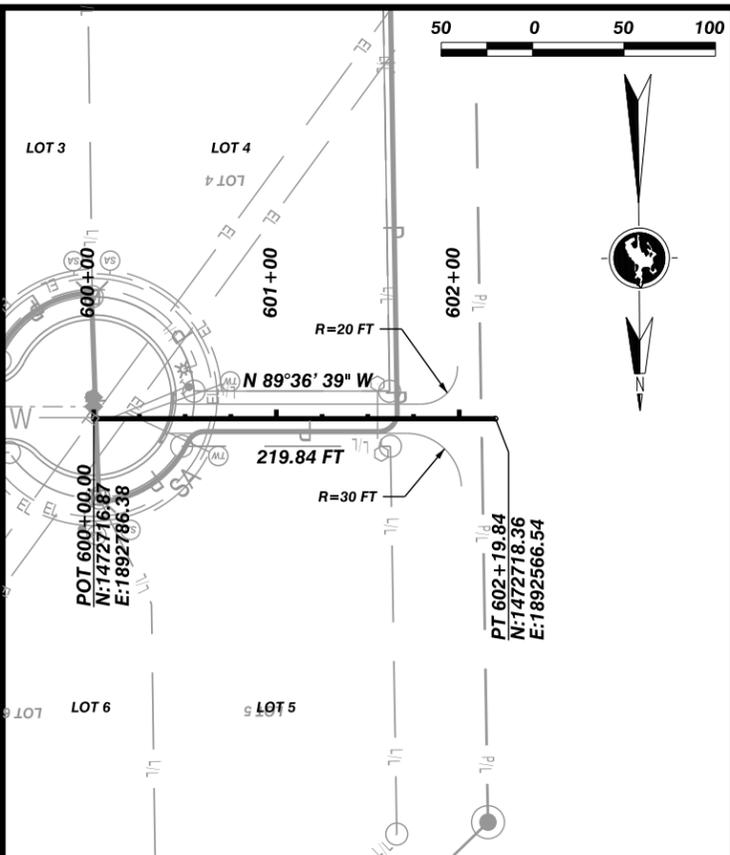
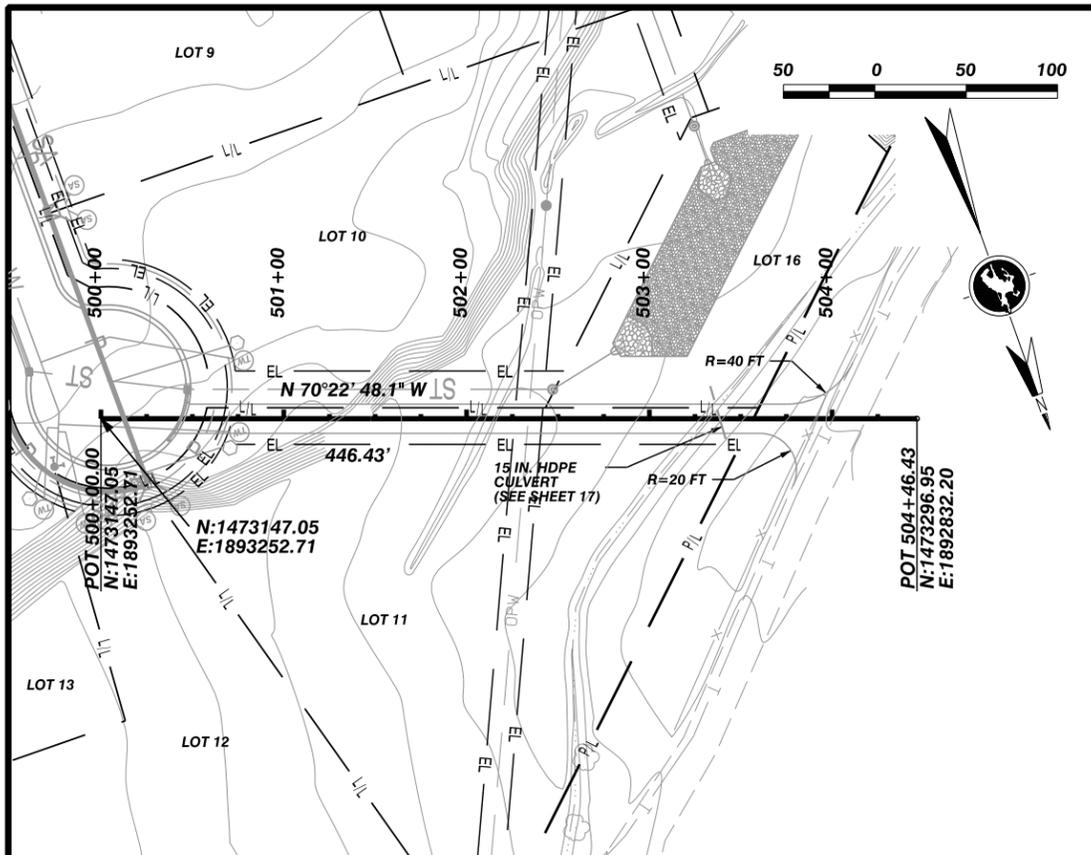
NOTES:
 NO PROPOSED RESTRICTIONS ON BUILDING ARCHITECTURE.
 EXISTING ZONING IS "D-3".
 PROPOSED USE FOR P.U.D. SHALL BE LIGHT INDUSTRIAL/COMMERCIAL.
 PROPOSED P.U.D. SHALL BE CONSTRUCTED IN A SINGLE PHASE.

<p>ENGINEER 2824 BIG HORN AVENUE CODY, WY 82414 PHONE: (307) 527-0915 FAX: (307) 527-0916 sce@sagecivilengineering.com</p>	<p>PRELIMINARY PLAT/ SIGN/STREET PLAN BLACKBURN P.U.D. DEVELOPER: ED HIGBIE 1143 SHERIDAN AVE. CODY, WY 82414 Portion of TRACT 40 Resurvey T.53N., R.101W. 6th P.M. City of Cody, Park County, Wyoming</p>	
	<p>NOVEMBER 2011</p>	<p>2D OF 21</p>









PROPOSED TYPICAL SECTION - ALLEY
N.T.S.

DATE 8-30-11

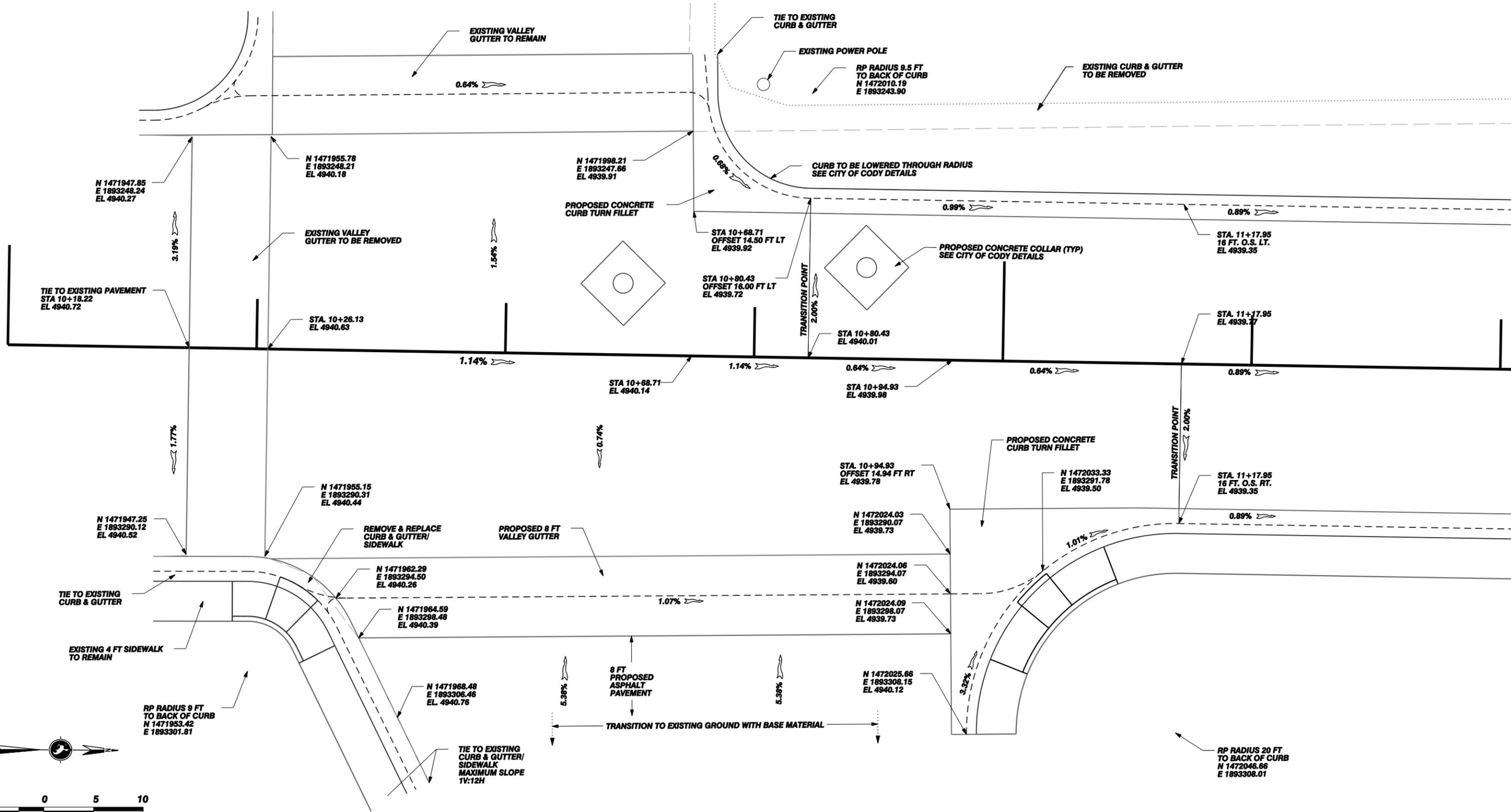
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FILE NO. 2011-8

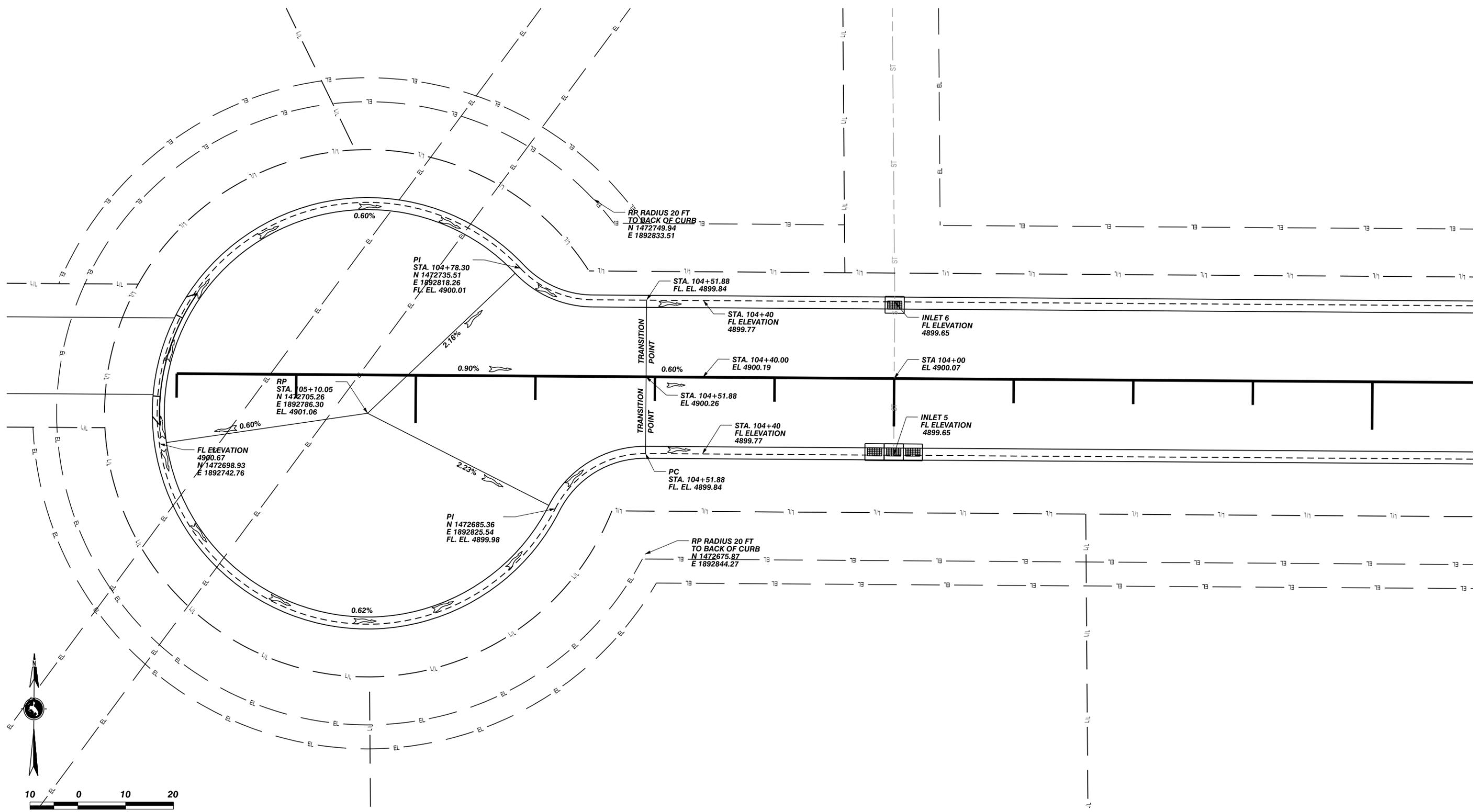
ALLEY PLAN AND PROFILE & TYPICAL SECTION

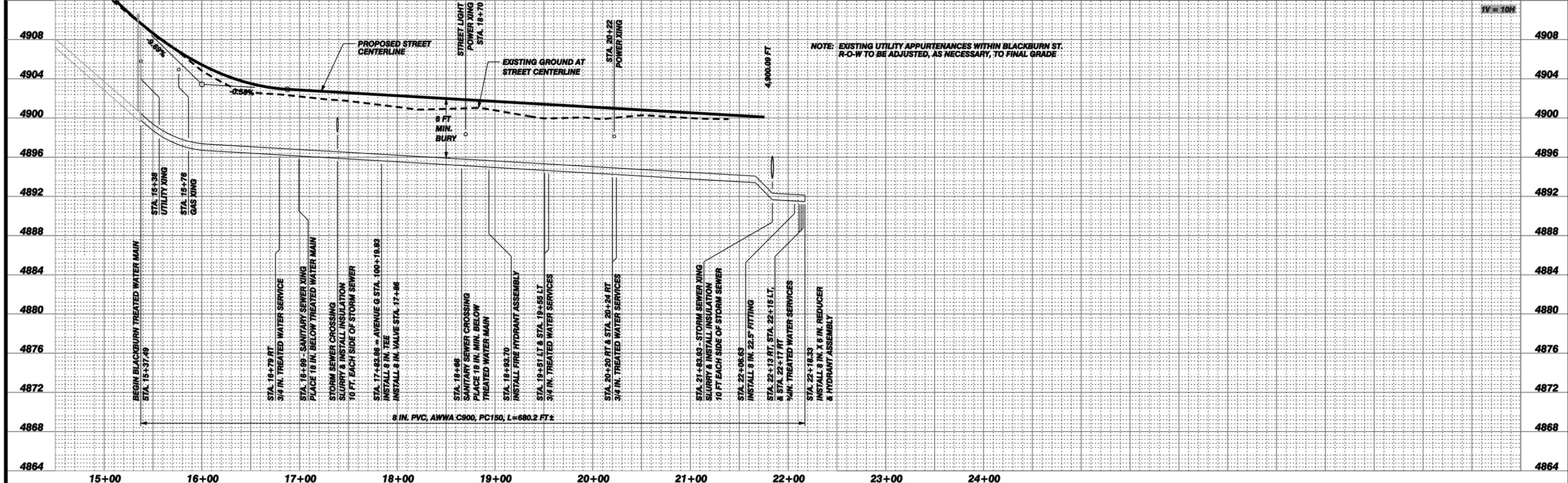
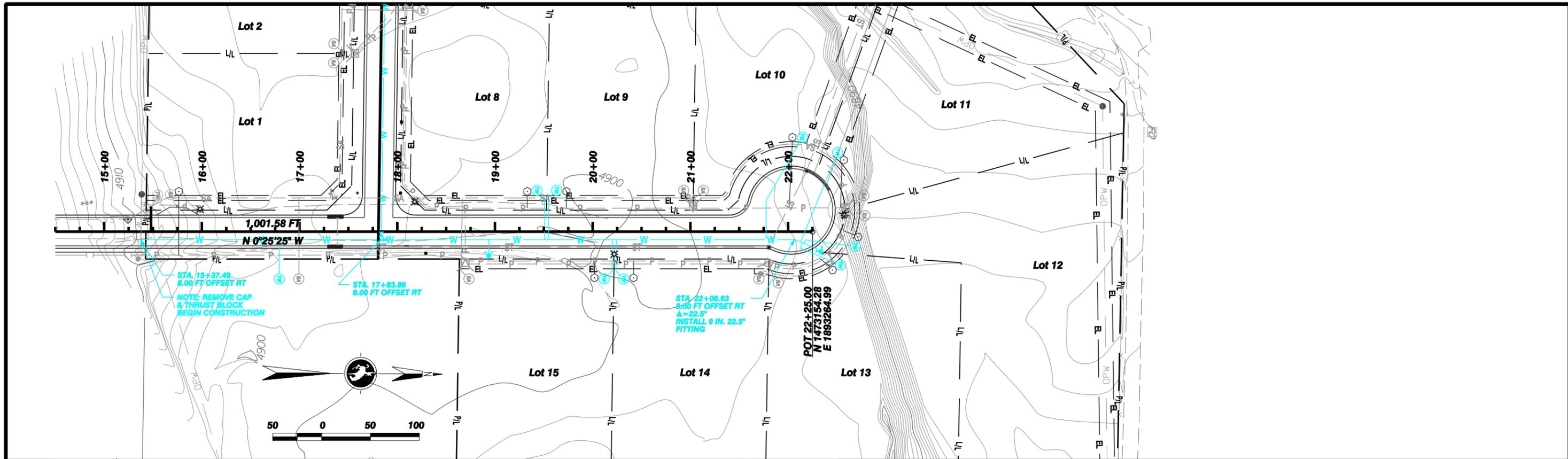
BLACKBURN P.U.D.
OWNER: ED HIGBIE

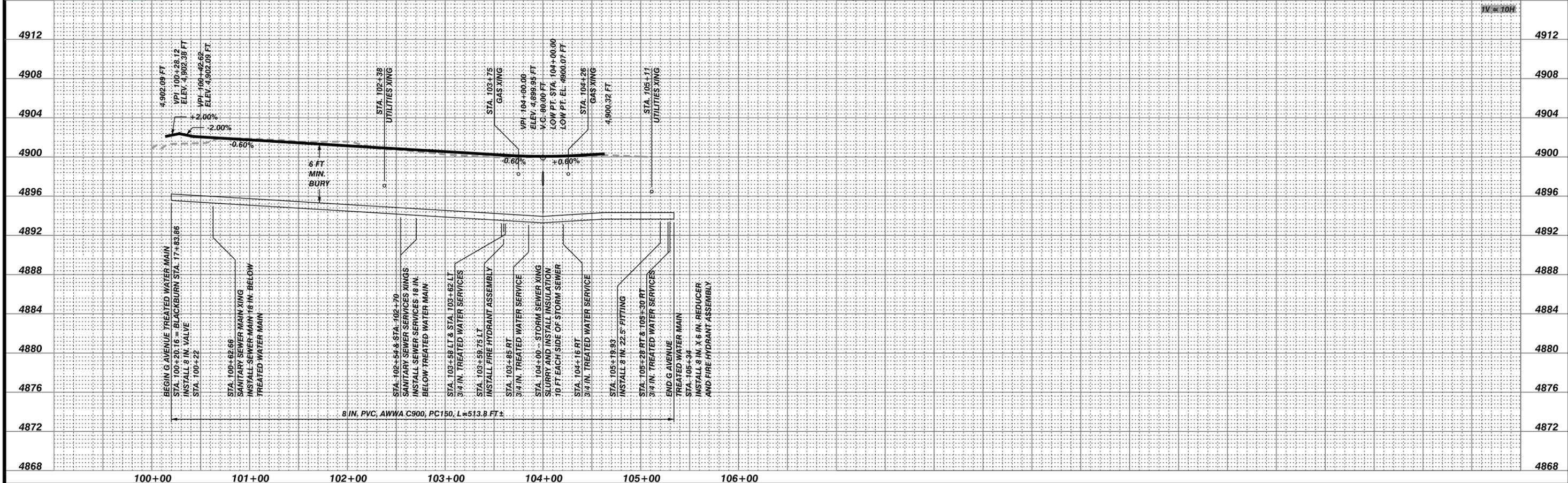
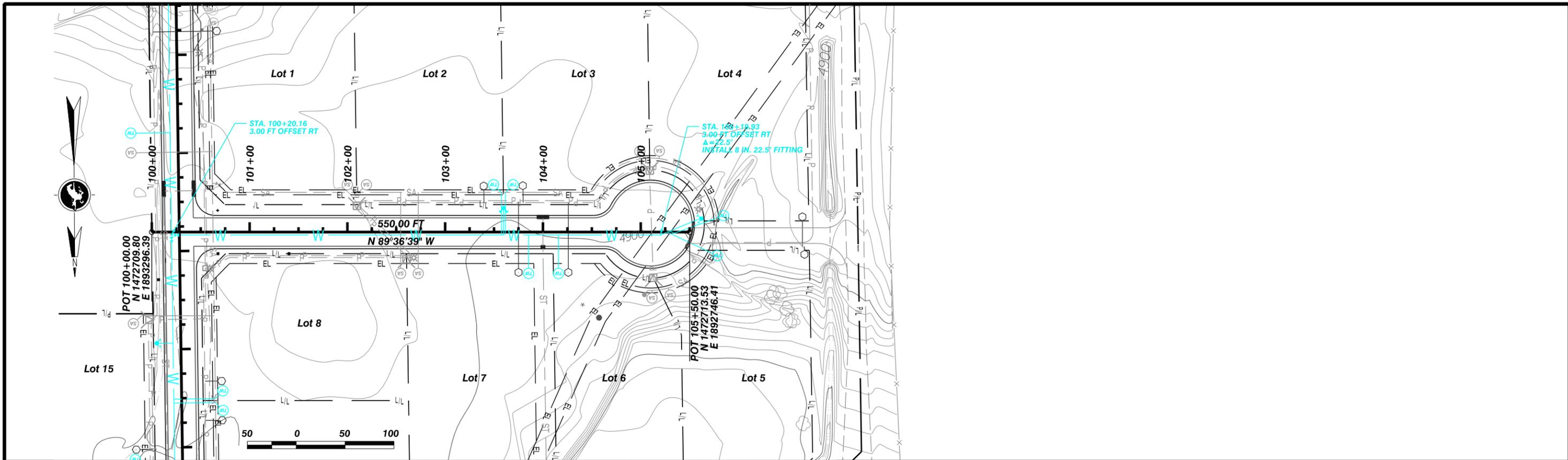


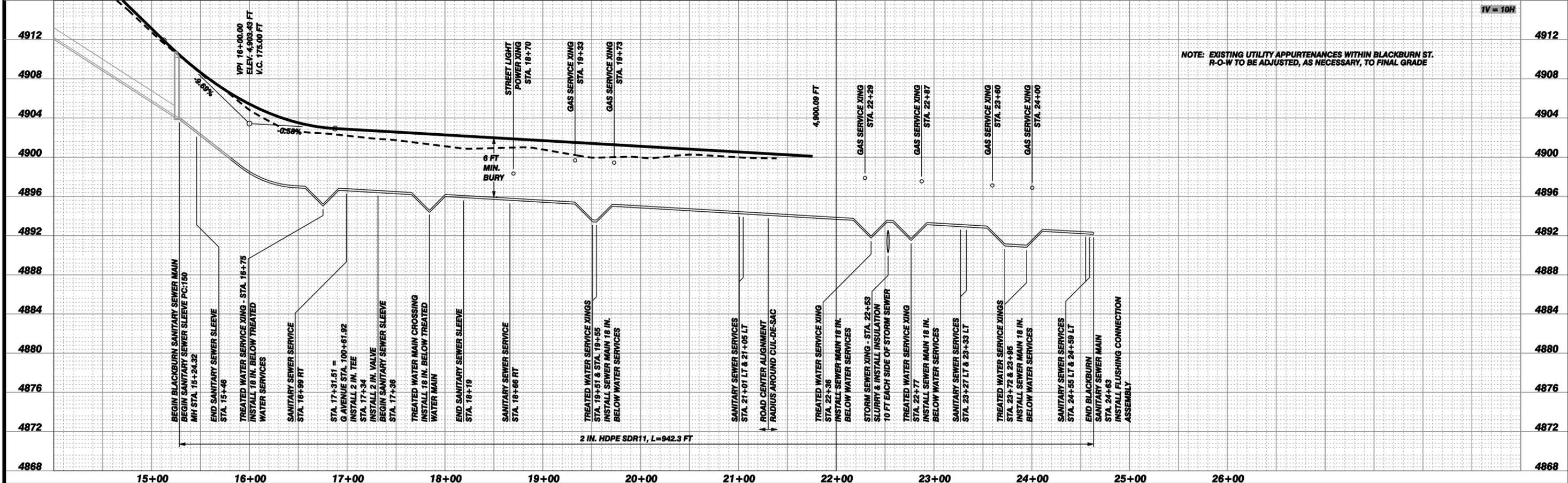
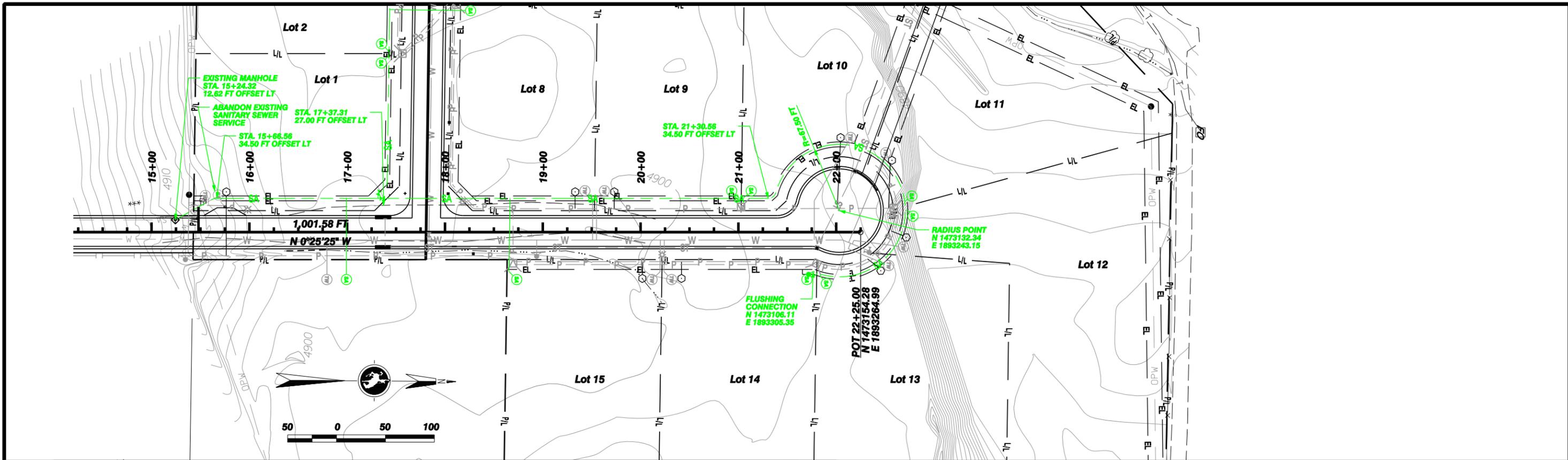
2824 Big Horn Ave.
CODY, WY 82414
PHONE: (307) 527-0915 FAX: (307) 527-0916





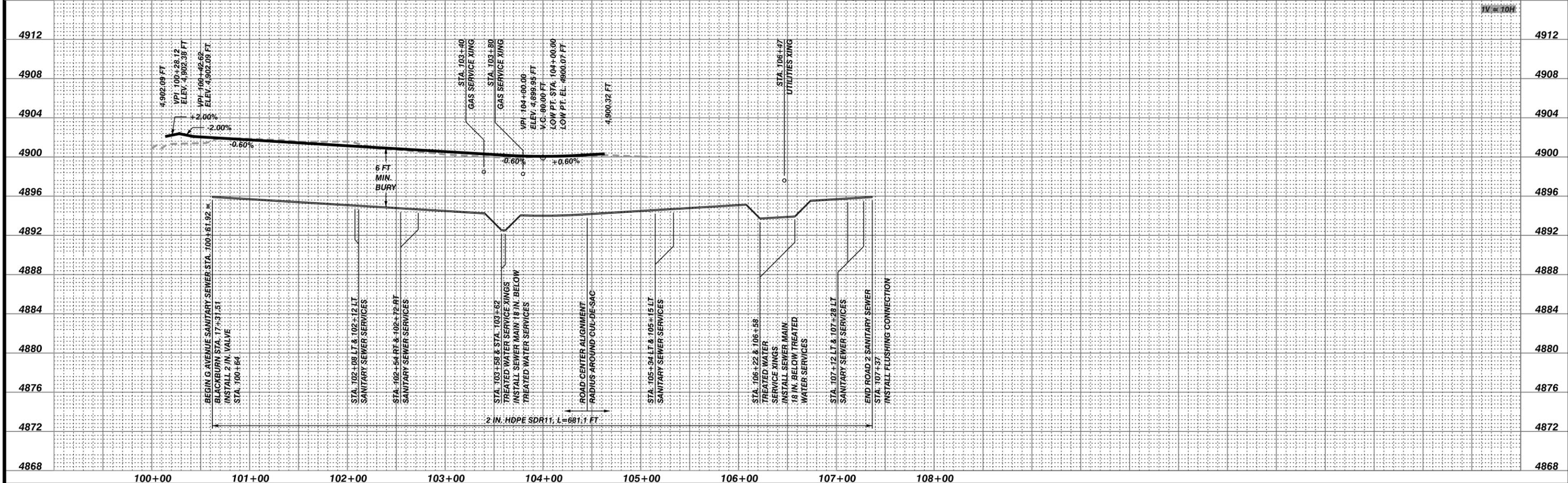
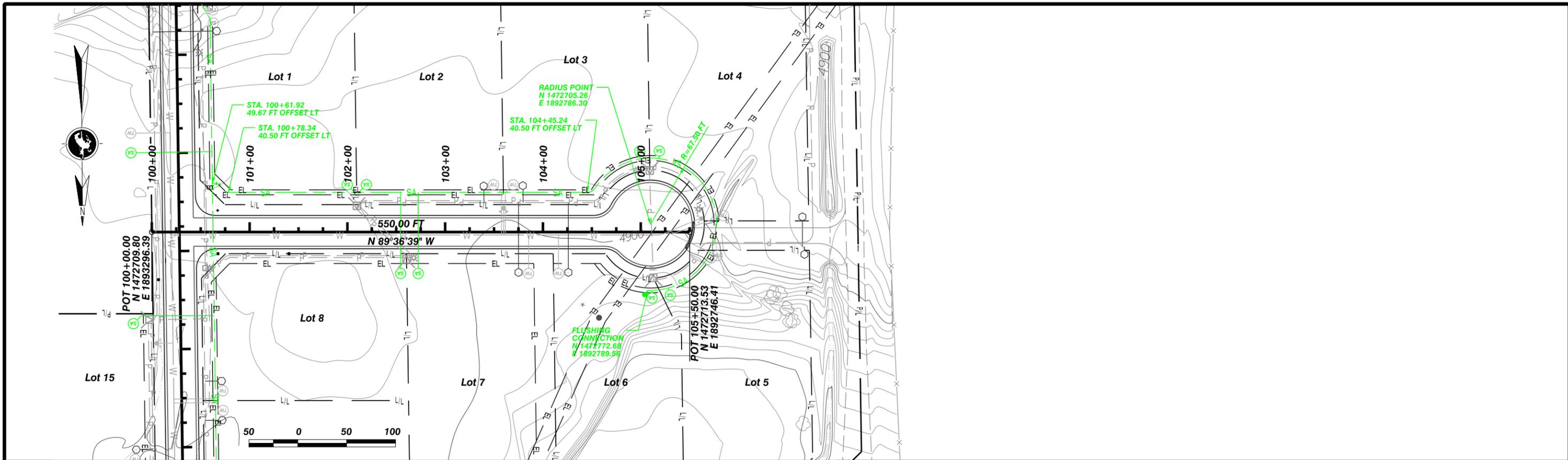


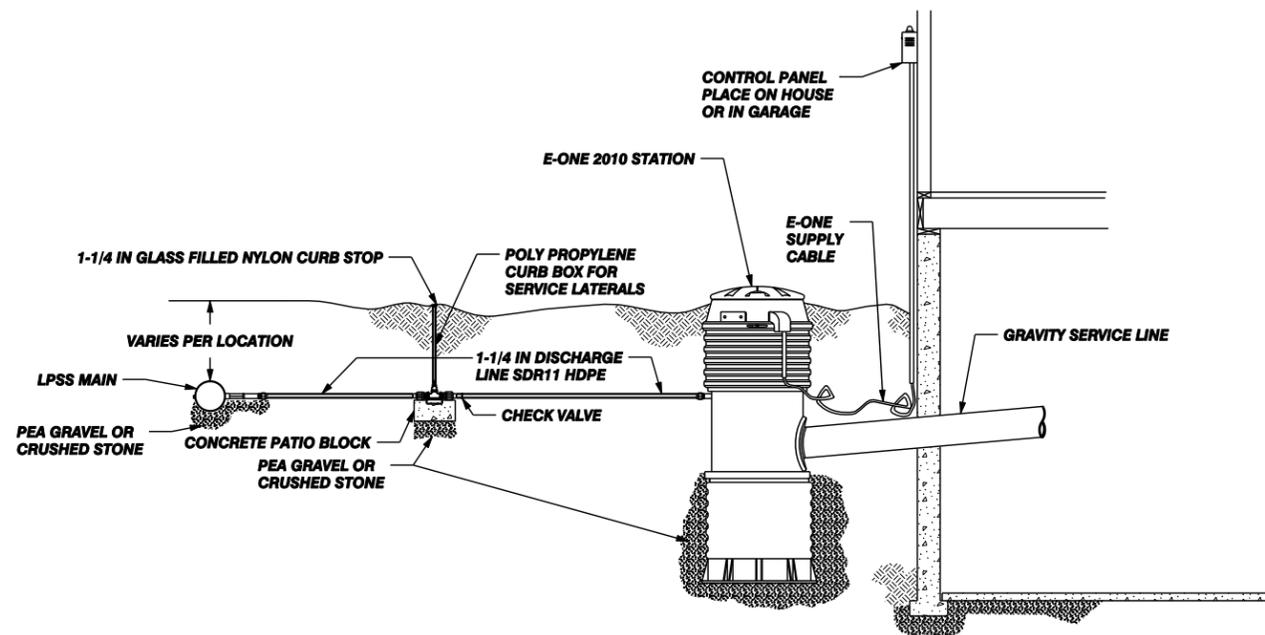




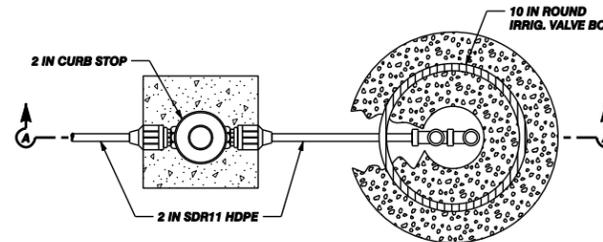
NOTE: EXISTING UTILITY APPURTENANCES WITHIN BLACKBURN ST. R-O-W TO BE ADJUSTED, AS NECESSARY, TO FINAL GRADE

TV = 10H

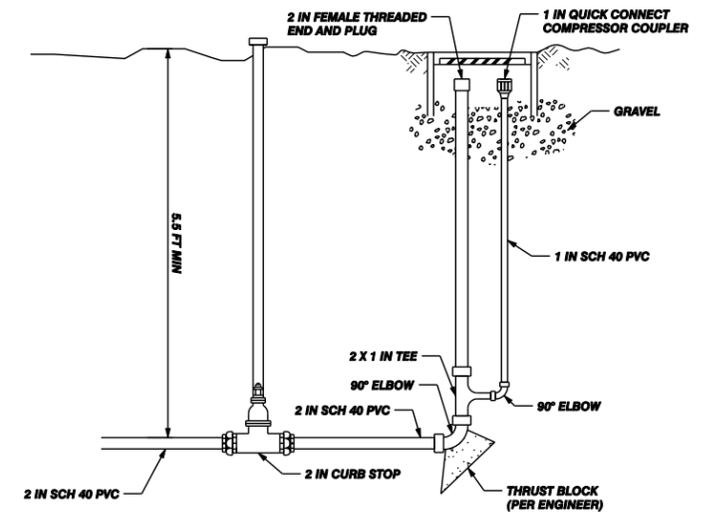




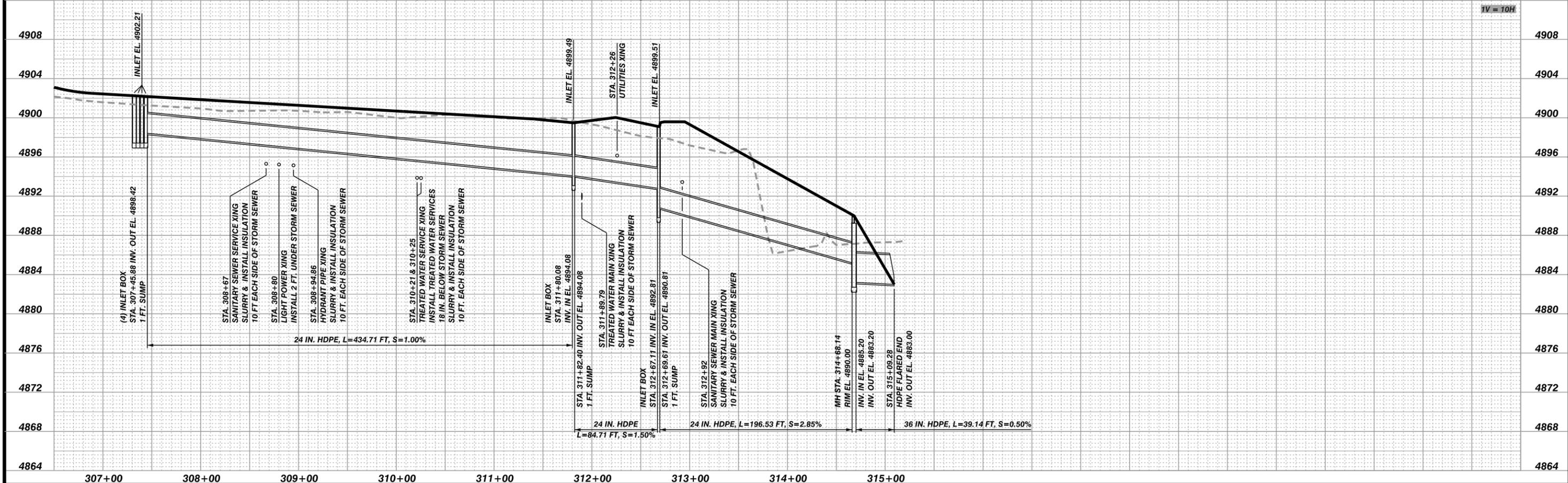
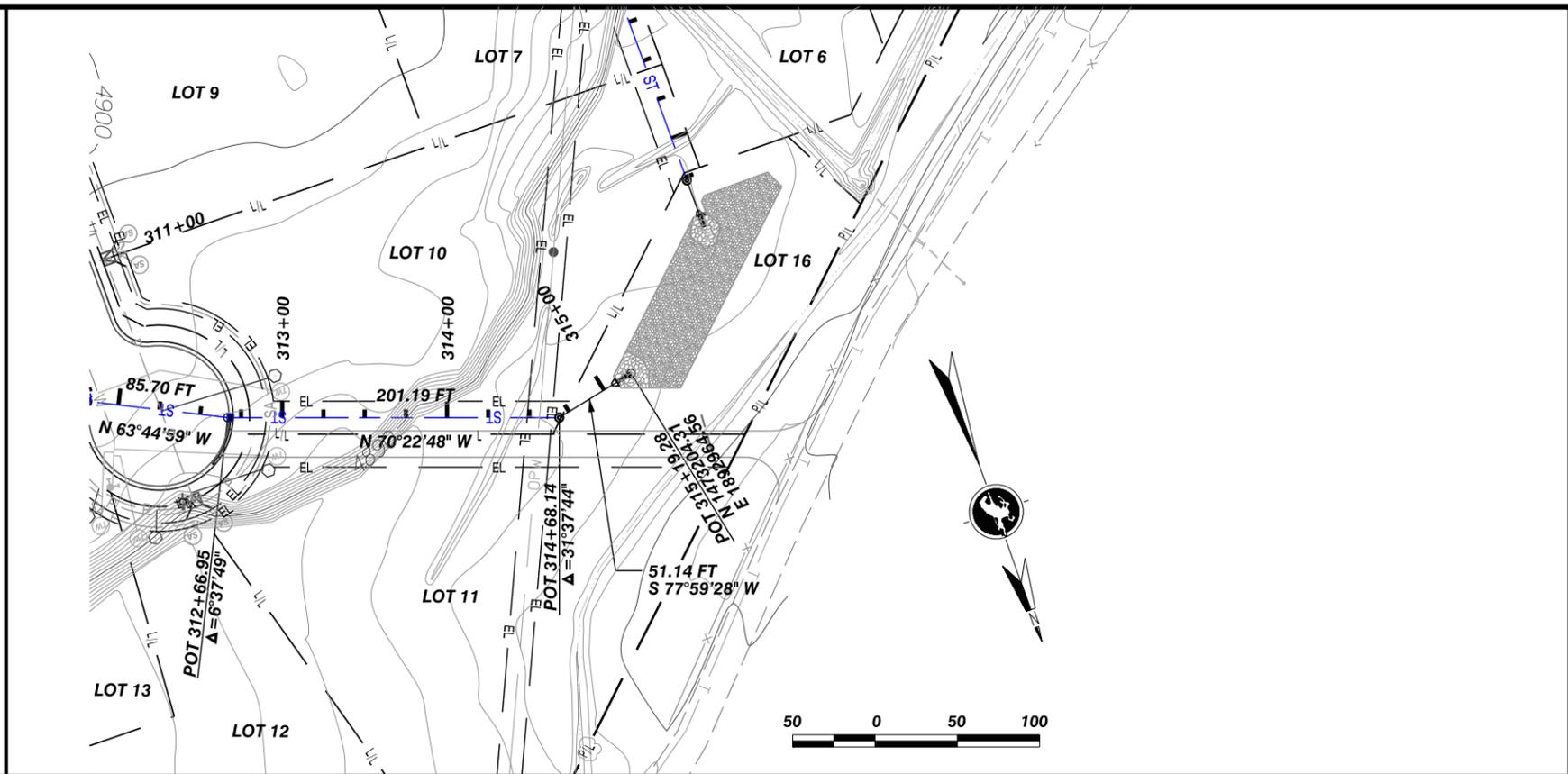
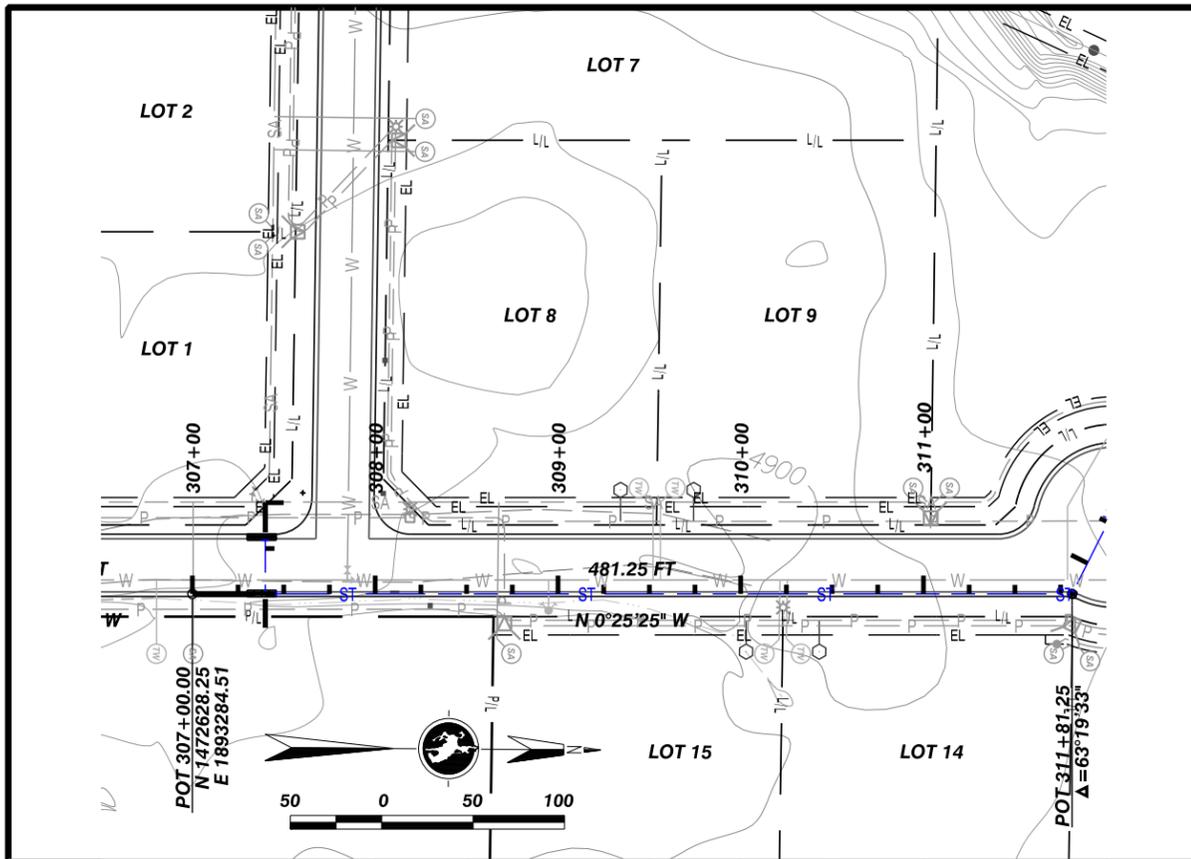
SERVICE LATERAL
NTS

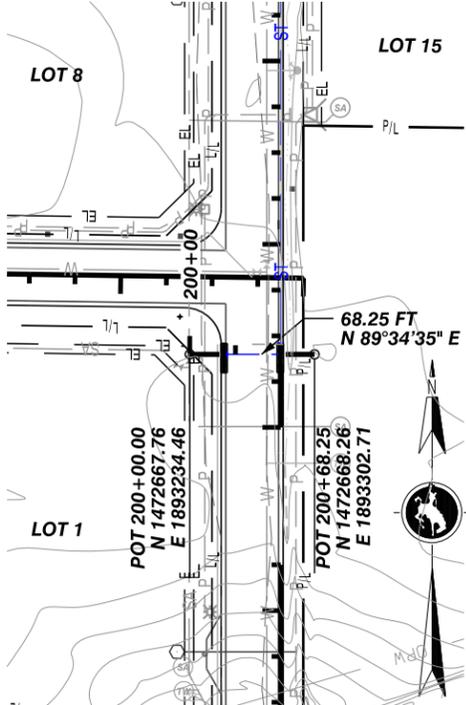


FLUSHING CONNECTION - PLAN
NTS

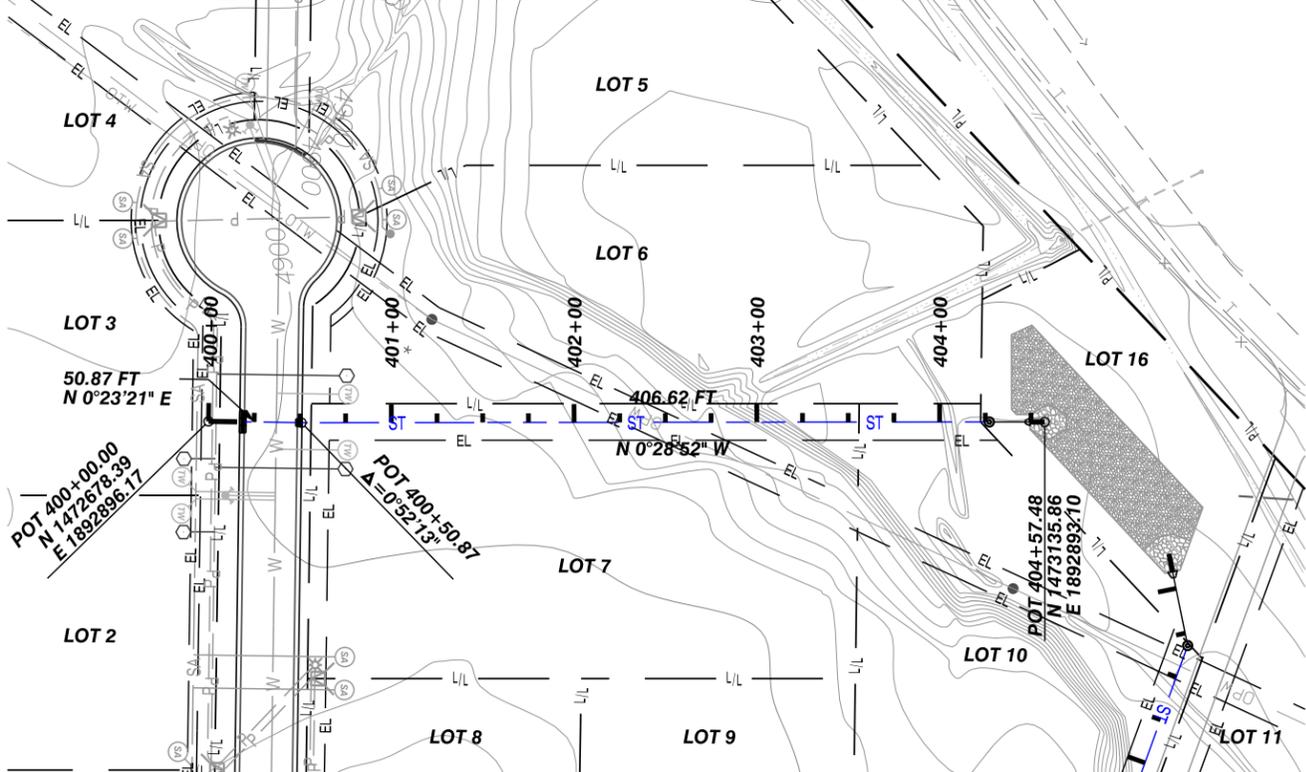


FLUSHING CONNECTION - SECTION A-A
NTS

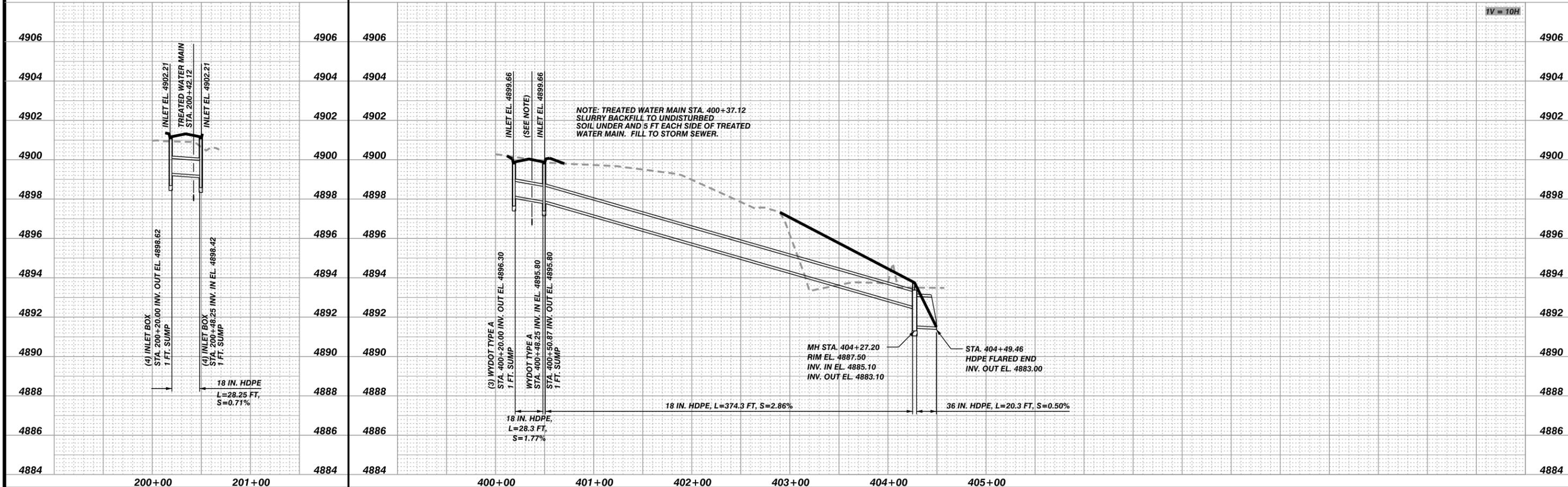
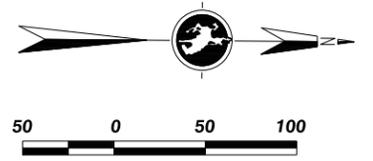


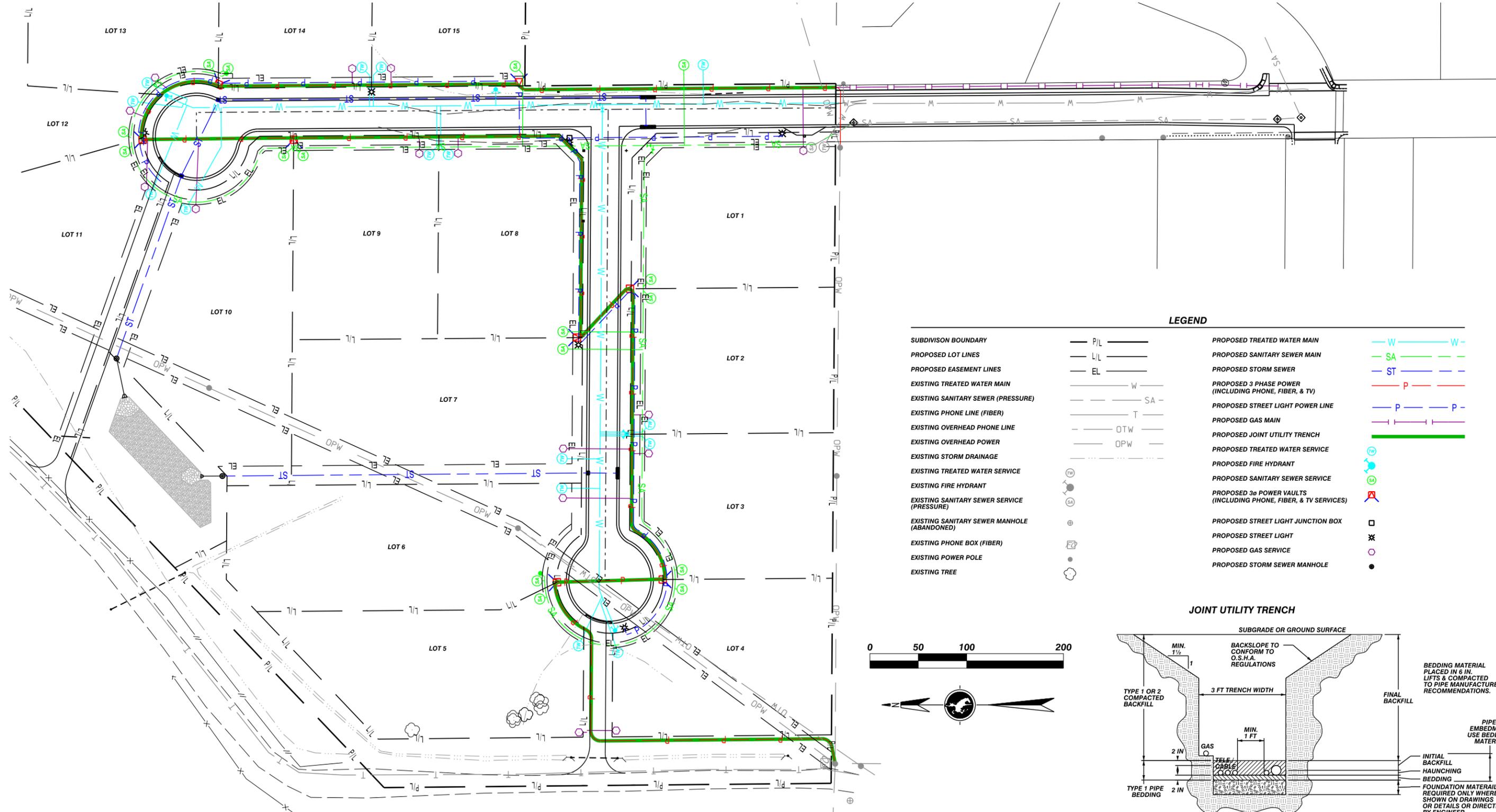


STORM SEWER 1



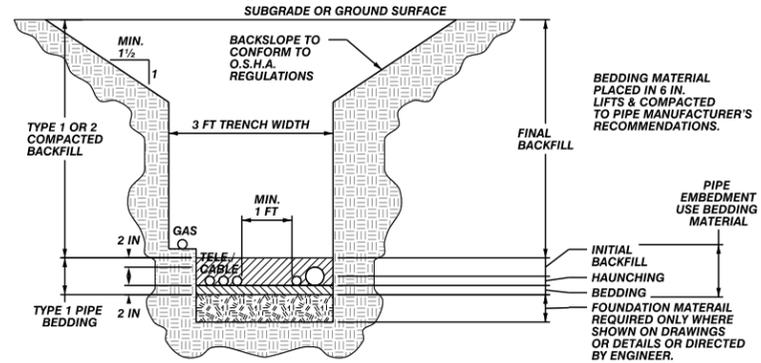
STORM SEWER 3





LEGEND			
SUBDIVISION BOUNDARY	P/L	PROPOSED TREATED WATER MAIN	W
PROPOSED LOT LINES	L/L	PROPOSED SANITARY SEWER MAIN	SA
PROPOSED EASEMENT LINES	EL	PROPOSED STORM SEWER	ST
EXISTING TREATED WATER MAIN	W	PROPOSED 3 PHASE POWER (INCLUDING PHONE, FIBER, & TV)	P
EXISTING SANITARY SEWER (PRESSURE)	SA	PROPOSED STREET LIGHT POWER LINE	P
EXISTING PHONE LINE (FIBER)	T	PROPOSED GAS MAIN	G
EXISTING OVERHEAD PHONE LINE	OTW	PROPOSED JOINT UTILITY TRENCH	JUT
EXISTING OVERHEAD POWER	OPW	PROPOSED TREATED WATER SERVICE	TS
EXISTING STORM DRAINAGE	ST	PROPOSED FIRE HYDRANT	FH
EXISTING TREATED WATER SERVICE	TS	PROPOSED SANITARY SEWER SERVICE	SS
EXISTING FIRE HYDRANT	FH	PROPOSED 3" POWER VAULTS (INCLUDING PHONE, FIBER, & TV SERVICES)	3"PV
EXISTING SANITARY SEWER SERVICE (PRESSURE)	SS	PROPOSED STREET LIGHT JUNCTION BOX	SLJB
EXISTING SANITARY SEWER MANHOLE (ABANDONED)	SM	PROPOSED STREET LIGHT	SL
EXISTING PHONE BOX (FIBER)	PB	PROPOSED GAS SERVICE	GS
EXISTING POWER POLE	PP	PROPOSED STORM SEWER MANHOLE	SMH
EXISTING TREE	T		

JOINT UTILITY TRENCH



DATE 8-3-11

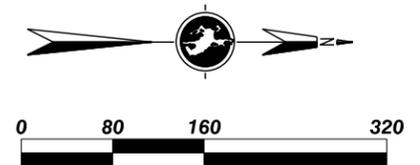
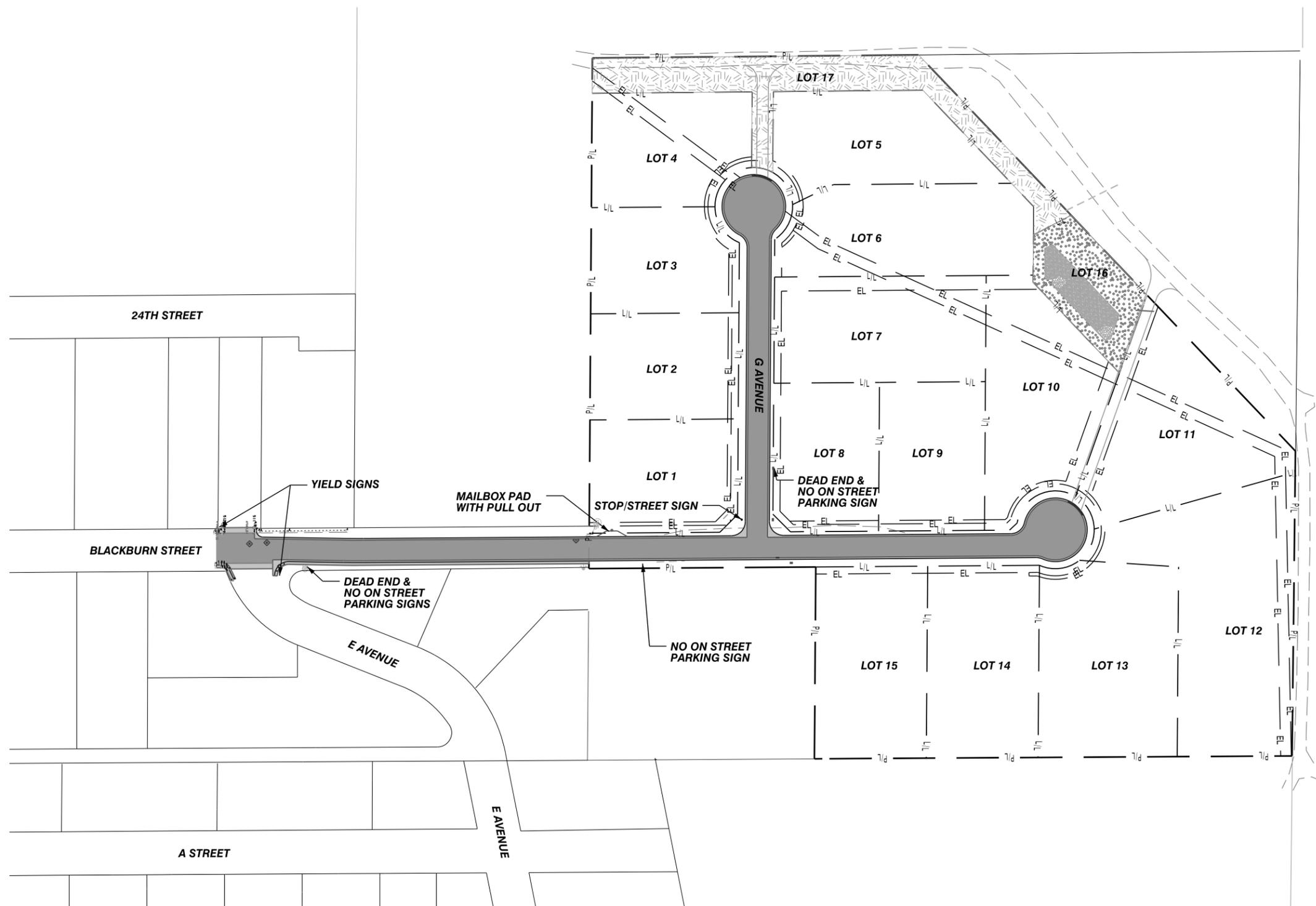
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CHECKED BY -
FILE NO. 2011-08

UTILITY PLAN

BLACKBURN P.U.D.
OWNER: ED HIGBIE



2824 BIG HORN AVE
CODY, WY 82414
PHONE: (307) 527-0915 FAX: (307) 527-0916



DATE 8-3-11

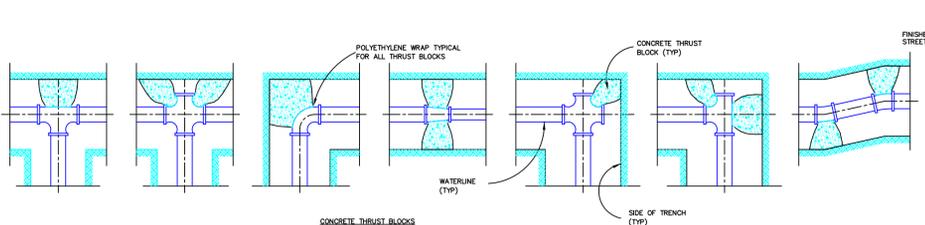
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 FILE NO. 2011-08

SIGNAGE PLAN

BLACKBURN P.U.D.
OWNER: ED HIGBIE

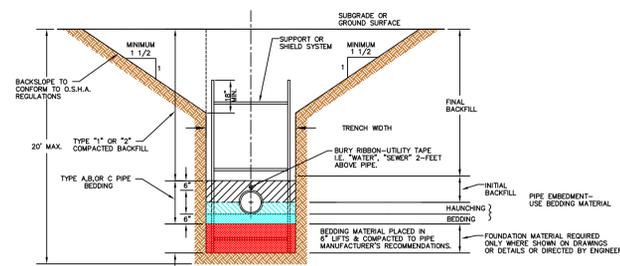


2824 BIG HORN AVE
 CODY, WY 82414
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FITTING SIZE	TEES & FLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-3"	1'-3"	1'-4"	1'-4"	1'-4"	1'-4"	1'-3"	1'-3"	1'-3"	1'-3"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	1'-6"	1'-6"	1'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-6"	1'-6"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-10"	3'-6"	2'-9"	2'-5"	1'-11"	1'-8"
12"	4'-0"	3'-10"	4'-8"	4'-6"	3'-8"	3'-3"	2'-7"	2'-3"	1'-10"	1'-6"
14"	5'-5"	3'-10"	6'-4"	4'-11"	4'-9"	3'-5"	2'-5"	2'-0"	1'-6"	1'-6"
20"	8'-0"	5'-0"	8'-0"	6'-0"	6'-0"	4'-0"	3'-0"	3'-0"	2'-0"	2'-0"
24"	8'-0"	6'-0"	7'-5"	6'-0"	6'-0"	4'-0"	3'-0"	3'-0"	2'-0"	2'-0"
30"	7'-8"	7'-8"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"	3'-3"

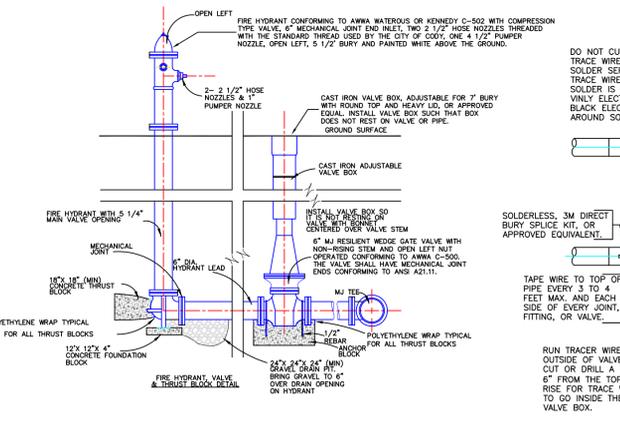
NOTES:
 1. FITTINGS TO BE SEPARATED FROM BLOCKS WITH AN APPROVED BOND BREAKER, SUCH AS POLY WRAP.
 2. ALL BLOCKS TO BEAR AGAINST UNDISTURBED MATERIAL.
 3. DESIGN IS BASED ON 150 PSF MAIN PIPE PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.



PIPE BEDDING
 TYPE A - WELL GRADED MATERIAL WITH A MAXIMUM SIZE OF 3/4-INCH MAXIMUM PLASTICITY INDEX OF 6, AS DETERMINED BY ASTM D 2922.
 TYPE B - NON-PLASTIC GRADED SAND GRAVEL.
 TYPE C - NON-PLASTIC MAXIMUM SIZE 1 INCH; 0-5% PASSING NO. 4 SEIVE.

TYPICAL TRENCH DETAIL
 IF SUPPORT OR SHIELD SYSTEM IS NOT USED, MAXIMUM ALLOWABLE SLOPE FOR ALL TRENCHES LESS THAN 20 FT. DEEP WILL BE 1:1. ALL COMPLI WITH APPLICABLE SAFETY REQUIREMENTS.

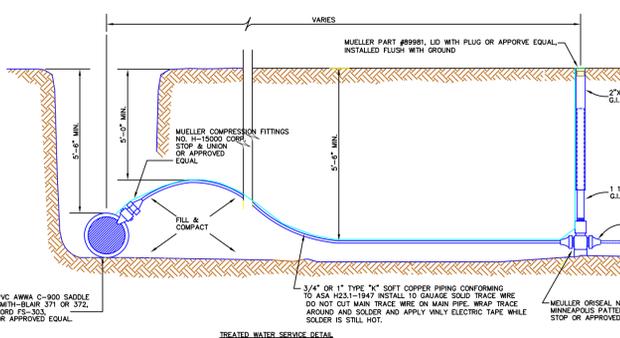
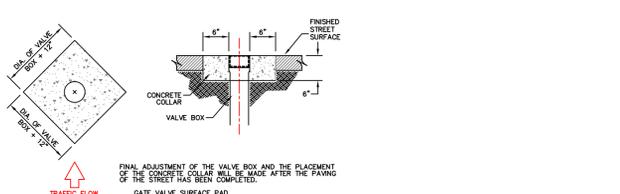
COMPACTED BACKFILL
 TYPE 1 - PLASTIC MATERIALS, TWO LIFTS.
 TYPE 2 - NATIVE MATERIALS, THREE LIFTS.
 TYPE 3 - NATIVE MATERIALS, ONE LIFT.



CLEANOUT DETAILS
 N.T.S.

DO NOT CUT ON MAIN TRACE WIRE. WRAP AND SOLDER SERVICE TO MAIN TRACE WIRE. WHILE SOLDER IS HOT, WRAP VINYL ELECTRIC TAPE AND BLACK ELECTRIC TAPE AROUND SOLDER AREA.

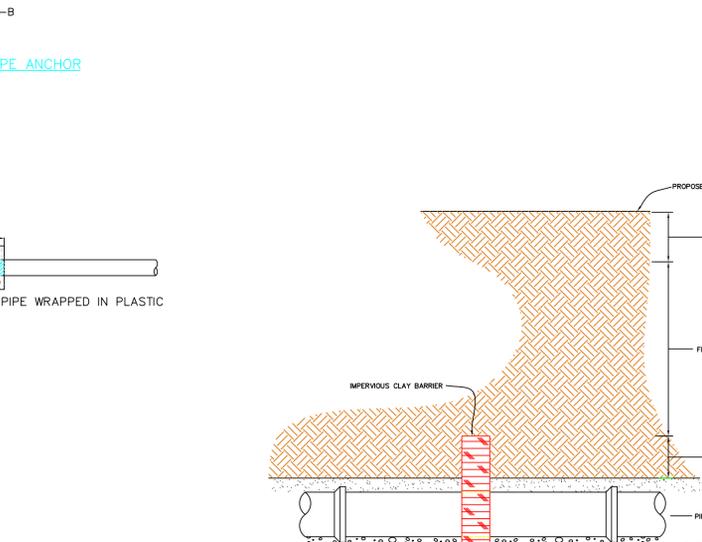
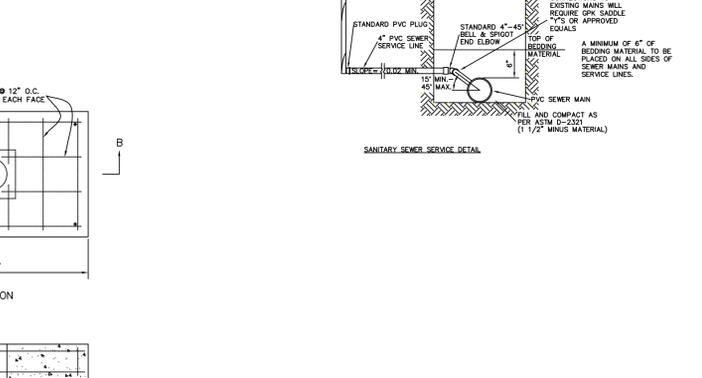
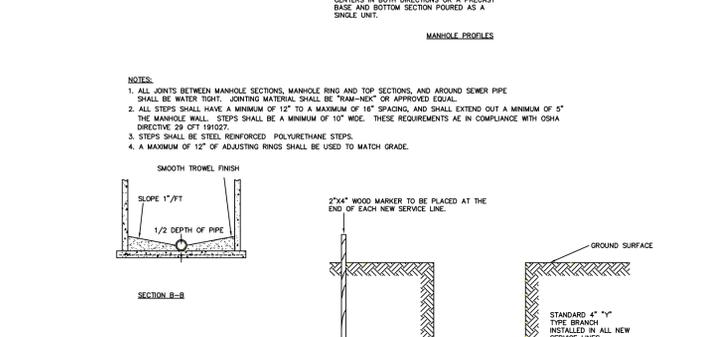
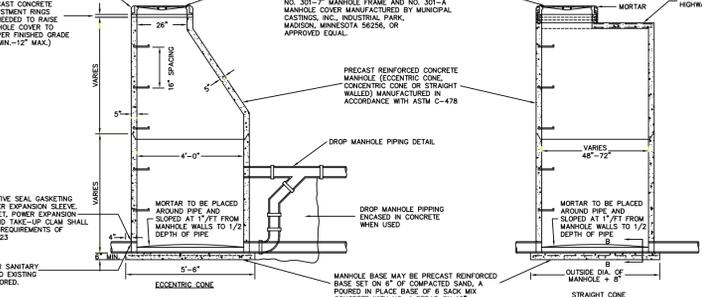
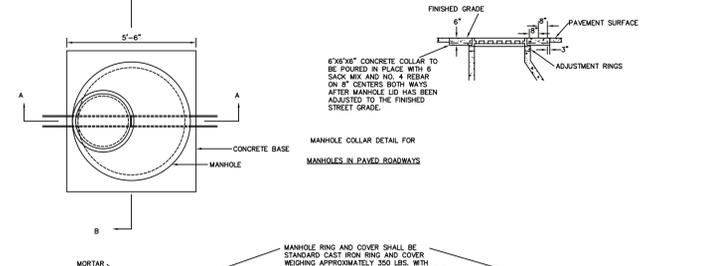
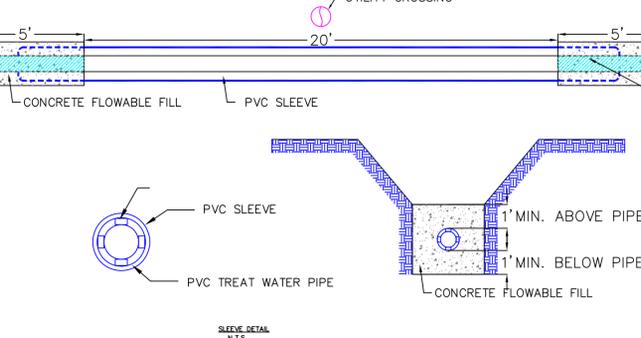
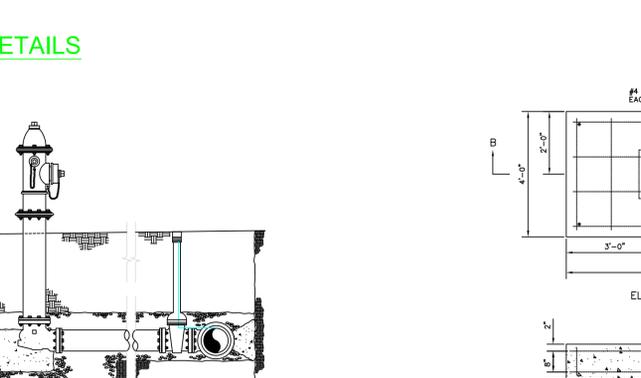
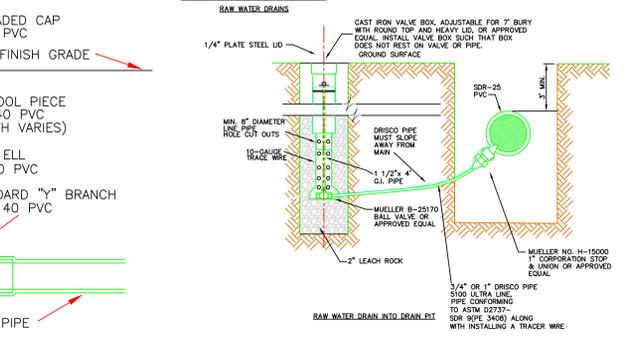
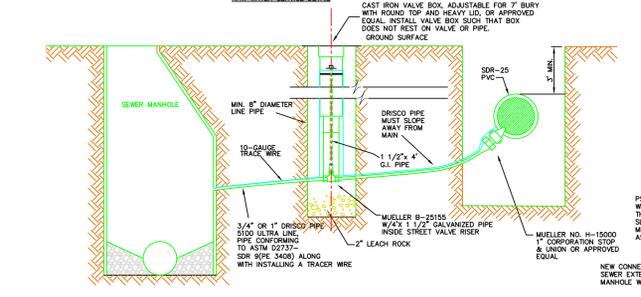
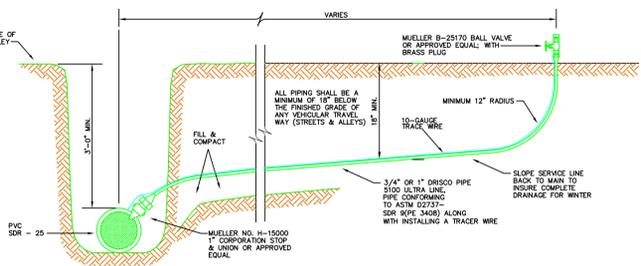
RUN TRACER WIRE OUTSIDE OF VALVE BOX. CUT OR DRILL A HOLE 6" FROM THE TOP OF RISE FOR TRACER WIRE TO GO INSIDE THE VALVE BOX.



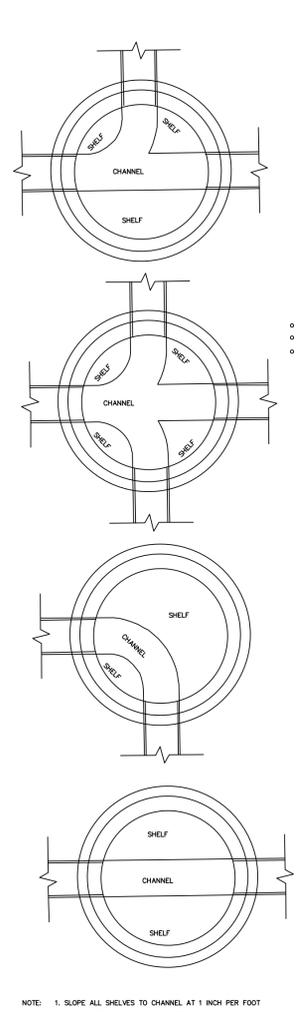
UTILITY CROSSING
 NOTE: 10' MIN. SLEEVEING MUST OCCUR ON EACH SIDE OF CROSSING.

TRACER WIRE DETAIL
 N.T.S.

SECTION A-A
 SECTION B-B



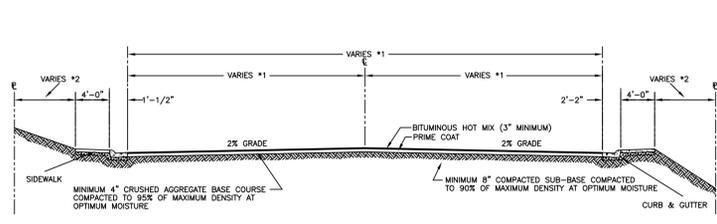
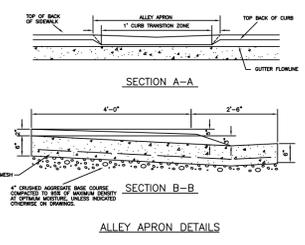
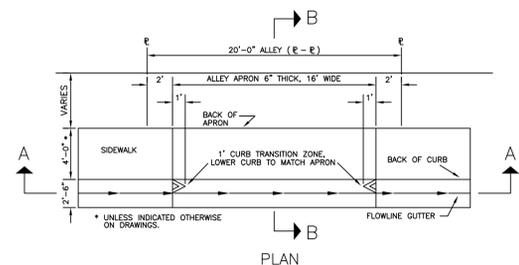
- MATERIAL SPECIFICATIONS**
- SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE BELL AND SPIGOT PIPE CONFORMING TO THE FOLLOWING:
 - PVC PIPE SHALL CONFORM TO CELL CLASSIFICATION 12454-B AS GIVEN IN ASTM D 1784.
 - DIMENSIONS OF THE PIPE AND FITTINGS SHALL CONFORM TO ASTM D 3034 OR ASTM F 679 FOR SIZES OVER 18\".
 - JOINTS IN ALL PVC SEWER PIPE SHALL BE WATER TIGHT WITH BELL AND SPIGOT ENDS WITH RUBBER O-RING GASKETS.
 - STANDARD PVC 7\" pipe BRANCHES WILL BE REQUIRED FOR ALL SERVICES ON A NEW MANHOLE.
 - PIPE FOR TREATED AND RAW WATER MAINS SHALL BE AWWA C-900 PVC CLASS 150 OR 200 BASED ON WATER MODELING.
 - FITTING FOR TREATED AND RAW WATER MAINS SHALL BE AS APPROVED BY THE CITY ENGINEER AND CONFORMS WITH THE WYOMING PUBLIC WORKS STANDARDS.
 - GATE VALVES SHALL CONFORM TO AWWA C500. VALVES SHALL BE RESILIENT WEDGE GATE VALVES WITH NON-RISING STEM, OPEN LEFT AND NOT OPERATED. THE VALVES SHALL HAVE MECHANICAL JOINT ENDS CONFORMING TO ANSI A21.11.
 - ALL WORK ASSOCIATED WITH THESE DETAILS SHALL CONFORM TO THE WYOMING PUBLIC WORKS SPECIFICATIONS.



CALL 1-800-849-2476
 48 HOURS BEFORE YOU DIG

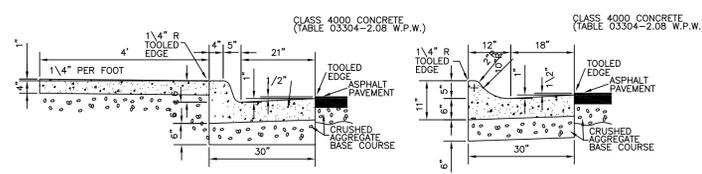
DRAWN BY: ULD
 CHECKED BY: SMP
 JOB NAME: CITY OF CODY WATER AND SEWER DETAILS
 FILE NAME: H:\PUBLIC WORK\ENGINEERING\AUTOCAD UTILITIES\DETAILS
 DATE: MARCH 13, 2009

NO.	DATE	BY	REVISION
1	5/2/07	ULD	ISSUED FOR PERMITS
2	5/15/07	ULD	ADDED MANHOLE LID DETAIL
3	5/15/07	ULD	ADDED MANHOLE COLLAR DETAIL
4	5/15/07	ULD	ADDED CLEANOUT DETAIL
5	5/22/07	ULD	CHANGED CLEANOUT DETAIL TO SHOW 1\"/>
6	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
7	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
8	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
9	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
10	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
11	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
12	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
13	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
14	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
15	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
16	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
17	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
18	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
19	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE
20	5/22/07	ULD	ADDED THE RAW WATER SERVICE PIPE TYPE



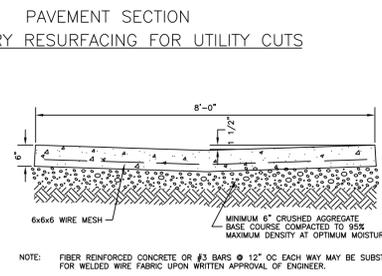
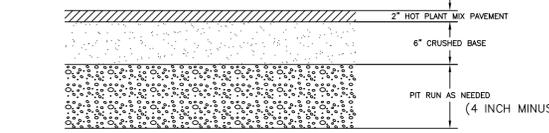
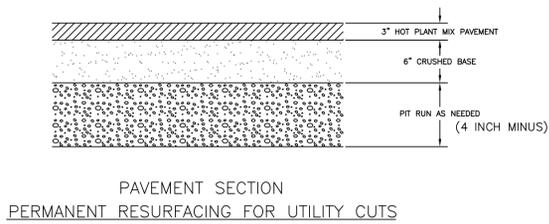
- *1 STREET WIDTH VARIES ACCORDING TO STREET CLASSIFICATION, SEE CITY OF CODY MASTER STREET PLAN.
- *2 DISTANCE FROM PROPERTY LINE (E) TO BACK OF SIDEWALK VARIES DEPENDING UPON THE WIDTH OF THE AVAILABLE RIGHT-OF-WAY AND THE STREET CLASSIFICATION, SEE CITY OF CODY MASTER STREET PLAN.

SPECIAL NOTE
THE ABOVE SHOWN TYPICAL STREET SECTIONS ARE TO BE CONSIDERED MINIMUM STANDARDS. ALL STREETS WILL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING DESIGN PROCEDURES WITH SAID DESIGN BEING APPROVED BY THE CITY ENGINEER.



- NOTE 1: SUBGRADE COMPACTION SHALL CONFORM TO 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02231
- NOTE 2: 1/2\"/>

*CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING, A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.



NOTE: FIBER REINFORCED CONCRETE OR #3 BARS @ 12\"/>

CODY MATERIAL SPECIFICATIONS

- ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO 180.
 - THE MATERIAL PREPARED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGH LIMIT ON ONE SIEVE TO THE LOW LIMIT ON AN ADJACENT SIEVE OR VICE VERSA.
 - THE PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE.
 - THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0 (ZERO), THE LIQUID LIMIT SHALL NOT EXCEED 30.
 - ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27, T-111:

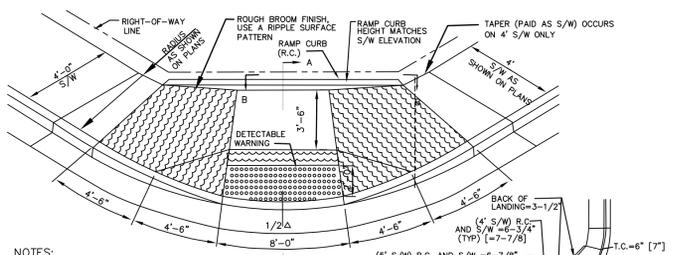
SIEVE	% PASSING
1	100
3/4"	90-100
1/2"	60-85
No. 4	45-65
No. 8	35-55
No. 200	3-12
- AGGREGATE FOR HOT PLANT PAVEMENT MIX - IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS-LATEST EDITION.
 - FOR COMPACTED THICKNESSES 3\"/>
- PRIMER: A CUT-BACK LIQUID ASPHALT OF THE MEDIUM CURING TYPE, GRADE C-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027. BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY.
- TACK COAT: A CATIONIC SLOW SET EMULSIFIED ASPHALT MIXED WITH A N EQUAL AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D244. OTHER GRADES OF EMULSIFIED ASPHALT WILL BE CONSIDERED TESTING OR EXPERIENCE THAT ANOTHER GRADE IS MORE SUITABLE.
- MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF A1 MS-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK.
 - MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

STABILITY (LB. MINIMUM)	1200
0.01\"/>	
 - PERCENT AIR VIDS (9)
 - VOIDS IN MINERAL AGGREGATE (% MINIMUM)
- CONCRETE SPECIFICATIONS
 - CEMENT SHALL BE PORTLAND CEMENT, TYPE II CONFORMING TO THE REQUIREMENTS OF ASTM C-150 (IF SPECIAL CONDITIONS WARRANT IT, THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE CITY ENGINEER).
 - AGGREGATE GENERAL - GRAVEL, CRUSHED SLAG, CRUSHED STONE, OR OTHER INERT MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF INJURIOUS COATINGS.
 - FINE AGGREGATE
 - THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

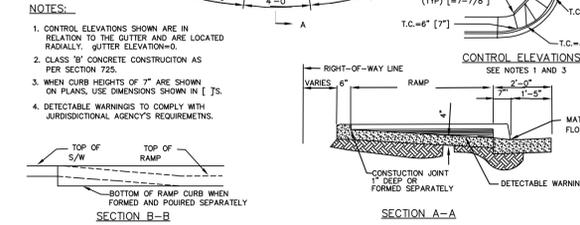
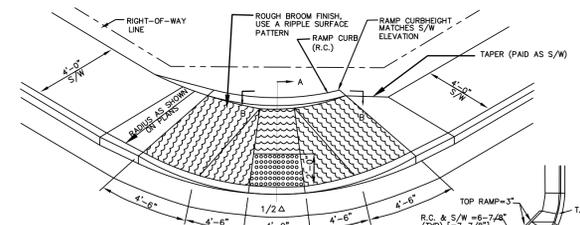
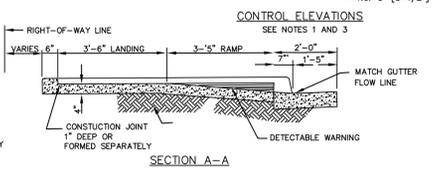
COAL AND LIGNITE	3%
CLAY LUMPS	5%
OTHER DELETERIOUS SUBSTANCES	2.0%
 - WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES RATTLER METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%.
 - THE FINE AGGREGATE SHALL BE FREE FROM INJURIOUS AMOUNTS OF ORGANIC IMPURITIES.
 - COARSE AGGREGATE
 - THE MAXIMUM PERCENTAGES OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

SOFT FRAGMENTS	1%
COAL AND LIGNITE	0.3%
CLAY LUMPS	0.3%
OTHER DELETERIOUS SUBSTANCES	2.0%
 - THE COARSE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

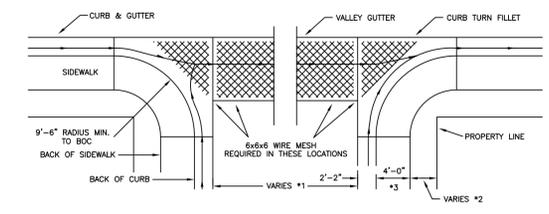
SIEVE	% PASSING
3/8"	100
No. 4	95-100
No. 10	45-80
No. 20	10-30
No. 40	0-10
No. 80	0-5
No. 200	0-4
- AD Mixtures and air-entraining agents shall be approved by the engineer as recommended within the required mix design as prepared by a qualified testing laboratory.
- ALL CONCRETE PLACED SHALL HAVE A SLUMP OF BETWEEN 1\"/>



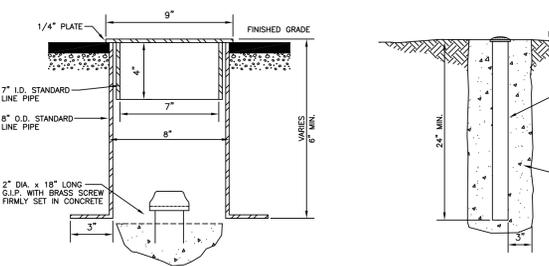
- NOTES:
- CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
- CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
- WHEN CURB HEIGHTS OF 3\"/>



- NOTES:
- CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
- CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
- WHEN CURB HEIGHTS OF 3\"/>



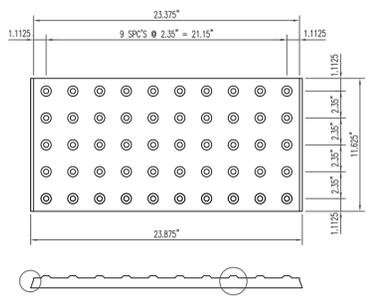
TYPICAL STREET CORNER DETAIL: CURB TURN FILLET, SIDEWALK & VALLEY GUTTER



SURVEY CONTROL MONUMENT WITH BOX STANDARD BRASSCAP

GENERAL NOTES

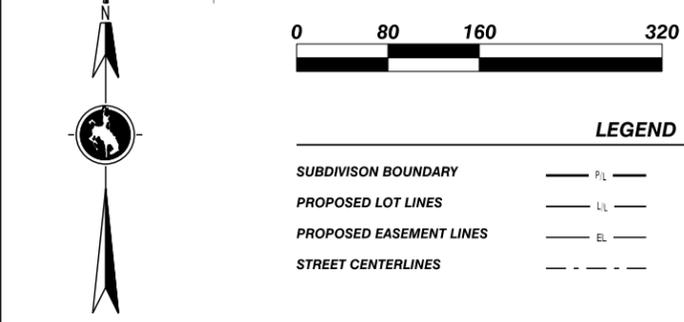
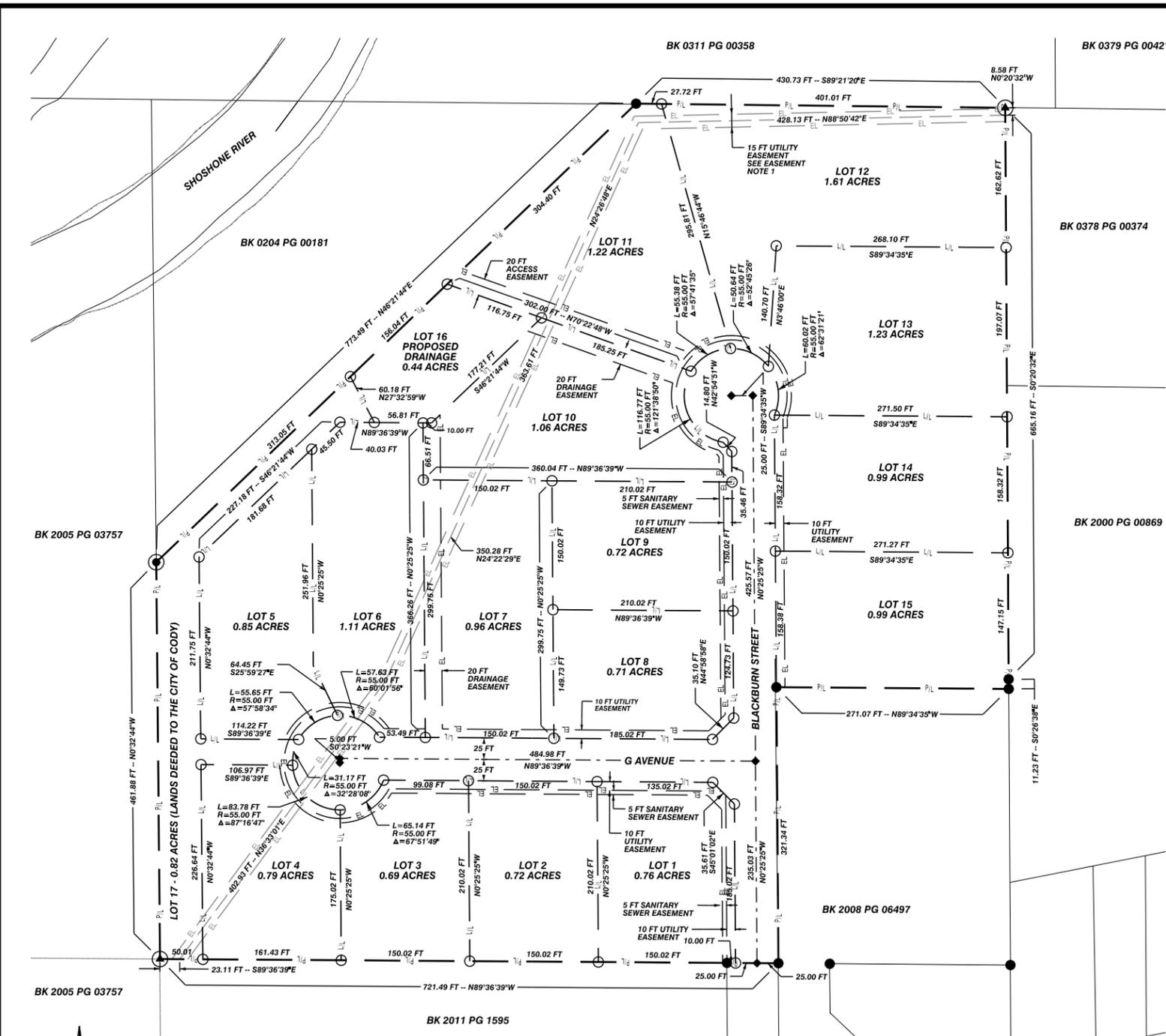
- PLACE TRUNCATED DOME DETECTABLE WARNING PANELS AT THE BASE OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP A MINIMUM 610mm (24") IN DEPTH AND SET BACK 200mm (8") FROM BOTTOM OF CURB.
- SIDEWALK CURB RAMP SLOPES SHOWN ARE RELATIVE TO THE TRUE LEVEL HORIZON (ZERO BUBBLE).
- IN ALTERATIONS CURB RAMP SLOPE(S) MAY BE 10% FOR A MAXIMUM RISE OF 150mm (6") OR 12.5% FOR MAXIMUM RISE OF 75mm (3"). CURB RAMP, IN ALTERATIONS, NEED NOT EXCEED 1.8m (6'-0") IN LENGTH.
- SIDE FLARES THAT ARE NOT PART OF THE PATH OF TRAVEL MAY BE ANY SLOPE.
- FOR THE PURPOSES OF THIS DRAWING, A CURB RAMP IS CONSIDERED "PERPENDICULAR" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 75 DEGREES OR GREATER.
- TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
- SIDEWALK FLARE IN NOT NECESSARY WHERE THE RAMP IS PROTECTED FROM PEDESTRIAN CROSS-TRAVEL.
- THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL.
- IN FREEZE THAW ZONES, LEAVE 3/16" GAP IN BETWEEN PANELS AND SEAL WITH SIKAFLEX 1A SEALANT.



CALL 1-800-849-2476
48 HOURS BEFORE YOU DIG
CITY OF CODY WYOMING

STANDARD STREET DETAIL SHEET
DRAWN BY: ULD
CHECKED BY: SWP
JOB NAME: STREET STANDARD DETAIL 2-10-2004
FILE NAME: H:\PUBLICWORKS\ENGINEERING\AUTOCAD\DETAILS
DATE: 3/30/2006
REVISION

1	CHANGE CURB WIDTH	6/14/08	UJC
2	CHANGE GRADATIONS	9/15/08	UJC
3	TYPED CORRECTIONS	10/29/08	UJC
4	TYPED CORRECTIONS	11/27/08	UJC
5	ADDED CURB DIMENSION	1/7/09	UJC
6	ADDED CURB DIMENSION	6/15/09	UJC
7	TYPED CORRECTIONS	8/28/09	UJC
8	ADDED CURB DIMENSIONS	6/27/09	UJC
9	ADDED CURB DIMENSIONS	6/27/09	UJC
10	REVISED HANDICAP RAMPS	6/27/09	UJC
11	MADE REVISION TO SPECIFICATIONS	7/25/07	UJC
12	REVISION		



LEGEND	
SUBDIVISION BOUNDARY	— PL —
PROPOSED LOT LINES	— LL —
PROPOSED EASEMENT LINES	— EL —
STREET CENTERLINES	— — — —
SET ALUMINUM CAP	○
SET STREET MONUMENT	◆
FOUND BRASS CAP	▲
FOUND ALUMINUM CAP	●
FOUND REBAR	⊙

EASEMENT NOTES

1. Utility easement in favor of Rocky Mountain Power for maintenance of overhead powerline. Easement will be relinquished at time when overhead powerline is relocated.

CERTIFICATE OF DEDICATION

STATE OF WYOMING)
 COUNTY OF PARK) SS

Know all persons by these presents: That the foregoing subdivision of; a parcel of land located within Lot 15, Fair Acres West Subdivision, Resurvey Township 53 North, Range 101 West, 6th P.M., Cody, Wyoming, according to the records of the County Clerk and Recorder of Park County, State of Wyoming, said parcel being more particularly described as follows:

Beginning at an existing brass cap located at the southwest corner of Lot 15, said Fair Acres West Subdivision; thence N. 0°32'44" W. for a distance of 461.88 feet to an existing rebar; thence N. 46°21'44" E. for a distance of 773.49 feet; thence S. 89°21'20" E. for a distance of 430.73 feet to the northeast corner; thence S. 0°20'32" E. for a distance of 665.16 feet; thence S. 0°26'38" E. for a distance of 11.23 feet; thence N. 89°34'35" W. for a distance of 271.07 feet; thence S. 0°25'25" E. for a distance of 321.34 feet; thence N. 89°36'39" W. for a distance of 721.49 feet to the POINT OF BEGINNING.

as appears on this plat, is with the free consent, and in accordance with the desires of the undersigned owners and proprietors.

We the undersigned, all heirs and/or assigns are proponents for participating in the subdivision of the above described property; and by these presents do hereby dedicate and set apart the easements and common area, with the purpose so noted herein for the use by the members of the Blackburn P.U.D. Lot Owners Association.

We, the undersigned, all heirs and/or assigns are proponents for participating in the subdivision of the above described property; and by these presents do hereby dedicate and set apart Blackburn Street and G Avenue as a private access and utility easement and a city utility easement, and the areas designated as general common easement and limited common easement as private utility easements. In perpetuity for the use of the members of the Blackburn P.U.D. Lot Owners Association. The streets shall be considered a private streets with an easement granted to the City of Cody for the maintenance and operation of city facilities.

Edwin Higbie _____
 Carol Higbie _____

The foregoing certificate was acknowledged before me by Edwin Higbie and Carol Higbie on this day of _____, 2011. Witness my hand and official seal.

Notary Public _____
 My commission expires: _____

APPROVALS

STATE OF WYOMING)
 COUNTY OF PARK) SS

City Planning and Zoning Board

Recommended for approval this day of _____, 2011 by the City Planning and Zoning Board of Cody, Wyoming.

By Chairman _____

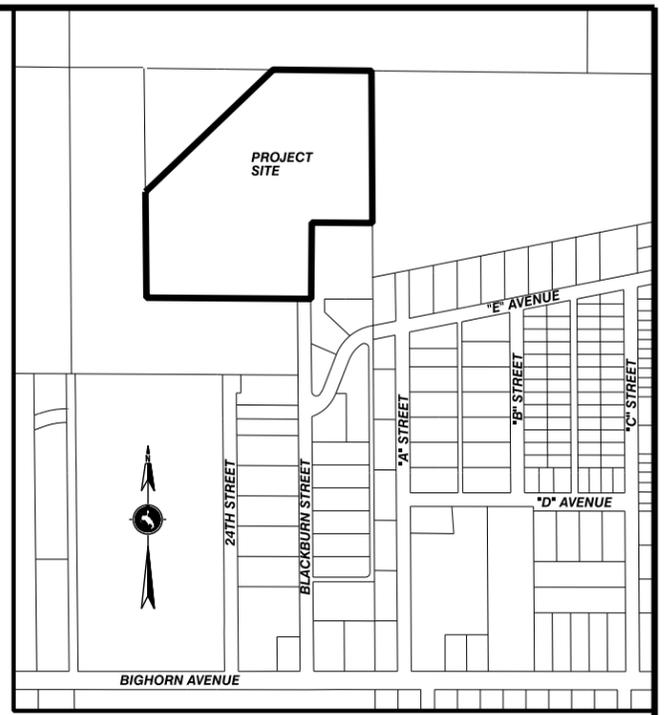
Approved this day _____, 2011 by the City Council of Cody, Wyoming.

By Mayor _____

Attested by Administrative Services Officer _____

NOTES

- Bearing base for this survey is Geodetic NAD 83/West Central Zone.
- Bench Mark = Brass Cap Southwest corner of Subdivision and center of West Rocky Road. Elevation = 4916.08 feet (City of Cody Datum)
- All lots to be light industrial/commercial.
- Adjacent Zoning is D-3 and no zone.
- Corners to be set after construction is complete.
- Reference Utility, Site, Landscape, Drainage and contract documents for additional information.
- All survey work was completed to an accuracy of 1:15,000.
- A right to drain is hereby granted to the City of Cody for the purpose of disposal of storm water from the streets in the percolation areas located in Lot 16. Percolation area shall be operated and maintained by the Blackburn P.U.D. Lot Owners Association.
- Drainage plan to be addressed on the site plan application process for the individual lots.
- All commercial development shall go through the Planning & Zoning Review process and must provide to the City of Cody a drainage, irrigation, landscape, and off-street parking plans.
- No structures or fences shall be placed within a utility or drainage easement as per city ordinance.
- Sanitary sewer systems to be operated and maintained by Blackburn P.U.D. Lot Owners Association.
- Sanitary sewer easement is in favor of the lot owners.
- Sanitation containers will be required to be placed on the streets and placed on the east side of Blackburn Street and on the north side of G Avenue.
- No on street parking.



VICINITY MAP

CERTIFICATE OF SURVEYOR

STATE OF WYOMING)
 COUNTY OF PARK) SS

I, Paul R. Campbell of Cody, Wyoming hereby certify that this map is based upon field and record data and that it is a final plat of the Blackburn P.U.D. located in Resurvey T.53N., R.101W., Park County, Wyo., 6th P.M.

PAUL R. CAMPBELL
 WYOMING REGISTRATION NO. 2571 L.S.

COUNTY CLERK'S CERTIFICATE

This Plat was filed for the public record in the office of the Clerk, Park County, Wyoming, at _____ O'Clock _____ M. on the _____ day of _____, 2011, and is duly recorded in Book _____, Page Number _____.

 Park County Clerk

By: _____ Deputy

NOVEMBER 2011

DEVELOPER
 ED HIGBIE
 1143 SHERIDAN AVENUE
 CODY, WY 82414

ENGINEER/SURVEYOR
 SAGE CIVIL ENGINEERING
 2824 BIG HORN AVENUE
 CODY, WY 82414

FINAL PLAT
 OF
BLACKBURN P.U.D.
 WITHIN
TRACT 40
 Resurvey T.53N., R.101W. 6th P.M.
 City of Cody, Park County, Wyoming



PLANNING, ZONING AND ADJUSTMENT BOARD
SIGN PLAN REVIEW APPLICATION

STAFF USE
File: 56-N 11-46
P&Z Invoice: 302-2
Approved:
Date:

Applicant's Name: Arleigh Nelson Business Name: Harvest Church
Applicant's Address: 1523 Straw St. City: Cody State: WY Zip: 82414
Phone: 578994401 Cell: Fax: Email: arleigh@harvestweb.net
Property Owner's Name: Bill Theilman
Property Owner's Address: City: Cody State: WY Zip: 82414
Project Address: 1910 Demaris Legal Description: Zone: D3
Total current area of Signage in Square Feet: Flag = Proposed Area of Signage in Square Feet: Flag = 125 sq.

- Overall Area of Signage in Square Feet: Licensed Contractor or Sign Installer:
Type of Sign: Attached Wall, Freestanding, Marquee, Projecting, Awning, Suspended, Banner, Inflatable, Flag, Monument, Bulletin, Real Estate, Joint Directory, Billboard, Other -Please describe

Description of Proposal:

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two (2) drawings containing plans and specifications which indicate the method of construction and anchoring to the building or ground; the total area of the proposed sign in square feet; the height of the proposed advertising structure from ground level.
***In many cases two (2) color renderings of all existing & proposed signs with dimensions and a detailed written description of proposed construction materials and installation procedures will suffice.
A site plan which identifies:
The location of all exterior signs existing or proposed for the premise.
Building elevations with signs depicted.
Sign Elevations must indicate overall and letter/figure dimensions
Colors, materials and illumination for each sign
Letter of authorization from the property owner if applicable.
Billboard applications must also include:
Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
Bond suitable in value to cover the removal of all portions of the sign and the support structure at the end of the lease.
Inflatable applications must also include:
Design and construction details to demonstrate compliance with City wind load requirements
How the electricity will be supplied to the inflatable
Demonstrate that the anchoring mechanisms will not present a danger to the public
Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
Altitude Total Aggregated Square Footage

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10, Chapter 15 of the city code. Applicants are encouraged to arrange a pre-submittal meeting to ensure a complete submittal. Re-submittal of any application will result in additional fees.

Please Select the Appropriate Sign Type:

- Off Premise, Temporary A-Frame Sign Plans: No Fee
Flush, Wall Mount without Electricity Sign Plans: \$25.00
Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans: \$50.00

Following approval of the sign or advertising advice by the Planning & Zoning Department a Building Permit must be obtained from the Building Department prior to installation.

- Building Permit Application -Fee based on the valuation of the sign. Refer to the 1997 Uniform Building Code Fee Chart

Refer to Title 10 Chapter 15 of the Municipal Code for more information on sign regulations.

Bill Theilman



1910 Demaris • Cody, Wyoming 82414 • Phone: 307-272-2878 •

Date: 10/21/11

City of Cody

Sign Authorization

To Whom It May Concern:

I authorize Harvest Church to place their flag stands on my property at 1910 Demaris Road, at their discretion upon approval of the sign application process.

If I can provide you with any other necessary information please don't hesitate to give me a call.

Sincerely,

Bill Theilman

Proposed Temporary Signage:

Lot 9A:
Quantity: (2)
Mark: T-12
T-13

Size: T-12 = 16' x 4'
T-13 = 16' x 4'

Square Footage: T-12 = 64
T-13 = 64

Total Proposed: 128 S.F.
Total existing: 136 S.F.

Exterior Flag Signage

Signage Specs:
Site Plan Label: T-12, T-13
Size: 16'Hx4'W
Square Footage: 64 sq. ft. per sign
Total square footage: 128 sq. ft.

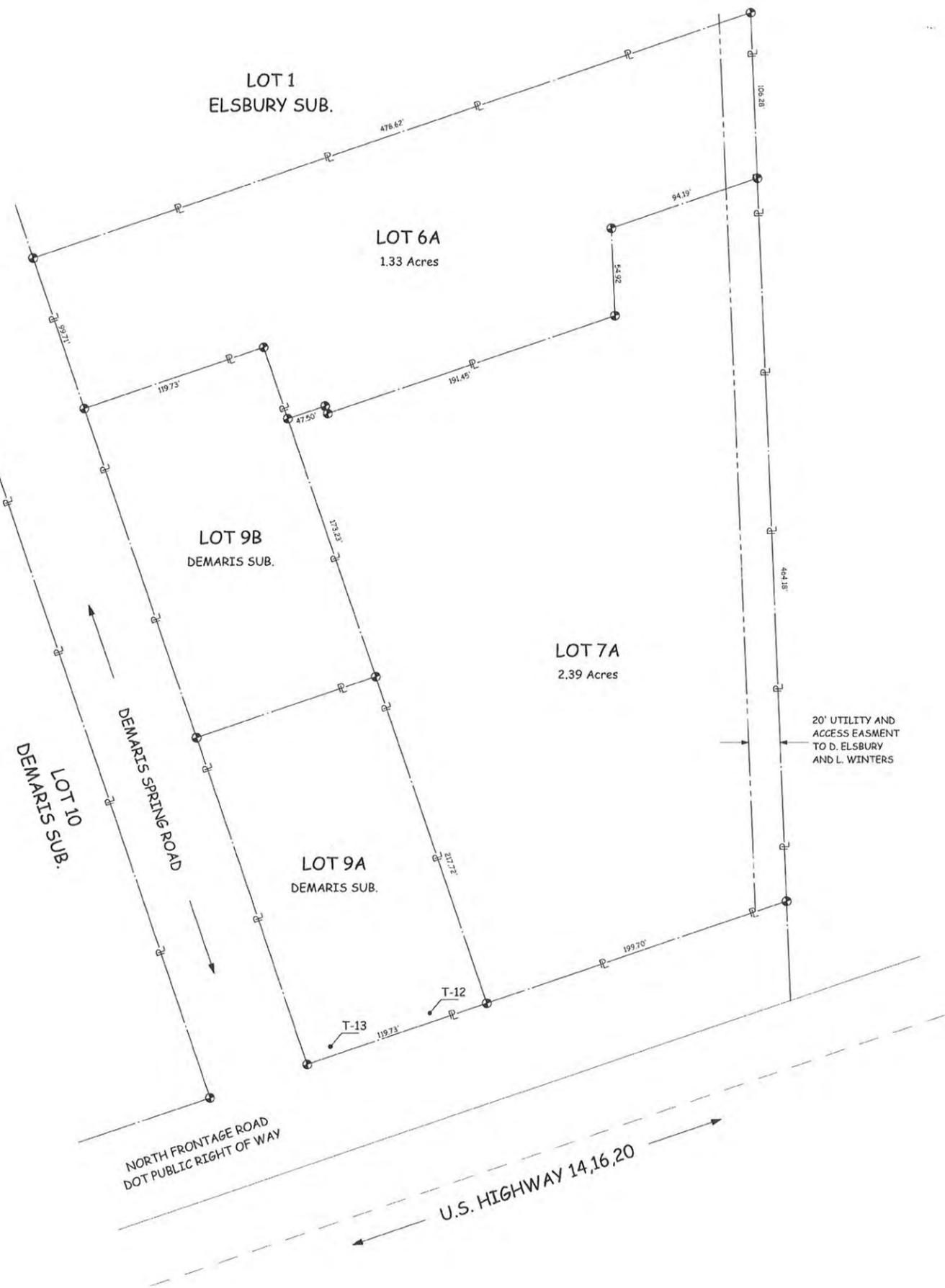
Proposed Location



Actual signage



**SITE PLAN
SIGN PLACEMENT
SCALE 1" = 40'**

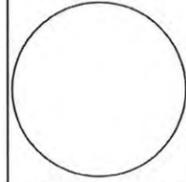


NOTE: Flag Stand to be held to the ground with use of 4 50# sand bags.

Signs to be displayed on Sunday Mornings from 8am until 2pm whereupon they will be stored in offsite locatoin.

Sign Placement
Project # 716

NOTE:
 ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THIS PLAN TO CREATE A PRECISE INTERPRETATION OF THE FINISHED PROJECT, IT IS IMPOSSIBLE TO GUARANTEE THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE PRECISION PLAN DESIGN OR RICK LAMBERT ASSUMES NO LIABILITY FOR ANY PROJECT CONSTRUCTED FROM THIS PLAN, BUILDER / OWNER VERIFY ALL DIMENSIONS, PLANS SUBJECT TO CHANGE PER ENGINEER OR LOCAL CODES



PRECISION PLAN AND DESIGN, INC.
 CUSTOM PLAN SERVICE
 (307) 587-6227 (307) 272-5709
 Rick Lambert
 Member
 ILBA no. 1271
 930 12th Street
 Cody, Wyoming 82414