

City of Cody City Council
AGENDA

Tuesday, May 3, 2016 – 7:00 p.m. (Pre-Meeting to begin at 6:30 p.m.)
Meeting Place: City of Cody Council Chambers – 1338 Rumsey Avenue, Cody, WY

Meeting Called to Order
Pledge of Allegiance
Moment of Silence
Roll Call
Agenda Review and Approval
Mayor’s Recognitions and Announcements

Proclamation – National Police Week 2016

1. Consent Calendar

All items under the consent calendar will be acted upon in one motion unless a Councilmember or member of the public requests that an individual item be taken up under Conduct of Business.

- a. Approval of Minutes: Special Meeting Minutes from 4/14/16 and Regular Minutes from 4/19/16.
- b. Approval of vouchers and payroll in the amount of \$421,131.65.
- c. Approve a plat amendment to shift the boundary between Tracts C and F of the Country Estates No. 2 subdivision.

Public Comments: The City Council welcomes input from the public. In order for everyone to be heard, please limit your comments to five (5) minutes per person. The Guidelines for the Conduct of City Council Meetings do not allow action to be taken on public comments.

2. Public Hearing

3. Conduct of Business

- a. Consider authorizing a request from the Boy Scouts of America Bighorn District Cub Scouts to discharge weapons in the City Limits.
Staff Reference: Chief Chuck Baker
Spokesperson: Debra Stowell, BSA Bighorn District
- b. Consider accepting a Grant Agreement from the Federal Aviation Administration in the amount of \$1,350,000 to REHABILITATE TAXIWAY "A", REHABILITATE TAXIWAY "A" LIGHTING AND INSTALL RUNWAY 4/11 VERTICAL/VISUAL GUIDANCE SYSTEM (4-BOX PAPI)
Staff Reference: Barry Cook, City Administrator
Spokesperson: Bob Hooper, YRA

- c. Approve an Agreement for TRANSFER OF ENTITLEMENTS in the amount of \$228,831 from Yellowstone Regional Airport to Jackson Hole Airport
Spokesperson: Bob Hooper, YRA
- d. Consider issuance of a distillery satellite license to Geyser Distillery.
Staff Reference; Cindy Baker, Administrative Services Officer
- e. Approve the final plat of the Cedar Mountain subdivision, subject to a number of conditions and grant an extension for filing the final plat.
Staff Reference: Todd Stowell, City Planner
- f. ORDINANCE 2016-07 – FIRST READING
AN ORDINANCE TO REVISE TILTE THREE, CHAPTER 3, SECTION 4 OF THE CITY OF CODY COD (INSURANCE REQUIREMENTS FOR TAXICABS).
Spokesperson; Scott Kolpitcke, City Attorney
- g. ORDINANCE 2016-05 – THIRD READING AND FINAL READING
AN ORDINANCE AMENDING TITLE 9 OF THE CITY OF CODY CODE, BY ADDING A CHAPTER 4, “FENCE REGULATIONS”.
Staff Reference: Todd Stowell, City Planner
- h. ORDINANCE 2016-06 – THIRD READING AND FINAL READING
AN ORDINANCE REPEALING TITLE 10, CHAPTER 12, FENCING PERMITS, OF THE CITY OF CODY MUNICIPAL CODE
Staff Reference: Todd Stowell, City Planner

- 4. Tabled Items
- 5. Matters from Staff Members
- 6. Matters from Council Members
- 7. Adjournment

Upcoming Meetings:

May 12, 2016 – Thursday – Special Workshop — 4:15 p.m.
May 17, 2016 - Tuesday – Regular Council Meeting 7:00 p.m.

Proclamation for National Police Week 2016

WHEREAS, Congress and the President of the United States designated May 15, 2016 as Peace Officers Memorial Day and the week in which May 15 falls as National Police Week; and

WHEREAS, the Cody Police Department plays an essential role in safeguarding the rights and freedoms of our city; and

WHEREAS, it is important that all citizens know and understand the duties, responsibilities, hazards and sacrifices of their law enforcement agency and that members of our law enforcement agency recognize their duty to serve the Cody community with respect, dedication, integrity, community interest, restraint and leadership; and

WHEREAS it is important to recognize National Police Week 2016 and to honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy;

NOW THEREFORE, I Nancy Tia Brown, Mayor of the City of Cody proclaim the week of May 15-21, 2016, as NATIONAL POLICE WEEK and publicly salute the service of law enforcement officers in our community and in communities across the nation; and

BE IT FURTHER RESOLVED THAT THE City of Cody observes May 15, 2016 as POLICE OFFICER'S MEMORIAL DAY in honor of those officers that made the ultimate sacrifice in service to their community.

Mayor:

ATTEST:

City of Cody
Council Proceedings
Thursday, April 14, 2016

A special meeting of the Cody City Council was held on Thursday, A, 2016 at 4:15 p.m.

Present: Council Members Donny Anderson, Karen Ballinger, Jerry Fritz Landon Greer, Steve Miller, Stan Wolz and Barry Cook, City Administrator, and Cindy Baker, Administrative Services Officer.

Absent: Mayor Nancy Tia Brown

Council President Miller called the meeting to order at 4:15 p.m.

William & Stacie Garcia provided the Governing Body with information as it relates to their request to set up a mobile display in public areas, this display has bible based literature in many languages. No action was taken

James Klessens, Forward Cody provided the Governing Body with a quarterly update. No action was taken.

The Governing Body reviewed the Tuesday, April 19th agenda. No action was taken.

Officer John Harris provided the Governing Body with the "A.L.I.C.E" Training. No action was taken.

Barry Cook, City Administrator and Cindy Baker, Administrative Services Officer provided the Governing Body with a variety of updates.

There being no further discussion, the meeting adjourned at 6:10 p.m.

Cindy Baker
Administrative Services Officer

Steve Miller
Council President

City of Cody
Council Proceedings
Tuesday, April ,19 2016

A pre-meeting was held at 6:30 p.m. to discuss the agenda for the Regular Meeting. No action was taken.

A regular meeting of the Cody City Council was held in the Council Chambers at City Hall in Cody, Wyoming on Tuesday, April 19, 2016 at 7:00 p.m.

Present: Council Members Donny Anderson, Karen Ballinger, Jerry Fritz, Landon Greer, Steve Miller and Stan Wolz, City Administrator Barry Cook, City Attorney Scott Kolpitzke and Administrative Services Officer, Cindy Baker.

Absent: Mayor Brown

Council President called the meeting to order at 7:00 p.m.

Council Member Greer made a motion seconded by Council Member Anderson to approve the revised agenda by amending item d of the consent calendar to strike the Grizzly Bear LLC to Cody Holiday Lodge LLC . Vote was unanimous.

Council President Miller proclaimed May as Water Safety Month.

Council Member Greer made a motion seconded by Council Member Ballinger to approve the consent calendar as amended including approval of Minutes: Special Meeting Minutes from 3/31/16 and Regular Minutes from 4/5/16; approval of vouchers and payroll in the amount of \$1,426,880.20; appoint Mayor Nancy Tia Brown and Donny Anderson as voting delegate and alternate, respectively, for the 2016 WAM Annual Convention; and authorize the Mayor to enter into and sign an Encroachment License with Cody Holiday Lodge LLC for the improvements within the South Frontage Road Public Right of Way. Vote was unanimous.

Council Member Wolz made a motion seconded by Council Member Fritz to approve the issuing a taxi license to Colby Gines dba Buffalo Bill Horse Rides with conditions outlined by staff, contingent upon a satisfactory background check and condition upon access to Sheridan Avenue be limited to the block in front of the Irma Hotel. Vote was unanimous.

Council Member Ballinger made a motion seconded by Council Member Fritz to award Bid No. 2016-03 – Beck Lake Park Shop Renovation to KB Nelson, as the lowest responsive bidder, for the amount of \$320,703, and authorize the mayor to enter into and sign the contract and other related documents contingent upon approval by the City Attorney. Voting in favor were Council Members Ballinger, Fritz, Anderson, Wolz and Miller. Opposed was Council Member Greer.

RESOLUTION 2016-07

A RESOLUTION AMENDING THE CITY OF CODY FINAL BUDGET FOR FISCAL YEAR 2015-2016. Council Member Fritz made a motion seconded by Council Member Greer to a approve resolution 2016-07. Vote was unanimous.

ORDINANCE 2016-05 – SECOND READING

AN ORDINANCE AMENDING TITLE 9 OF THE CITY OF CODY CODE, BY ADDING A CHAPTER 4, “FENCE REGULATIONS”. Council Member Fritz made a motion seconded by Council Member Anderson to approve Ordinance 2016-05 on Second Reading. Council Members voting in favor were Fritz, Miller, Anderson and Wolz. Opposed were Council Members Ballinger and Greer. Motion passed.

ORDINANCE 2016-06 - SECOND READING

AN ORDINANCE REPEALING TITLE 10, CHAPTER 12, FENCING PERMITS, OF THE CITY OF CODY MUNICIPAL CODE. Council Member Wolz made a motion seconded by Council Member Anderson to approve Ordinance 2016-06 on Second Reading. Council Members voting in favor were Ballinger, Fritz, Anderson, Wolz and Miller. Opposed was Council Member Greer. Motion passed.

There being no further action, Council President adjourned the meeting at 8:01 p.m.

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
ADVANCED INFO SYSTEMS							
129162							
12982	CYCLE 1 OUTSOURCE BILLS	04/18/2016	409.15	409.15	05/04/2016		416
12988	CYCLE 2 OUTSOURCE BILLS	04/18/2016	178.60	178.60	05/04/2016		416
Total :			587.75	587.75			
Total 129162:			587.75	587.75			
AIKIN, CHRISTINE							
130825							
4230017	REFUND UTILITY DEPOSIT	04/11/2016	35.01	35.01	05/04/2016		416
Total :			35.01	35.01			
Total 130825:			35.01	35.01			
BEARTOOTH HYDROSEED							
127576							
2089	8TH ST TIE LINE	04/24/2016	1,237.53	1,237.53	05/04/2016		416
Total :			1,237.53	1,237.53			
Total 127576:			1,237.53	1,237.53			
BENNION BUILDERS LLC							
130547							
041316	REFUND CURB REPLACEMENT	04/13/2016	2,150.00	2,150.00	05/04/2016		416
Total :			2,150.00	2,150.00			
Total 130547:			2,150.00	2,150.00			
BIG HORN REDI-MIX, INC							
1190							
370109	SKYLINE IV CLEANOUT	04/18/2016	148.00	148.00	05/04/2016		416
Total :			148.00	148.00			
Total 1190:			148.00	148.00			
BLACK HILLS ENERGY							
130509							
0764 8304 15	UTILITIES	04/20/2016	466.48	466.48	05/04/2016		416
1188 3974 81	UTILITIES	04/20/2016	17.17	17.17	05/04/2016		416
1212 9706 22	UTILITIES	04/20/2016	17.17	17.17	05/04/2016		416
1226 3825 58	UTILITIES	04/20/2016	232.21	232.21	05/04/2016		416
1748 3070 35	UTILITIES	04/20/2016	603.31	603.31	05/04/2016		416
2844 0883 27	UTILITIES	04/20/2016	70.39	70.39	05/04/2016		416
3439 1746 41	UTILITIES	04/20/2016	82.88	82.88	05/04/2016		416
3745 9872 61	UTILITIES	04/20/2016	19.89	19.89	05/04/2016		416
5343 2365 74	UTILITIES	04/20/2016	34.54	34.54	05/04/2016		416
5581 8309 98	UTILITIES	04/20/2016	19.34	19.34	05/04/2016		416
5839 8360 11	UTILITIES	04/20/2016	212.66	212.66	05/04/2016		416
5843 2846 46	UTILITIES	04/20/2016	581.76	581.76	05/04/2016		416
5843 2846 46	UTILITIES	04/20/2016	149.84	149.84	05/04/2016		416
5843 2846 46	UTILITIES	04/20/2016	88.14	88.14	05/04/2016		416
5843 2846 46	UTILITIES	04/20/2016	61.74	61.74	05/04/2016		416

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
6891 6043 54	UTILITIES	04/20/2016	225.60	225.60	05/04/2016		416
8373 7435 57	UTILITIES	04/20/2016	268.04	268.04	05/04/2016		416
Total :			3,151.16	3,151.16			
Total 130509:			3,151.16	3,151.16			
BLUE CROSS BLUE SHIELD OF WYOMING							
1360							
041816	INSURANCE PREMIUMS	04/18/2016	116,693.70	116,693.70	05/04/2016		416
041816	INSURANCE PREMIUMS - CRED	04/18/2016	1,267.56	1,267.56	05/04/2016		416
Total :			115,426.14	115,426.14			
Total 1360:			115,426.14	115,426.14			
BORDER STATES INDUSTRIES, INC							
1420							
911082840	EQUIPMENT REPAIR	04/14/2016	1,626.51	1,626.51	05/04/2016		416
Total :			1,626.51	1,626.51			
Total 1420:			1,626.51	1,626.51			
C & C WELDING, INC							
1690							
19786	REPAIRS - F01	04/19/2016	47.04	47.04	05/04/2016		416
19793	SWEEPER REPAIRS - F01	04/21/2016	58.26	58.26	05/04/2016		416
19796	SANITATION PINS	04/22/2016	209.07	209.07	05/04/2016		416
Total :			314.37	314.37			
Total 1690:			314.37	314.37			
CHUCK'S SIGN CO, LLC							
130830							
1415	REFUND OVERPAYMENT ON P	04/21/2016	116.00	116.00	05/04/2016		416
Total :			116.00	116.00			
Total 130830:			116.00	116.00			
CITY OF CODY							
2260							
042216	Utilities	04/22/2016	2,099.40	2,099.40	05/04/2016		416
042216	Utilities	04/22/2016	84.59	84.59	05/04/2016		416
042216	Utilities	04/22/2016	94.33	94.33	05/04/2016		416
042216	Utilities	04/22/2016	584.07	584.07	05/04/2016		416
042216	Utilities	04/22/2016	116.89	116.89	05/04/2016		416
042216	Utilities	04/22/2016	304.73	304.73	05/04/2016		416
042216	Utilities	04/22/2016	115.64	115.64	05/04/2016		416
042216	Utilities	04/22/2016	87.91	87.91	05/04/2016		416
042216	Utilities	04/22/2016	243.97	243.97	05/04/2016		416
042216	Utilities	04/22/2016	403.86	403.86	05/04/2016		416
042216	Utilities	04/22/2016	23.00	23.00	05/04/2016		416
042216	Utilities	04/22/2016	45.69	45.69	05/04/2016		416
042216	Utilities	04/22/2016	601.24	601.24	05/04/2016		416
042216	Utilities	04/22/2016	63.00	63.00	05/04/2016		416

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
042216	Utilities	04/22/2016	108.69	108.69	05/04/2016		416
042216	Utilities	04/22/2016	127.73	127.73	05/04/2016		416
042216	Utilities	04/22/2016	30.09	30.09	05/04/2016		416
042216	Utilities	04/22/2016	539.05	539.05	05/04/2016		416
042216	Utilities	04/22/2016	218.80	218.80	05/04/2016		416
042216	Utilities	04/22/2016	161.00	161.00	05/04/2016		416
042216	Utilities	04/22/2016	367.29	367.29	05/04/2016		416
042216	Utilities	04/22/2016	23.00	23.00	05/04/2016		416
042216	Utilities	04/22/2016	239.27	239.27	05/04/2016		416
042216	Utilities	04/22/2016	203.58	203.58	05/04/2016		416
042216	Utilities	04/22/2016	42.00	42.00	05/04/2016		416
042216	Utilities	04/22/2016	42.00	42.00	05/04/2016		416
042216	Utilities	04/22/2016	37.58	37.58	05/04/2016		416
042216	Utilities	04/22/2016	362.68	362.68	05/04/2016		416
042216	Utilities	04/22/2016	149.63	149.63	05/04/2016		416
042216	Utilities	04/22/2016	398.24	398.24	05/04/2016		416
042216	Utilities	04/22/2016	23.00	23.00	05/04/2016		416
042216	Utilities	04/22/2016	137.00	137.00	05/04/2016		416
042216	Utilities	04/22/2016	177.00	177.00	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	30.31	30.31	05/04/2016		416
042216	Utilities	04/22/2016	63.00	63.00	05/04/2016		416
042216	Utilities	04/22/2016	161.00	161.00	05/04/2016		416
042216	Utilities	04/22/2016	80.42	80.42	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	23.00	23.00	05/04/2016		416
042216	Utilities	04/22/2016	63.00	63.00	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	847.13	847.13	05/04/2016		416
042216	Utilities	04/22/2016	138.17	138.17	05/04/2016		416
042216	Utilities	04/22/2016	10.50	10.50	05/04/2016		416
042216	Utilities	04/22/2016	369.38	369.38	05/04/2016		416
042216	Utilities	04/22/2016	52.94	52.94	05/04/2016		416
042216	Utilities	04/22/2016	2,349.95	2,349.95	05/04/2016		416
042216	Utilities	04/22/2016	7,049.86	7,049.86	05/04/2016		416
042216	Utilities	04/22/2016	1,193.68	1,193.68	05/04/2016		416
042216	Utilities	04/22/2016	307.46	307.46	05/04/2016		416
042216	Utilities	04/22/2016	180.86	180.86	05/04/2016		416
042216	Utilities	04/22/2016	126.60	126.60	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	431.69	431.69	05/04/2016		416
042216	Utilities	04/22/2016	66.89	66.89	05/04/2016		416
042216	Utilities	04/22/2016	816.96	816.96	05/04/2016		416
042216	Utilities	04/22/2016	329.40	329.40	05/04/2016		416
042216	Utilities	04/22/2016	238.00	238.00	05/04/2016		416
042216	Utilities	04/22/2016	32.78	32.78	05/04/2016		416
042216	Utilities	04/22/2016	30.54	30.54	05/04/2016		416
042216	Utilities	04/22/2016	181.54	181.54	05/04/2016		416
042216	Utilities	04/22/2016	234.51	234.51	05/04/2016		416
042216	Utilities	04/22/2016	43.16	43.16	05/04/2016		416
042216	Utilities	04/22/2016	368.48	368.48	05/04/2016		416
042216	Utilities	04/22/2016	887.46	887.46	05/04/2016		416
042216	Utilities	04/22/2016	39.00	39.00	05/04/2016		416
042216	Utilities	04/22/2016	160.37	160.37	05/04/2016		416
042216	Utilities	04/22/2016	323.96	323.96	05/04/2016		416

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
042216	Utilities	04/22/2016	231.35	231.35	05/04/2016		416
042216	Utilities	04/22/2016	2,211.80	2,211.80	05/04/2016		416
042216	Utilities	04/22/2016	275.87	275.87	05/04/2016		416
042216	Utilities	04/22/2016	3,899.29	3,899.29	05/04/2016		416
042216	Utilities	04/22/2016	365.41	365.41	05/04/2016		416
042216	Utilities	04/22/2016	329.73	329.73	05/04/2016		416
042216	Utilities	04/22/2016	178.52	178.52	05/04/2016		416
042216	Utilities	04/22/2016	29.94	29.94	05/04/2016		416
042216	Utilities	04/22/2016	44.58	44.58	05/04/2016		416
042216	Utilities	04/22/2016	5,808.65	5,808.65	05/04/2016		416
042216	Utilities	04/22/2016	33.14	33.14	05/04/2016		416
Total :			39,105.81	39,105.81			
Total 2260:			39,105.81	39,105.81			
EAGLE RECOVERY, LLC							
126679							
11041	TOWING CASE 16-344	04/12/2016	250.00	250.00	05/04/2016		416
Total :			250.00	250.00			
Total 126679:			250.00	250.00			
ENGINEERING ASSOCIATES							
4140							
040716	BAC T TESTING	04/07/2016	25.00	25.00	05/04/2016		416
Total :			25.00	25.00			
Total 4140:			25.00	25.00			
GILLETT, ASHLEY							
130828							
5099016	REFUND UTILITY DEPOSIT	04/18/2016	22.15	22.15	05/04/2016		416
Total :			22.15	22.15			
Total 130828:			22.15	22.15			
HARRIS TRUCKING & CONST. CO							
4780							
127612	GRADING ON 12TH ST HILL	04/07/2016	700.00	700.00	05/04/2016		416
Total :			700.00	700.00			
Total 4780:			700.00	700.00			
IVERSON SANITATION							
5407							
206951	PORTA POT RENTALM- MONUM	04/05/2016	260.19	260.19	05/04/2016		416
Total :			260.19	260.19			
Total 5407:			260.19	260.19			
L & M TECH SERVICES							

	Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
130762	0000052	FLOOR SCRUBBER REPAIR	04/05/2016	889.90	889.90	05/04/2016		416
	Total :			889.90	889.90			
	Total 130762:			889.90	889.90			
MARTINEZ, MARK								
130826	4974543-2	REIMBURSE FOR UNIFORMS	12/02/2015	65.27	65.27	05/04/2016		416
	Total :			65.27	65.27			
	Total 130826:			65.27	65.27			
MIDWEST FENCE COMPANY								
6650	32652	GATE REPAIR - BELFRY BRIDG	02/01/2016	540.00	540.00	05/04/2016		416
	Total :			540.00	540.00			
	Total 6650:			540.00	540.00			
MONTANA CSED SDU								
130713	042016	PAR ID P0001023686	04/20/2016	123.57	123.57	04/21/2016		416
	Total :			123.57	123.57			
	Total 130713:			123.57	123.57			
MOSS LEASING, LLC								
130827	16000410	REFUND UTILITY DEPOSIT	04/15/2016	338.26	338.26	05/04/2016		416
	Total :			338.26	338.26			
	Total 130827:			338.26	338.26			
NORTHWEST PIPE								
7400	1616755	MINI GOLF	04/04/2016	2,327.93	2,327.93	05/04/2016		416
	Total :			2,327.93	2,327.93			
	Total 7400:			2,327.93	2,327.93			
OFFICE SHOP, THE								
7440	32746	COPIER TONER - SHOP	04/05/2016	10.90	10.90	05/04/2016		416
	32746	COPIER TONER - SHOP	04/05/2016	10.90	10.90	05/04/2016		416
	32746	COPIER TONER - SHOP	04/05/2016	10.90	10.90	05/04/2016		416
	32746	COPIER TONER - SHOP	04/05/2016	10.91	10.91	05/04/2016		416
	32746	COPIER TONER - SHOP	04/05/2016	10.91	10.91	05/04/2016		416
	32746	COPIER TONER - SHOP	04/05/2016	10.91	10.91	05/04/2016		416
	Total :			65.43	65.43			

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
Total 7440:			65.43	65.43			
ONE-CALL OF WYOMING							
127665							
40990	ONE CALL FEES	04/05/2016	17.63	17.63	05/04/2016		416
40990	ONE CALL FEES	04/05/2016	17.63	17.63	05/04/2016		416
40990	ONE CALL FEES	04/05/2016	17.63	17.63	05/04/2016		416
40990	ONE CALL FEES	04/05/2016	17.61	17.61	05/04/2016		416
Total :			70.50	70.50			
Total 127665:			70.50	70.50			
PLAN ONE ARCHITECTS							
7980							
041516-1	PROFESSIONAL FEES (TRAILH	04/15/2016	500.00	500.00	05/04/2016		416
1603-1	CODY CUPBOARD	04/15/2016	2,287.50	2,287.50	05/04/2016		416
Total :			2,787.50	2,787.50			
Total 7980:			2,787.50	2,787.50			
POWELL ELECTRIC							
130106							
45343	BALER REPAIRS - RECYCLE RE	03/22/2016	512.74	512.74	05/04/2016		416
Total :			512.74	512.74			
Total 130106:			512.74	512.74			
ROCKY MOUNTAIN POWER							
7570							
041816	UTILITIES	04/18/2016	28.13	28.13	05/04/2016		416
041816	UTILITIES	04/18/2016	257.62	257.62	05/04/2016		416
Total :			285.75	285.75			
Total 7570:			285.75	285.75			
SAY WHERE STORAGE							
130576							
185790	PARK SHOP STORAGE	04/10/2016	225.00	225.00	05/04/2016		416
Total :			225.00	225.00			
Total 130576:			225.00	225.00			
SITZ III, ALEX H.							
129379							
042216	PROFESSIONAL FEES	04/22/2016	448.83	448.83	05/04/2016		416
Total :			448.83	448.83			
Total 129379:			448.83	448.83			
STATE OF WYOMING							
130765							
040416	CLAIM AGAINST THE CITY - BRI	04/04/2016	1,003.50	1,003.50	05/04/2016		416

Invoice Number	Description	Invoice Date	Net Invoice Amount	Amount Paid	Date Paid	Inventory Number	GL Period
Total :			1,003.50	1,003.50			
Total 130765:			1,003.50	1,003.50			
TRAVELERS CL REMITTANCE CENTER							
130089							
001072D1153	PROPERTY INSURANCE PREMI	04/11/2016	63.00	63.00	05/04/2016		416
Total :			63.00	63.00			
Total 130089:			63.00	63.00			
TUNDRA GENERAL CONTRACTORS, LLC							
130416							
9201584	RECYCLING CENTER ENCLOS	03/31/2016	5,219.20	5,219.20	05/04/2016		416
Total :			5,219.20	5,219.20			
Total 130416:			5,219.20	5,219.20			
WESCO RECEIVABLES CORP							
10480							
809290	SAFETY SUPPLIES	04/06/2016	384.00	384.00	05/04/2016		416
814387	METERS	04/15/2016	564.38	564.38	05/04/2016		416
Total :			948.38	948.38			
Total 10480:			948.38	948.38			
WYOMING ASSN OF MUNICIPALITIES							
10770							
14880	TRAINING HR RETREAT - BAKE	04/20/2016	70.00	70.00	05/04/2016		416
Total :			70.00	70.00			
Total 10770:			70.00	70.00			
YOUNG, BRENT							
130829							
393408	REC CENTER REFUND	04/18/2016	155.00	155.00	05/04/2016		416
Total :			155.00	155.00			
Total 130829:			155.00	155.00			
Grand Totals:			181,295.38	181,295.38			

Payroll total \$239, 836.27

Total \$421,131.65

<u>Invoice Number</u>	<u>Description</u>	<u>Invoice Date</u>	<u>Net Invoice Amount</u>	<u>Amount Paid</u>	<u>Date Paid</u>	<u>Inventory Number</u>	<u>GL Period</u>
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Report Criteria:

- Detail report.
 - Invoices with totals above \$0 included.
 - Paid and unpaid invoices included.
-

MEETING DATE:	MAY 3, 2016
DEPARTMENT:	COMMUNITY DEVELOPMENT
PREPARED BY:	TODD STOWELL
CITY ADM. APPROVAL:	_____
PRESENTED BY:	TODD STOWELL

AGENDA ITEM SUMMARY REPORT **Plat Amendment of Tracts C and F, Country Estates No. 2**

ACTIONS TO BE TAKEN

Approve a plat amendment to shift the boundary between Tracts C and F of the County Estates No. 2 subdivision.

SUMMARY

GDA Engineers, representing Harold Musser the property owner, has submitted an Amended Plat application to move the boundary between two lots (Tract C and Portion of Tract F), as shown on the attached plat map. The boundary is proposed to be shifted 30 to 40 feet to the west so that it follows the top of a bluff, which location is the result of recent grading of the property. The graded area can be seen in the photo. Both lots are vacant of any buildings and are owned by the same party. Utility easements for future utility extensions are also established on the plat.



RECOMMENDATION:

The Planning and Zoning Board recommends that the Council approve the plat amendment, subject to the following note being added to the document:

The sole purpose of this Amended Plat is to adjust the boundary line between the two tracts and dedicate the easements identified. It is noted that Tract F1 lacks city water service. Tract C1 lacks city water service and city sewer service. City electrical lines border both tracts, but transformer installation is needed for service. Extension of utilities to serve the tracts is the responsibility of the developer, and is to occur prior to or in conjunction with development of the respective tract. All extensions of utilities must be in accordance with city standards and procedures.

ATTACHMENTS:

Amended Plat

AGENDA & SUMMARY REPORT TO:

Justin Ness, GDA
Harold Musser

AGENDA ITEM NO. _____

T.53N., R.101W., 6TH P.M.
(RESURVEY)

OWNER'S CERTIFICATE OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: THAT HAROLD R. MUSSER, BEING THE OWNER OF THE LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 93 PAGE 181 IN THE OFFICE OF THE PARK COUNTY CLERK AND RECORDER, PARK COUNTY, WYOMING, IS THE OWNER AND PROPRIETOR OF SAID LANDS; THAT WE HAVE CAUSED SAID LANDS TO BE SURVEYED; THAT THE AMENDED PLAT OF SAID LANDS IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS; THAT SAID LANDS ARE SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY AND MINERAL RIGHTS OR RESERVATIONS OF RECORD; THAT THE PURPOSE OF THE AMENDED PLAT SURVEY IS FOR ADJUSTING BOUNDARY LINES BETWEEN THE LOTS AS SHOWN; THAT THE LAND BEING CONVEYED IS FOR THE SOLE PURPOSE OF ADJUSTING THE BOUNDARY LINES BETWEEN PARCELS AND IS NOT TO BE SOLD OR TRANSFERRED AS A SEPARATE PARCEL BY THE GRANTEE, HEIRS AND ASSIGNS; AND DO HEREBY DEDICATE ALL EASEMENTS SHOWN HEREON FOR USE AS DESCRIBED AND UNTO WHOM STATED ON THIS AMENDED PLAT; AND THAT ANY RIGHTS BY VIRTUE OF THE HOMESTEAD EXEMPTION LAWS OF THE STATE OF WYOMING ARE HEREBY RELEASED AND WAIVED.

IN WITNESS WHEREOF, HAROLD R. MUSSER, THE SAID OWNER CITY OF CODY, WYOMING, WITH FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES, HAVE CAUSED THEIR NAMES HEREON TO BE SUBSCRIBED THIS ____ DAY OF _____, 2016.

HAROLD R. MUSSER

ACKNOWLEDGMENT:

STATE OF WYOMING)
)SS
COUNTY OF PARK)

THE FOREGOING OWNER(S) CERTIFICATE WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF _____, 2016 BY HAROLD R. MUSSER. WITNESS MY HAND AND OFFICIAL SEAL: (WYOMING STATE LAW REQUIRES A NOTARY SEAL TO BE AFFIXED HEREON)

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

CITY PLANNING AND ZONING BOARD

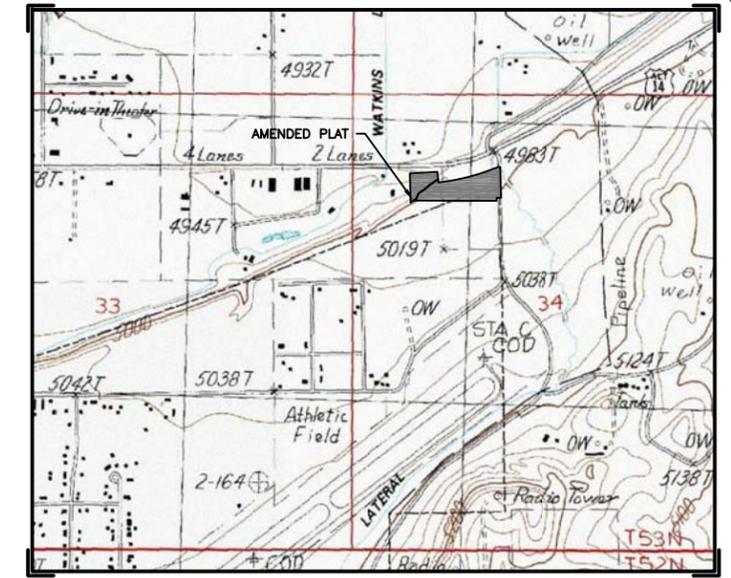
APPROVED AS OF THE ____ DAY OF _____, 2016 BY THE PLANNING AND ZONING BOARD, CITY OF CODY, WYOMING.

CHAIRMAN

CITY COUNCIL

APPROVED AS OF THE ____ DAY OF _____, 2016 BY THE CITY COUNCIL OF CODY, WYOMING.

ATTEST: _____ CITY CLERK _____ MAYOR



City of Cody Agenda Request Form

In order to fully prepare the Council for their meetings, individuals wishing to appear before the Council are asked to complete the following information prior to placement on the agenda. You may be notified by mail, telephone or e-mail of the date you have been scheduled to appear. You may also be contacted by City staff prior to the meeting to see if your concerns can be addressed without appearing before the Council.

Please provide the following detailed information relating to your concern or request. This form (and any relevant attachments) is due no later than seven days prior to a Council meeting to allow sufficient time for internal review. Council packets are prepared the Wednesday prior to the Tuesday meetings. Meetings are held the first and third Tuesday of each month. Please complete the following information in full and return to City of Cody PO Box 2200 Cody, WY 82414 (Fax 307-527-6532)

Name of person to appear before the Council Debra Stowell
Organization Represented BSA Bighorn District Cubscouts
Date you wish to appear before the Council May 3rd 2016
Mailing Address 2508 Ina Ave Telephone 307-578-7960
E-Mail Address deb99352@yahoo.com
Preferred form of contact: Telephone _____ E-Mail X
Names of all individuals who will speak on this topic Debra Stowell

Event Title (if applicable) Cub Scout Day Camp
Date(s) of Event (if applicable) June 18th 2016
Full description of topic to be discussed (include all relevant information, attach additional sheet if necessary) Authorization to have BB Gun range at Cub Scout Day camp. Range run by ~~BSA~~ regulations according to BSA regulations by NRA range officer. Event at Cody Middle School
Which City employee(s) have you spoken to about this issue? Chuck Baker

Signature Debra Stowell Date April 25th 2016

POLICE DEPARTMENT
CITY OF CODY

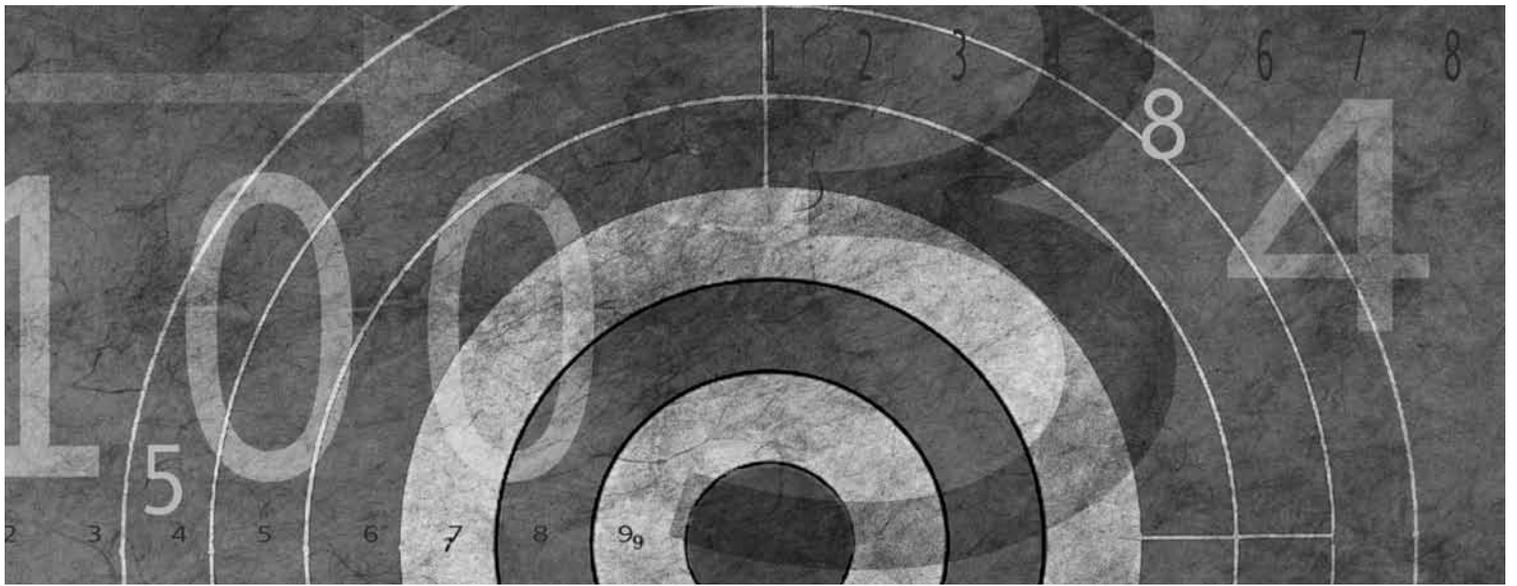
Date: April 21, 2016

To: Cindy Baker, Director of Administrative Services

From: Chuck Baker, Chief of Police

Subject: Authorization to discharge a weapon in the city limits.

1. The Boys Scouts of America (BSA), Greater Wyoming Council is hosting a one day “Shooting Sports Award’ Program June 18, 2016 during a BSA sponsored Cub Scout Day Camp at Cody Middle School, 1225 10th Street.
2. BSA Program Director Debra Stowell has met with me and requested an exception to the City Ordinance that prohibits the discharging of weapons within the city limits.
3. In reviewing the proposed program, range site and BSA National Camp Accreditation and Camp Standards I have determined that the discharging of Bow and Arrows, BB Gun Air Rifles, and Sling-Shots for the purpose of a supervised BSA “Shooting Sports Award’ Program within the listed conditions will not be detrimental to the public health, safety and welfare of the citizens of this City.
4. I’m recommending approval, and that the firing of these weapons be authorized per Cody City Ordinance 5-4-1 Discharging Weapons, with the following conditions:
 - a. The firing of this weapons will only be permitted on the designated date Saturday June 18th 2016 between the hours of 9:00 p.m. and 3:00 p.m.
 - b. The temporary range will only be set up on the property of Cody Middle School, 1225 10th Street Cody Wyoming 82414, and removed immediately after the program finishes.
 - c. The range will use adequate backstops to prevent stray projectiles.
 - d. All shooting sports will be managed controlled and supervised strictly within the “Boy Scouts of America National Shooting Sports Manual” guidelines.
 - e. A single point of contact will be on site at all times and their contact information will be provided to the Police Department.
 - f. Any complaints received about the discharge of these weapons during the event will be forwarded to office of the Chief of Police.



BOY SCOUTS OF AMERICA[®] NATIONAL SHOOTING SPORTS MANUAL



BOY SCOUTS OF AMERICA[®]

Chapter 8: Training Courses

In Scouting events and activities, the BSA's primary consideration is the safety of its youth and adult members. To achieve that goal, the BSA, in consultation with other organizations, has created specific guidelines for the shooting sports, which is the purpose of this manual. These organizations also provide training and instructor certification by discipline-specific subject matter experts to prepare those individuals who will serve in a leadership or supervisory role in the various shooting sports activities.

The National Rifle Association states the goal of its Instructor Training Program is to develop instructors who possess the **knowledge**, **skill**, and **attitude** to teach the safe handling and proper use of firearms.

In general, for all certifying organizations, the instructor candidate must meet specific eligibility requirements, satisfactorily complete the instructor training curriculum, understand and agree to the responsibilities of a certified instructor, and maintain active certification status.

Listed here are the shooting sports training certifications recognized by the Boy Scouts of America.

BSA Training

BSA National Camping School

Annually, seven-day BSA National Camping Schools are conducted in each region. The purpose of the National Camping School is to prepare Scouters who will be serving in management or supervisory roles in the council summer camp program. Those who successfully complete the shooting sports section of the National Camping School, will be given a certificate of training as a BSA shooting sports director, which is valid for the next five camping seasons.

Participation must be approved by a local Scout executive, and enrollment is administered through the local council.

Successful completion of the National Camping School shooting sports curriculum includes the practical training, testing, and approval for the candidate to apply for instructor credentials as an NRA certified rifle instructor, NRA certified shotgun instructor, NRA certified muzzleloading rifle instructor, NRA certified pistol instructor, NRA range safety officer, and USA Archery (NADA) basic archery instructor (Level 1).

It is also expected that the BSA shooting sports director will serve the council as a resource during the off season and be an active member of the council's shooting sports committee.

Range Master Training for Cub Scouting

Operation of BB and archery ranges for Cub Scout activities and events, including Cub Scout day camp, Cub Scout or Webelos resident camp, Mom and me, dad-n-lad, parent and pal, and council-operated family camping programs require qualified, trained range masters.

Cub Scout BB and archery range master training is administered by the council's shooting sports committee and is conducted by a BSA shooting sports director or a National Rifle Association currently certified rifle instructor for BB gun, or NRA/USA Shooting/CMP certified rifle coach, and an USA Archery/NFAA instructor for archery. This certification is valid for two years.

A currently certified NRA rifle instructor or NRA/USA Shooting/CMP certified rifle coach is qualified to serve as a BB range master. A currently certified USA Archery/NFAA basic archery instructor or National Archery in the Schools Program (NASP) basic archery instructor may serve as the archery range master for Cub Scout archery activities. BSA registration is required per *Cub Scout Day Camp*, No. 13-33815, and Day Camp Standard M43A.

National Rifle Association Training

NRA Certified Rifle Instructor

An NRA certified rifle instructor is required to provide instruction for BSA rifle shooting activities involving Boy Scouts, Varsity Scouts, Venturers, and Sea Scouts.

The NRA rifle instructor may teach the BSA 30-Minute Rifle Briefing, the NRA FIRST Steps Rifle Orientation, the Rifle Shooting merit badge using the BSA Rifle Shooting Merit Badge Teaching Guide, and the eight-hour NRA Basic Rifle Course.

A currently certified NRA rifle instructor is qualified to serve as a BB range master for Cub Scout BB shooting activities.

The NRA rifle instructor course is 14 hours and includes classroom and range activities with student teaching, evaluation, and testing. The course is conducted by an NRA training counselor.

NRA Certified Shotgun Instructor

An NRA certified shotgun instructor is required to provide instruction for BSA shotgun shooting activities involving Boy Scouts, Varsity Scouts, Venturers, and Sea Scouts.

The NRA shotgun instructor may teach the BSA 30-Minute Shotgun Briefing, the NRA FIRST Steps Shotgun Orientation, the Shotgun Shooting merit badge using the BSA Shotgun Shooting Merit Badge Teaching Guide, and the eight-hour NRA Basic Shotgun Course.

The NRA shotgun instructor course is 11 hours and includes classroom and range activities with student teaching, evaluation, and testing. The course is conducted by an NRA training counselor.



NATIONAL CAMP STANDARDS



BOY SCOUTS
OF AMERICA®

SHOOTING SPORTS: ARCHERY PROGRAMS

(Revised January 1, 2013)

STANDARD:

If offered, the camp operates a safe, age-appropriate archery program.

Specific Requirements of the Standard:

Requirements include:

- A. Proper design and posting of the archery range. Ranges and programs that will use compound bows or crossbows must review age-appropriateness and complete a risk assessment per Standards PD-111 and PD-112 before starting the program.
- B. Properly sized and age-appropriate equipment is in good repair.
- C. Properly sized safety equipment such as finger tabs or gloves and forearm guards are available and used by all Cub Scout-age boys and for all others as specified by the range master.
- D. Equipment is locked up when not in use.
- E. Qualified supervision is present at all times.
- F. There is ready access to communication and first-aid at the range.

INTERPRETATION:

The council should specify whether it will allow personal equipment and, if so, under what conditions, in its literature.

VERIFICATION:

- Observation of procedures in practice

Applies to:

Day
camp

Family
camp

Resident
camp

Trek
camp

Specialty-
adventure
camp

High-
adventure
camp

SHOOTING SPORTS: FIREARMS PROGRAMS

PS-214

(Revised January 1, 2015)

Applies to:

Day
camp

Family
camp

Resident
camp

Trek
camp

Specialty-
adventure
camp

High-
adventure
camp

3. Use of approved shooting safety glasses and ear protection is required for all shooters and instructors. Ear protection is not required for BB guns and air rifles.
4. Safe, separate, and locked storage (can be the same building) is provided for firearms, ammunition, and CO₂ cylinders and bulk tanks.
5. Qualified supervision (see SQ-407) and appropriate ratio of adult coach/instructor to youth participants is present at all times.
6. Ready access to communication and first-aid is required.

INTERPRETATION:

A .22-caliber rimfire, bolt-action rifle is defined as either (1) a breech-loading, single-shot, bolt-action rifle or (2) a repeater bolt action rifle with a box magazine. Tubular, extended, or high-capacity magazines are not allowed. Trigger pull will be three pounds.

Effective in 2013, a participant can load more than one round directly into the box magazine and shoot.

A pistol is defined as: (1) .177-caliber air pistol with a 2.5-pound trigger pull; open, scope, or dot sights; air, CO₂, or precharged pneumatic; or (2) a cartridge-firing pistol with a three-pound trigger pull; open, scope, or dot sights.

It is recommended that 20-, 16-, or 12-gauge semiautomatic shotguns be used. Scuba tanks used for shooting sports purposes may not be used for scuba purposes.

The council should specify whether it will allow personal equipment and, if so, under what conditions, in its literature. Consult the *BSA National Shooting Sports Manual*, No. 30931, for additional guidance.

VERIFICATION:

- Observation of procedures in practice

STANDARD:

If offered, the camp operates a safe, age-appropriate firearms shooting sports program.

Specific Requirements of the Standard:

- A. Shooting is confined to approved ranges. Each range is designed in accordance with guidelines at www.scouting.org/properties, which provides examples of approved range layouts.
- B. Age-appropriate restrictions on firearms used:
 1. Cub Scouts and Webelos Scouts may use BB guns in council-operated programs.
 2. Webelos Scouts may use pellet rifles on a council-operated range meeting the requirements of paragraph A of this standard.
 3. Boy Scouts may use BB guns, pellet rifles, .22-caliber rimfire, bolt-action rifles, shotguns, and muzzle-loading rifles. If magazines are used, range commands must include "magazines out after firing all your shots" to ensure the firing line is safe after shots are fired, if repeaters are used.
 4. Venturing youth may use BB guns; pellet rifles; any cartridge-firing rifle with open, scope, or dot sights; shotguns; pistols; and muzzle-loading rifles and pistols.
- C. Safe, age-appropriate equipment is maintained in good repair. Firearms modified to fit the size of the shooters are desirable:
 1. Bolt-action .22-caliber rifles used in BSA shooting sports must have a trigger pull in excess of 3 pounds and are tested with a 3-pound weight or scale at least once a week while in use. If any mechanism fails, the firearm is immediately removed from service. Test documentation is maintained.
 2. All pellet rifles (CO₂, pump, break barrel, etc.) are limited to single-shot, designated for target shooting, velocity of 500 to 540 feet per second, and energy levels not to exceed 732 joules per second with a minimum of 2.5 pound trigger pull. Pellet rifle propellant is limited to CO₂ cylinders or air compressor/scuba tanks. Refilling of scuba tanks used for shooting sports only is conducted by qualified adults with appropriate controls. If scuba tanks are used, each tank must be labeled appropriately, visually inspected annually, and hydrostatically tested every five years by a qualified technician.

Applies to:



Day
camp



Family
camp



Resident
camp



Trek
camp



Specialty-
adventure
camp



High-
adventure
camp

STANDARD:

The archery range must be supervised by trained and qualified persons at least 18 years of age. A National Camping School-trained shooting sports director or USA Archery/National Field Archery Association instructor must train the archery range master and issue a training course pocket certificate. The certificate must be renewed every two years.

INTERPRETATION:

Camp shooting sports positions and qualifications are outlined in the *BSA National Shooting Sports Manual*, No. 30931.

VERIFICATION:

- Documentation of age
- Relevant certificates on file (may be submitted with declaration)
- Observation of program implementation during assessment

Applies to:A black circle containing the text "Day camp" in white.A black circle containing the text "Family camp" in white.A black circle containing the text "Resident camp" in white.A black circle containing the text "Trek camp" in white.A black circle containing the text "Specialty-adventure camp" in white.A black circle containing the text "High-adventure camp" in white.

FIREARMS RANGE STAFF

SQ-407

(Revised January 1, 2013)

Applies to:

Day
camp

Family
camp

Resident
camp

Trek
camp

Specialty-
adventure
camp

High-
adventure
camp

B. *Cub Scout day, family, and resident camp (BB range only)*. BB-gun range masters must be at least 18 years of age and have successfully completed the BB-gun safety and training program for an authorized instructor, as outlined in the *BSA National Shooting Sports Manual*, No. 30931. Additional adult supervision is required for each additional eight shooters.

INTERPRETATION:

Shooting at camp properties other than as part of a camp subject to this standard must meet the requirements of the *Guide to Safe Scouting*. The *Guide to Safe Scouting* requires different supervision outside of the supervised camp environment.

VERIFICATION:

- Documentation of age
- Relevant certificates on file (may be submitted with declaration)
- Observation of program implementation

STANDARD:

The firearm range must be adequately supervised by qualified persons.

Specific Requirements of the Standard:

A. *Boy Scout or Venturing day, family, and resident camps; trek camps; specialty-adventure camps; high-adventure camps.*

1. *Program supervision.* The firearms program is supervised by a shooting sports director, at least 21 years of age, who holds a valid certificate of training from the Shooting Sports section of National Camping School. (NCS qualifications include rifle (also includes pellets and BBs), shotgun, muzzleloading, and archery instructor unless otherwise indicated on the card; pistol is offered at some NCS schools and, if completed, will be indicated on the NCS completion card.)
 - a. If an individual trained as a BSA shooting sports director is not available, the camp may be granted a waiver so that the shooting sports program may be operated by military, law enforcement, 4-H, or NRA instructors for one season only.
 - b. The shooting sports director must be in camp when any firearms range is in use.
2. *Firearms range supervision.* Each rifle, pellet gun, shotgun, pistol, and muzzleloading firearms range must have an NCS shooting sports director or NRA Instructor, 21 years of age or older, in charge of the firing line at any time it is in operation.
3. *Firearms range instructor ratios.*
 - a. When loading or firing rifles, pellet guns, or BB guns, there is a ratio of one instructor per eight shooters (1:8 instructor-to-pupil ratio). For each additional eight points, or fraction thereof, the minimum requirement is an 18-year-old or older instructor trained by the shooting sports director using at a minimum the NRA FIRST Steps three-hour training.
 - b. When loading or firing shotguns or muzzleloaders, there is a ratio of one instructor per shooter (1:1 instructor-to-pupil ratio).
 - c. For pistols the ratio of one instructor per three shooters (1:3 instructor-to-shooter ratio).
 - d. The firearms range supervisor (see paragraph A.2 above) at a resident, trek, specialty-adventure, or high-adventure camp only may serve as one of the instructors for purposes of the instructor-to-shooter ratios in this standard.

Applies to:


Day
camp



Family
camp



Resident
camp



Trek
camp



Specialty-
adventure
camp



High-
adventure
camp



CUB SCOUT SHOOTING SPORTS AWARDS REQUIREMENTS



SHOOTING SPORTS AWARDS

Cub Scout shooting sports programs may be conducted only on a district or council level. Archery, BB gun shooting, and slingshot shooting are restricted to day camps, Cub Scout/Webelos Scout resident camps, council-managed family camping programs, or to council activities where there are properly trained supervisors and all standards for BSA shooting sports are enforced. All shooting ranges in the Cub Scout program must be supervised by a qualified range master who is at least 18 years of age and who meets the minimum requirements. See specific qualifications and training requirements for Cub Scout shooting sports range masters in the *Boy Scouts of America National Shooting Sports Manual*, No. 430-938.

Cub Scouts earn the shooting sports awards in the following order:

1. Rank-level patch. Choose a discipline: BB gun, archery, or slingshot. Complete the Level 1 requirements for that discipline.
2. Discipline device (pin). Complete the Level 2 requirements for the same discipline in which the patch was earned.
3. Additional discipline devices. Earn pins for the remaining disciplines by completing the Level 1 and Level 2 requirements in those disciplines. (NOTE: Both Level 1 and Level 2 requirements must be completed for each successive discipline.)

SHOOTING SPORTS AWARDS



TIGER



WOLF

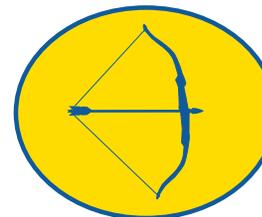


BEAR



WEBELOS

SHOOTING SPORTS AWARD PINS



BB GUN REQUIREMENTS

LEVEL 1: PARTICIPATION AND KNOWLEDGE (ALL RANKS)

1. Explain what you should do if you find a gun. Recite the four safety reminders.
2. On an approved range in your city or state, explain how to use the safety mechanism, and demonstrate how to properly load, fire, and secure the BB gun.
3. On an approved range, demonstrate to qualified leadership good shooting techniques, including eye dominance, shooting shoulder, breathing, sight alignment, trigger squeeze, and follow-through.
4. On an approved range, show how to put away and properly store BB gun shooting equipment after use.

LEVEL 2: SKILL AND KNOWLEDGE

To earn the Level 2 Skill and Knowledge recognition, Cub Scouts must complete the Level 1 Participation and Knowledge requirements, and do the following:

- Tigers must complete S1–S3 from the Tiger column.
- Wolves and Bears must complete S1–S4 from the Wolf/Bear column.
- Webelos and Arrow of Light Scouts must complete S1–S4 from the Webelos/Arrow of Light column.

	Tiger	Wolf/Bear	Webelos/Arrow of Light
S1	Demonstrate one of the positions associated with shooting BB guns.	Demonstrate one of the positions associated with shooting BB guns.	Demonstrate the prone, bench, and sitting positions associated with shooting BB guns.
S2	On an approved range, fire five BBs at the “TIGER” target. Score your target; then repeat and do your best to improve your score. (Fire a total of 10 BBs.)	On an approved range, fire five BBs at the “CUB SCOUT” target. Score your target; then repeat twice and do your best to improve your score each time. (Fire a total of 15 BBs.)	On an approved range, fire five BBs at the “WEBELOS/AOL” target. Score your target; then repeat three times and do your best to improve your score. (Fire a total of 20 BBs.)
S3	Demonstrate proper range commands, and explain how and when to use them.	Demonstrate proper range commands, and explain how and when to use them.	Demonstrate proper range commands, and explain how and when to use them.
S4		Tell five facts about the history of BB guns.	Tell five facts about the history of BB guns.

ARCHERY REQUIREMENTS

LEVEL 1: PARTICIPATION AND KNOWLEDGE (ALL RANKS)

1. Demonstrate how to follow archery range safety rules and whistle commands.
2. Identify and name a recurve bow and/or compound bow.
3. Explain and demonstrate how to apply and use arm guards, finger tabs, and quivers.
4. On an approved range, demonstrate how to safely and effectively shoot a bow and arrow, including how to establish a correct stance, nock the arrow, hook and grip the bow, raise the bow, draw, anchor, hold, aim, and release/follow through.
5. On an approved range, demonstrate how to safely retrieve arrows after the range is clear and the command to retrieve arrows has been provided.

LEVEL 2: SKILL AND KNOWLEDGE

To earn the Level 2 Skill and Knowledge recognition, Cub Scouts must complete the Level 1 Participation and Knowledge requirements, and do the following:

- Tigers must complete S1–S3 from the Tiger column.
- Wolves must complete S1–S4 from the Wolf column.
- Bears must complete S1–S4 from the Bear column.
- Webelos and Arrow of Light Scouts must complete S1–S4 from the Webelos/Arrow of Light column.

	Tiger	Wolf	Bear	Webelos/Arrow of Light
S1	Identify three parts of the arrow and three major parts of the bow you will be shooting.	Identify three parts of the arrow and four major parts of the bow you will be shooting.	Identify four parts of the arrow and five major parts of the bow you will be shooting.	Identify five parts of the arrow and six major parts of the bow you will be shooting.
S2	Shoot three arrows at a target on an approved range; then repeat and do your best to improve your score. (Shoot a total of six arrows.)	Shoot five arrows at a target on an approved range; then repeat and do your best to improve your score. (Shoot a total of 10 arrows.)	Shoot five arrows at a target on an approved range; then repeat twice and do your best to improve your score each time. (Shoot a total of 15 arrows.)	Shoot five arrows at a target on an approved range; then repeat three times and do your best to improve your score each time. (Shoot a total of 20 arrows.)
S3	Demonstrate proper range commands, and explain how and when to use them.	Demonstrate proper range commands, and explain how and when to use them.	Demonstrate proper range commands, and explain how and when to use them.	Demonstrate proper range commands, and explain how and when to use them.
S4		Tell five facts about archery in history or literature.	Tell five facts about archery in history or literature.	Tell five facts about archery in history or literature.



SLINGSHOT REQUIREMENTS

LEVEL 1: PARTICIPATION AND KNOWLEDGE (ALL RANKS)

1. On an approved range, demonstrate to qualified leadership good shooting techniques, including eye dominance, breathing, sight alignment, and follow-through.
2. On an approved range, explain the parts of a slingshot and demonstrate how to properly use them.
3. Explain the different types of ammunition that may be used with a slingshot and those that may not be used.
4. Explain the different types of targets that may be used with a slingshot and those that may not be used.

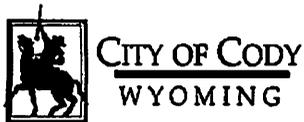
LEVEL 2: SKILL AND KNOWLEDGE

To earn the Level 2 Skill and Knowledge recognition, a Cub Scout must complete the Level 1 Participation and Knowledge requirements, and do the following:

- Tigers must complete S1–S3 from the Tiger column.
- Wolves must complete S1–S3 from the Wolf column.
- Bears must complete S1–S3 from the Bear column.
- Webelos and Arrow of Light Scouts must complete S1–S3 from the Webelos/Arrow of Light column.

	Tiger	Wolf	Bear	Webelos/Arrow of Light
S1	On an approved range, shoot three shots at a target; then repeat and do your best to improve your score. (Shoot a total of six shots.)	On an approved range, shoot five shots at a target; then repeat and do your best to improve your score. (Shoot a total of 10 shots.)	On an approved range, shoot five shots at a target; then repeat twice and do your best to improve your score each time. (Shoot a total of 15 shots.)	On an approved range, shoot five shots at a target; then repeat three times and do your best to improve your score each time. (Shoot a total of 20 shots.)
S2	Demonstrate proper range commands and explain how and when to use them.	Demonstrate proper range commands and explain how and when to use them.	Demonstrate proper range commands and explain how and when to use them.	Demonstrate proper range commands and explain how and when to use them.
S3	On an approved range, try shooting with your non-dominant hand.	On an approved range, try shooting with your non-dominant hand.	On an approved range, try shooting with your non-dominant hand.	On an approved range, try shooting with your non-dominant hand.





Cindy Baker <cindyb@cityofcody.com>

Yellowstone Regional Airport Grant

Bob Hooper <bobh@flyyra.com>

Thu, Apr 28, 2016 at 1:42 PM

To: Barry Cook <bcook@cityofcody.com>, Cindy Baker <cindyb@cityofcody.com>

Cc: bob adrian <papagranny@tctwest.net>, Scott Kolpitcke <scott@ckattorneys.net>

Cindy, could you please put the Yellowstone Regional Airport on next Tuesday Council Meeting Agenda. There will be two request.

1. To accept a Grant Agreement from the Federal Aviation Administration in the amount of \$1,350,000.00 to REHABILITATE TAXIWAY 'A', REHABILITATE TAXIWAY 'A' LIGHTING, AND INSTALL RUNWAY 4/22 VERTICAL/VISUAL GUIDANCE SYSTEM (4-BOX PAPI).
2. To approve an AGREEMENT FOR TRANSFER OF ENTITLEMENTS in the amount of \$228,831.00 from Yellowstone Regional Airport to Jackson Hole Airport.

These agreements need to be signed by a representative of the City of Cody and Certified by the City Attorney.

Explanation: The FAA grant in the amount of \$1,350,000.00 included 83% of the Airport AIP Entitlement and an AIP Entitlement fund loan for the remaining amount from the Jackson Hole Airport in order to make the Grant Agreement whole for the project. When the FAA receives the remaining AIP Entitlement Funds, the FAA will transfer the funds back to the Jackson Hole Airport.

Thanks,

Bob Hooper, A.A.E.

Manager

Yellowstone Regional Airport

P.O. Box 2748 / Cody, WY 82414 / 307-587-5096 x5 / 307-899-1025 c

From: Barry Cook [mailto:bcook@cityofcody.com]

MEETING DATE: MAY 3, 2016
DEPARTMENT: ADMINISTRATIVE SERVICES
PREPARED BY: CINDY BAKER
DEPT. DIR. APPROVAL: _____
CITY ADM. APPROVAL: _____
PRESENTED BY:

AGENDA ITEM SUMMARY REPORT

Request for a Distillery Satellite License

BACKGROUND

Currently Buffalo Jump Wines, LLC holds a Winery License for 1326 Beck Avenue. They have since begun to expanding the business activities at this location to include distillery operations.

SUMMARY

Buffalo Jump Wines, LLC and Geyser Distilling, LLC have filed applications for a new Distillery Satellite license for 1326 Beck Avenue. Since the applications have been submitted to the State Liquor Division, a concern of the dispensing room. This item was addressed and resubmitted to the State for concurrence. A Public Hearing was conducted on April 5th with no verbal or written comments being presented against or for this operation.

FISCAL IMPACT

If approved, the City will receive a prorated fee of \$24.99 and an annual renewal fee of \$100.00

ATTACHMENTS

AGENDA & SUMMARY REPORT TO:

1. Scott Wagner

AGENDA ITEM NO. _____

MEETING DATE:	MAY 3, 2016
DEPARTMENT:	COMMUNITY DEVELOPMENT
PREPARED BY:	TODD STOWELL
CITY ADM. APPROVAL:	_____
PRESENTED BY:	TODD STOWELL

AGENDA ITEM SUMMARY REPORT **The Final Plat of the Cedar Mountain 16-Lot Subdivision**

ACTIONS TO BE TAKEN

Request to approve the final plat of the Cedar Mountain subdivision, subject to a number of conditions, and grant an extension for filing the final plat.

SUMMARY

Jerry Thiel and Sons Construction has submitted the final plat application and construction plans for the Cedar Mountain Subdivision, a 16-lot residential subdivision on a 4.16 acre property located on the west side of 12th Street, just south of Elm Avenue. The documents are attached. The preliminary plat was approved by the City Council on March 1, 2016.

MODIFICATIONS TO PROJECT

With the engineering design process, there were a few issues that arose that have led to modifications to the project and original design. They include:

Storm Water and Road Modifications:

The preliminary plat depicted a storm water collection system that would capture runoff at various locations and pipe that storm water to a common infiltration trench on Tract B. The current plan captures the runoff at four individual infiltration trenches and eliminates piping—see Sheet 3. Two of those infiltration features are incorporated into the street as islands—similar to the design used in Maple Leaf Court off of West Cooper Lane.

As a result of the storm water and street changes, the following clarifications are made. The two infiltration trenches in the alley areas are to be maintained by the lot owners—an agreement will need to be created. The two infiltration features in the street islands will be maintained by the City as part of the street system.

Alley Width Modification:

Due to the fence encroachment and hillside along the south end of the subdivision, the developer requests permission to reduce the width of the improved alley surface from 20 feet to 16 feet. Section 11-4-2(P) of the City code allows this option as follows: "*A variance of up to four feet (4') may be granted by the commission and council in a residential development if setbacks are provided for utility boxes, garbage cans, etc.*" In this case, the three-foot utility easement along these lots will provide that setback for the utility boxes and dumpsters.

AGENDA ITEM NO. _____

Timing to Record the Final Plat.

The subdivision ordinance specifies that the final plat is to be recorded within 100 days of the City Council approval, unless an extension is granted (per 11-3-3-A-7). The applicant would prefer to not record the final plat until construction of the subdivision improvements is completed. Staff and the Planning and Zoning Board are okay with this request.

STATUS OF PRELIMINARY PLAT CONDITIONS

The conditions required with the preliminary plat approval follow, with a note indicating the status of the condition.

1. Cash in lieu of public use areas shall be provided. Final calculations will be made at time of final plat submittal and payment due prior to the mayor signing the final plat (2016 value= \$15,122).
Status: Amount will need to be paid prior to mayor signing the final plat.

2. A maintenance agreement and/or homeowner's association shall be established for maintenance of the storm water basin and pipe. The legal documents shall be submitted for review and approval with the final plat application. Also, include an explanatory note referencing such on the final plat.
Status: A draft agreement was submitted, but it needs modified and expanded to include maintenance of the two infiltration trenches, and a few technical corrections. The applicant would like to have time to work with city staff and the city attorney on the language, which would mean Council approval would be subject to final approval of the documents by the City Attorney prior to the mayor signing the final plat. The note is found on the plat (#6).

3. The storm water basin shall be lined with decorative rock/cobble or grass.
Status: The plans show cobble lined basins.

4. If not all of Tract A is accepted by City, the remaining portion of Tract A shall be deeded to either a homeowner's association or as common ownership of the lot owners and a maintenance agreement established—it could be the same agreement as the one for the storm water basin. The document(s) shall be recorded at the time of the final plat.
Status: The City Council agreed to accept only a portion of Tract A. Tract B has been created to represent the area that the homeowners will own and maintain. As noted in #2 above, an agreement for maintenance was submitted but needs changes. It also needs to be expanded to include maintenance of the trees in the alley right-of-way. Note #3 on the final plat references the requirement to maintain Tract B.

5. Add a note to the preliminary and final plats that limits lot use to single-family residential (attached or detached).
Status: Met. See Note 1 on final plat.

6. Negotiate an encroachment license with the City to cover the situation of the fence within the dedicated alley.
Status: Pending. The agreement will need to cover not just the fence, but some existing trees that the applicant would like to preserve.

7. Lot size and alley configuration may be slightly modified based on engineering design, without the need to formally amend the preliminary plat. If modifications are made, an updated preliminary plat drawing shall be presented for acceptance with the final plat.
Status: The lot sizes and property lines remain unchanged.
8. Provide dust control during subdivision development as needed to prevent dust impacts to neighboring properties.
Status: Note 10 on Sheet 3 indicates that dust control will be used during construction and disturbed areas will be reseeded.
9. Provide a complete drainage report with the construction documents.
Status: Met.
10. Note the special exemption approval on the final plat.
Status: Met. See Note 3 under Variances.
11. The final plat application and construction documents shall otherwise comply with the City subdivision ordinance.
Status: At the time of the staff report, we believe this has been met—additional verification will occur before the Tuesday meeting.

OTHER:

1. The water and sewer plans have yet to be approved by WY Dept. of Environmental Quality (DEQ), which will be needed prior to construction.
2. As of the time of this staff report, we have not received confirmation from CenturyLink or TCT that the plans meet their standards and that they are willing to provide service. As these utilities typically follow in the same trench as the electric, we expect the plan to be acceptable. Confirmation will be needed before construction occurs and the mayor signs the final plat.

RECOMMENDATION:

The Planning and Zoning Board recommends approval of the final plat to the City Council, subject to the following conditions.

1. Modify the plans to provide a 24-foot wide driving surface between the street infiltration trenches.
2. Update the electrical plan to relocate the streetlight feed for the northern streetlight, and overlay on the final plat drawing. (It is currently shown on an early version of the preliminary plat that has slightly different lot sizes and easement locations.)
3. Complete conditions 1, 2, 4, and 6 of the preliminary plat approval prior to the mayor signing the final plat. The legal documents (deed, agreements, etc.) must be reviewed by the city attorney to ensure they properly establish ownership and maintenance responsibilities.
4. Utility subdivision fees shall be paid prior to installation of the utilities and before the mayor will sign the final plat.
5. All utility providers must approve the construction plans, as evidenced by their signature on the construction plans, prior to installation of the utilities.
6. WY DEQ approval of the water and sewer plans must be obtained prior to installation of utilities.

AGENDA ITEM NO. _____

7. Any modifications to the infiltration trench designs required by DEQ must be incorporated into the plans. The infiltration trenches must be registered with WY DEQ, prior to the City accepting the infrastructure improvements.

And, grant a variance to the alley surface width to permit a 16-foot wide surface around the south end of the subdivision, as indicated on the plans.

And, grant an extension to file the final plat until the subdivision infrastructure is in place, but no longer than one year from the date of Council approval.

ATTACHMENTS:

Construction Plans and Final Plat

AGENDA & SUMMARY REPORT TO:

Jerry & Kip Thiel

Joe Desjardin, Trailstone Engineering

CEDAR MOUNTAIN SUBDIVISION CONSTRUCTION PLANS CODY, WY

DRAFTING BY:
Morrison Maierle, Inc.
1402 Stampede Avenue
Cody, WY 82414
Phone: (307) 587-6281

PREPARED FOR:
Jery Thiel & Sons Construction, Inc.
P.O. Box 1566
Cody, WY 82414
Phone: (307) 527-6401

Trailstone Engineering, LLC
1519 Acadia Street, Cody, WY 82414
www.TrailstoneEngineering.com
Phone (307) 899-2020



DATE	REVISION	PER CITY OF CODY'S COMMENTS
04/15/16		

CEDAR MOUNTAIN SUBDIVISION
COVER SHEET

UTILITY/SERVICE	PROVIDER	APPROVED	CONTACT INFORMATION
TREATED WATER & RAW WATER	CITY OF CODY		KEITH VILES, SUPERINTENDENT 119 19TH STREET CODY, WY 82414 307.587.2958
SANITARY SEWER	CITY OF CODY		KEITH VILES, SUPERINTENDENT 119 19TH STREET CODY, WY 82414 307.587.2958
ELECTRICAL	CITY OF CODY		BERT POND 1338 RUMSEY AVENUE CODY, WY 82414 307.527.7511
NATURAL GAS	BLACK HILLS ENERGY		STEPHANIE FRYE 2320 MOUNTAIN VIEW DRIVE CODY, WY 82414 307.527.3976
CABLE TV	CHARTER COMMUNICATION		JAKE BISHOP 2432 SHERIDAN AVE. CODY, WY 82414 307.240.7498
TELEPHONE	CENTURY LINK		TERRY FERRUZZA 614 14TH ST. CODY, WY 82414 307.587.7159
FIBER OPTIC	TCT		BEN WALKER 1601 SOUTH PARK CODY, WY 82414 307.587.3800 BEN.WALKER@TCTSTAFF.COM

LEGEND:

- BRASS CAP SET
- LIGHT POLE
- EXISTING SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- DROP INLET
- UTILITY POLE
- POWER BOX
- GUY ANCHOR
- REBAR WITH ALUMINUM CAP FOUND
- BRASS TABLET FOUND
-
- FIRE HYDRANT
- YARD HYDRANT
- WATER VALVE
- EXISTING FENCE
- EXISTING GAS LINE
- OVERHEAD POWER
- PROPOSED SEWER LINE
- EXISTING SEWER LINE
- PROPOSED TREATED WATER LINE
- PROPOSED RAW WATER LINE
- EXISTING EASEMENTS
- COMMON TRENCH
- PROPOSED CONTOUR LINES
- EXISTING CONTOUR LINES
- BEDDING MATERIAL
- AGGREGATE BASE
- CONCRETE

VICINITY MAP:



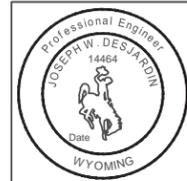
SCALE: 1" = 200'

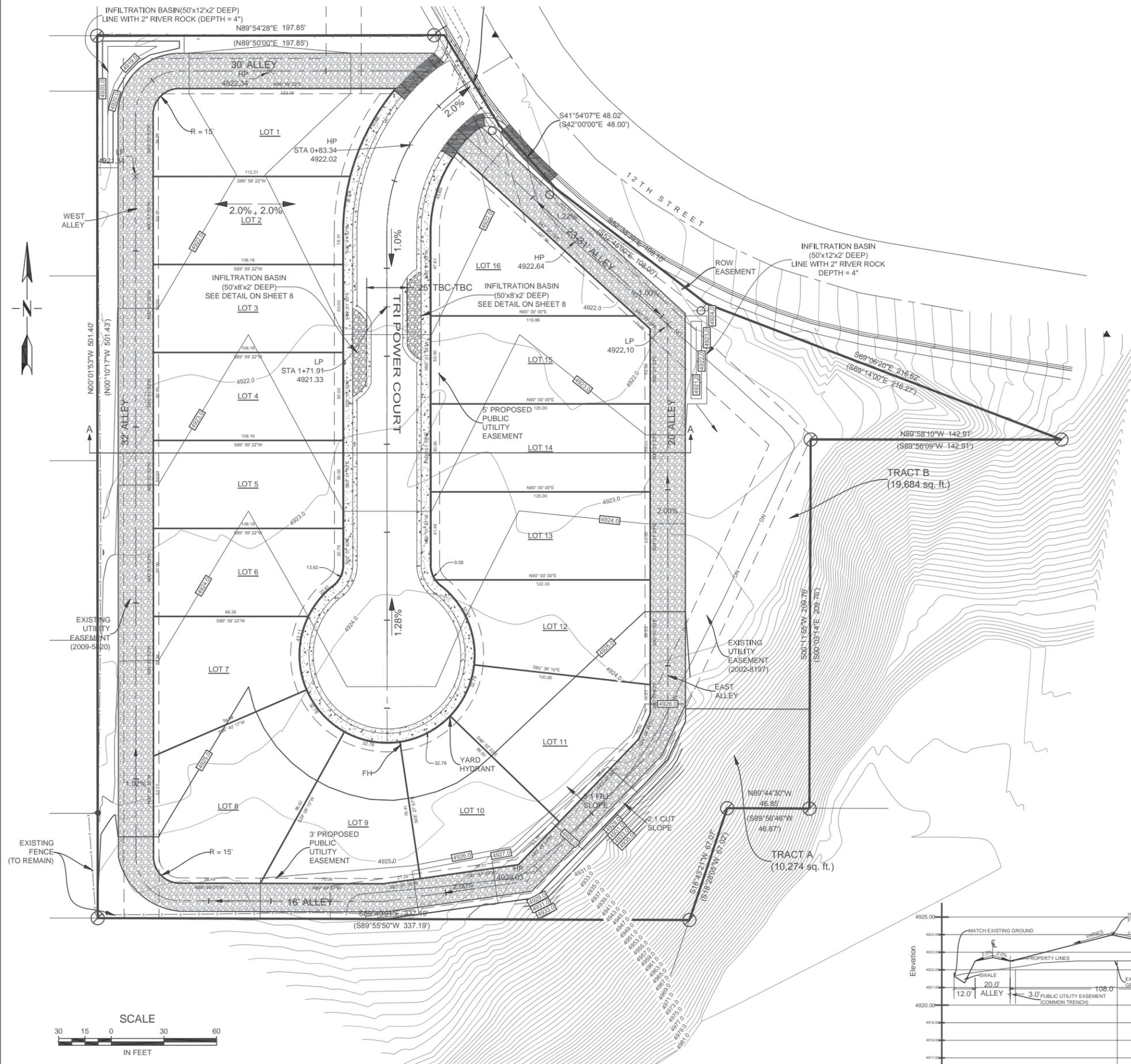
GENERAL NOTES:

- Existing Conditions – a survey of existing conditions was completed by Holm, Blough & Company (now Morrison Maierle) in December 2015. City of Cody horizontal and vertical datum was used.
- Existing Utilities – are shown as coordinated through Wyoming One Call and/or derived from record drawings of existing utilities. The Contractor shall be responsible for utility locates during each phase of work and shall take necessary precautions to protect existing utilities in place. Contractor shall notify One-Call of Wyoming (811 or 800 849 2476) 48 hours before excavation.
- Existing Improvements – the site is bound by existing fences, trees, other improvements and 12th Street. Contractor shall be responsible for damage to existing improvements during construction.
- Plans – contractor shall build from approved construction plans as indicated by engineer's signature and/or subsequent revisions received from engineer.
- Construction – shall be completed in 2016. Cold weather work shall be responsibility of contractor.
- Engineer and Inspector – shall be available upon 24 hour notification. Construction staking, inspection and material testing will be provided at owner's expense.
- Substantial Completion – Tri Power Court will be substantially complete after concrete collars are poured, sidewalk and signage is installed.
- Punchlist – contractor shall complete punchlist items within 2 weeks.
- Record Drawings – engineer will produce record drawings based on as built notes and sketches provided by contractor. Engineer shall provide City of Cody an engineer's statement, surveyor statement, reproducible plans, daily construction log, material test results, photographic log and subdivider guaranty in accordance with City Code 11-5-1 A. 2.
- Acceptance – date of final acceptance will be determined by the City of Cody.
- Warranty – contractor shall provide one-year warranty of improvements.

SHEET INDEX:

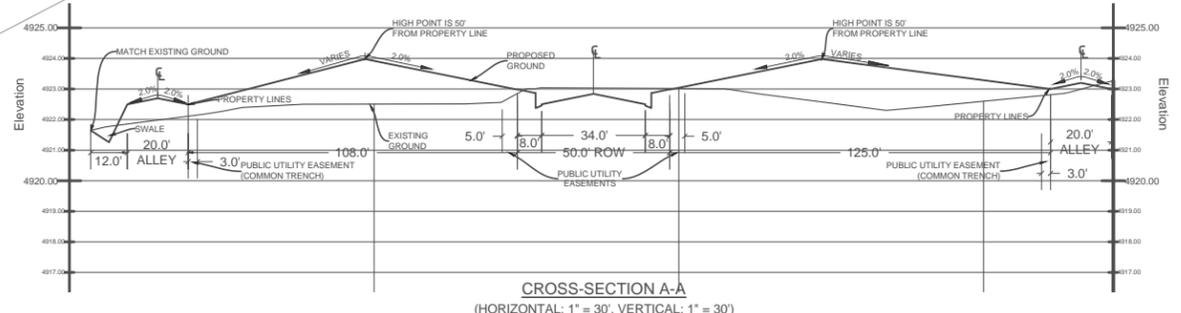
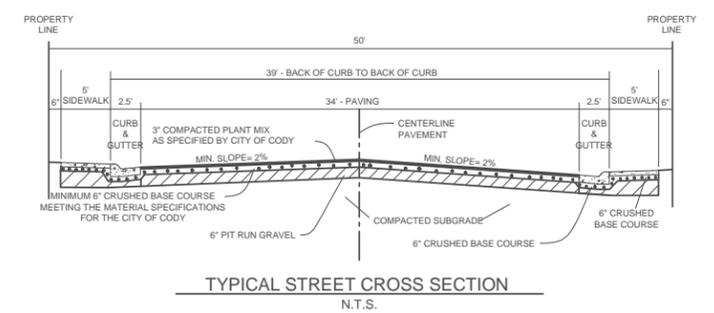
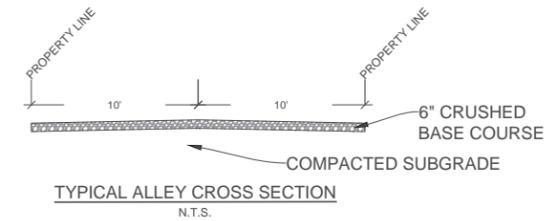
- SHEET 1 - COVER SHEET
- SHEET 2 - FINAL PLAT
- SHEET 3 - GRADING PLAN
- SHEET 4 - SANITARY SEWER PLAN
- SHEET 5 - TREATED WATER PLAN
- SHEET 6 - RAW WATER PLAN
- SHEET 7 - DRY UTILITY PLAN
- SHEET 8 - STREET PLAN
- SHEET 9 - INTERSECTION DETAIL
- SHEET 10 - STANDARD STREET DETAILS
- SHEET 11 - WATER & SEWER DETAILS
- SHEET 12 - ELECTRIC PLAN





Notes:

1. Pothole Existing Gas Main – prior to grading (excavation) over the existing gas main, the contractor will expose the existing gas main for the engineer's measurement and recording.
2. Tracking Pad – contractor shall install a gravel tracking pad at 12th Street entrance of sufficient size to prevent tracking of mud onto 12th Street, 12'x50' minimum size.
3. Erosion Control Fence - perimeter fencing is not required
4. Existing Trees – Several trees exists onsite and are not shown on the plans. Contractor shall preserve as many trees as reasonably possible. No trees will remain in 20-foot gravel alley.
5. Clear & Grub – the site (area bound by alleys) shall be cleared of vegetative material prior to grading. Cleared organic material will be disposed offsite by the contractor.
6. Stripping – a minimum of 4-inches will be stripped from site and stockpiled within lots for later use.
7. Cut & Fill – shall be completed as shown on the plans. Final grading of lots shall occur after home building.
8. Compaction – shall be completed to 95% standard proctor and +/- 2% optimum moisture.
9. Fine Grading – contractor shall be responsible for fine grading after sidewalk and alley construction is completed.
10. Fugitive dust – contractor shall be responsible for dust control during construction and will reseed all disturbed areas in 2016
11. Home Building – will occur subsequent to site development. Excess material from basement and/or foundation excavation will be used to achieve 2% minimum slopes as shown on the grading plan. Grades will slope away from foundations and window wells.
12. Variance for 16' gravel in 20' alley along Lots 8-11.



DRAFTING BY:
Morrison Maleife, Inc.
1402 Stampede Avenue
Cody, WY 82414
Phone: (307) 587-6281

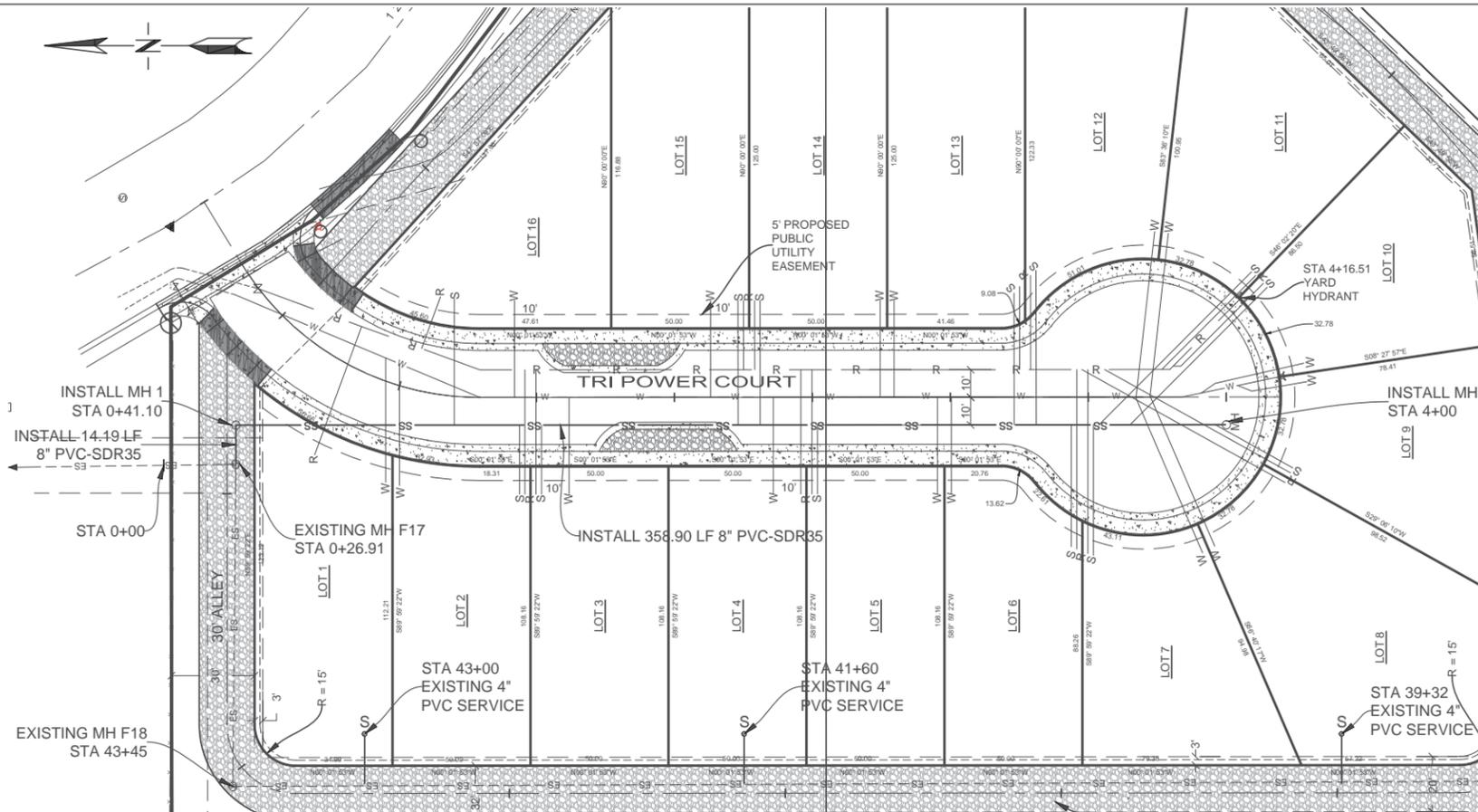
PREPARED FOR:
Jery Thiel & Sons Construction, Inc.
P.O. Box 1566
Cody, WY 82414
Phone: (307) 527-6401

Trailstone Engineering, LLC
1519 Acadia Street, Cody, WY 82414
www.TrailstoneEngineering.com
Phone (307) 899-2020

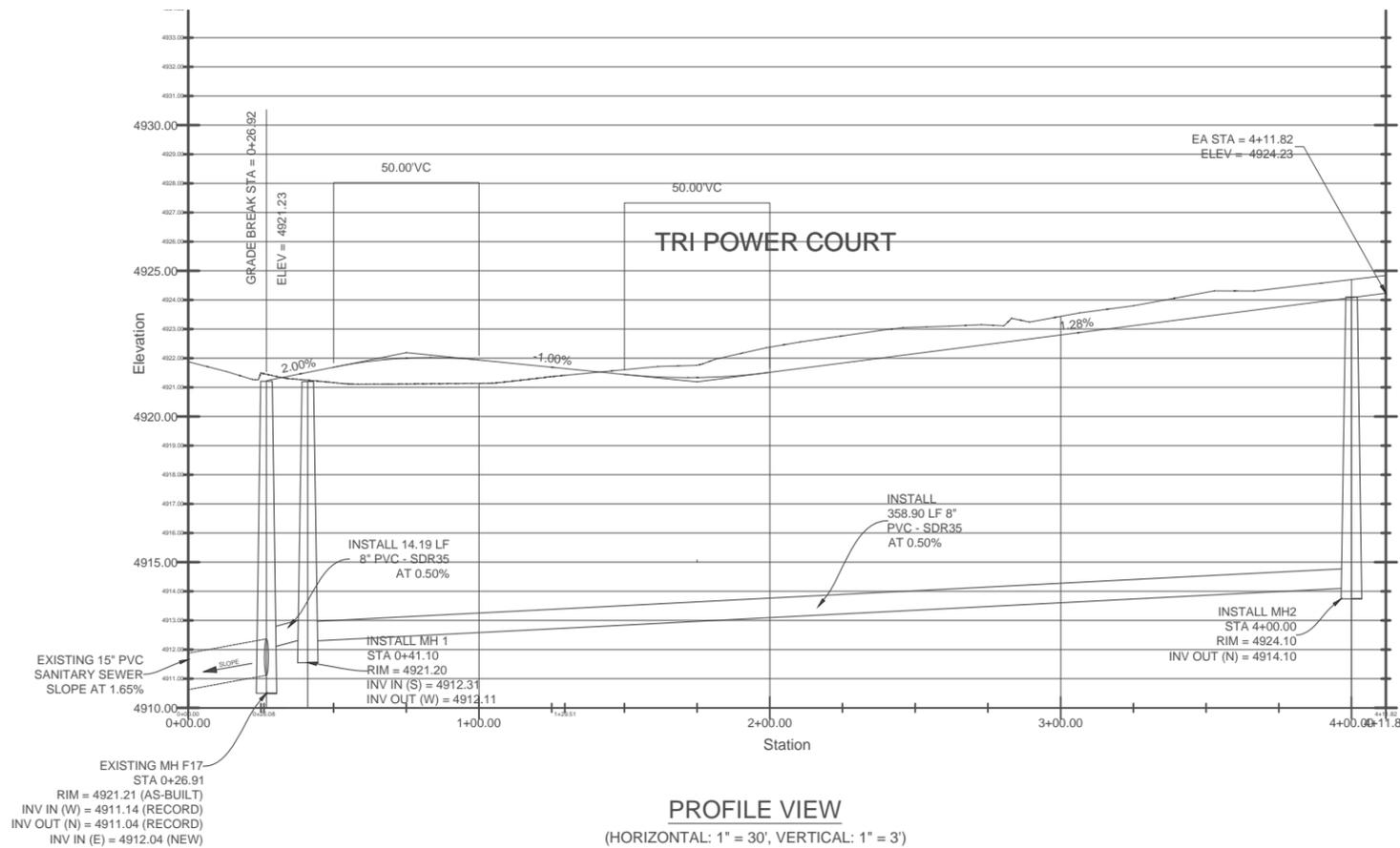
DATE	REVISION	PER CITY OF CODY'S COMMENTS
04/15/16	1	

CEDAR MOUNTAIN SUBDIVISION
GRADING PLAN

GRADING SHEET 3 of 12



PLAN VIEW
(1" = 30')



PROFILE VIEW
(HORIZONTAL: 1" = 30', VERTICAL: 1" = 3')

Notes:

1. Regulations – sanitary sewer improvements shall be installed per City of Cody rules and regulations and Wyoming Public Works Standard Specifications (WPWSS).
2. Stationing – is along centerline of pipe. Stationing of pipe matches stationing of roadway centerline beginning at STA 1+29.51.
3. Tie in – the plans specify the connection to the existing manhole to be 12-inches above the invert out. The invert out elevation was obtained from record drawings. Contact engineer if field elevations are not as shown.
4. Services – shall be extended to 10-feet inside property line and shall be 4" PVC, SDR 35 pipe per detail on Sheet 11.
5. Inspection – engineer shall be notified to observe tie in at existing manhole, main and service installation and hydrostatic testing upon completion.
6. Compaction – compaction of bedding material and backfill shall be completed per the specifications.

DRAFTING BY:
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Cody, WY 82414
Phone: (307) 587-6281

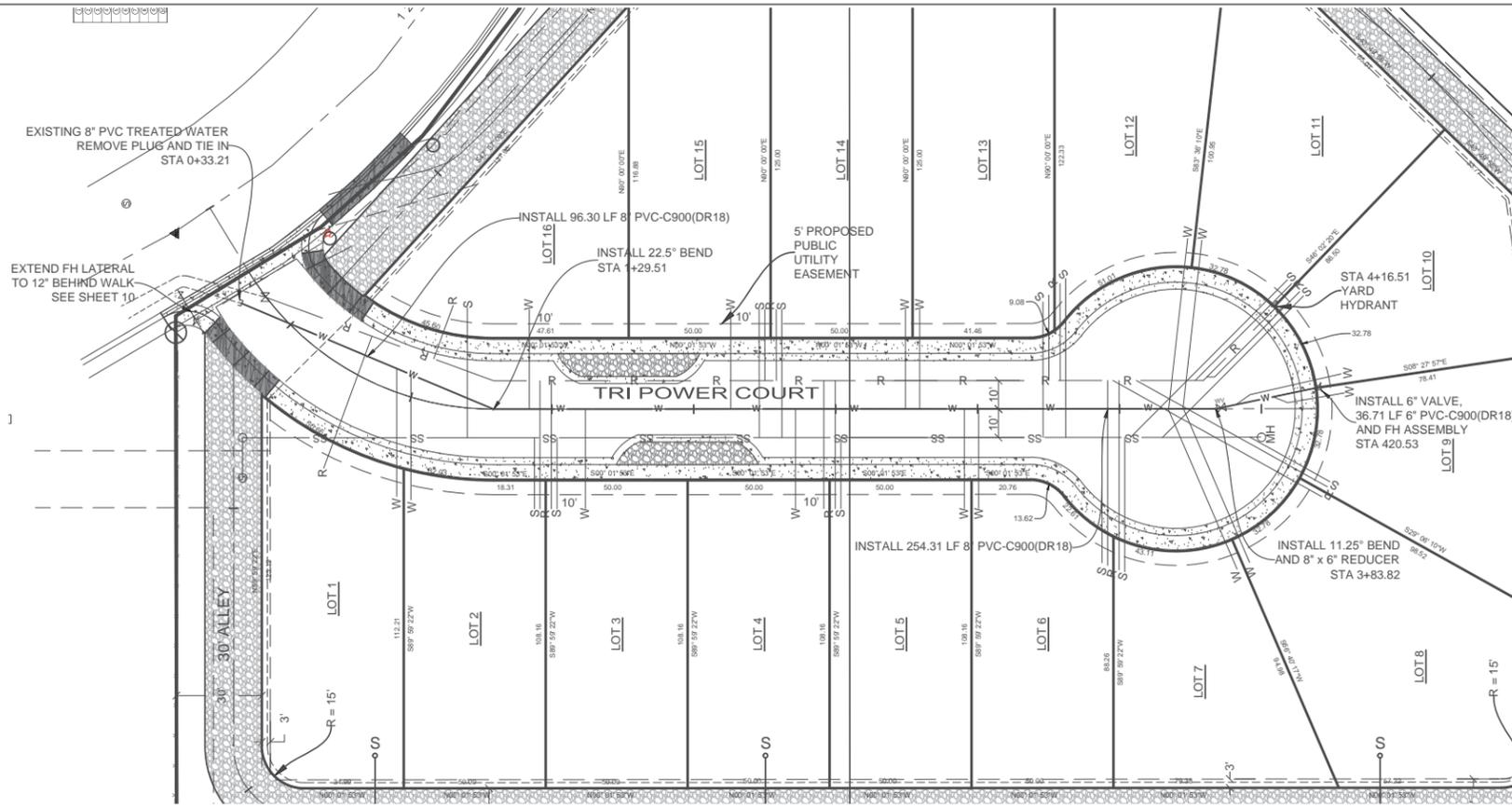
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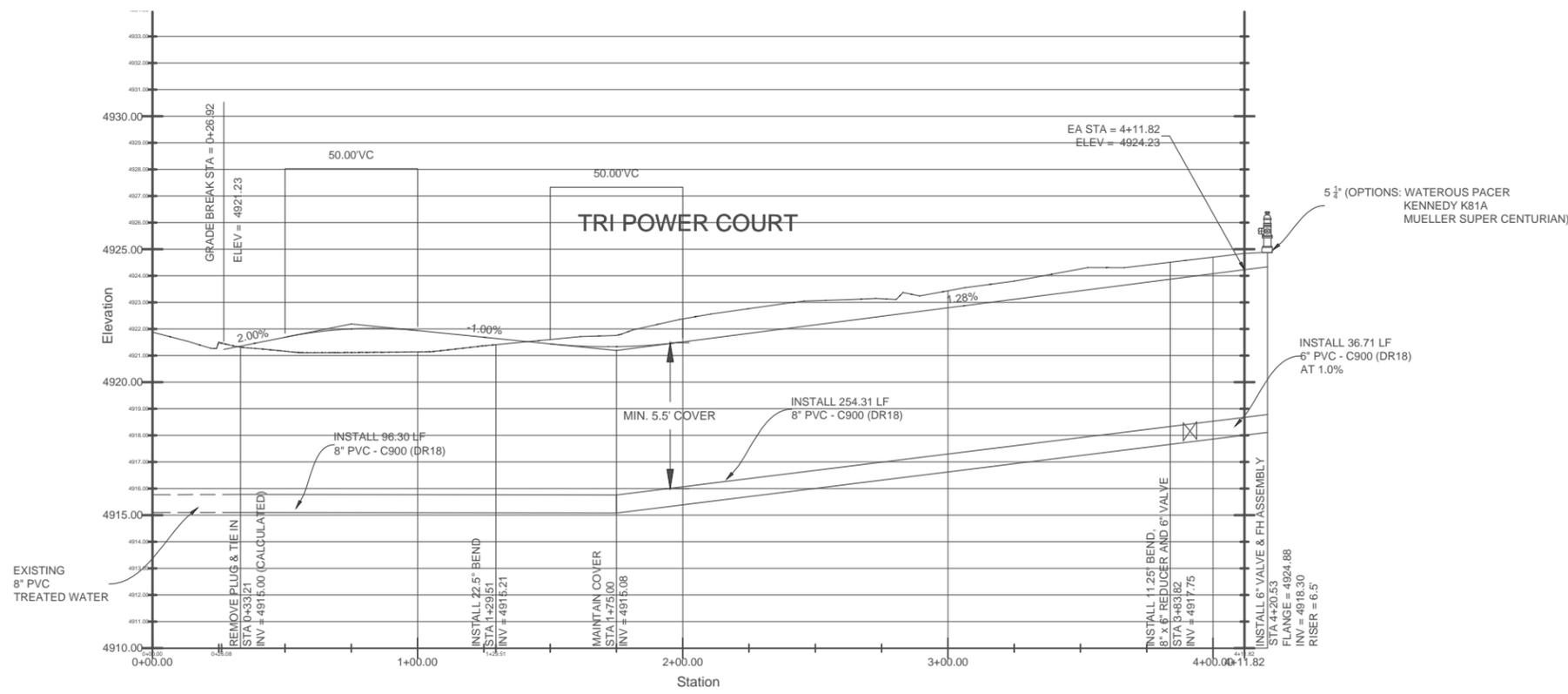


NO.	REVISION	DATE
1	PER CITY OF CODY'S COMMENTS	04/15/18

CEDAR MOUNTAIN SUBDIVISION
SANITARY SEWER PLAN



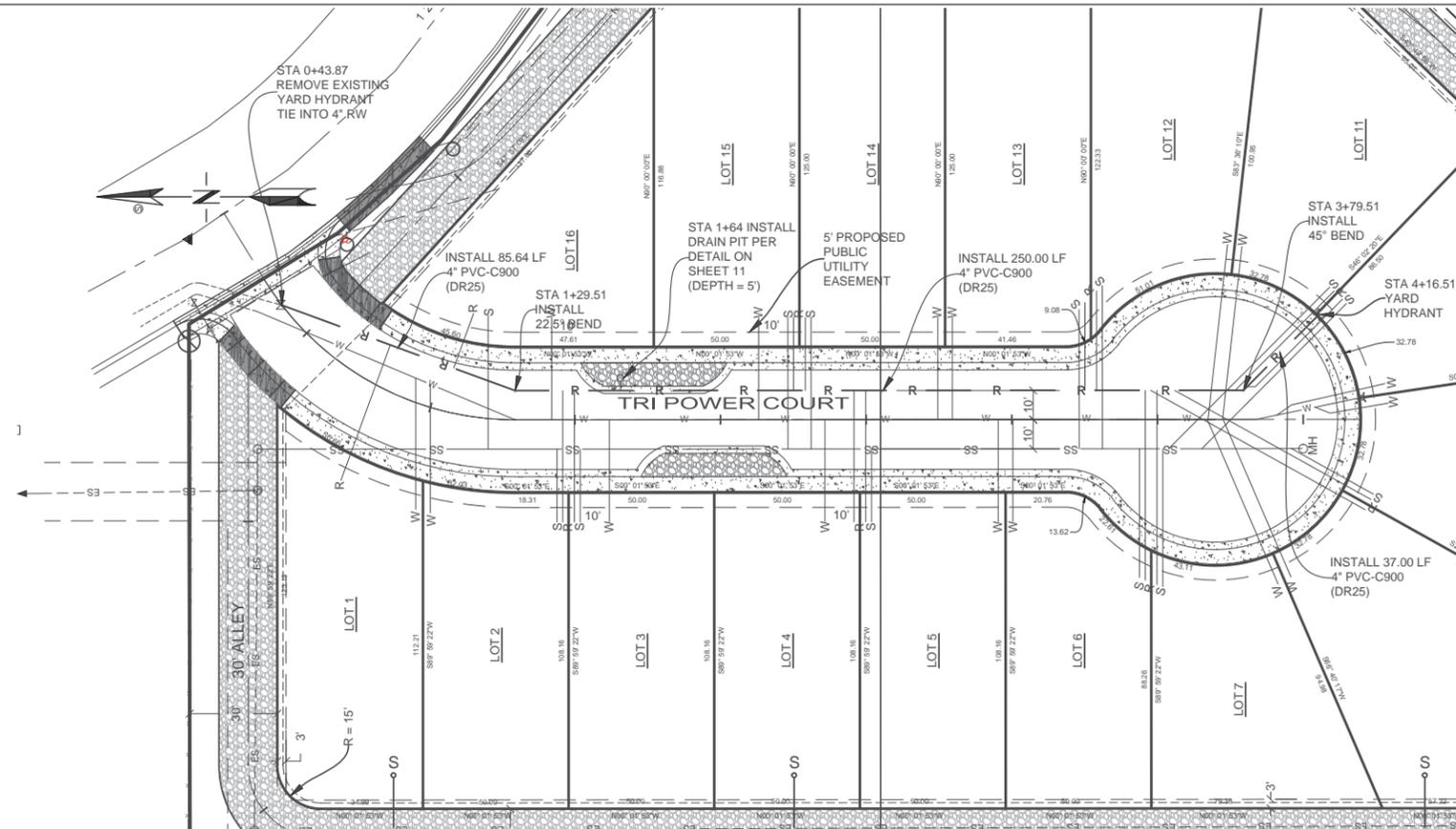
PLAN VIEW
(1" = 30')



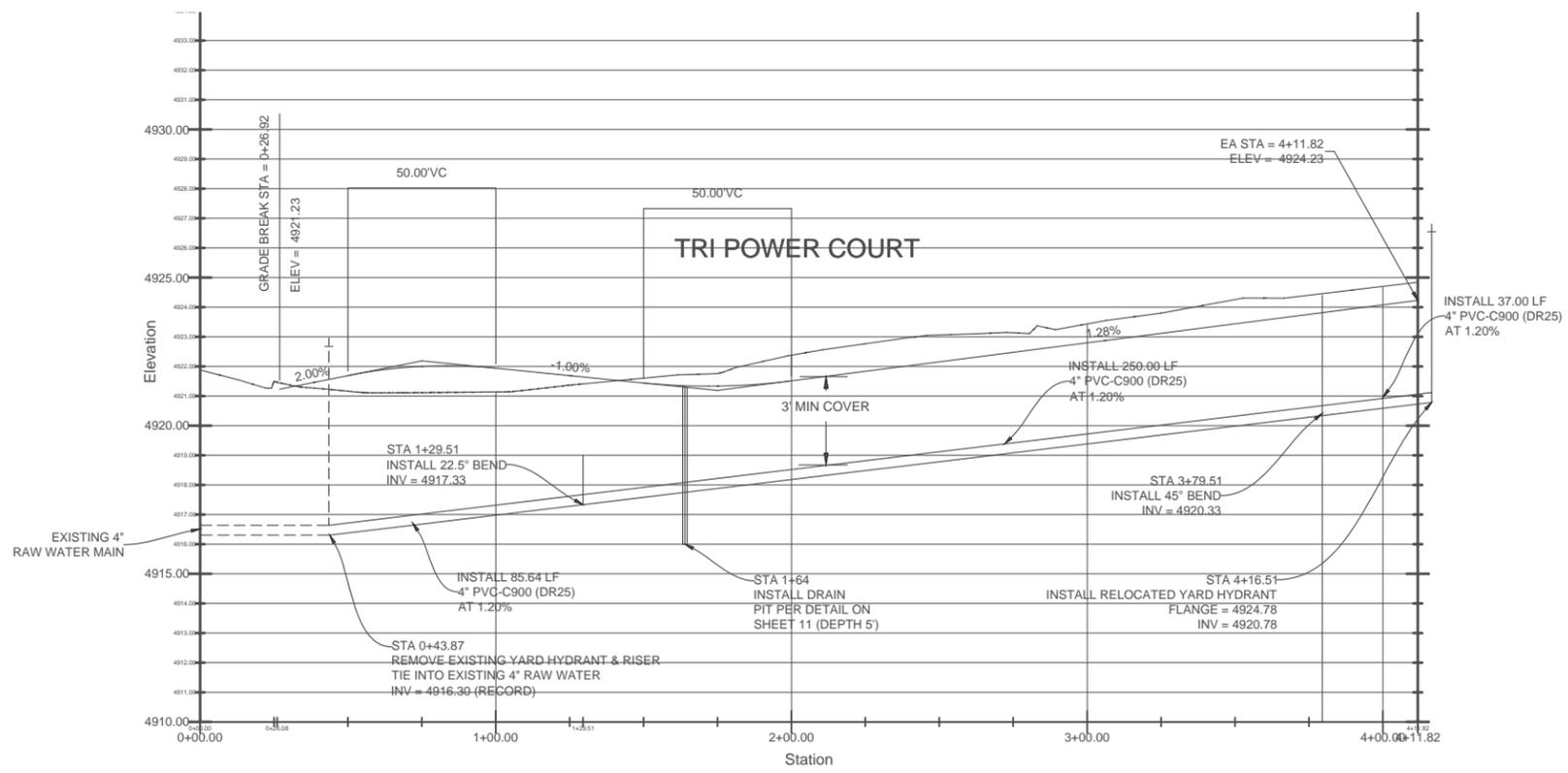
PROFILE VIEW
(HORIZONTAL: 1" = 30', VERTICAL: 1" = 3')

- Notes:
1. Regulations – treated water improvements shall be installed per City of Cody rules and regulations and Wyoming Public Works Standard Specifications (WPSS)
 2. Stationing - is along centerline of pipe. Stationing of pipe matches stationing of roadway centerline beginning at STA 1+29.51.
 3. Tie in – record plans for Kit Cody Development Project dated 2008, show an existing 8-inch PVC main installed and plugged just past the property line. Remove plug and tie-in.
 4. Services – shall be extended 6-feet inside property line and shall be ¾-inch Type "K" copper pipe as shown on Sheet 11.
 5. Fire Hydrant shall be Waterous Pacer, or Kennedy K81A, or Mueller Super Centurian, or other model acceptable to the City of Cody and shall be painted WHITE.
 6. Inspection – engineer shall be notified to observe tie in at existing stub, main and service installation and pressure & BacT testing upon completion.
 7. Compaction - compaction of bedding material and backfill shall be completed per the specifications.

<p>DRAFTING BY: Morrison Maleife, Inc. 1402 Stampede Avenue Cody, WY 82414 Phone: (307) 587-6281</p>	<p>PREPARED FOR: Jerry Thiel & Sons Construction, Inc. P.O. Box 1566 Cody, WY 82414 Phone: (307) 527-6401</p>	<p>Trailstone Engineering, LLC 1519 Acadia Street, Cody, WY 82414 www.TrailstoneEngineering.com Phone (307) 899-2020</p>	DATE	04/15/16
			REVISION	PER CITY OF CODY'S COMMENTS
<p>CEDAR MOUNTAIN SUBDIVISION TREATED WATER PLAN</p>	NO.	1		
	SHEET 5 of 12			



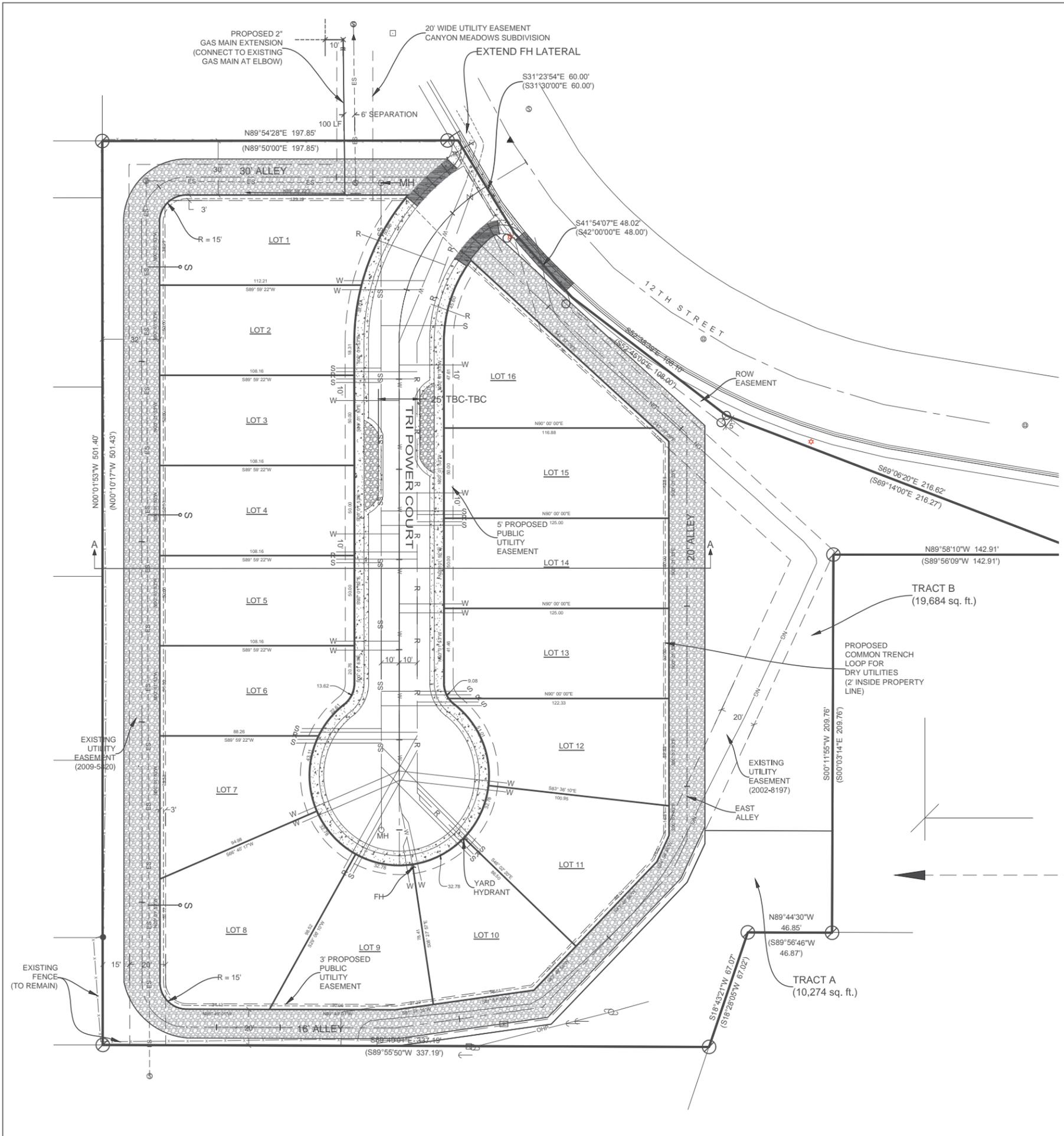
PLAN VIEW
(1" = 30')



PROFILE VIEW
(HORIZONTAL: 1" = 30', VERTICAL: 1" = 3')

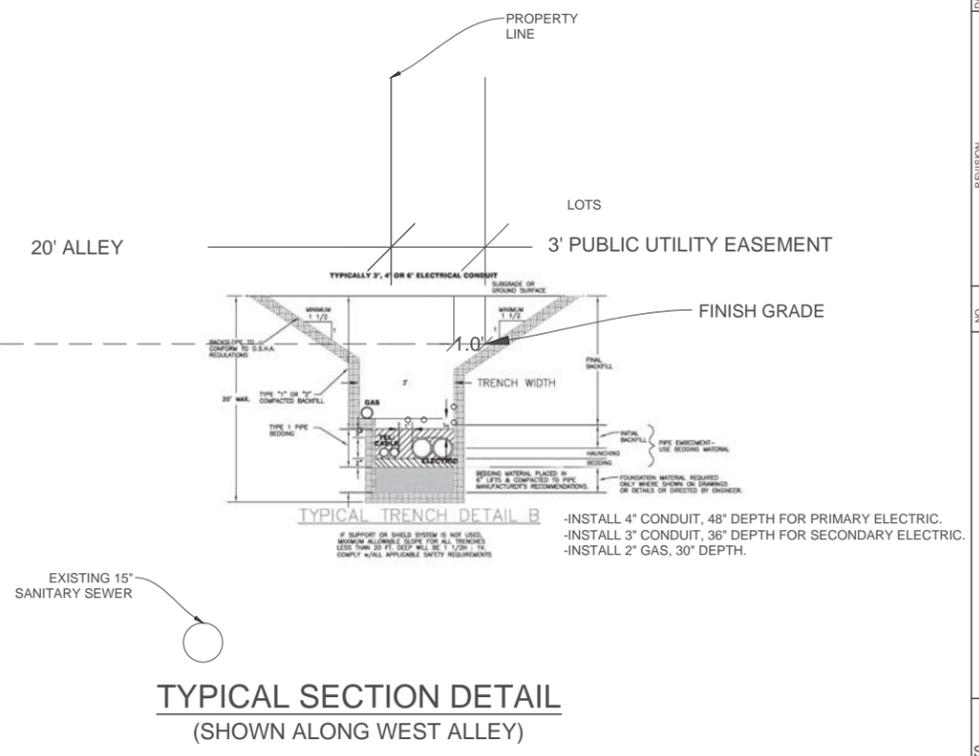
- Notes:
1. Raw Water Improvements - shall be installed per City of Cody rules and regulations and Wyoming Public Works Standard Specifications (WPWSS)
 2. Stationing - is along centerline of pipe. Stationing of pipe matches stationing of roadway centerline beginning at STA 1+29.51.
 3. Tie in - record plans for Kit Cody Development Project dated 2008, show an existing 4-inch PVC main installed with yard hydrant just past the property line. Remove yard hydrant and tie-in.
 4. Services - shall be extended 4-feet inside property line and shall be 3/4-inch Drisco 5100 Ultra Line pipe and sloped towards main as shown on Sheet 11.
 5. Inspection - engineer shall be notified to observe tie in at existing stub, main and service installation and pressure testing upon completion.
 6. Compaction - compaction of bedding material and backfill shall be completed per the specifications.

DRAFTING BY: Morrison Maleife, Inc. 1402 Stampede Avenue Cody, WY 82414 Phone: (307) 587-6281	
PREPARED FOR: Jerry Thiel & Sons Construction, Inc. P.O. Box 1566 Cody, WY 82414 Phone: (307) 527-6401	
Trailstone Engineering, LLC 1519 Acadia Street, Cody, WY 82414 www.TrailstoneEngineering.com Phone (307) 899-2020	
DATE	04/15/16
REVISION	PER CITY OF CODY'S COMMENTS
NO.	1
CEDAR MOUNTAIN SUBDIVISION RAW WATER PLAN	
SHEET 6 of 12	



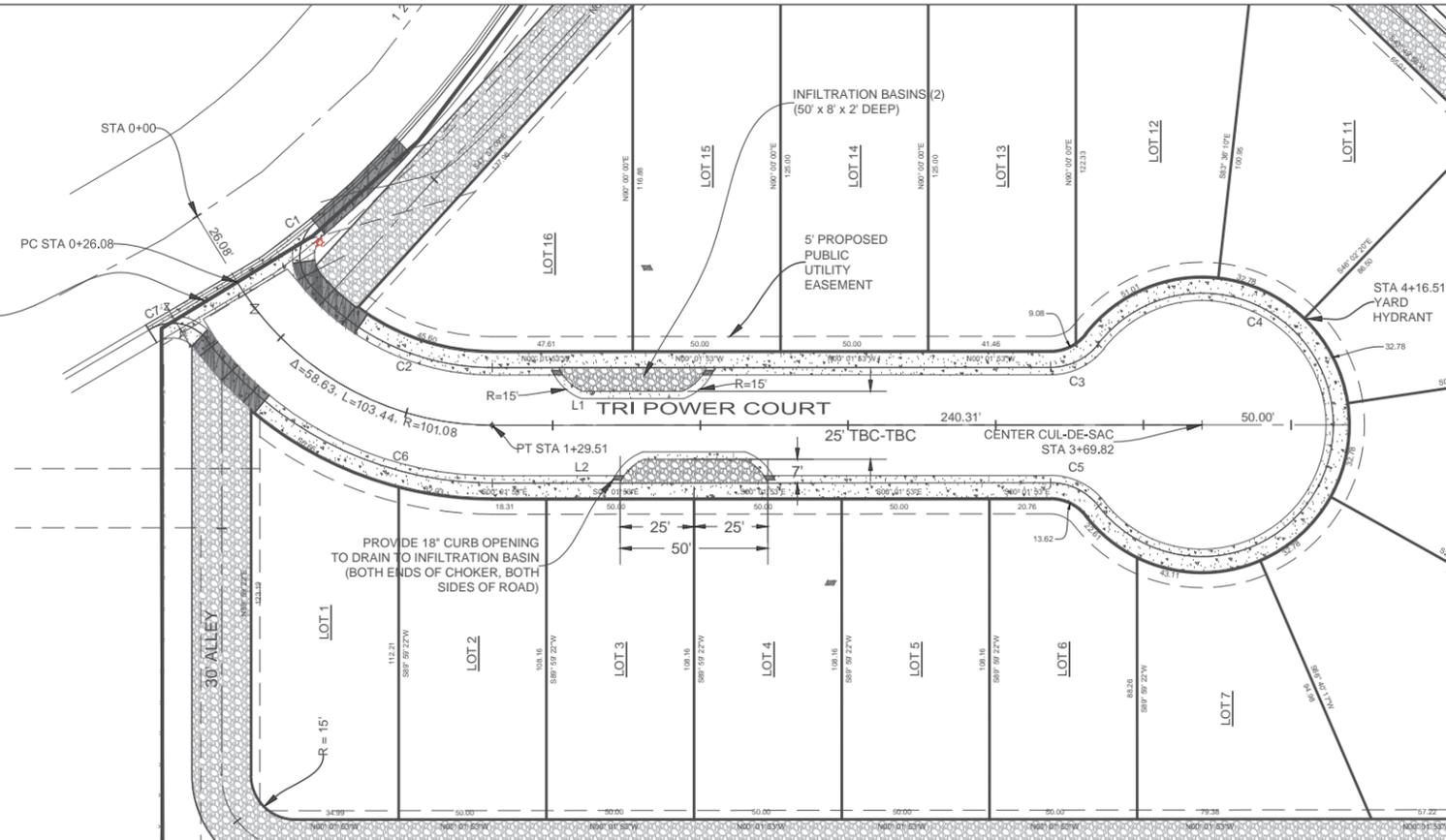
Notes:

1. Installation in accordance with utility provider specifications.
2. Stationing – is along centerline of alley.
3. Gas – Mainline extension will be 2-inch diameter. Point of connection is Elm Avenue, 10 feet west of sewer easement. Existing gas main is under asphalt pavement, one foot from south curb line. Restore sewer easement surface to original or better condition.
4. Electric – Conduit for primary shall be 4-inch diameter and conduit for secondary shall be 3-inch diameter.
5. Mains – contractor shall install 8-inch sleeve across Tri Power Court as shown on Sheet 10.
6. Services – junctions, pedestals and cabinets shall be installed within 3-foot public utility easement adjacent to alley where possible.
7. Inspection – contractor shall notify engineer of schedule for each dry utility installation.
8. Compaction - of bedding material and backfill shall be completed per the City of Cody specifications.



DRAFTING BY: Morrison Maleife, Inc. 1402 Stampede Avenue Cody, WY 82414 Phone: (307) 587-6281	
PREPARED FOR: Jerry Thiel & Sons Construction, Inc. P.O. Box 1566 Cody, WY 82414 Phone: (307) 527-6401	
Trailstone Engineering, LLC 1519 Acadia Street, Cody, WY 82414 www.TrailstoneEngineering.com Phone (307) 899-2020	
DATE	04/15/16
REVISION	PER CITY OF CODY'S COMMENTS
NO.	1
CEDAR MOUNTAIN SUBDIVISION DRY UTILITY PLAN	
SHEET 7 of 12	

REFER TO INTERSECTION DETAIL ON SHEET 10 OF 10 TRANSITION FROM 2.0% CROWN AT STA 1+29.51 TO STRAIGHT GRADE AT VALLEY GUTTER



PLAN VIEW
(1" = 30')

TBC CURVE TABLE

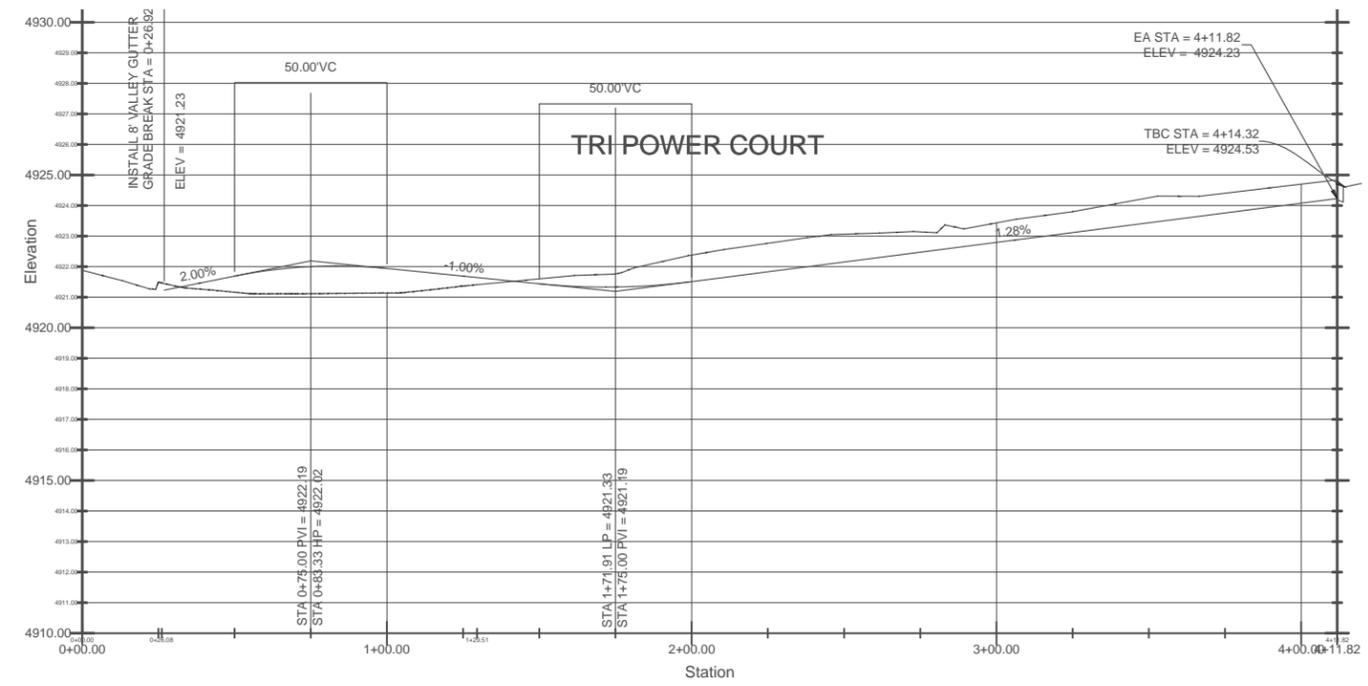
	Δ (deg)	RADIUS (ft)	LENGTH (ft)
C1	90.00	15.04	23.58
C2	49.00	81.58	69.43
C3	52.00	20.50	18.61
C4	284.00	44.50	220.61
C5	52.00	20.50	18.61
C6	52.00	120.92	110.24
C7	90.00	15.00	23.56

TBC TANGENT TABLE

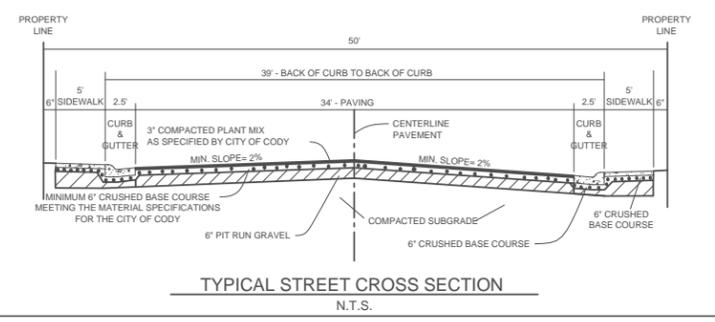
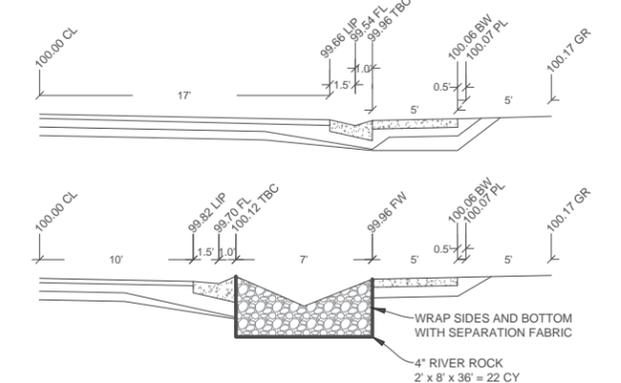
	LENGTH (ft)
L1	189.07
L2	189.07

Notes:

1. Subgrade - will be uneven after utility installation. Contractor shall regrade subgrade material and compact per the specifications. Install 6-inch pit run per detail.
2. Curb & Gutter - contractor shall install concrete curb and gutter on 6" compacted aggregate base.
3. Asphalt - contractor shall install 3" asphalt pavement on 6" compacted aggregate base.
4. Sidewalk - contractor shall install 5-foot concrete sidewalk on 6-inch compacted aggregate base.



PROFILE VIEW
(HORIZONTAL: 1" = 30', VERTICAL: 1" = 3')



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1402 Stampede Avenue
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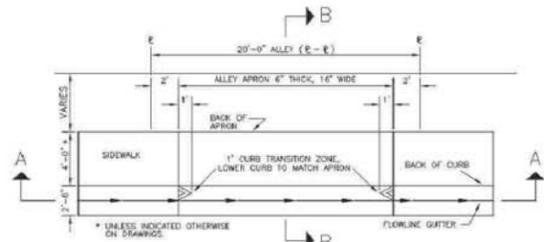
PREPARED FOR:
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NO.	REVISION	DATE
1	PER CITY OF CODY'S COMMENTS	04/15/18

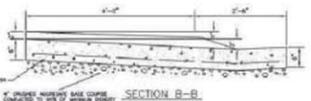
CEDAR MOUNTAIN SUBDIVISION
STREET PLAN



PLAN

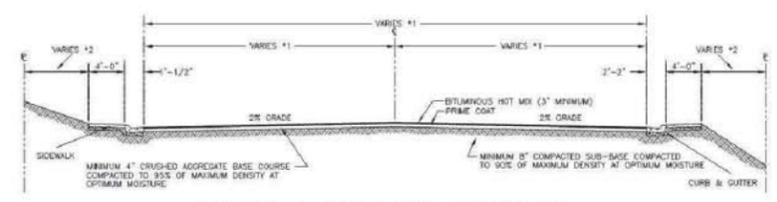


SECTION A-A



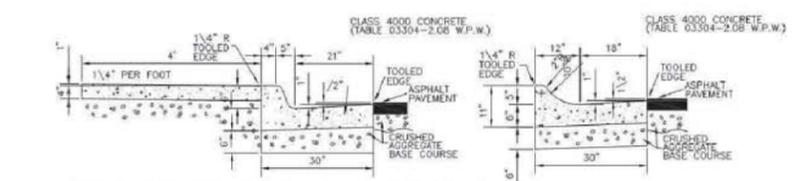
SECTION B-B

ALLEY APRON DETAILS



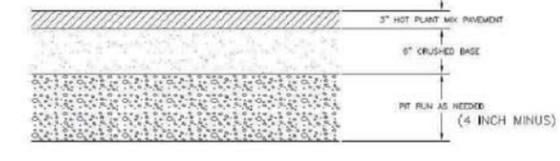
TYPICAL HOT MIX SECTION

SPECIAL NOTE
THE ABOVE SHOWN TYPICAL STREET SECTIONS ARE TO BE CONSIDERED MINIMUM STANDARDS. ALL STREETS WILL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING DESIGN PROCEDURES WITH SAID DESIGN BEING APPROVED BY THE CITY ENGINEER.

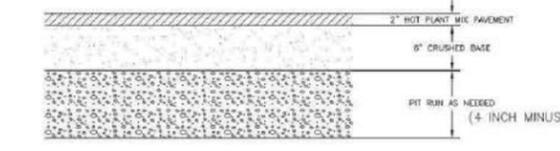


NOTE 1: SUBGRADE COMPACTION SHALL CONFORM TO 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02231.
NOTE 2: 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT P.C. E.T. AND CURB TURNS. CONSTRUCTION JOINTS SHALL CONFORM WITH 2001 WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02200.
NOTE 3: ALL CONCRETE SHALL BE CLASS 4000 CONCRETE (TABLE 03304-2.08 W.P.W.)
NOTE 4: NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
NOTE 5: CLASS 4000 CONCRETE SHALL BE USED.

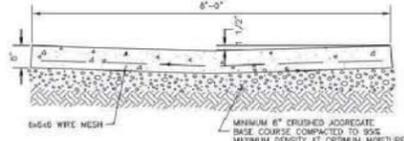
CONSTRUCTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.



PAVEMENT SECTION
PERMANENT RESURFACING FOR UTILITY CUTS



PAVEMENT SECTION
TEMPORARY RESURFACING FOR UTILITY CUTS



NOTE: FIBER REINFORCED CONCRETE OR #3 BARS @ 12" O.C. EACH WAY MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC UPON WRITTEN APPROVAL OF ENGINEER.

TYPICAL VALLEY
GUTTER SECTION

CODY MATERIAL SPECIFICATIONS

- ALL SUBBASES AND BASE COURSES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED IN ACCORDANCE WITH AASHTO 150.
 - CRUSHED BASE COURSE
 - THE MATERIAL PRODUCED SHALL BE UNIFORMLY GRADED COARSE TO FINE AND SHALL NOT VARY FROM THE HIGH LIMIT ON ONE SIDE TO THE LOW LIMIT ON AN ADJACENT SIDE OR VICE VERSA.
 - PERCENTAGE PASSING THE NO. 200 SIEVE SHALL NOT EXCEED ONE HALF OF THE PERCENTAGE PASSING THE NO. 40 SIEVE.
 - THE MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A LIQUID LIMIT NOT GREATER THAN 25 AND A PLASTICITY INDEX NOT GREATER THAN 6, EXCEPT WHEN THE PLASTICITY INDEX IS 0 (ZERO), THE LIQUID LIMIT SHALL NOT EXCEED 30.
 - ALL CRUSHED BASE COURSE MATERIAL SHALL MEET THE FOLLOWING GRADATION WHEN TESTED IN ACCORDANCE WITH AASHTO T-27 & T-111:

SEIVE	% PASSING
100	100
3/4"	90-100
1/2"	60-85
No. 4	45-65
No. 8	33-53
No. 200	3-12
 - AGGREGATE FOR HOT MIX PAVEMENT MIX... IN ACCORDANCE WITH WYOMING TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS-LATEST EDITION.
 - FOR COMPACTION THICKNESSES GREATER THAN 3" USE WYDOT 1/2-INCH MAXIMUM AGGREGATE.
 - FOR COMPACTION THICKNESSES GREATER THAN 3" USE WYDOT 3/4-INCH MAXIMUM AGGREGATE FOR FIRST LIFT.
 - SECOND LIFT SHALL BE A MINIMUM COMPACTION THICKNESS OF 1-1/2 INCHES, 1/2-INCH MAXIMUM AGGREGATE.
 - MINERAL FILLER: FINELY GRINDING PARTICLES OF LIME, HYDRATED LIME OR OTHER MINERAL DUST, FREE OF FOREIGN MATTER.
 - PRIMER: A CUT-BACK LIQUID ASPHALT OF THE MEDIUM CURING TYPE, GRADE C-70, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D2027. BITUMINOUS HOT MIX PAVEMENT SHALL BE APPROVED BY THE CITY ENGINEER BEFORE ANY WORK MAY.
 - TACK COAT: A CATIONIC SLOW SET EMULSIFIED ASPHALT MIXED WITH A EQUAL AMOUNT OF WATER, GRADE CSS-1H, AND SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D244. OTHER GRADES OF EMULSIFIED ASPHALT WILL BE CONSIDERED TESTING OR EXPERIENCE THAT ANOTHER GRADE IS MORE SUITABLE.
 - MIX DESIGN: A COMPLETE MIX DESIGN MEETING THE REQUIREMENTS OF AASHTO M-2 COMPLETED WITHIN THE LAST 24 MONTHS FOR THE SPECIFIC MATERIALS TO BE USED SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING WORK.

AT MS-2 ESTABLISHES THE FOLLOWING REQUIREMENTS FOR THE ASPHALT CEMENT CONCRETE FOR A MEDIUM TRAFFIC VOLUME:

STABILITY (LB. MINIMUM)	1500
PERCENT AIR voids (BY VOICE IN MINERAL AGGREGATE (% MINIMUM))	8 TO 18
	3 TO 5
	15
 - CONCRETE SPECIFICATIONS
 - CEMENT SHALL BE PORTLAND CEMENT, TYPE II CONFORMING TO THE REQUIREMENTS OF ASTM C-150 (IF SPECIAL CONDITIONS WARRANT IT, THE USE OF A DIFFERENT TYPE OF CEMENT MAY BE APPROVED BY THE CITY ENGINEER.)
 - AGGREGATE GENERAL - GRAVEL, CRUSHED SLAG, CRUSHED STONE, OR OTHER INERT MATERIALS, COMPOSED OF HARD, STRONG, DURABLE PARTICLES FREE OF INJURIOUS COATINGS.
 - FINE AGGREGATE
 - THE MAXIMUM PERCENTAGE OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

DELETERIOUS SUBSTANCES	%
COAL AND LIGHTS	0.25
CLAY LUMPS	0.25
OTHER DELETERIOUS SUBSTANCES	2.00
 - WHEN TESTED IN ACCORDANCE WITH THE LOS ANGELES RATTLER METHOD, THE COARSE AGGREGATE SHALL NOT SHOW A WEAR IN EXCESS OF 40%.
 - THE FINE AGGREGATE SHALL BE FREE FROM INJURIOUS AMOUNTS OF ORGANIC IMPURITIES.
 - COARSE AGGREGATE
 - THE MAXIMUM PERCENTAGES OF DELETERIOUS SUBSTANCES SHALL NOT EXCEED THE FOLLOWING PERCENTAGES BY WEIGHT:

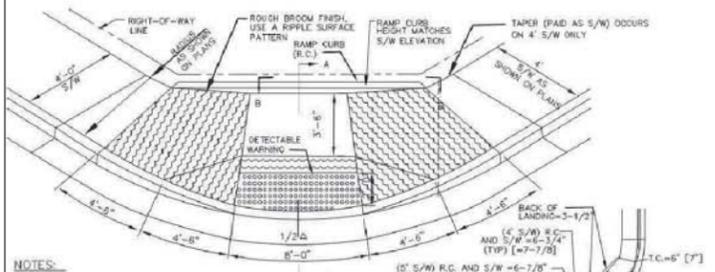
DELETERIOUS SUBSTANCES	%
SOFT FRAGMENTS	1%
COAL AND LIGHTS	0.25%
CLAY LUMPS	0.25%
OTHER DELETERIOUS SUBSTANCES	2.00%
 - THE COARSE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

SEIVE	% PASSING
3/4"	100
1/2"	85-100
No. 4	45-80
No. 10	10-30
No. 200	0-4
 - THE AGGREGATE SHALL BE GRADED COARSE TO FINE MEETING THE FOLLOWING GRADATION:

SEIVE	% PASSING
1 1/2"	100
1"	95-100
3/4"	75-100
No. 4	0-10
No. 8	0-5
No. 200	0-2
 - ADULTURES AND AIR-ENTRAPPING AGENTS SHALL BE APPROVED BY THE ENGINEER AS RECOMMENDED WITHIN THE REQUIRED MIX DESIGN AS PREPARED BY A QUALIFIED TESTING LABORATORY.
 - ALL CONCRETE PLACED SHALL HAVE A SLUMP OF BETWEEN 1" AND 4" WHEN TESTED IN ACCORDANCE WITH AASHTO T-119.
 - ALL CONCRETE PLACED SHALL MEET THE FOLLOWING MINIMUM STRENGTH REQUIREMENTS WHEN TESTED IN ACCORDANCE WITH ALL APPLICABLE ASTM STANDARDS:

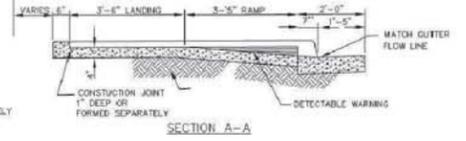
LABORATORY MIXED SAMPLE	7 DAYS
	2850 P.S.I.
	4000 P.S.I.
- GENERAL - ALL WORK ASSOCIATED WITH THE DETAILS SHOWN ON THIS PAGE SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS, UNLESS OTHER SPECIFICATIONS ARE PROVIDED IN THE PROJECT MANUAL.

NOTE: ALL DETAILS NOT TO SCALE

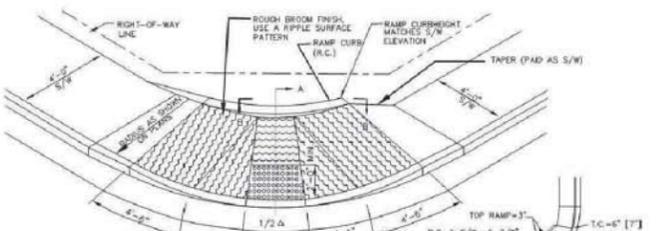


NOTES:
1. CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
2. CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
3. WHEN CURB HEIGHTS OF 7" ARE SHOWN ON PLANS, USE DIMENSIONS SHOWN IN [] S.
4. DETECTABLE WARNINGS TO COMPLY WITH JURISDICTIONAL AGENCY'S REQUIREMENTS.

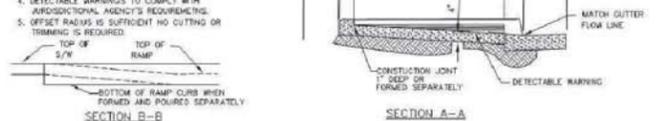
CONTROL ELEVATIONS



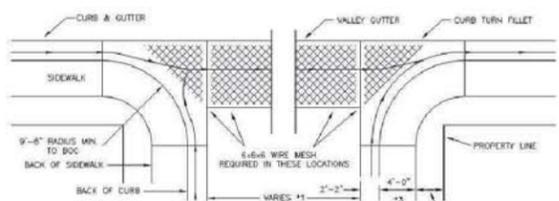
SECTION A-A



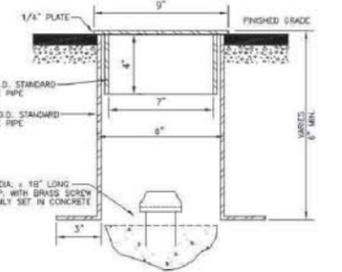
NOTES:
1. CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADIALLY. GUTTER ELEVATION=0.
2. CLASS 'B' CONCRETE CONSTRUCTION AS PER SECTION 725.
3. WHEN CURB HEIGHTS OF 7" ARE SHOWN ON PLANS, USE DIMENSIONS SHOWN IN [] S.
4. DETECTABLE WARNINGS TO COMPLY WITH JURISDICTIONAL AGENCY'S REQUIREMENTS.
5. OFFSET RADIUS IS SUFFICIENT NO CUTTING OR TRIMMING IS REQUIRED.



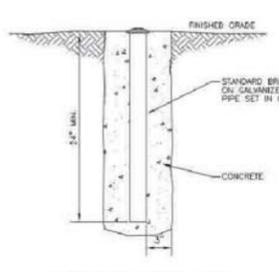
SECTION B-B



TYPICAL STREET CORNER DETAIL: CURB
TURN FILLET, SIDEWALK & VALLEY GUTTER



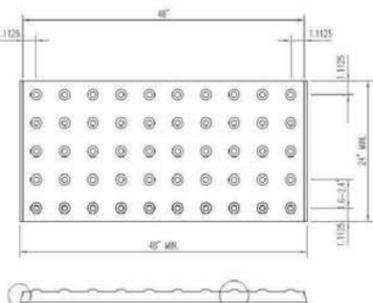
SURVEY CONTROL MONUMENT WITH BOX



STANDARD BRASSCAP

GENERAL NOTES

- PLACE TRUNCATED CONE DETECTABLE WARNING PANELS AT THE END OF CURB RAMP. INSTALL ACROSS FULL WIDTH OF RAMP. A MINIMUM 40mm (1 1/2") IN DEPTH AND SET BACK 200mm (8") FROM BOTTOM OF CURB.
- SIDEWALK CURB RAMP SLOPES SHOWN ARE RELATIVE TO THE TRUE LEVEL HORIZON (ZERO BUBBLE).
- IN ALTERNATIONS CURB RAMP SLOPES MAY BE 10% FOR A MAXIMUM RISE OF 150mm (6") OR 12.5% FOR MAXIMUM RISE OF 75mm (3"). CURB RAMP SLOPES, NEED NOT EXCEED 1.8m (6'-0") IN LENGTH.
- USE FLARES THAT ARE NOT PART OF THE PATH OF TRAVEL MAY BE ANY SLOPE.
- FOR THE PURPOSES OF THIS DRAWING, A CURB RAMP IS CONSIDERED "PERPENDICULAR" IF THE ANGLE BETWEEN THE LONGITUDINAL AXIS OF THE RAMP AND A TANGENT TO THE CURB AT THE RAMP CENTER IS 75 DEGREES OR GREATER.
- TOOLED JOINTS ARE REQUIRED AT ALL SIDEWALK RAMP SLOPE BREAKS.
- SIDEWALK FLARE IS NOT NECESSARY WHERE THE RAMP IS PROTECTED FROM PEDESTRIAN CROSS-TRAVEL.
- THICKEN CONCRETE UNDER DETECTABLE WARNING PANEL.
- IN FREEZE THAW ZONES, LEAVE 3/16" GAP IN BETWEEN PANELS AND SEAL WITH SHARPLEX 1A SEALANT.



SECTION A-A

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1402 Stimpfle Avenue
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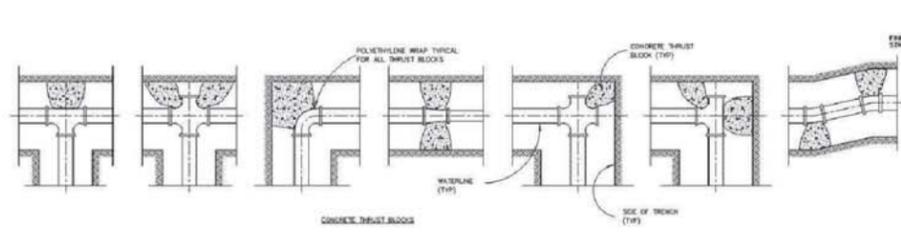
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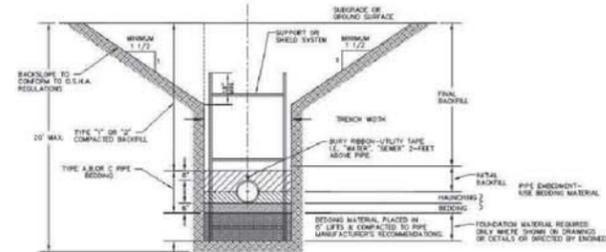
NO.	REVISION	DATE

CEDAR MOUNTAIN SUBDIVISION
STREET DETAILS



FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS IN 90° ELBOWS		1/2 1/4" BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
6"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
8"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
10"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
12"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
14"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
16"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
18"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
20"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
24"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
30"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

- NOTES:
- FITTINGS TO BE REMOVED FROM BLOCKS WITH AN APPROVED BOND BREAKER, SUCH AS POLY WRAP.
 - ALL BLOCKS TO BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 5000 PSI SOIL BEARING CAPACITY.

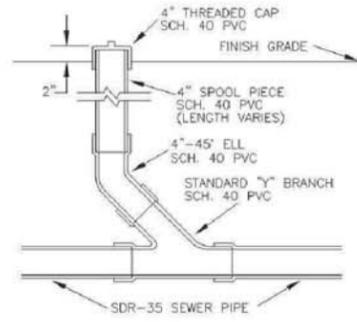


PIPE SECTIONS

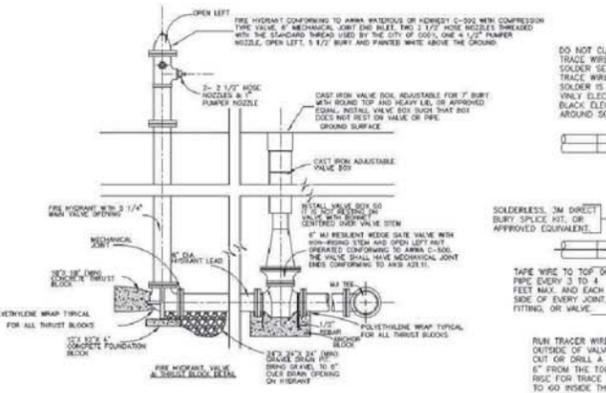
TYPE A-HIGH-DENSITY POLYETHYLENE WITH A MINIMUM SIZE OF 3/4" BORE. MAXIMUM PLASTICITY INDEX OF 8, AS DETERMINED BY ASTM D 1585.

TYPE B-HIGH-DENSITY POLYETHYLENE WITH A MINIMUM SIZE OF 1/2" BORE. MAXIMUM PLASTICITY INDEX OF 8, AS DETERMINED BY ASTM D 1585.

TYPE C-HIGH-DENSITY POLYETHYLENE WITH A MINIMUM SIZE OF 1/2" BORE. MAXIMUM PLASTICITY INDEX OF 8, AS DETERMINED BY ASTM D 1585.



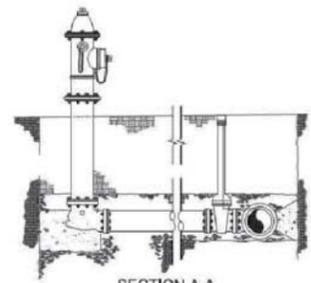
CLEANOUT DETAILS
N.T.S.



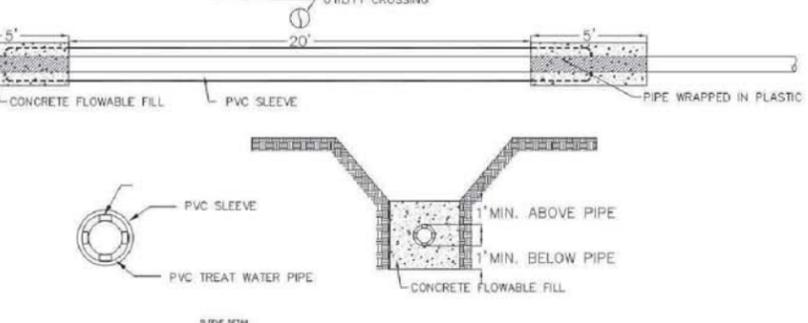
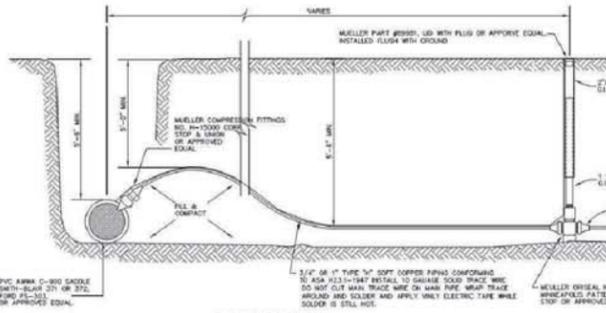
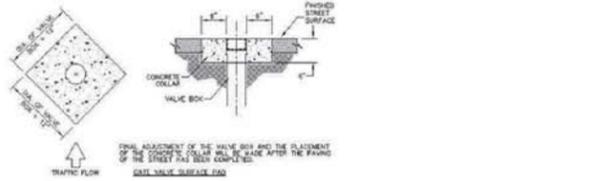
NOTES

- TRACER WIRE SHALL TERMINATE UNDER VALVE BOX WITH ENOUGH SLACK TO REACH 2' ABOVE BREAK POINT.
- ALL WIRE AND CABLE SHALL BE 1/2" DIAMETER SOLID OR STRANDED COPPER WIRE, NEW AND MAY BE WRAP POLYETHYLENE FOR PROTECTION.

TRACER WIRE DETAIL
N.T.S.



HIGH VELOCITY PIPE ANCHOR

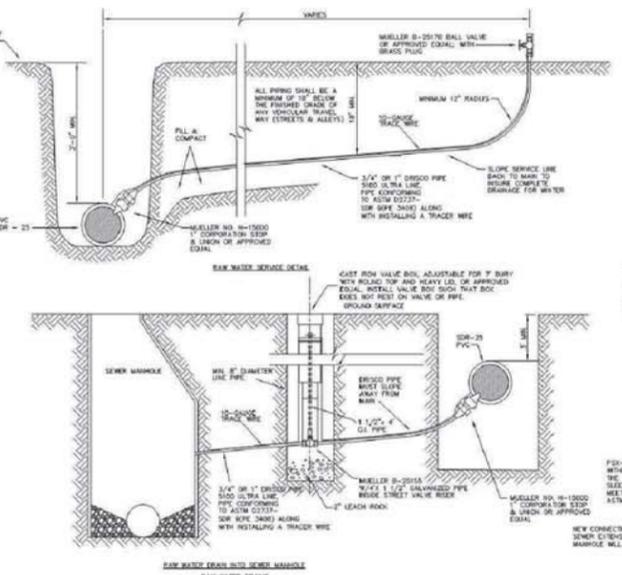


UTILITY CROSSING

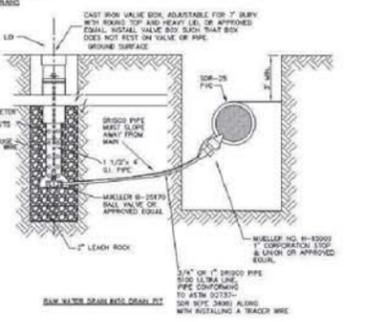
NOTE: 10' MIN. SLEEVING MUST OCCUR ON EACH SIDE OF CROSSING.



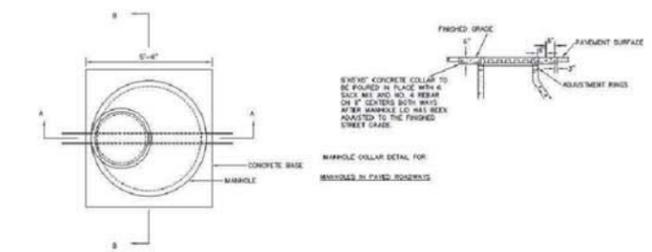
SLEEVE DETAIL
N.T.S.



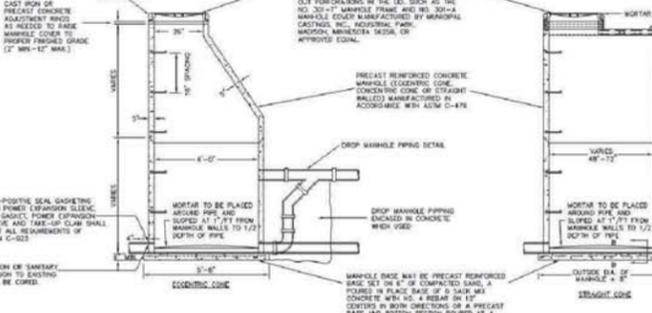
MANHOLE DETAIL
N.T.S.



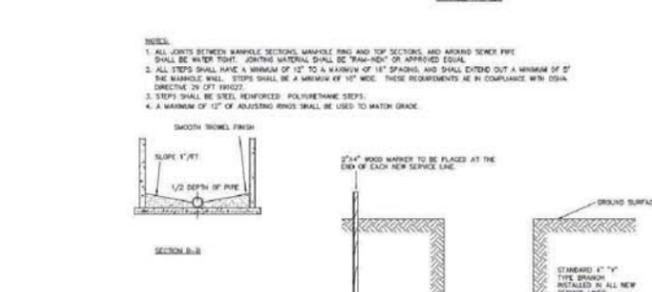
MANHOLE DETAIL
N.T.S.



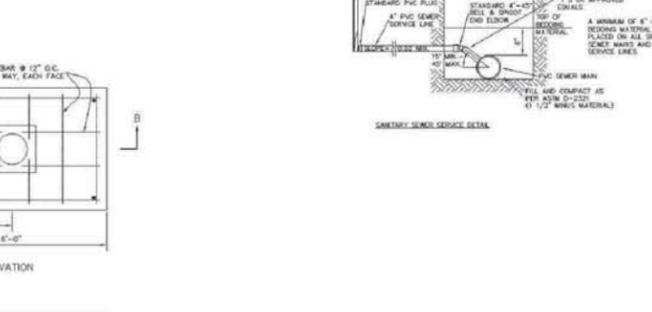
MANHOLE DETAIL
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MANHOLE DETAIL
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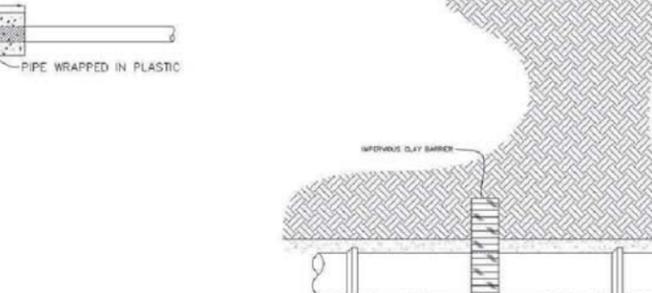
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MANHOLE DETAIL
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MANHOLE DETAIL
N.T.S.



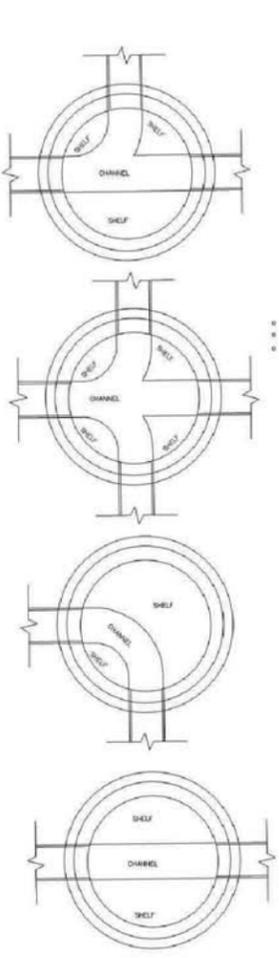
MANHOLE DETAIL
N.T.S.

NOTE: 1. SLOPE ALL SHELLS TO CHANNELS AT 1" PER FOOT.
2. SEE PLAN-PROFILE SHEETS FOR SLOPE OF CHANNEL.



MANHOLE SHELL
N.T.S.

- MATERIAL SPECIFICATIONS**
- SANITARY SEWER PIPE SHALL BE POLYETHYLENE BELL AND SPIKE PIPE CONFORMING TO THE FOLLOWING CLASSIFICATION:
 - PVC PIPE SHALL CONFORM TO CELL CLASSIFICATION 1515-B AS SHOWN BY ASTM D 1584.
 - DIMENSIONS OF THE PIPE AND FITTINGS SHALL CONFORM TO ASTM D 3034 OR ASTM F 475 FOR SIZES OVER 18\"/>
 - FITTING FOR TREATED AND RAW WATER SHALL BE AS APPROVED BY THE CITY ENGINEER AND CONFORM WITH THE FOLLOWING PUBLIC WORKS SPECIFICATIONS:
 - DATE VALVES SHALL CONFORM TO ANNA 0500.
 - VALVES SHALL BE REINFORCED WEDGE GATE VALVES WITH NON-RISING SEALS, OPEN LEFT AND NOT OPERATED. THE VALVES SHALL HAVE MECHANICAL JOINT ENDS CONFORMING TO ASSN AD 211.
 - ALL WORK ASSOCIATED WITH THESE DETAILS SHALL CONFORM TO THE FOLLOWING PUBLIC WORKS SPECIFICATIONS:



NOTE: 1. SLOPE ALL SHELLS TO CHANNELS AT 1" PER FOOT.
2. SEE PLAN-PROFILE SHEETS FOR SLOPE OF CHANNEL.

MANHOLE CHANNELS
N.T.S.



MANHOLE CHANNEL
N.T.S.

NOTE: 1. SLOPE ALL SHELLS TO CHANNELS AT 1" PER FOOT.
2. SEE PLAN-PROFILE SHEETS FOR SLOPE OF CHANNEL.



MANHOLE CHANNEL
N.T.S.

MEETING DATE:	MAY 3, 2016
DEPARTMENT:	
PREPARED BY:	SCOTT E. KOLPITCKE
CITY ADM. APPROVAL:	_____
PRESENTED BY:	SCOTT E. KOLPITCKE

AGENDA ITEM SUMMARY REPORT
Ordinance to Revise Title Three, Chapter 3, Section 4
of the City of Cody Code
(Insurance Requirements
For Taxicabs),

ACTION:

First Reading of Ordinance 2016-07 to revise Title 3, Chapter 3, Section 4, Insurance Requirements (for Taxicabs).

BACKGROUND:

Title 3, Chapter, 3, section 4 of the City Code establishes the minimum liability insurance requirements for taxis in Cody. Currently, the code requires a minimum \$1,000,000 policy. A recent taxi licensee in Cody requested that the Governing Body consider reducing the required minimum insurance from \$1,000,000 to \$500,000. The staff researched this matter, and determined that the standard for most Wyoming cities appears to be \$500,000.

FISCAL IMPACT

No fiscal impacts to the City budget are anticipated.

ALTERNATIVES

Approve, deny, or amend Ordinance 2016-07

ATTACHMENTS Ordinances 2016-07

AGENDA ITEM NO. _____

ORDINANCE NO. 2016 - 07

AN ORDINANCE AMENDING TITLE 3, CHAPTER 3, Section 4, OF THE CITY OF CODY CODE: INSURANCE COVERAGE

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CODY, PARK COUNTY, WYOMING:

Title 3, Chapter 3, Section 4, of the City of Cody Code, shall be amended as follows:

3-3-4: INSURANCE COVERAGE

Before issuance of a taxicab license, or any renewal thereof, the operator shall furnish to the city a certificate or other evidence that all taxicabs to be operated under the license are covered by the following insurance:

All taxicab operators shall provide public liability insurance with a combined single limit coverage of not less than five hundred thousand dollars (\$500,000.00) for public liability, property damage and bodily injury.

Proof of insurance shall be evidenced by a current certificate kept on file with the administrative services director throughout the term of the license. Operators shall notify the administrative services director or his / her designee within ten (10) working days of the effective date of any change in the insurance coverage, the expiration of the policy or the cancellation or nonrenewal of the insurance in whole or in part and provide proof of new coverage meeting the requirements of this section.

This Ordinance shall become effective at the final passage and publication in the Cody Enterprise as required by law.

PASSED ON FIRST READING: _____, 2016

PASSED ON SECOND READING: _____, 2016

PASSED ON THIRD READING: _____, 2016

ATTEST:

Nancy Tia Brown, Mayor

Cynthia D. Baker
Administrative Services Director

ORDINANCE NO. 2016-05

**AN ORDINANCE AMENDING TITLE 9 OF THE CITY OF CODY
CODE, BY ADDING A CHAPTER 4, "FENCE REGULATIONS"**

**BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF CODY,
PARK COUNTY, WYOMING:**

Title 9, Chapter 4 of the City of Cody Code is hereby established to provide as follows:

Chapter 4, FENCE REGULATIONS

10-12-1: GENERAL PROVISIONS:

A. Fence Defined: "Fence" means a constructed vertical structure, barrier or partition of any material or combination of materials erected to enclose, screen, or separate outdoor areas, and which has no roof or overhead covering.

B. Permit Required: No person shall build, rebuild, replace, construct or erect, or cause to be built, rebuilt, replaced, constructed or erected anywhere within the city, any boundary or division fence or wall of any kind, without first having secured a permit therefor from the building official or his or her designee. For purposes of this section, a fence is considered to be rebuilt or replaced if thirty feet (30') or more of an existing fence is removed and rebuilt or replaced within a twelve (12) month period from the time work on the fence begins.

C. Property Owner Requirements: Prior to installing any part of the fence, including posts, the property owner shall:

1. Application: Submit an application, signed by the property owner, which shall include a site plan showing the dimensions and location of the proposed fence. The application shall be on a form prescribed and approved by the building official;
2. Meet with the Building Official: Meet with the building official, or his or her designee, to show where the fence will be located; and
3. Identification of Lines and Boundaries: Demonstrate to the building official, or his or her designee, that the fence will not cross, interfere with, or encroach into or upon any neighboring property or city rights of way. It shall be the responsibility of the property owner to accurately identify the property lines and boundaries of his or her property where the fence will stand. The building official, or his or her designee, may require the property owner to survey the property boundaries to ensure that the fence will not encroach into or upon a neighboring property or city rights of way. "Rights of way", as used herein, shall be defined as public streets, public sidewalks and public alleys.

D. Materials: Fencing materials are limited to wood, vinyl, masonry, wrought iron, decorative metal, wire mesh (e.g. chain link), bamboo, and similar materials. Pallets, tarps, scrap metal, tires, signs, and similar materials are not permitted for fencing purposes.

E. Height: Fences are subject to the following height limits. Fence height is measured from the finished grade of the property upon which the fence is located.

1. Within all of the residential zoning districts:
 - a. Fences are limited to a maximum of four feet in height in any front yard setback area; and, fences taller than three feet in the front yard setback area must be at least forty percent open—as in the measurement of the spaces and voids between the fence components.

- b. Fences may be a maximum of seven feet in height in any portion of a lot that is outside of the front yard setback area.
2. Within the non-residential zoning districts (e.g. industrial, light industrial, commercial, business), fences up to seven feet tall are permitted within the property; provided, no view-obscuring fence over four feet tall shall be less than fifteen feet from the edge of an arterial or collector street (measured from face of curb). For purposes of this section, view-obscuring shall mean a fence that is less than forty percent open—as in the measurement of the spaces and voids between the fence components.

Notwithstanding the above, the Planning and Zoning Board may approve a fence taller than that specified when the additional height will not have any adverse impacts to neighboring properties or the public health and safety. Before making such a determination, the applicant shall notify the owners of all adjacent lots of the request in writing and allow them up to ten days to provide comments to the Board. The Board may take action on the request at any time after all neighbor responses are received, or after the ten day comment period, whichever occurs sooner.

Regardless of the above-permitted fence heights, all fences shall be located so that required intersection sight triangles are maintained at all street intersections.

F. Encroachments, Easements After March 1, 2010: In subdivisions approved or built on or after March 1, 2010, nobody shall build a fence within a city easement. Fences which are built on or nearly on a property line, and which encroach into a city easement by twelve inches (12") or less shall not be considered a violation of this subsection. For subdivisions approved or built after March 1, 2010, the property lines separating the lots within the subdivision and the property boundaries of the subdivision shall, as nearly as feasible, not fall within the city utility easements, and shall be located outside the city utility easements. Fences may cross an easement so that the fence is nearly perpendicular to the easement. If a fence crosses an easement, the property owner shall do one of the following:

1. The property owner must include a removable panel or gate which is the same width as the easement, and must allow the city to access the easement quickly and easily, and which must be approved by the building inspector; or
2. The property owner must provide to the city a separate easement for ingress and egress to the utility easement. The easement must run with the land in perpetuity, and the width, form and route of the ingress and egress easement must be approved by the building inspector, and must be recorded with the Park County clerk's office.

G. Encroachments, Easements Before March 1, 2010: Owners of subdivisions, homes and fences approved or built prior to March 1, 2010, may build, rebuild, replace, construct or erect fences within or across a city utility easement under the following conditions:

1. The fences shall not be built directly over, under or within one foot (1') of any existing utility lines, pipes or conduit, including, but not limited to, water, electrical, wastewater, gas and telecommunications lines;
2. The property owner shall obtain a fence permit as described in subsection A of this section, and shall arrange for a utility line locate prior to beginning any construction or excavation, to ensure compliance with this section; and
3. Such fence shall remain in the easement at the property owner's risk, subject to the conditions in subsection J of this section.

H. Final Inspection: The property owner or the contractor building the fence shall call for a final inspection upon completion of the fence.

I. Removal for Violation: Any fence which is built in violation of any of the provisions of this section is subject to removal at the expense of the property owner. If the city finds that a property owner has built, or caused to be built, any fence or portion of a fence which violates any of the provisions of this code, the city may order the property owner to remove the fence at his or her expense. The city shall notify the property owner in writing of the alleged violation, and shall order the property owner to remove the fence within thirty (30) days of the written notice, which may be delivered in person, by mail or by posting a copy of the notice on the door of the residence where the fence has been built. The building official may give the property owner an extension or allow a longer period of time if the building official determines there is just cause for such extension. Such extensions shall be in writing.

J. Refusal to Comply; Removal by City: If the property owner refuses or fails to remove the fence within the required time, the city may remove the fence at the property owner's expense, and the property owner may be cited as described in subsection I of this section.

K. Violation: Any violation of this section shall be a misdemeanor, and punishable by a fine to be determined by the municipal court of the city.

L. Emergency, Nonemergency Removal: If at any time, the city, through its officers, employees or agents, must access a city easement, right of way or property, and a fence or other structure, prevents or in any way interferes with access to the city easement, right of way or property, including, but not limited to, fences lawfully built within easements pursuant to subsection D of this section, the city may, in emergency situations, immediately remove such fence or wall at the expense of the property owner. "Emergency situations" shall include, but not be limited to, locates of utility lines, unplanned power outages, and leaks, breaks or ruptures in water, sewer or other utility lines. If the city needs to access an easement in a nonemergency situation, and the easement is blocked or obstructed by a fence or other structure, the city shall give notice to the property at least two (2) business days in advance by mailing or posting written notice to the last known address of the owner of the property or to the subject property. The notice shall inform the property owner of the date and reason the city needs to access the easement, and that if the owner does not remove the fence or structure prior to that date, that the city will remove the fence or structure, or such portions of the fence or structure, as are necessary to access the utility. The notice shall also include a copy of the ordinance codified herein. In any situation, whether emergency or nonemergency, where the city must access an easement requiring the removal of a fence or other structure, such removal shall be at the expense of the property owner, and the city shall not be responsible for damage to the property caused by the removal of the fence or other structure or the use of the property, and shall not be responsible for replacement of the fence or other structure.

M. Compliance Required: Nothing in this section shall be construed to relieve the property owner of his or her responsibility to comply with state and federal laws governing locates of utility lines prior to digging, excavating or otherwise beginning any work on a fence. Nothing in this section shall be construed to relieve the property owner of their responsibility to ensure that they do not damage or destroy any utility lines and equipment.

This Ordinance shall become effective at the final passage and publication in the Cody Enterprise as required by law.

PASSED ON FIRST READING:	<u>April 5, 2016</u>
PASSED ON SECOND READING:	<u>April 19, 2016</u>
PASSED ON THIRD READING:	—

Nancy Tia Brown, Mayor

Attest:

Cynthia Baker
Administrative Services Director

