

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, FEBRUARY 9, 2016
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairman Justin Ness
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the January 26, 2016 regular meeting.

New Business:

6. Site Plan Review: HGI Properties—Equipment Sales, Rental, and Service (Bobcat), at 1923 Big Horn Avenue.
7. Discuss Draft Amendments to Zoning Ordinance—Continue with “Supplemental Development Standards” document, multi-family standards, etc.
8. P&Z Board Matters (announcements, comments, etc.).
9. Council Update: Steve Miller
10. Staff Items:
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, January 26, 2016

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, January 26, 2016 at 12:00 PM

Present: Justin Ness-Chairman; Brad Payne-Vice Chairman; Buzzy Hassrick; Curt Dansie; Heidi Rasmussen; Richard Jones; Scott Kolpitcke, City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant.

Absent: Reese Graham

Chairman Justin Ness called the meeting to order at 12:00 PM, followed by the pledge of allegiance.

Brad Payne made a motion, seconded by Heidi Rasmussen, to approve the agenda. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Curt Dansie, to approve the minutes for the January 12, 2016 meeting. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the Downtown Sign District Review for Sunlight Sports awning signs at 1131 Sheridan Avenue. The board held a discussion with Wes Allen, owner of Sunlight Sports.

Brad Payne made a motion, seconded by Buzzy Hassrick, to approve the Downtown Sign District Review for Sunlight Sports awning signs at 1131 Sheridan Avenue. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the Plat Amendment to vacate a portion of an "easement for underground drain" in Lot 1, Block 1, Glendale Addition requested by Wilder Enterprises.

Richard Jones made a motion, seconded by Curt Dansie, to approve the Plat Amendment to vacate a portion of an "easement for underground drain" in Lot 1, Block 1, Glendale Addition requested by Wilder Enterprises. Vote on the motion was unanimous, motion carried.

Todd Stowell and the zoning committee continued their review of draft "Supplemental Development Standards". Discussion about the document was held among the Planner Stowell, Planning and Zoning Board members, and Councilman Anderson.

P&Z Board Matters: None.

Council Update: None.

Staff Items: None.

Buzzy Hassrick made a motion, seconded by Curt Dansie, to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairman Ness adjourned the meeting at 1:10 PM.

Lynn Stutzman
Engineering Administrative Assistant

DRAFT

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	FEBRUARY 9, 2016	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: HGI PROPERTIES (BOBCAT DEALERSHIP) FILE: SPR 2016-02	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Gordon Allison of HGI Properties has submitted a site plan application to construct a 6,840 sq. ft. building and a fenced storage yard at 1923 Big Horn Avenue. Approximately 3.1 acres of the 5.0 acre property is proposed to be developed as the new location for the Bobcat brand equipment sales, service, and rental facility.

The architectural depiction of the building is shown below and detailed site plans and floor plans are attached.



SUMMARY: The plans are professionally prepared and have been updated to address most of the technical concerns staff identified through the review process. Two items that need additional discussion are landscaping and drainage.

REVIEW CRITERIA:

The property is located in the Open Business/Light Industrial (D-3) zoning district, which permits the type of use proposed.

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

In addition, specific standards apply for parking, landscaping, drainage, etc.

STAFF COMMENTS:

Existing Conditions:

The characteristics of the surrounding area are as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant land north of the undeveloped "E" Avenue right-of-way.	D-3
East	Carquest Auto Parts, and undeveloped land.	D-3
South	Houses and storage facility across Big Horn Avenue.	D-3
West	Single-family house and outbuildings.	D-3



Architecture:

The building has two main components, the front showroom and the shop/office area. The front showroom utilizes a combination of glazing, masonry block, insulated wall panels, and angled steel columns to create a well-designed storefront. The office area and shop are within a standard metal-sided building, with a 16-foot wall height. The end of the metal building next to the storefront is architecturally treated with a parapet and variations of vertical and metal trim. The building uses the standard corporate color scheme for Bobcat. Staff has no concerns with the architecture of the building.

Landscaping:

The proposed landscaping plan is shown on Sheet L1.0. Landscape islands are shown near the building, and contain a good mix and amount of climate-appropriate plants. Groundcover would be river rock (6" diameter). The large landscape area out front would be a combination of equipment display and landscaping within a split-rail fence. The three clusters of landscape plants around the boulders resemble the landscaped islands near the building. They are roughly nine feet in diameter and spaced 45 feet and 55 feet on center. Five existing apple trees are proposed to be preserved, and ringed with landscape curbing (about 8' diameter) and gravel groundcover. The trees shown on the landscaping plan are at a 25-foot diameter. Photos of the trees are below.

Current situation:



2007 Google Street View (prior to topping):



The property is within the entry corridor overlay district, which has specific landscaping requirements (see Title 10, Chapter 17 of the City of Cody Code). While many of the landscape requirements are met, some need discussion.

- a. *"Landscaping materials shall be of sufficient size, number, and variety to give a three-dimensional presence (height, width, and depth) to the landscaped area(s)."*

Comment: The Board will need to make a determination if the proposal accomplishes such. That determination needs to consider the next item as well.

- b. *“Existing landscaping that is healthy and otherwise meets the standards of this chapter may be counted toward this requirement.” Also, “All landscaping...is to be maintained in a healthy, weed free, manner. Dead and severely diseased vegetation shall be replaced with similar types of healthy living plants, or as otherwise authorized by the planning and zoning board so that the intent of the landscaping plan is met.”*

Comment: The existing trees, which provide much of the height dimension to the landscaping are in poor health, and at some point were topped—which greatly affects tree health. A member of the city tree board and park staff took a look at the trees and due to the rot in the lower trunk area and the topping, concluded that the trees will not last more than 2-3 years. A few sample photos of the issues are shown below.



Three options are identified for the tree situation: 1) Require the existing trees to be removed and replaced with new trees now; 2) Allow the trees to remain until they deteriorate further (how far?) and then take enforcement action to have them replaced; or 3) Require new trees to be planted now, but allow the existing trees to remain for a time (until they are further deteriorated or dead). For clarification, under option 3 the existing trees would not have to be replaced once they were removed.

- c. Extent of landscaping.

I am guessing that it is a drafting error, but the landscape plan leaves a 5-foot wide strip of non-landscaped land between the landscaped area and the public sidewalk. That area should be landscaped as well. Doing such could be interpreted as providing additional landscaped area, which relates to “d” below.

d. The ordinance requires 5% of a property to be landscaped.

Comment: The front landscaping area is proposed to contain up to ten pieces of equipment (skid steers, small backhoes, trenchers, etc.). If there is no discount for the use of the front landscape area for equipment display, other than the immediate footprint of the equipment, and both the 5-foot strip mentioned in "c" above and the river rock on the east side of the driveway is counted, then the 5% requirement is met.

Access and Frontage:

Access to the site is directly from Big Horn Avenue. WYDOT has approved the proposed approach location for commercial use, on the condition that the existing western approach is removed and replaced with standard curb, gutter and sidewalk. The work is included in the plans (see Sheet C2.0).

Parking:

The parking plan is in compliance with the City off-street parking regulations, including parking stall and aisle dimensions, grading, location, ADA spaces, surfacing, and configuration.

There are eleven paved parking spaces shown on the site plan. Truck and trailer parking is also available along the east property line. Based on existing similar businesses in Cody, the number of parking spaces proposed seems sufficient.

Exterior Lighting

The exterior lighting plan is found on Sheets A2.0 and E1.0. Cut sheets for each fixture are attached. With the exception of the emergency lighting, which is only on during power failures, all lighting will be LED fixtures in a shielded or cut-off style. Staff looked closely at the illumination patterns of the exterior lighting along the west side of the building, as there is a neighboring residence just 70 feet from the front canopy. The fixtures specified are expected to keep much of the illumination within the property boundaries.

Storm Water Plan:

The grading and storm water plan is on Sheet C2.0. The plan has been reviewed by the City engineer and is currently being clarified in some respects. The modifications to the plan pertain to the storm water travel time and the collection of storm water at the retention pond in the northeast corner of the property. The updated plan is expected to be submitted Monday.

Snow Storage

The required snow storage area is shown in the area southwest of the building (see Sheet C4.0).

Utility Services

The locations and sizes of the existing and proposed utility services are shown on Sheet C3.0. There is apparently one change to the plans, in that the proposed 10' utility easement for the overhead power line is not needed if the building will not use 3-phase power as originally requested. Electrical calculations are in process to determine if the electrical load will necessitate upgrading the transformer. All other city utilities are okay as shown. A new gas service is also proposed, which will need to be coordinated with Black Hills Energy.

Signage

Sign details have not yet been submitted so future application to the Community Development Department will be required.

Hydrants

Adequate fire hydrants exist. They are at the southwest corner of the property and at the property line east of the building.

Garbage

Public Works has authorized the dumpster location shown on Sheet C4.0.

Setbacks/Buffer

No zoning setbacks or buffers are required for this property.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the site plan with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the project subject to the following.

1. Pay applicable utility fees in conjunction with the building permit fee.
2. Obtain a sign permit for any exterior signage.
3. Prior to issuance of a certificate of occupancy, the drainage facilities must be inspected and certified by the applicant's engineer that they were completed according to approved plans.
4. No more than ten pieces of equipment may be located within the front landscape area.
5. If the applicant does not present a suitable alternative plan, he shall be responsible for installation of five new trees in the front landscape area. The trees must meet the requirements of the entry corridor overlay, be located outside of the utility

easement along Big Horn Avenue (20'), and have a mature height of at least twenty feet. The type of tree(s) selected, and their locations, are to be presented to the Board for approval prior to their installation. The existing apple trees may remain for now, provided the owner agrees in writing to remove them within three years, or as each dies, whichever is sooner.

6. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes; provided, the electrical service/easement situation may be modified as approved by the electrical division.



PRECISION PLAN AND DESIGN INC.
CUSTOM PLAN SERVICE

TITLE SHEET
HGI Properties
P.O. Box 606
Cody, Wyoming 82414
307-527-6413

Call Phone:
719-649-7837

Gandy Allison
307-527-6413

SUSAN HOVDE - Architect
P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.
Custom Plan Service
934 12th Street
Cody Wyo, 82414
(307) 527-6422
Project # 1172

DATE: Revision (3)
January 31, 2016

CHANGE ORDER	DATE:	

T1.0
SHEET #
1 OF

GOVERNING CODES
International Building Code 2012 Edition
Minimum Design Loads for Buildings and Other Structures ASCE 7-10
American Concrete Institute Standard ACI 318
American Institute of Steel Construction 13th Edition
Timber Construction Manual AITC 4th Edition

MATERIALS
Wood - Framing Lumber - Hem Fir or SPF#2 or better
- Beams - Glue Laminated 24F UNO, Combination V4 UNO
Concrete - 4,000 psi @ 28days
Reinforcing Steel - Bars - ASTM A615 Grade 60
Structural Fill - Granular pit run material with less than 5% passing the #200 sieve, Compacted to 95% per ASTM D698.

CONCRETE CONSTRUCTION
Use ASTM C150 Type I-II cement. Use 5 to 7% entrained air for exposed concrete. Water to cement ratio shall not exceed 0.50 except for lean mix.
Reinforcement
Cover Requirements - Cast Against Earth - 3" (clear dimension)
Walls, slabs, columns - 1 1/2"
Lap Splices - 30 bar diameters minimum
Corner Bars - Size & spacing to match horizontal bars

ENGINEERED METAL BUILDING CRITERIA (In addition to "Basis for Design" notes)
Lower Eave height 16'
Roof slope 1:12
Girts located exterior to columns on end walls, 1' outcast on side walls
Columns may be tapered or straight
Bracing optional - rade, angles, or cables.
Metal building design shall be a deferred submittal subject to the review and approval of the engineer of record

WOOD CONSTRUCTION
Sheathing may be either plywood or OSB.
All nailing in accordance with TBC Table 2304.9.1 unless noted otherwise on drawing
Block joints and trusses at all bearing locations
Sill plates shall be treated or decay resistant species lumber
Framing Hardware - Approved equal hardware may be substituted where Simpson standards have been noted.
2-2x10 for all headers unless noted otherwise
Glue laminated beams shall be cambered to a radius of 2000 feet UNO.
Trusses shall be designed and fabricated in accordance with TBC 2012
Design shall bear the seal of a registered professional engineer and shall be approved by the Contractor's representative prior to fabrication.

FLOOR SHEATHING
3/4" APA tongue and groove C-D plywood with exterior glue, 48/24 panel index, #8 x 1.5" screws at 6"oc @ edges and at 12"oc @ other supports. Glue at all supports.

IMPORTANT:
BUILDER VERIFY ALL DIMENSIONS.
ALL DRAWINGS SUBJECT TO CHANGE PER ARCHITECT
ALL CONSTRUCTION METHODS TO MEET LOCAL CODES AND STANDARDS.

CODE CONSIDERATIONS

COMMERCIAL BUILDING: CITY OF CODY ZONING DISTRICT D-3
CODE USED:
INTERNATIONAL BUILDING CODE 2012 (IBC)
OCCUPANCY CLASSIFICATION:
(ICBPR 201-51.8)
BUILDING USED FOR:
EQUIPMENT SHOWROOM, PARTS STORAGE, EQUIPMENT REPAIR, EQUIPMENT WASH
CONSTRUCTION TYPE:
(ICBPR 601-V-B)
ALLOWABLE SQUARE FOOTAGE (TABLE 503):
9,000 S.F.
ALLOWABLE STORES (TABLE 503):
1. ACTUAL: 1 WITH MEZZANINE

ACTUAL SQUARE FOOTAGE:
MAIN FLOOR: 6,840
MEZZANINE: 1,307
TOTAL FIRE AREA = 8,147
TOTAL SQUARE FOOTAGE: 8,147 (FIRE AREA)
SETBACKS FROM PL: NORTH = 160' PLUS, SOUTH = 120', EAST = 70', WEST = 35'
SPRINKLERS: NO - LESS THAN 12,000 S.F. FIRE AREA (903.2.9)

OCCUPANT LOAD:
STORAGE MEZZANINE: 1307 / 300 = 5
OFFICE / SHOWROOM: 2880 / 100 = 29
SERVICE AREA: 3960 / 200 = 20
TOTAL BUILDING LOAD: 54, 2 EXITS REQUIRED, SEVERAL PROVIDED
COMMON PATH: (TABLE 1014.3) ALLOWED 75' ACTUAL 73'
TRAVEL DISTANCE: (TABLE 1016.2) ALLOWED 200' ACTUAL 101'
TOILETS REQUIRED: 2, PROVIDED 2

COMMERCIAL BUILDING

Project Location
1923 Bighorn Avenue
Cody, Wyoming 82414

OWNER:

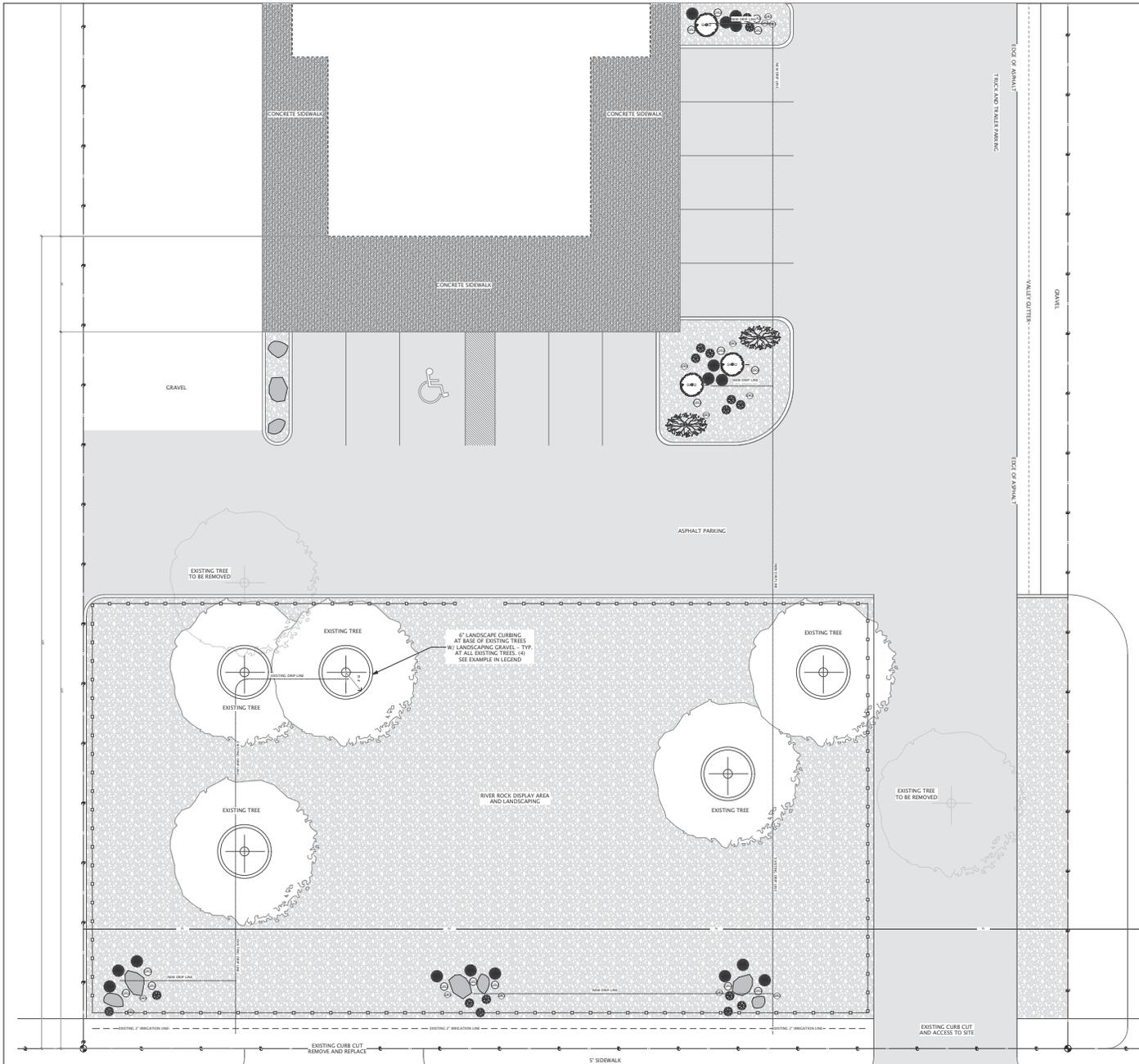
Gordon Allison: 307-527-6413
Mailing Address: P.O. Box 606
Cody Wyoming 82414

EXTERIOR COLORS

WALLS: POLAR WHITE, REGAL WHITE, TERRA COTTA, BURNISHED SLATE, CMU FACE
WINDOWS: SATIN NICKEL
DOORS: STORE FRONT SATIN NICKEL, O.H. WHITE
TRIM / FACIA: BURNISHED SLATE
GUTTERS: BURNISHED SLATE
METAL ROOF: POLAR WHITE

INDEX TO DRAWINGS:

- T1.0 - TITLE SHEET
- L1.0 - LANDSCAPING PLAN
- C1.0 - EXISTING SITE PLAN
- C2.0 - SITE GRADING PLAN
- C3.0 - SITE UTILITY PLAN
- C4.0 - GENERAL SITE PLAN
- A1.0 - MAIN FLOOR PLAN
- A1.1 - SECOND FLOOR PLAN
- A2.0 - EXTERIOR ELEVATIONS
- A2.1 - BUILDING / WALL SECTIONS
- A2.2 - BUILDING / WALL SECTIONS
- A3.0 - SCHEDULES / DETAILS
- S1.0 - FOUNDATION PLAN
- S1.1 - FOUNDATION DETAILS
- E1.0 - ELECTRICAL



LEGEND

TOTAL LOT = 218,671 SQUARE FEET
 LANDSCAPING AREA = 10,567 SQUARE FEET

MARK	QTY	TYPE	COMMON NAME	SCIENTIFIC NAME	WIDTH	HEIGHT	SHAPE	COLOR	LIGHT
SHRUBS									
001	4	Large	Blue Spines Russian Sage	Perovskia atrorubra	4'	4'	Round	Blue	Full
ORNAMENTAL GRASSES									
CR1	20	Large	Soft Feather Feather Reed Grass	Chloropyrum poliflorum	20"	48-50"	Round	Green	Full
CR2	25	Medium	Sea Urchin Blue Prairie	Chloropyrum poliflorum	22-25"	7-8"	Round	Green	Full
CR3	12	Small	Sea Urchin Blue Prairie	Chloropyrum poliflorum	12"	6"	Round	Blue/Green	Full/Partial
PERENNIALS									
PR1	13	Medium	May Night Meadow Sage	Salvia nemorosa	18"	15-18"	Round	Purple	Full
GROUND COVER									
GC1	6	Large	Blue Pacific Juniper	Juniperus horizontalis	6-8"	12-15"	Irregular	Evergreen	Full/Partial

LANDSCAPE PLAN
HGI Properties
 P.O. Box 606
 Cody, Wyoming 82414
 307-527-6413

Call Phone:
 719-649-7837

Gandy Allison
 307-527-6413

SUSAN HOVDE - Architect
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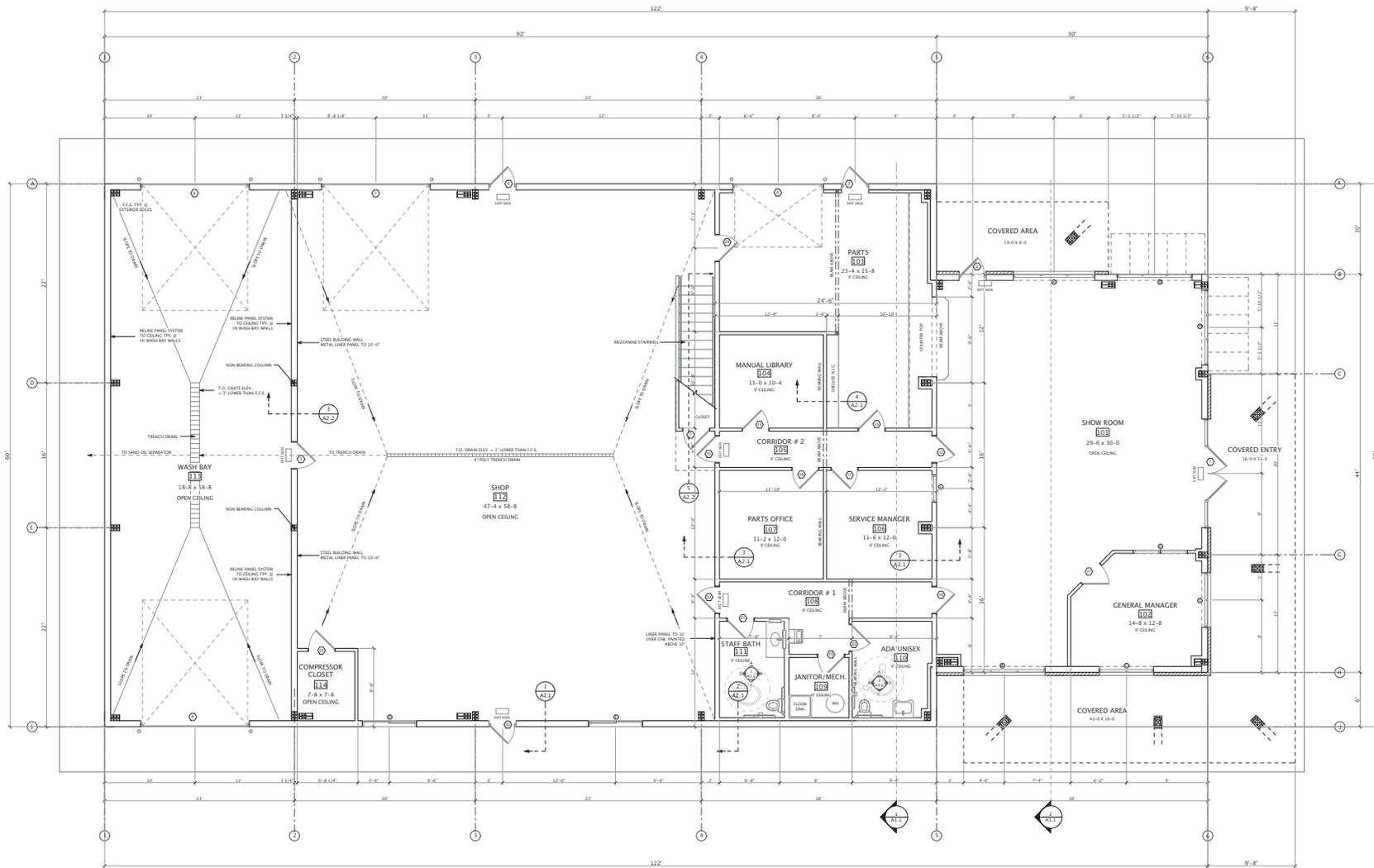


Precision Plan and Design Inc.
 Custom Plan Service
 934 12th Street
 Cody Wyo, 82414
 (307) 527-6422
 Project # 1172

DATE: Revision (3)
 January 31, 2016

CHANGE ORDER	DATE:	

L1.0
 SHEET #
 1 OF



1st LEVEL FLOOR PLAN = 6,840 SF.

SCALE: 3/16" = 1'-0"



FLOOR PLAN
HGI Properties

P.O. Box 606
Cody, Wyoming 82414
307-527-6413

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307-527-6413

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Custom Plan Service
924 12th Street
Cody Wyo, 82414
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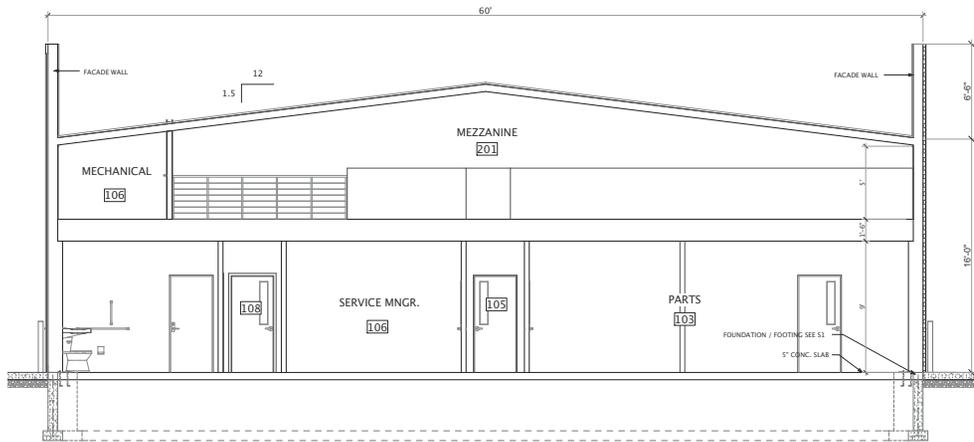
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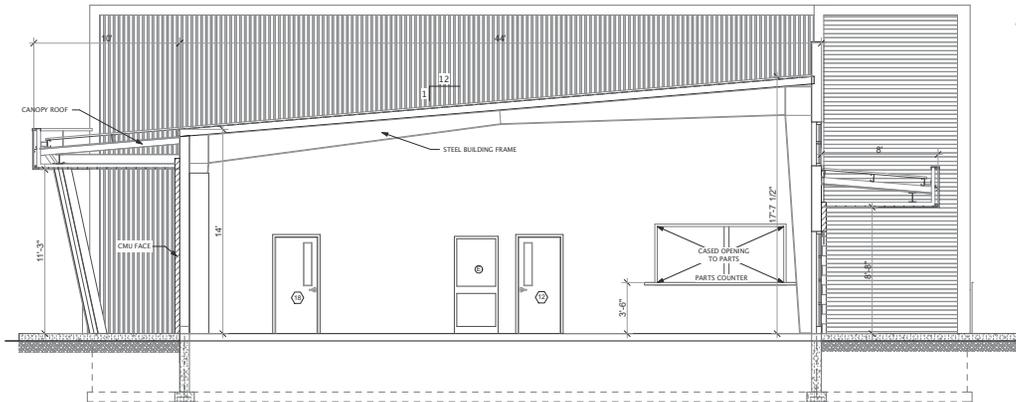
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A1.0

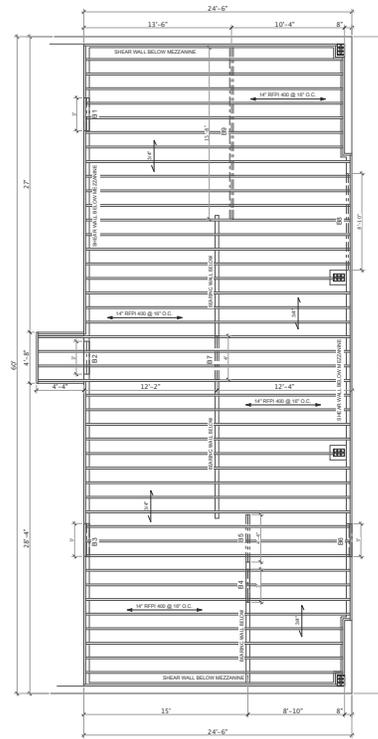
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1 OF



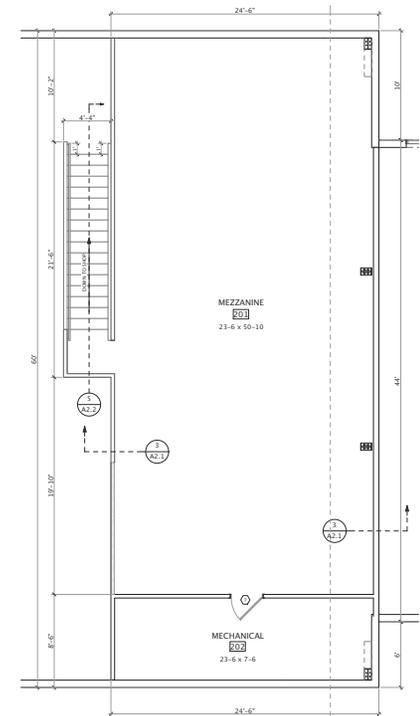
1 CROSS SECTION
SCALE: 1/4" = 1'-0"



2 CROSS SECTION
SCALE: 1/4" = 1'-0"



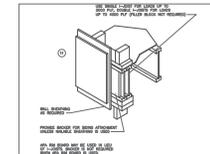
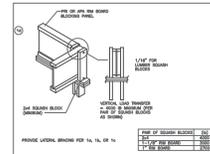
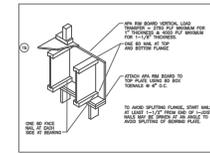
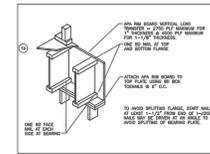
FLOOR FRAMING PLAN
SCALE: 3/16" 1'-0"



MEZZANINE FLOOR PLAN = 1,307 SF.
SCALE: 3/16" 1'-0"

BEAM SCHEDULE:			
MARK	SIZE	OPTION	OPTION
B1	(2) 3 x 8 SPP # 1		
B2	(2) 2 x 8 SPP # 1		
B3	(2) 2 x 12 SPP # 1		
B4	(2) 2 x 10 SPP # 1		
B5	3 1/2" x 9 1/4" LVL		
B6	(2) 2 x 10 SPP # 1		
B7	3 1/2" x 9 1/4" LVL		
B8	5 1/4" x 9 1/4" LVL		
B9	5 1/4" x 11 1/4" LVL	5 1/8" x 12 GLB	

- PLAN NOTES:**
- 1) 1/4" RFR 400 @ 16" O.C. CONTINUOUS FOR TWO SPANS
 - 2) ROSEBURG FRAMING SYSTEM OR EQUAL
 - 3) 3/4" INDICATES SPAN DIRECTION OF 3/4" T & G SUBFLOOR



MEZZANINE / SECTIONS

HGI Properties

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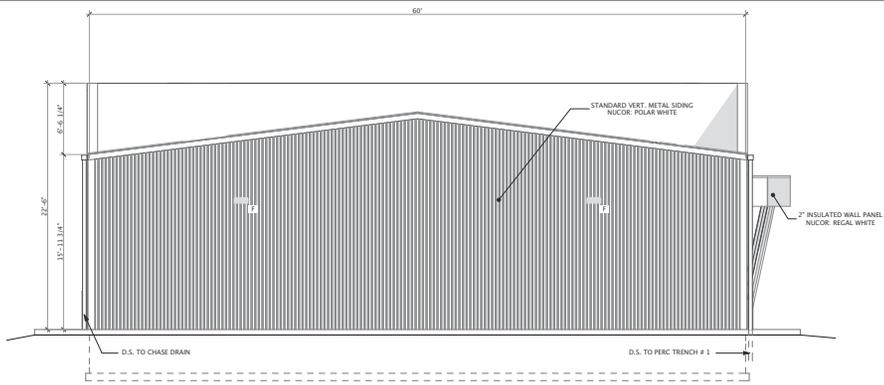
Custom Plan Service
934 12th Street
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Project # 1172

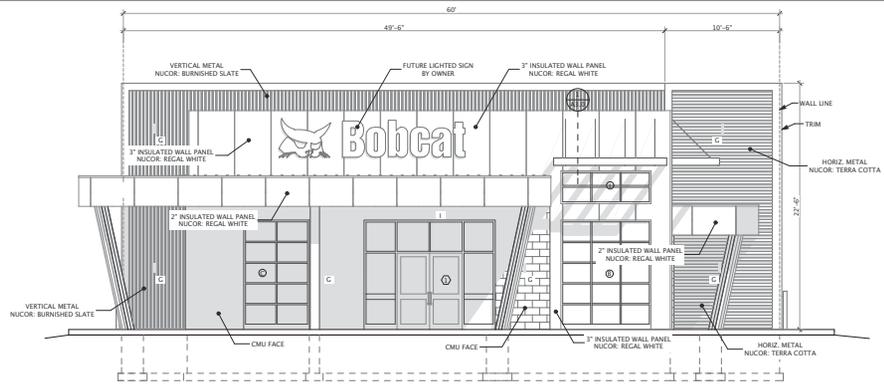
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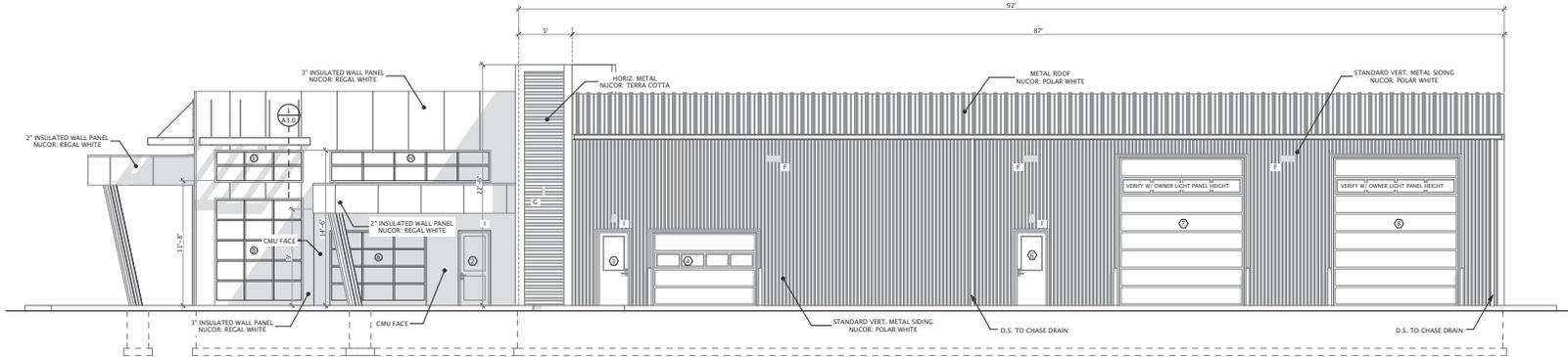
A1.1
SHEET #
1 OF



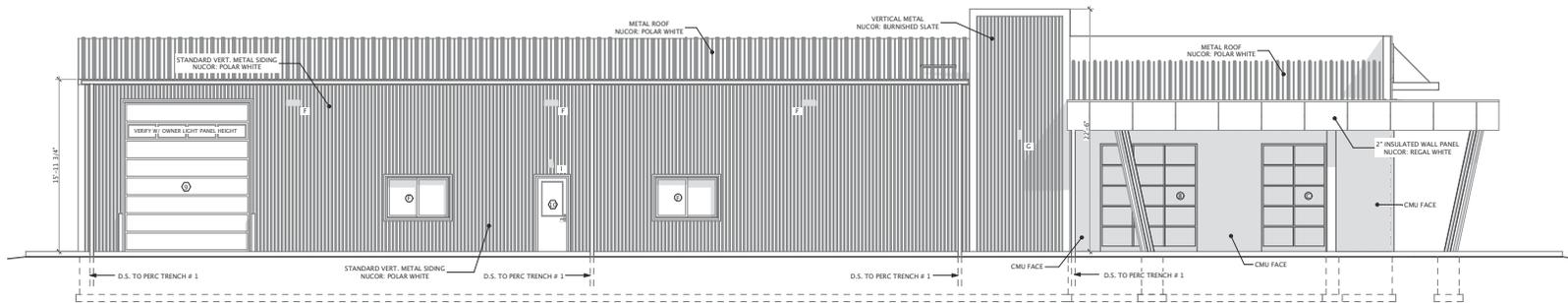
NORTH ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

HGI Properties

Cell Phone: 719-649-7837

P.O. Box 606

Cody, Wyoming 82414

307-527-6413

Gandy Allison

307-527-6413

SUSAN HOVDE - Architect

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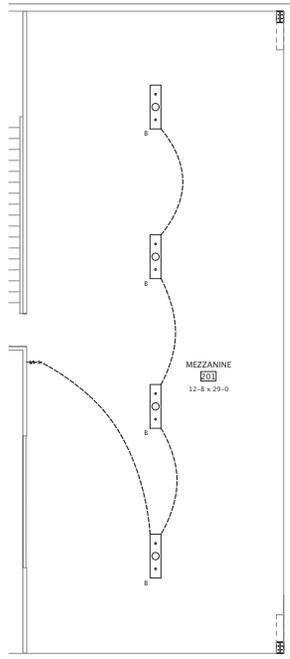
Custom Plan Service
934 12th Street
Cody Wyo, 82414
(307) 542-2227

Project # 1172

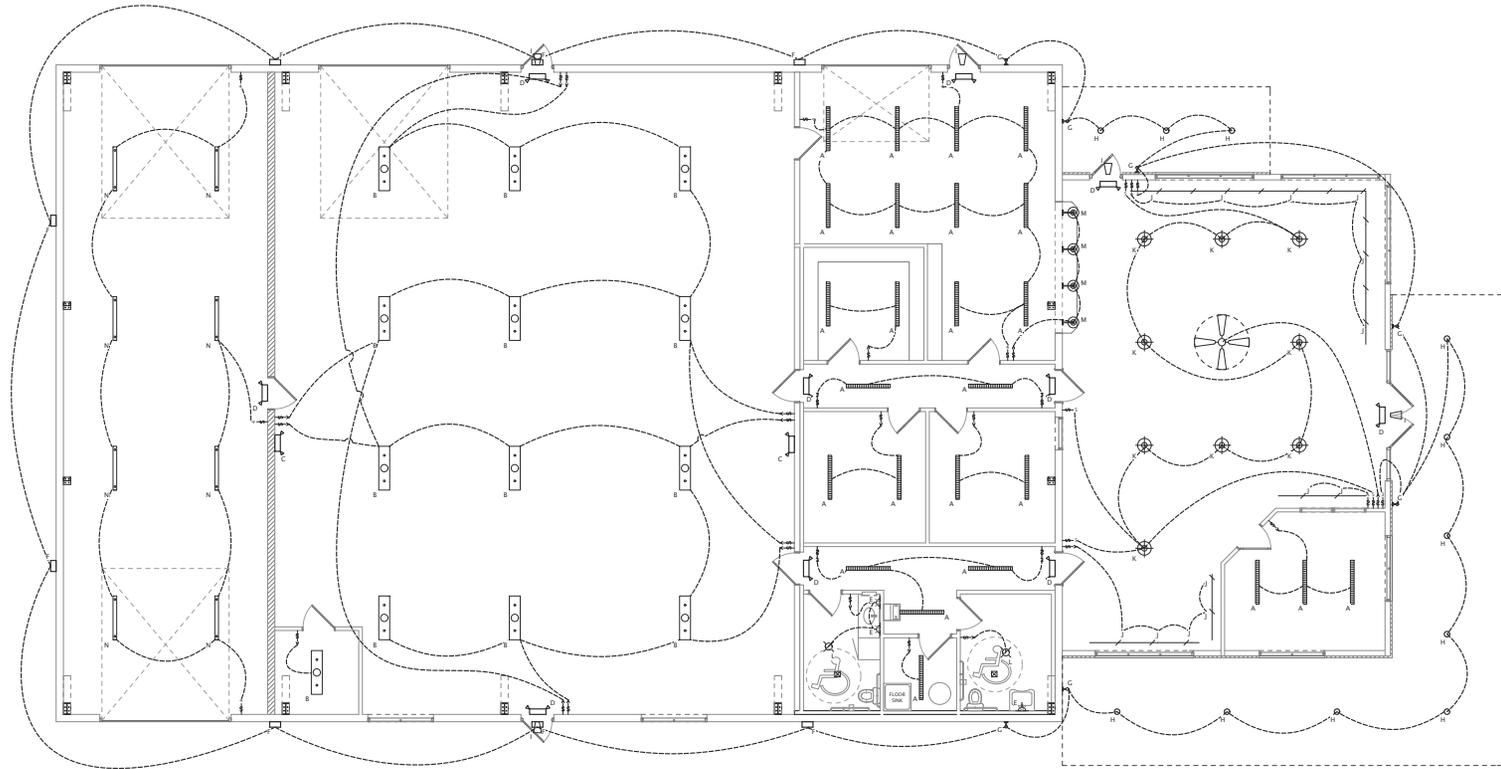
DATE: Revision (3)
January 31, 2016

DATE:	REVISION:

A2.0
SHEET #
1 OF



MEZZANINE
ELECTRICAL PLAN
SCALE: 3/16" 1'-0"



MAIN FLOOR ELECTRICAL PLAN
SCALE: 3/16" 1'-0"



LIGHT FIXTURE SCHEDULE								
LETTER DESIG.	MANUFACTURER	FIXTURE		LOCATION	TYPE	LAMP		NOTES
		CATALOG NO.				TYPE	NO.	
A	LITHONIA			CEILING	SURFACE		25	
B	LITHONIA	MOL-B000LM-L1LV-MVOLT-G210-40K-80CR-8H		CEILING	SUSPENDED		17	
C	LITHONIA	ELM2-LED		WALL	SURFACE		5	
D	LITHONIA	LHOM-LED		WALL	SURFACE		8	
E	LITHONIA	MMVC3-BNP		WALL	SCIENCE		3	
F	LITHONIA	CKVM-LED-30K-700-40K-13M-MVOLT-DBLSD		WALL	SURFACE		8	
G	LITHONIA	SPC312QKLELDE-120W-150K-MD-E3-50-WM-CE		WALL	SURFACE		8	
H	LITHONIA	REAL608NBS600K-30K-60SC120V		SOFFIT	SURFACE		18	
I	LITHONIA	AN		WALL	SURFACE		5	
J	LITHONIA	LTHM638BN		CEILING	TRACK		15	
K	HI-LITE MFG. CO., INC.	STEMFLCEL1-8CF1L3-42WATT8B		CEILING	SUSPENDED		8	
L	LITHONIA	FMML7-840-DBBT-WL		CEILING	SURFACE		3	
M	HI-LITE MFG. CO., INC.	GALVANIZED6061-100WATT/120VOLT		WALL	SCIENCE		4	
N	LITHONIA	FMK214THM638BNVOLT-GR810P90CSR8P41		CEILING	SUSPENDED		4	

ELECTRICAL LAYOUT

HGI Properties

P.O. Box 606
Cody, Wyoming 82414
307-527-6413

Gandy Allison
307-527-6413

SUSAN HOVDE -
Architect

P.O. Box 1514
Red Lodge MT, 59068
(406) 446-3160



Precision Plan and Design Inc.

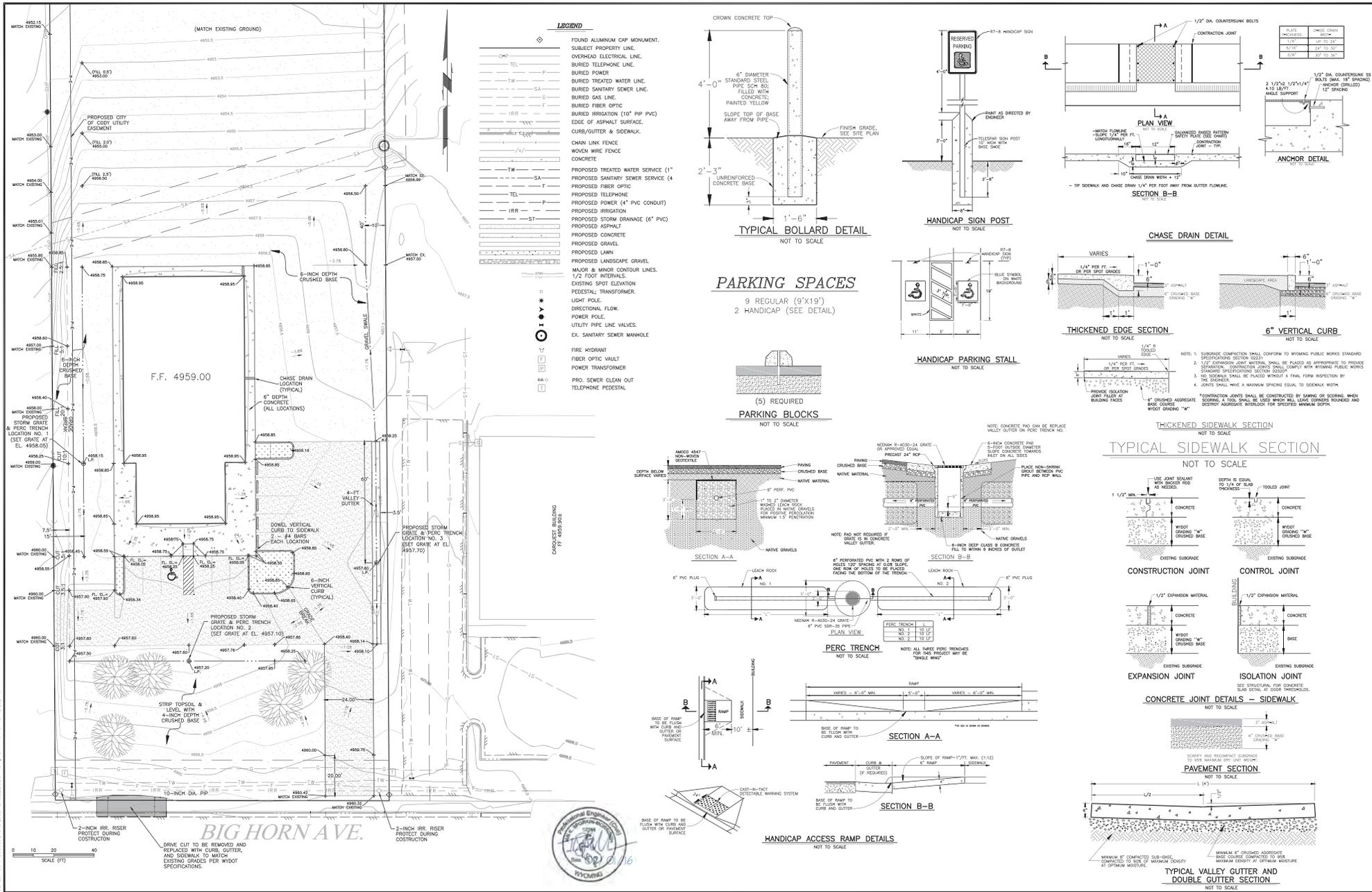
Custom Plan Service
931 12th Street
Cody Wyo. 82414
(406) 446-4227

Project # 1172

DATE: Revision (3)
January 31, 2016

#	CHANGE ORDER	DATE:

E1.0
SHEET #
1 OF



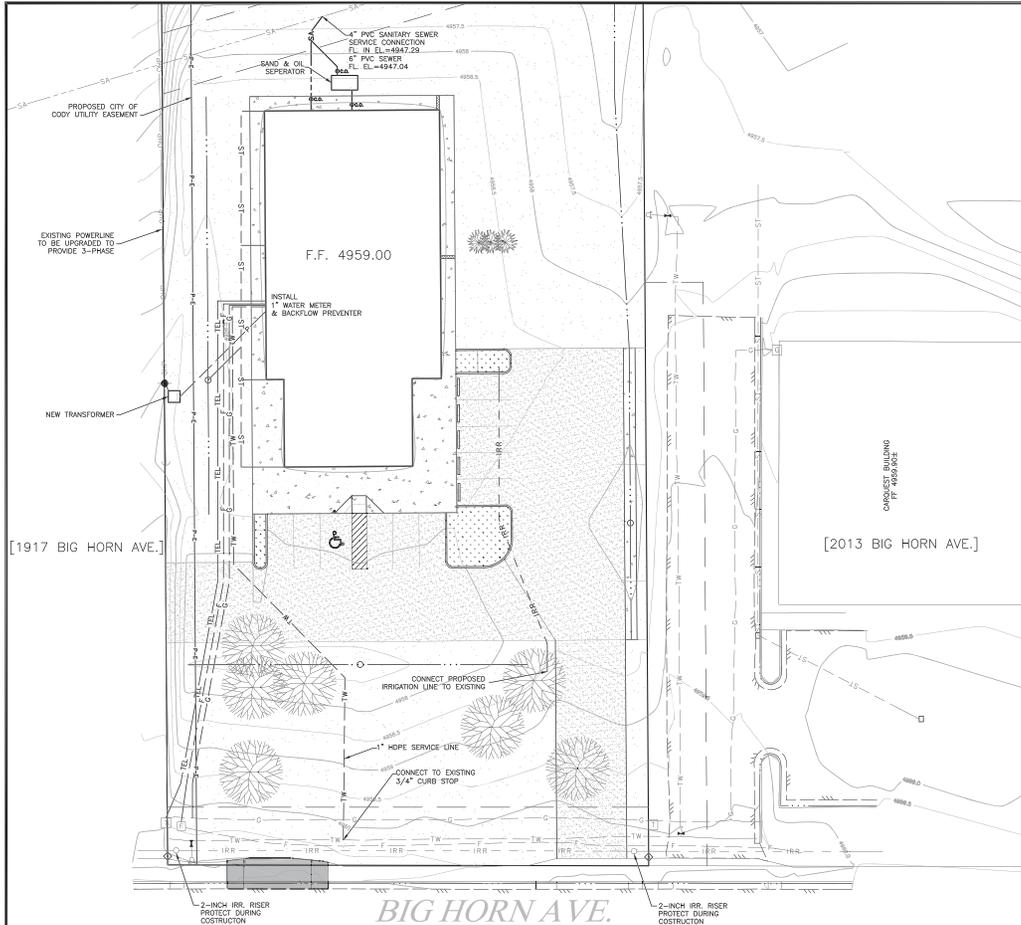
DATE	DRAWING LOG	BY	CHECKED	APPROVED
1/28/16	CITY OF CODY EDITS	IKSM	ROA	
12/7/15	ORIGINAL DRAWING	IKSM	ROA	IKSM

DRAWN BY:	IKSM
JOB NO.:	15152
FIELD BOOK NO.:	542

ENGINEERING ASSOCIATES - CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS

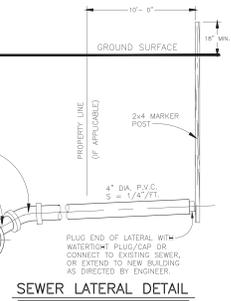
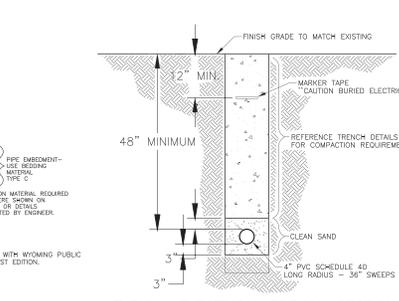
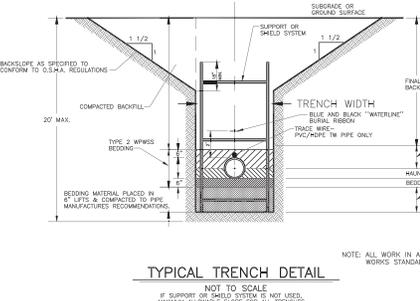
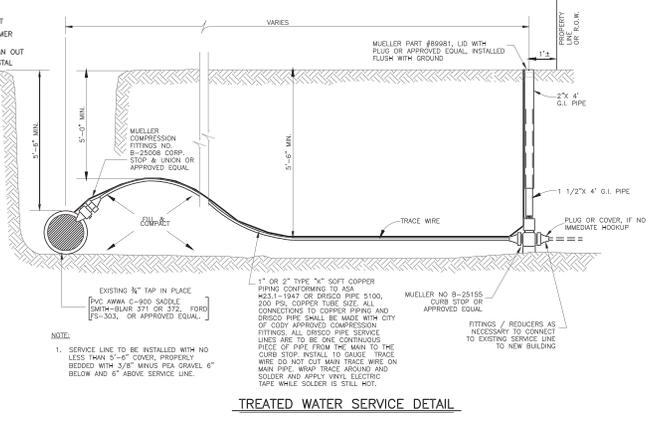
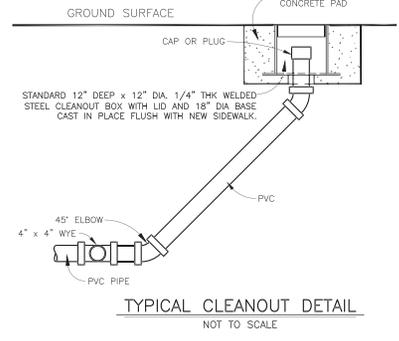
OWNER:
 HGI PROPERTIES

PROJECT: COMMERCIAL BUILDING
 TITLE: SITE GRADING PLAN
 C2.0



LEGEND

	FOUND ALUMINUM CAP MONUMENT.
	SUBJECT PROPERTY LINE.
	OVERHEAD ELECTRICAL LINE.
	BURIED TELEPHONE LINE.
	BURIED POWER.
	BURIED TREATED WATER LINE.
	BURIED SANITARY SEWER LINE.
	BURIED GAS LINE.
	BURIED FIBER OPTIC.
	BURIED IRRIGATION (10" PIP PVC).
	EDGE OF ASPHALT SURFACE.
	CURB/GUTTER & SIDEWALK.
	CHAIN LINK FENCE.
	WOVEN WIRE FENCE.
	CONCRETE.
	PROPOSED TREATED WATER SERVICE (1" HDPE)
	PROPOSED SANITARY SEWER SERVICE (4" PVC)
	PROPOSED FIBER OPTIC.
	PROPOSED TELEPHONE.
	PROPOSED POWER (4" PVC CONDUIT)
	PROPOSED IRRIGATION.
	PROPOSED STORM DRAINAGE (6" PVC)
	PROPOSED ASPHALT.
	PROPOSED CONCRETE.
	PROPOSED GRAVEL.
	PROPOSED LAWN.
	PROPOSED LANDSCAPE GRAVEL.
	MAJOR & MINOR CONTOUR LINES.
	1/2 FOOT INTERVALS.
	EXISTING SPOT ELEVATION.
	PEDESTAL TRANSFORMER.
	LIGHT POLE.
	DIRECTIONAL FLOW.
	POWER POLE.
	UTILITY PIPE LINE VALVES.
	EX. SANITARY SEWER MANHOLE.
	FIRE HYDRANT.
	FIBER OPTIC VAULT.
	POWER TRANSFORMER.
	PRO. SEWER CLEAN OUT.
	TELEPHONE PEDESTAL.



NOTE: ALL CONSTRUCTION DONE IN ACCORDANCE WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS

NOTE: TYPE C BEDDING: WELL GRADED MATERIAL WITH MAXIMUM SIZE OF 1-INCH, 0-10% PASSING NO. 4 SIEVE, AT LEAST SIDE OF AGGREGATE SHALL HAVE MINIMUM ONE FRACTURED FACE.

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DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY
1/28/16	CITY OF CODY EDITS	IKSM	ROA		IKSM
12/7/15	ORIGINAL DRAWING	IKSM	ROA	IKSM	

ENGINEERING ASSOCIATES – CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: HGI PROPERTIES

PROJECT: COMMERCIAL BUILDING
TITLE: SITE UTILITY PLAN

C3.0

SUPPLEMENTAL DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONING DISTRICTS

(Draft for February 9, 2016 P&Z mtg.)

10.*-2 SUPPLEMENTAL DEVELOPMENT STANDARDS FOR THE RESIDENTIAL ZONING DISTRICTS

The following uses, which are identified with an asterisk in the residential land use table, are subject to the corresponding regulations of this section, in addition to applicable development standards specified elsewhere in this Title, and any conditions that may be imposed pursuant to a special use permit (Conditional use permit) review. The standards of this section shall apply unless waived or altered pursuant to variance process of Chapter ***; provided, those standards identified herein with “(SE)”, may be waived or altered pursuant to the Special Exemption process of Chapter ***. In no case shall any of the following standards be waived or modified to the extent that the result is tantamount to a rezone or the use no longer meets the specified definition thereof.

The supplemental development standards are listed by use, in alphabetical order.

(A) “A” Uses.

Accessory Dwelling Units (ADUs):

1. Location: An accessory dwelling unit, where permitted, may be located only in one of the following manners:
 - a. Within a detached single-family dwelling, either initially at time of construction, or any time thereafter.
 - b. Within an addition to a detached single-family dwelling.
 - c. Above or within a residential garage or other building accessory to a detached single-family dwelling.
 - d. Within an accessory building on the same parcel as a detached single-family dwelling unit.
2. Lot Area, Dwelling Size, and Density: The minimum lot size required for an accessory dwelling unit (ADU) is seven thousand (7,000) square feet. Accessory dwelling units are not subject to the minimum dwelling size requirement of the zoning ordinance and are not included in the density calculations ("lot area per family") for a lot.
3. Number: Only one accessory dwelling unit (ADU) per lot may be permitted and the ADU must be accessory to a detached single-family dwelling. A lot already occupied by two (2) or more dwellings is not permitted to have an accessory dwelling unit.
4. Height and Setbacks: A single-story ADU that does not exceed fifteen feet (15') in building height is subject to the setback standards applicable to private garages. ADU structures that are taller than fifteen feet (15') in building height shall conform to setback standards applicable to a primary residence. (SE)
5. Lot Coverage: The footprint of a proposed building containing an ADU that is structurally detached from the primary residence may cover up to twenty percent (20%) of the lot. (SE)

6. Living Area: The total living area of an ADU may not exceed seventy five percent (75%) of the living area of the primary dwelling, or eight hundred (800) square feet, whichever is less, with the following exception: When the ADU will be located on one level of an existing building (e.g., basement) and it is not feasible to utilize the area remaining on that level as part of the primary dwelling, then the reviewing official may authorize the ADU to occupy the entire level.
7. Type of Construction: All ADUs are to be of site built construction and meet the requirements of the adopted building code for residential dwellings. Mobile homes, manufactured homes, recreational vehicles and temporary structures shall not be used as ADUs.
8. Bedrooms: An ADU may not contain more than two (2) bedrooms/sleeping areas.
9. Parking: An ADU must have a minimum of one off street parking space, when located outside of the downtown parking district.(SE) The required parking space shall meet the standards of Chapter 16, "Off Street Parking", of this title. Any required existing parking may not be displaced by the ADU, unless such parking is replaced elsewhere on the lot.
10. Owner Occupancy: Within the R-1 and R-2 zoning districts, the owner of the property must utilize the primary dwelling unit or ADU as their primary residence; the dwellings shall not both be occupied unless this is the case.
11. Short Term Rental: An ADU may be utilized as a short term rental when located in a zoning district that permits short term rentals, provided applicable short term rental requirements are met.
12. Utilities: Both the primary dwelling and the ADU must be connected to public sewer and public water, and be served with a functional fire hydrant meeting applicable requirements for distance to the dwellings. Both dwelling units are to be serviced from a single water meter and a single electric meter.(SE)
13. Home Occupations: Any home occupation within an ADU shall be limited to the home occupation standards of the R-1 zoning district.
14. Addressing: The ADU will be assigned an individual address, which must be posted as required by code.

(Delete or Modify #15 once have general special use process outlined.)

15. Special Use Permit Required In Residential AA Zoning District: Authorization to establish an ADU within the residential AA zoning district may be granted by the planning, zoning, and adjustment board (board), pursuant to the following special use permit process:
 - a. Purpose: The purpose of the board review is to promote the highest level of compatibility possible between the ADU and any neighboring residential AA lands, by identifying any potential negative impacts and determining if additional protections are needed to avoid or mitigate those impacts to an acceptable level.
 - b. Public Hearing: The board shall conduct a public hearing to obtain information pertaining to the request and the suitability of the project as proposed.
 - c. Notice: Notice of the public hearing shall be given at least ten (10) days prior to the hearing by publication in the city's official newspaper and by USPS first class mail to the owners of all properties within one hundred forty feet (140') of the subject property. The notices must identify the date, time, location, and purpose of the public hearing. The person sending the notices by mail shall complete an affidavit of mailing which identifies the document, the property owners to which it was sent, and the date mailed.

d. Authority: The board shall have authority to approve, deny, or approve with conditions the ADU application. Conditions may be imposed to address concerns related to compatibility of use, architecture, solar access, privacy, parking, and other impacts identified through the review process. Conditions may include, but are not limited to, modifying the location, orientation, and architecture of the proposed ADU; requiring screening (walls, fencing, vegetation); and requiring additional parking. If conditions cannot be developed to sufficiently mitigate adverse impacts to a level determined acceptable by the board and agreeable to the applicant, the application shall be denied.

Amateur radio antennas (e.g. ham radio antennas):

1. Within residential districts, towers supporting amateur radio antennas that do not exceed the maximum building height limit for the district in which they are located shall be deemed an accessory use. Towers supporting amateur radio antennas that exceed 50 feet or the building height limit for the district in which they are located shall require a special (conditional) use permit, with the intent of minimizing visual impacts.
2. Towers and other structures supporting amateur radio antennas shall comply with building setback requirements.(SE)

(B) “B” Uses.

Bed & Breakfast Inns:

1. The bed and breakfast inn must be located in a detached single-family dwelling.
2. If located within the RR, R1 or R2 zoning districts, the property containing the bed and breakfast inn must be owner-occupied, as defined in ***.
3. The number of bedrooms for rent shall be limited as noted in the residential land use table (3 or less, and 4 or more.)
4. Vehicle access must comply with the requirements of the International Fire Code, Appendix D, or other established standard acceptable to the Fire Marshal.
5. Cooking facilities in guest rooms are not permitted.
6. The Fire Marshal must inspect and approve the occupancy of an establishment before it may be used as a bed and breakfast inn.
7. Individual guest occupancy is limited to periods of less than 30 consecutive days, and less than 30 days in any three-month period.
8. Private functions such as weddings, receptions, luncheons, parties and similar activities are not permitted, except to the extent such activities represent personal activities of the owner/resident, or such use is otherwise permitted in the zoning district in which the property is located and authorization for such has been granted by the reviewing official.
9. The bed and breakfast must maintain compliance with the WY Department of Revenue licensing requirements, including payment of lodging taxes.

(C) “C” Uses.

Churches:

1. Churches with a seating capacity for services of 500 persons or more and located in a residential zone shall be located adjacent to an arterial or major collector street, so as to minimize traffic impacts to the residential area.

Community Gardens:

1. Community gardens must be managed and actively tended, so as to avoid weeds, odors, or other characteristics that would constitute a nuisance, or detriment to neighboring property values.

Community Greenhouses:

1. One greenhouse, up to 120 square feet in size, and of typical frame and ridged panel (e.g. glass, acrylic, polycarbonate) construction is permitted as an accessory use to a community garden. A larger or additional community greenhouse, or one of other construction, shall be reviewed as a special use(conditional use).

Community Residence for the Disabled:

1. Prior to authorization of the community residence, the applicant shall provide a certification from a qualified licensed medical practitioner that the number of disabled residents proposed is necessary to provide the mutual support and interrelationships required for treatment.
2. A community residence is considered a residential use of property for purposes of zoning and building codes. However, the Fire Marshal, pursuant to and consistent with the adopted Fire Code, may require enhanced fire protection, including the installation of fire sprinklers and other mitigating measures, where one or more residents has a lessened ability to ambulate adequately.

(D) "D" Uses. (Reserved)

(E) "E" Uses. (Reserved)

(F) "F" Uses. (Reserved)

(G) "G" Uses. (Reserved)

(H) "H" Uses.

Home Occupation, Large-Scale.

The purpose of the "Large-scale home occupation" land use category is to provide an option for consideration of businesses or professional enterprises that somewhat exceed the limitations of the "Small-scale home occupation" category, but that still maintain such characteristics and/or are located such that they are able to operate in a manner that does not interfere with the residential character of the neighborhood.

1. A large-scale home occupation is considered through the special use permit process. In addition to the special use permit criteria of City of Cody code 10.*.** large-scale home occupations shall meet the following requirements:
 - a. The home occupation must be clearly incidental and accessory to the residential use.
 - b. All on-premise work and storage areas must be conducted within the home, garage, or an accessory structure.

- c. All on-premise activities related to the home occupation are to be conducted only by members of the household, provided up to two non-resident employees may work on the premises, when authorized through the special use permit review.
 - d. No structural alteration or addition may be made to accommodate the home occupation, unless it is made in such a manner that the area would be suitable for typical residential purposes if it were not occupied by the home occupation.
 - e. No equipment shall be installed, no products shall be stored, and no activities shall be conducted in the dwelling or attached garage that would violate the fire or building code limitations for a non-rated wooden structure (Construction Type V-B), regardless of the construction type of the dwelling. Any accessory structure used in the home occupation shall meet the fire and building code requirements applicable to its use.
 - f. No offensive noise, vibration, smoke, dust, odor, glare, electrical interference, or other detriments to neighboring properties or dwelling units shall be produced.
 - g. There shall be no exterior indication of the home occupation, other than those indications complying with #i through #l below.
 - h. No more than a total of four vehicles/trailers associated with the home occupation (including employee vehicles) shall be ~~on or near~~ at the premises at any time. *(SE)*
 - i. Any vehicle or trailer associated with the home occupation that is not a typical passenger car or pickup must be parked off-street. Furthermore, vehicles and trailers are not to occupy any area within the front yard that is not designed for parking (e.g. no parking on the front lawn).
 - j. The combined number of customer, ~~delivery~~, and employee ~~vehicles~~ visiting to the property with the home occupation shall not typically exceed eight (8) per day, and they shall not typically occur ~~arrive~~ earlier than 7:00 a.m., nor ~~leave~~ later than 7:00 p.m. each day. For calculation purposes, each customer or employee visit shall count as one visit. In situations where a person is dropped off and later picked up, it shall count as only one visit, as the customer is the person visiting, not the one dropping off and picking up (e.g. a parent dropping off a child at music lessons and later picking them up). *(SE)*
 - k. Vehicle traffic associated with the home occupation shall not be of an amount that would cause, or add to, any parking congestion problems, ~~or represent a substantial increase in traffic through the residential area.~~
 - l. Signage must comply with the provisions set forth in City of Cody sign code.
2. Examples of possible large-scale home occupations include: small-scale manufacturing or fabrication in an accessory building (no use of production line or automated equipment); contractors not meeting the small-scale home occupation requirements; and, small-scale repair services.
 3. The following uses are not permitted as large-scale home occupations, due to their non-residential character, failure to meet home occupation standards, and/or potential impacts to neighboring properties.
 - a. On-premise bookstores or entertainment establishments;
 - b. Barber or beauty parlors, with more than one (1) chair;
 - c. Equipment rental;
 - d. Funeral home or crematorium;
 - e. Animal kennel, stable, daycare, and training;
 - f. Lodging or boarding houses;
 - g. Storage facilities (a.k.a. mini-storage);

- h. Restaurants/drinking establishments;
 - i. Slaughter and meat processing services;
 - j. Towing services;
 - k. On-premise vehicle or heavy equipment repair (including body, engine and chassis), impound, and dismantling/wrecking.
4. Any large-scale home occupation may be subject to inspection and review at any reasonable time for purposes of verifying compliance with the requirements of this section and the special use permit. If, at any time, any of the large-scale home occupation requirements are not met, the Planning Commission may revoke the permit pursuant to 10.*.**.

Home Occupation, Small-Scale:

1. A small-scale home occupation permit may be authorized when the business meets all of the following requirements:
 - a. The home occupation must be clearly incidental and accessory to the residential use. Only residents of the home may participate in any business activity on the premises.
 - b. All on-premise work and storage must occur within the main residence or attached garage. The home occupation shall not occupy more than 500 sq. ft. of the residence and attached garage.
 - c. All on-premise activities related to the home occupation are to be conducted only by members of the household.
 - d. No structural alteration or addition may be made to accommodate the home occupation, unless it is made in such a manner that the area would be suitable for typical residential purposes if it were not occupied by the home occupation.
 - e. No equipment shall be installed, no products shall be stored, and no activities shall be conducted that would violate the fire or building code limitations for a non-rated wooden structure (Construction Type V-B), regardless of the construction type of the dwelling.
 - f. No offensive noise, vibration, smoke, dust, odor, glare, electrical interference, or other detriments to neighboring properties or dwelling units shall be produced.
 - g. There shall be no exterior indications of the home occupation, other than those indications complying with #h through #l below.
 - h. No more than a total of two vehicles/trailers associated with the home occupation shall be ~~at or near~~ the premises at any time. In addition, the vehicle(s) shall not be larger than a typical passenger van or 1-ton pickup and the trailer(s) no more than 20 feet long (overall length). Box-style cargo vans, semi tractors/trailers, heavy equipment, and similar vehicles are not authorized.
 - i. Any vehicle or trailer associated with the home occupation that is not a typical passenger car or pickup must be parked off-street. Furthermore, vehicles and trailers are not to occupy any area within the front yard that is not designed for parking (e.g. no parking on the front lawn).
 - j. Within the R-1 zoning district, on-site customers and employee visits are not permitted. In the other residential zoning districts, The combined number of customer, ~~delivery~~, and employee visits ~~to vehicles visiting~~ the property ~~with the home occupation~~ shall not typically exceed six (6) per day, and they shall not ~~typically occur~~ arrive earlier than 7:00 a.m., nor ~~leave~~ later than 7:00 p.m. each day. In situations where a person is dropped off and later picked up, it shall count as only one visit, as the customer is the person visiting, not the one dropping off and picking up (e.g. a parent dropping off a child at music lessons and later picking them up). Within the R-1 zoning district, on-site customers and employee visits are not permitted.

k. Vehicle traffic associated with the home occupation shall not be of an amount that would cause, or add to, any parking congestion problems, ~~or represent a substantial increase in traffic through the residential area.~~

l. Signage must comply with the provisions set forth in City of Cody sign code.

2. Examples of possible small-scale home occupations include: artist; consultant; computer work (accountant, architect, drafter, engineer, typist); internet sales (off-site delivery); music instructor; photographer; seamstress/tailor; and, personal teacher/tutor.
3. The following uses are not permitted as small-scale home occupations, due to their non-residential character, failure to meet home occupation standards, and/or potential impacts to neighboring properties.
 - a. All uses prohibited as large-scale home occupations.
 - b. Machining, welding, or metal shop;
 - c. Pawn shop;
 - d. Small engine repair;
 - e. Vehicle or heavy equipment alteration, repair (including body, engine and chassis), painting, sales, rental, service, impound, or storage;
 - f. Retail storefronts; and,
 - g. Any use generating, storing or utilizing hazardous materials in amounts greater than a typical household.
3. After (Date of adoption), any person who desires to start a small-scale home occupation must register their home occupation with the Community Development Department. A permit shall be issued after receipt of an application demonstrating that the home occupation complies with the requirements of the zoning ordinance.

Applications for small-scale home occupations are to be processed as Type ** permits, pursuant to ***. In granting approval of a small-scale home occupation permit, the Director may require additional conditions, so that the home occupation does not detract from the residential character of the neighborhood.

4. Any small-scale home occupation that is granted approval may be subject to inspection and review at any reasonable time for purposes of verifying compliance. If, at any time, any of the small-scale home occupation requirements are not met, the Director may revoke the permit.

(I) "I" Uses

Individual Care-Group Home Category.

1. When located on a single-family residential lot, the provision of care shall take place in a dwelling used primarily as a residence.
2. When located on a parcel developed with multi-family housing, the provision of care shall take place within a structure not used as a residence.

(J) "J" uses. (Reserved)

- (K) “K” uses. (Reserved)
- (L) “L” uses. (Reserved)
- (M) “M” uses. (Reserved)
- (N) “N” uses. (Reserved)
- (O) “O” uses. (Reserved)
- (P) “P” uses. (Reserved)
- (Q) “Q” uses. (Reserved)

(R) “R” uses.

Real Estate Sales Office—Temporary.

The following standards apply:

1. The use may be located within a model home or RV trailer.
2. The sales activity shall be limited to lots within the subdivision in which the model home or trailer is located.
3. The use shall not be permitted to operate until the final plat map has been approved and recorded.
4. If the temporary real estate sales office is a model home, the use shall expire three years from the date of the certificate of occupancy or whenever sales are completed, whichever occurs first. If the temporary real estate sales office is a trailer, the use shall expire 6 months from the date of approval by the Community Development Department.(SE)
5. A signage plan must be submitted and approved prior to operation of the use. All signage shall comply with the city sign code.

R.V. Parks.(Recommend delay until commercial zone updates and Mobile Home Park update.

- ~~1.—The maximum density permitted in a recreational vehicle park is twenty recreational vehicle /tourist cabin sites per developable acre (see definition).(SE) Designated tent camping areas may be included in the park, but those areas shall be deducted from the acreage used to calculate the number of RV/cabin sites permitted.~~
- ~~2.—Tourist cabins are not permitted in RV Parks in residential zoning districts.~~
- ~~3.—(?)RV parks shall be seasonally occupied only. No RVs or campers shall remain in an RV park during the months of December, January, and February; provided the owner may store his/her RV on site during these months.~~
- ~~4.—Recreational vehicle parks shall have a minimum street frontage of 100 feet.~~
- ~~5.—Recreational vehicle sites, office buildings, accessory buildings and other facilities shall be set back at least 10 feet from any property lines. When adjacent to any property line adjoining a public street, the required setback shall be 20 feet.(SE)~~
- ~~6.—Spacing:

 - ~~a.—Pull through recreational vehicle sites shall maintain at least fifteen feet between vehicles in adjoining sites.~~
 - ~~b.—Back in recreational vehicle sites shall maintain at least twelve feet between vehicles in adjoining sites.~~
 - ~~c.—Tourist cabins shall be separated at least ten feet from each other, and from any RV vehicle in an adjoining site.~~~~
- ~~7.—Recreational vehicle sites and tourist cabins shall be located at least 20 feet from any building.~~

- ~~8. A minimum of 10% of the total area of the RV Park shall be reserved for purposes of open space or recreational facilities. Open space area shall be of sufficient size, character, and distribution as to be a functional part of the entire park.~~
- ~~9. All access drives shall be a minimum of 20 feet wide for one-way traffic and 24 feet wide for two-way traffic, with sufficient radii to accommodate the RVs and emergency vehicles, as approved by the city engineer and reviewing official.~~
- ~~10. In addition to the parking in each RV space, guest parking at the rate of one guest space per ten RV spaces shall be provided.~~
- ~~11. An engineered site plan showing the layout, grading, drainage, and utility infrastructure for the RV Park shall be submitted for review and approval.~~

RV, Temporary.

The Community Development Department may authorize the owner of a residential lot, and their household, to live in an on-site recreational vehicle (RV) while constructing or remodeling a residence on the property. The permit shall be valid for up to 12 months, and only during such time as a valid building permit is in effect and construction activity is ongoing at the site. Appropriate provisions for sewer, power, and water shall be made while the RV is occupied.

(S) “S” Uses.

Short-Term Rental.

1. Within the R-2 and R-2-MH zoning districts, the property containing the short-term rental must be owner-occupied, as defined by this Title. For purposes of this requirement “property” includes the lot that contains the short term rental and any immediately adjacent lot in the same ownership. In other words, the owner may live next door to their short term rental(s) and be in compliance with this requirement. ~~Owner occupied means that the owner of the property resides on the property in their primary residence.~~
2. Within the residential zoning districts, occupancy of the short-term rental is limited to one “family”, as defined by this Title; provided, a special use (conditional use) permit may be requested to exceed this limitation.
3. Prior to use of the dwelling as a short-term rental, the dwelling shall be inspected for fire and life safety items by the Fire Marshal (e.g. smoke detectors, egress windows, and fire extinguishers).
4. Short-term rentals are classified as lodging facilities by the State. As such, the owner of the short term rental must register the lodging facility business with the WY Department of Revenue and pay lodging tax as required.

(T) “T” Uses.

(U) “U” Uses. (Reserved)

(V) “V” Uses. (Reserved)

(W) “W” Uses.

Wind Energy System, Small.

1. No small wind energy system shall be erected on any lot less than 1.0 acre in size.

2. Total height may be up to 50 feet; provided, properties five acres or greater are allowed up to 80 feet.(SE)
3. The minimum height of the lowest extent of a turbine blade/rotor shall be 20 feet above the ground, if on a horizontal axis turbine. There is no minimum rotor height for a vertical-axis turbine, provided the blades/rotor must be located or isolated (e.g. fenced) such that they are not easily accessible to anyone but maintenance personnel.
4. The small wind energy system shall have a maximum rotor speed of less than 500 RPM (revolutions per minute) at the manufacturer's rated wind speed. (SE)
5. No tower shall have a climbing apparatus within 10 feet of the ground.
6. Small wind energy systems shall be finished and maintained as manufactured.
7. Every small wind energy system shall be equipped with an automatic overspeed control and a manual brake.
8. The small wind energy system shall be set back from any public road right-of-way and overhead communication or electrical line at least 1.5 times its total height
9. The following two standards apply, provided an affected neighboring owner(s) may grant an easement or written agreement to reduce or eliminate the requirement as applicable to the protection of their property. The document must be recorded in the office of the county clerk before a building permit for the wind energy system is issued.
 - a. A small wind energy system shall be set back from the nearest neighbor's property line at least 1.5 times its total height.
 - b. The small wind energy system shall be located and maintained such that sound levels do not exceed 50 dBA as measured at any neighbor's residentially zoned property, or 45 dBA as measured at any neighbor's habitable building, assuming a wind speed of 12 m/s (26.8 mph). If the sound rating for the wind energy system is known for a given distance, the method of deducting 6 dB for every doubling of distance shall be sufficient to demonstrate compliance with the sound limitation. (See NREL Wind Testing website for data on some models.) If the sound rating is not known, the applicable setback from any neighboring residential property shall be 125 feet, and 220 feet from any neighbor's habitable building.

- (X) "X" Uses. (Reserved)
(Y) "Y" Uses. (Reserved)
(Z) "Z" Uses. (Reserved)

MULTI-FAMILY DEVELOPMENT:

This section shall apply to all multi-family developments containing more than four dwelling units.) A multi-family development project on multiple lots shall be considered as one property for the purpose of implementing the standards set forth in this section.

A. Purpose:

1. To create multi-family housing that is safe and convenient and that enhances the quality of life of its residents.
2. To create quality buildings and designs for multi-family development that will enhance the visual character of the community.
3. To create building and site design in multi-family development that is sensitive to, and well integrated with, the surrounding neighborhoods.
4. To create open space areas that contribute to the aesthetics of the community, provide an attractive setting for buildings, and provide safe, interesting outdoor spaces for residents.

B. Site Design:

1. Multi-family housing developments shall be separated from any abutting single-family housing (attached or detached) by a six-foot tall fence, of traditional construction (e.g. vinyl, wood, block), that provides a solid visual barrier to a height of at least five feet. Provided, the reviewing official may waive all or part of the fence requirement when the design and characteristics of the multi-family housing development otherwise provide reasonable privacy for abutting single-family housing.(SE)
2. All waste storage facilities (e.g. dumpsters) shall be located in an area not visible from a public street, or shall be fully screened from view from a public street.(SE)
3. Provide a central mailbox, including provisions for parcel mail, which is located to provide safe pedestrian and/or vehicular access and complies with U.S.P.S. standards.
4. A minimum of sixty (60) square feet of private, usable open space shall be provided for, and immediately adjacent to, each dwelling unit. This requirement can be satisfied through porches, patios, decks, and/or enclosed yards. Common open space, building entryways, stairs, and parking areas shall not count towards this requirement.
5. Multi-family developments with twenty (20) units or more shall provide the following:
 - a. A property management office; or signage indicating a phone number for the property manager.
 - b. A directory and map of the development at an entrance or convenient location for those entering the development.

C. Common Open Space Requirements:

1. A minimum area of outdoor common open space shall be provided and maintained as follows:
 - a. One hundred fifty (150) square feet for each dwelling unit containing five hundred (500) square feet or less of living area.
 - b. Two hundred fifty (250) square feet for each dwelling unit containing more than five hundred (500) square feet and up to one thousand two hundred (1,200) square feet of living area.
 - c. Three hundred fifty (350) square feet for each unit containing more than one thousand two hundred (1,200) square feet of living area.
2. Common open space may be located in multiple areas; provided, each area shall be not less than four hundred (400) square feet in size and shall have minimum length and width dimensions of twenty feet (20') at all points.(SE)
3. In phased developments, common open space shall be provided in each phase of the development consistent with the requirements for the size and number of dwelling units.
4. Common open space areas shall not be immediately adjacent to collector or arterial street right-of-ways, unless separated from the street by a berm or constructed barrier at least four feet (4') in height.(SE)

D. Amenities:

1. All multi-family developments shall provide and maintain amenities to meet the particular needs of the residents. The type of amenities are listed in item 2 below. The number of amenities shall depend on the size of multi-family development as follows:
 - a. For multi-family developments with less than twenty (20) units, two (2) amenities shall be provided from two (2) separate categories. (The categories are: Landscaping/Play Area, Recreation, and Quality of Life.)
 - b. For multi-family development between twenty (20) and seventy five (75) units, three (3) amenities shall be provided, with one amenity from each category.
 - c. For multi-family development with seventy five (75) units or more, four (4) amenities shall be provided, with at least one from each category.
 - d. For multi-family developments with more than one hundred (100) units, the decision making body shall require additional amenities commensurate to the size of the proposed development.
2. Types of Amenities. The following categories list the menu of amenities available to satisfy item #1 above. The decision making body is authorized to consider other options for amenities, provided that the requested improvement provides a similar level of benefit.
 - a. Landscaping/Play Area:
 - i. Open grassy area of at least fifty feet by one hundred feet in size.

- ii. Community garden.
- iii. Ponds or water features.
- iv. Plaza.
- b. Recreation:
 - i. Sports courts.
 - ii. Walking trails.
 - iii. Children's play structures.
 - iv. Pool.
- c. Quality of life:
 - i. Clubhouse.
 - ii. Fitness facilities.
 - iii. Enclosed bike storage.
 - iv. Public art, such as a statue.

E. Architectural Character:

1. All multi-family building elevations shall have a portion of the elevation devoted to architectural features designed to provide articulation and variety. These features shall include, but are not limited to: windows, bays, offsetting walls, and multiple siding finishes/materials.
2. Main entrances, which are the primary point(s) of entry where the majority of building users will enter and leave, shall be designed as an obvious entrance and focal point of the building through architectural treatment, lighting, and address identification.
3. Roof forms shall include variety and detail when viewed from the street and/or front elevation. Roofs shall have at least one variation in the roof (e.g. gabled wing or overbuild, dormer, pitch break) for every four units, or fraction thereof, in the building.
4. All roof mounted mechanical, electrical, communications, and service equipment should be screened from public view from the adjacent public streets and residential properties by the use of parapets, walls, fences, enclosures, or other suitable means.

F. Landscaping:

1. All street facing building elevations shall have landscaping along their foundation. The foundation landscaping shall meet the following minimum standards:
 - a. The landscaped area shall be at least three feet (3') wide.
 - b. For every four (4) linear feet of foundation, a shrub, perennial, or tree having a minimum mature height of twenty four inches (24") shall be planted.
 - c. Ground cover (plants or decorative rock) shall cover the remainder of the landscaped area.