

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, APRIL 14, 2015
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chairman Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the March 24, 2015 Regular Meeting
6. NEW BUSINESS:
 - A. Architecture and Landscape Review for Semidetached Dwellings in D-3 Zone—Rebel Row Lots 1-4, Stone Street.
 - B. Downtown Architectural and Sign District Review-Berkshire Hathaway Home Services, 1432 Sheridan Avenue.
 - C. House Move Request—Relocation of a single-family home from 507 Olive Glenn drive to Panorama View Addition Phase 3, Lot 44 (713 Links View Drive).
 - D. Site Plan Review—Moss Orthodontics, 613 Yellowstone Ave.
 - E. Request for reduction in number of parking spaces—Walmart Entrance/Parking Lot reconfiguration, 525 Yellowstone Avenue.
 - F. Ordinance Recommendation – Entry Corridor Overlay Zone (Landscaping Ordinance) – Continued Review and Recommendation to Council.
7. SIGNS:
 - A.
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, March 24, 2015

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, March 24, 2015 at 12:00 PM

Present: Justin Lundvall-Chairperson; Justin Ness; Reese Graham; Curt Dansie; Buzzy Hassrick; Brad Payne; Steve Miller-Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant.

Absent: Mark Musser

Chairperson Justin Lundvall called the meeting to order at 12:00 PM, followed by the pledge of allegiance.

Justin Ness made a motion, seconded by Buzzy Hassrick, to approve the agenda. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Curt Dansie, to approve the minutes for the March 10, 2015. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

Todd Stowell presented the staff report for the Fence Height Request of the eight-foot tall fence in the rear yard located at 1037 Red Butte Avenue.

Justin Ness made a motion, seconded by Brad Payne, to approve the Fence Height Request of the eight-foot tall fence in the rear yard located at 1037 Red Butte Avenue and to obtain approval from the adjacent neighbor to allow the fence overhang onto their property. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for the revised entry gate and landscaping plan for FedEx Ground located at 701 33rd Street. David Hull from Ruedebusch Development provided a current drawing showing the landscaping changes and discussed the proposed gate.

Brad Payne made a motion, seconded by Buzzy Hassrick, to approve the revised entry gate and landscaping plan for FedEx Ground located at 701 33rd Street. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for the Site Plan Review of the Ed Higbie storage units located at 2413 G Avenue.

Justin Ness made a motion, seconded by Curt Dansie, to approve the Site Plan Review for the storage units located at 2413 G Avenue subject to following conditions:

1. Prior to occupancy, the installation of the storm water management system will need to be inspected and certified in writing by the applicant's engineer that it was built as designed, and with the storm water from Buildings 3, 6, and 7 captured and/or piped such that it does not drain onto adjacent properties. The City engineer is authorized to permit changes to the drainage plans.
2. The grate, curb, etc. at the west approach must be reconstructed to provide a driveway cut or rolled curb.
3. All gates must be provided with a way to open them from the inside and outside of the facility. Furthermore, the gates must be provided with a Knox box, override key, or other method, as approved by the fire marshal, to provide emergency vehicle access on demand.
4. The driveways must be graveled and of sufficient base to provide an all-weather driving surface.
5. Lighting may not be overly excessive or cause any glare issue for neighboring properties. The lighting is to be reviewed by staff in conjunction with the building permit(s).
6. The buildings must be located such that any eaves and gutters do not overhang the easements.
7. If electrical service is to be provided, the applicant shall pay for half the cost of the transformer at the southeast corner of the property.
8. Phasing of the project may occur, with improvements associated with each phase completed prior to issuance of a certificate of occupancy for the building(s) in that phase. The project must otherwise comply with the submitted site plan, project description, and applicable building, fire, and electrical codes.

Vote on the motion was unanimous, motion carried.

Todd presented a brief overview for the Special Exemption to waive the buffer requirement for DJ Properties for a Professional Office/Medical Building at 2910 Big Horn Ave. The Public Hearing was opened and closed at 12:21 p.m. No comments were heard.

Todd Stowell presented the staff report for the Special Exemption and Site Plan Review for DJ Properties for a Professional Office/Medical Building at 2910 Big Horn Avenue.

Justin Ness made a motion, seconded by Buzzy Hassrick, to approve the Special Exemption and Site Plan for DJ Properties at 2910 Big Horn Avenue with the following conditions:

Special Exemption:

- a. The special exemption will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. There is no undesirable change.
- b. The special exemption is designed to be compatible with adjacent land uses and the area or neighborhood. The granting of the Special Exemption and the school building being located 600 feet away, this use is compatible with adjacent land uses.
- c. The special exemption is the minimum deviation from the specifications of the zoning ordinance necessary and adequate for the proposed activity, structure or use. A buffer could physically be provided and not affect the building size. However, it would reduce the parking area to the minimum dimensions, and/or reduce landscaping along Big Horn Avenue.
- d. The benefit sought by the applicant cannot be achieved by some other method, feasible for the applicant to pursue other than a special exemption. No other options have been identified.
- e. Adequate services and infrastructure are or will be available to serve the proposed activity, structure or use. The waiver of the buffer requirement does not affect the ability to provide adequate services and infrastructure, as depicted on the site plan.
- f. The special exemption is consistent with the goals, policies and future land use map of the master plan. The future land use map designation for the school property is "Civic", not residential. Therefore, it is speculated that if the school property is placed in the yet-to-be created Civic zone, then any buffer requirement would be minimal, if even applicable.

Site Plan:

1. Provide verification that the well and septic tank have been abandoned in accordance with applicable requirements.
2. Pay applicable city utility fees prior to building permit issuance.
3. Provide the reduced pressure principle backflow preventer (RPZ) valve for the water service line.
4. Provide a method of irrigation for the landscaping.
5. The drainage facilities must be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
6. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
7. 6' tall trees as a minimum.

Vote on the motion was unanimous, motion carried.

Todd presented the Amended Subdivision Ordinance by amending provisions for Boundary Line Adjustments and adopting provisions for Lot Consolidations, Chapter 11-6. The Public Hearing was opened and closed at 12:39 p.m. No comments were heard.

Buzzy Hassrick made a motion, seconded by Reese Graham, to approve the Amended Subdivision Ordinance by amending provisions for Boundary Line Adjustments and adopting provisions for Lot Consolidations, Chapter 11-6 . Vote on the motion was unanimous, motion carried.

Todd Stowell presented a draft Entry Corridor Overlay District (Landscaping Ordinance) for discussion. Buzzy Hassrick made a motion to remove this item from the table for discussion. Motion died for lack of a second.

Approved Signs by Staff: None

P&Z Board Matters: The P&Z Board directed Todd Stowell to schedule a workshop between Council and Planning and Zoning for the discussion and editing of the Entry Corridor Overlay District (Landscaping Ordinance).

Council Update: None

Staff Items: None

Reese Graham made a motion, seconded by Justin Ness, to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Lundvall adjourned the meeting at 12:59 PM.

Lynn Stutzman
Engineering Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	ARCHITECTURAL AND LANDSCAPING REVIEW: DWELLINGS IN REBEL ROW SUBDIVISION (D-2 ZONING DISTRICT) SPR 2015-15	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Tom Quick has submitted an application to construct four residential dwellings on the four lots of the Rebel Row subdivision, located at the south end of Stone Street in the Open Business/Light Industrial (D-3) zoning district. A site plan and elevation drawings of the buildings are attached.

REVIEW CRITERIA:

The property is located within the Open Business/Light Industrial (D-3) zoning district. Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Therefore, review for architecture and landscaping is required. However, as the buildings are not commercial in nature, full site plan review (Section 9-3-2) is not applicable.

STAFF COMMENTS:

The immediately surrounding area is primarily undeveloped. The closest structure is the new FedEx Ground building under construction.

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant lots within the Rocky Mtn. Business Park subdivision.	D-3 (pink color on map)
East	Vacant lots (approx. 0.6 acres each) across Stone Street. Fed Ex beyond.	D-3 (pink color)
South	Vacant land across Cougar Ave. R-W	Residential A (yellow color)
West	Vacant field.	Residential B (green color)

Zoning Map with Aerial Photo:



Architecture:

The proposal is to construct four semi-detached single-family dwellings, which essentially means two duplexes, each split by a property line. The style of architecture is fairly unique and industrial in nature. The garages will be sided with a light grey stucco-like material, the main part of the dwelling with grey corrugated steel, and the side bays with vertical wood (color not indicated—natural?). The roof is relatively flat, although contrary to the rendering, the building will have one-foot eaves around the perimeter.

We do not have an actual photo rendering, but we do have a photo representing a similar style. The style is more commonly found in large urban areas in industrial redevelopment areas and is generally considered to be marketed to millennials. The following buildings are in Billings.



What is lacking in the TL Quick proposal is the large amount of glazing and the trim work. As a result, the front of the TL Quick dwellings will have an appearance more like the back of the Billings buildings (3rd photo).

Based on past Planning and Zoning Board discussion, architecture may not be as important when located in less visible areas. In this case the location is well removed from any existing residences. Staff is somewhat concerned with compatibility with likely future development to the south if the owner (Holm View) develops the land in a fashion similar to the rest of the Holm View property on the top of the bench.

Landscaping

The application notes that landscaping will include trees, bushes, and dryscape on the front and sides of the unit, with grass between the units. Due to the compatibility concern with the Residential A zoning to the south, staff would recommend that large shrubs or trees be required along the south side of the south dwelling. A solid fence would also be an option.

Development Standards:

Parking

Two parking spaces are required for each of the four dwelling units. Tandem configuration (one behind the other) is an option.

Lighting

No exterior lighting details are included on the plans. Lighting should be required to be kept within the site.

Setbacks

There are no zoning setbacks required for this proposal. Minimum 5-foot side setbacks are provided for building code purposes.

Buffer

A 15-foot wide vegetative buffer and 6-foot tall visual screen (fence) is required along the west (back) sides of all four lots, pursuant to 10-10C-4, which reads: "*Where any business or commercial district is adjacent to any residential district, there shall be provided on the business or commercial district a buffer zone with a visual screen.*" A buffer is defined in the zoning ordinance as, "*A minimum fifteen foot (15') wide strip of land, to be landscaped and maintained, on a commercially zoned property to separate it from any adjacent land that is zoned residential.*" A visual screen is defined as, "*A fence at least six feet (6') high of sufficient density or construction that prevents visual contact from opposite sides.*"

The applicant may design the buffer area. A six foot solid fence (wood, vinyl, block) with a couple of trees at the back of each lot would likely be sufficient in this case.

Utilities

Utility services for the lots have been designed as part of the recent subdivision and any outstanding work and fees will be taken care of in conjunction with the building permits.

ALTERNATIVES:

Approve, approve with conditions, or deny the architectural and landscaping plans.

RECOMMENDATION:

If the Board is agreeable to approve the architectural component of the proposal, either as submitted or as may be modified at the meeting, staff would recommend that it occur subject to the applicant providing a more detailed landscaping plan that incorporates the buffer and fence requirement, as well as trees or large shrubs (or fence) along the Cougar Avenue right-of-way from the front of the south unit to the west property line.

The Board may also allow the applicant to commence construction while working on the landscape plan to be submitted to the Board for approval at a future meeting. The landscaping should be required to be installed pursuant to an approved plan prior to occupancy of the lot on which it is installed (or bonded for if weather or timing precludes installation).

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

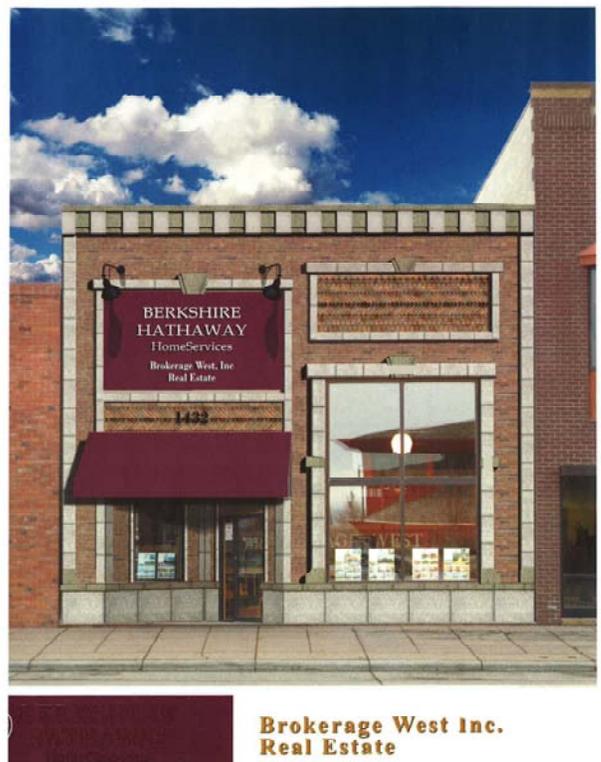
MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	DOWNTOWN ARCHITECTURAL DISTRICT REVIEW—BROKERAGE WEST FAÇADE AND SIGNAGE. SPR 2015-14	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Prudential Brokerage West Inc. Real Estate, located at 1432 Sheridan Avenue, is transitioning to a new franchise called “Berkshire Hathaway Home Services”. They have submitted an application to update their building façade, awning, and signage. The changes are easily identified by comparing the existing and proposed photos below.

Existing:

Proposed:



REVIEW CRITERIA:

The property is within the Downtown Architectural District. Pursuant to Subsection B of 9-2-2, within the Downtown Architectural District, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

In addition, the signage is subject to the standards of the sign code.

STAFF COMMENTS:

Signage and Awning:

The sign types, locations, and sizes meet the requirements of the downtown sign district in which the property is located. The downtown sign district allows 1.5 square feet of wall sign per foot of street frontage, or 37.5 square feet in this case. Only 31.9 square feet of wall sign is proposed. The awning is allowed up to 50 square feet of signage, with no sign exceeding 25 square feet. The proposal is to include a logo and business name on the side profiles of the awning, which are well under the allowable sizes.

The awning itself will project over the Sheridan Avenue sidewalk, which is in the WYDOT right-of-way. According to the applicant it will be mounted at the same height as the existing awning, which unfortunately is lower than the WYDOT standard, but as it is a replacement awning will apparently be allowed by WYDOT.

The sign will be lit by two gooseneck lamps, as shown. Another business in the downtown architectural district with gooseneck lamps is Walgreens. Additional lighting will be provided by can-style lighting under the awning.

Architecture:

The architectural modifications have been professionally designed by Plan 1 Architects. The features appear to have appropriate scale and proportion to the building and are of quality materials. The use of block rockwork in gray and gray/brown tones is reflective of some of the original architecture of the downtown area, as shown in the photos below. Such coordination helps develop an architectural theme for the area and is appreciated. It is noted that the other buildings have a broken-face effect rather than smooth, but the architecture is still reflective. The materials list is found in Attachment "A".



The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features.

ALTERNATIVES:

Approve the project, with or without making recommendations and suggestions.

RECOMMENDATION:

Approve the project as proposed.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REQUEST TO MOVE HOUSE TO 713 LINKS VIEW DRIVE. SPR 2015-16	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Cedar Mountain Builders has submitted an application to move a house from 507 Olive Glenn Drive to 713 Links View Drive (Lot 44 of the Panorama View Addition Phase III Subdivision). The house is 2,053 square feet in size on the main floor and will have a full walk-out basement. It was built in 1994 and has a 2014 tax assessment value of \$240,731 (structure only). Photos are below. The siding is stained horizontal cedar board. No exterior changes are proposed, although if the lower siding is damaged in the move, they may replace it with a brick wainscot. No covering for the exposed basement is specified in the application.

Existing house:



Proposed Location:



REVIEW CRITERIA:

The property is located within the Residential AA zoning district.

10-7A-6: NEW CONSTRUCTION:

Only new construction, consisting of conventional site built single-family dwellings, or alterations of existing construction are permitted. A conventional site built single-family dwelling may be moved to a lot, located within this zone, if approved by the planning, zoning and adjustment board (board). The board will consider home design, character, materials, color, roof style, detailing and neighboring architectural themes and character in their review.

STAFF COMMENTS:

The house requested to be moved is already in the same development (Panorama View). It is well built and of significant value, although of somewhat less value than other houses in the development. From the proposed location, the closest house to the south is two lots away. That house is 2,562 square feet on the main floor, was built in 2008, and had a 2014 assessed tax value of \$513,280 (building only). The other neighboring house, located on the corner of Links View Drive and Olive Glenn Drive is 2,907 square feet on the main floor, was built in 2010, and had a 2014 assessed tax value of \$365,105 (building only). Photos are below.



The site plan is attached and reflects a standard residential lot layout. Applicable setbacks are met and the house will otherwise meet the standards of the Residential AA zone.

There are private covenants on the land which require the house to go through an architectural approval process. The applicant indicates that he has received approval from the owner of the development, Mountain Holdings, represented by Glenn Nielsen. The City is not a party to those covenants and therefore does not enforce them, so we did not look into that component any further.

According to the County Mapserver program, the immediately adjoining lots are owned by Mountain Holdings. Therefore, if any property values are harmed by the proposal, the ones most affected would be those of the developer himself.

The review process does not require notice to neighboring property owners.

Architecture:

The ordinance language states that "*the board will consider home design, character, materials, color, roof style, detailing and neighboring architectural themes and character in their review.*"

Analyzing the information above, the house is older, smaller, and less ornate on the exterior than any of the other houses in the subdivision. Nevertheless, the following observations can be noted.

- There is a wide variety of exterior materials and styles in the neighborhood such that no one material or style dominates.
- The steepness of the roof is similar to others.
- The asphalt shingle roof is fairly standard for the area.

If lack of architectural quality is a concern, the house could be enhanced relatively easily by adding an entry way or front porch that would result in more variation. The current home with the entryway tucked in under the rectangular roof (reminiscent of late 50's to early 70's styles) is economical, but doesn't have the presentation of more modern designs. I'm sure an architect could come up with some good ideas. (If I were a betting person, I would bet the value added to the house would match or exceed the cost of the work.)

ALTERNATIVES:

Approve or deny the request to move the subject house to 713 Links View Drive.

RECOMMENDATION:

If the Board is agreeable to approving the request, staff suggests that deadlines be imposed to complete the house move. It is recommended that the house be moved to the lot within one year, and that once the house is moved to the lot that the exterior work be completed within four months.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: MOSS LEASING PROFESSIONAL OFFICE/MEDICAL BUILDING FILES: SPR 2015-12	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Moss Leasing, LLC has submitted an application for a 6,000 square foot professional office/medical building. The building would be divided into two suites, the larger of the two being designed for Moss Orthodontics. The location of the building will be on a one-acre lot located on the north side of Yellowstone Avenue, in front of Cody Laboratories. The building will be almost an exact match to the building shown below in all exterior detail, except there will be another entrance located in the bump out towards the left side of the building.



SUMMARY: The plans are well prepared and have already been corrected to address technical concerns. Much of the staff report simply documents how the proposal meets applicable City requirements.

Existing Conditions:



REVIEW CRITERIA:

The property is located in the Open Business/Light Industrial (D-3) zoning district, which permits the type of use proposed.

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

Existing Conditions:

The site was formerly part of a Walmart parking lot and currently is largely unused except for a drive-thru coffee stand. The coffee stand will be relocated or removed from the property—if relocated it will have its own review by the Board. The proposed office building and associated improvements will not occupy the full site.

The characteristics of the surrounding area are as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Cody Laboratories	D-3
East	Pinnacle Bank branch office.	D-3
South	Car Wash across highway.	D-3
West	Majestic Lube and car wash.	D-3

Architecture:

The architecture of the front of the proposed building is depicted in the photo on page one. The building has been professionally designed to use quality materials and a variety of architectural features. The overall effect is pleasing and representative of high-quality architecture. From the floor plan shown on the landscaping plan (Sheet A-12), you can see that there are a number of windows on the two sides of the building, which will also give architectural variety. Staff has no concerns with the architecture of the proposed building.

Landscaping:

The proposed landscaping around the building is shown on Sheet A-12. It also has been professionally designed and has the desired effect. The one change needed is that the Burr Oak Tree is too large of a tree to meet the requirements for being in a utility easement, and is located too close to the water main. The applicant has indicated that the tree type will be changed and it will be moved further from the water line. If the tree is located within the waterline easement it must be at least five feet from the water line and should be located so that the root system and canopy that does not extend over the water line.

Landscaping along Yellowstone Avenue will be provided in the form of a 9.5-foot wide lawn area and landscape islands with grass. (See Sheet C3.0) A tree of some sort is shown in the island by the east entrance. This tree location is not within any utility easement, so type and size is not restricted.

Each of the plant types proposed is appropriate for the local climate (all rated Zone 4 and less). An underground irrigation system is planned and necessary conduit is shown running to the front landscape area.

Access and Frontage:

Access to the site is directly from entrances at each end of the property—the east entrance crosses a common access easement. No changes to the approaches are planned. The frontage is fully built out with curb, gutter, and sidewalk.

Parking:

The parking plan is in compliance with city off-street parking regulations, including parking stall and aisle dimensions, grading, location, ADA spaces, surfacing, and configuration.

The parking ordinance does require that any parking areas used outside of daylight hours to be illuminated. The applicant is relying on the exterior building lighting to provide sufficient illumination of the spaces next to the building. Due to planned hours of operation, they rarely plan to be at the building after dark.

The total number of parking spaces shown on the site plan is 35, two of which are ADA. Based on building size, a minimum of 30 spaces are required. (Based on 1 space per 250 sq. ft. of gross floor area for medical and dental office use—counting both the main floor and partial basement. The partial basement is provided for mechanical equipment purposes.)

Exterior Lighting

The exterior lighting plan is depicted by the following rendering. The applicant indicates that all lighting will be down lit in design.



Storm Water Plan:

The storm water plan has been reviewed by the City engineer and found acceptable. Roof drainage from the front of the building will be collected and piped to a percolation trench. The rest of the site is graded towards an existing storm water inlet just northwest of the building, on the Cody Labs property, where it is eventually piped to the Sulphur Creek ravine. The necessary easement and agreements to do so are already in place from when the lot was created.

Snow Storage

No snow storage area is shown on the plans, yet ample area exists to the west of the improvements.

Utility Services

The building will utilize domestic water, power, gas, and sewer service, as shown on the utility plan (Sheet C4.0). Natural gas service and any other private utilities (internet and cable) will need to be coordinated with those providers.

There will be some minor modifications to the water service sizes and meters noted on Sheet C4.0, so that irrigation usage is metered separately. The details will need to be provided no later than the time of building permit submittal. Applicable city utility

connection and service fees will be calculated once the water meter sizes are determined.

Signage

Sign details have not yet been submitted, so future application to the Community Development Department will be required. Verbally the applicant and sign installer have indicated that they plan to utilize the posts of the former Walmart sign to support a new sign. The poles would be cut down so that the total height of the sign complies with the 25-foot maximum. They also mentioned wrapping the poles in brick to match the building.

Hydrants

Fire hydrants already exist at locations capable of serving the property.

Garbage

Public Works has authorized the dumpster location. The dumpster will be screened with a tan 6-foot vinyl fence on two sides. It is noted that if two dumpsters are desired (two garbage, or one garbage and one cardboard), the two fences should be at least 16 feet apart.

Setbacks/Buffer

The D-3 zoning district, in which this property is located, does not require building setbacks or buffers in this situation. Setbacks are provided to comply with building/fire code requirements.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the site plan with or without changes.

RECOMMENDATION:

It is recommended that the Planning and Zoning Board approve the project subject to the following:

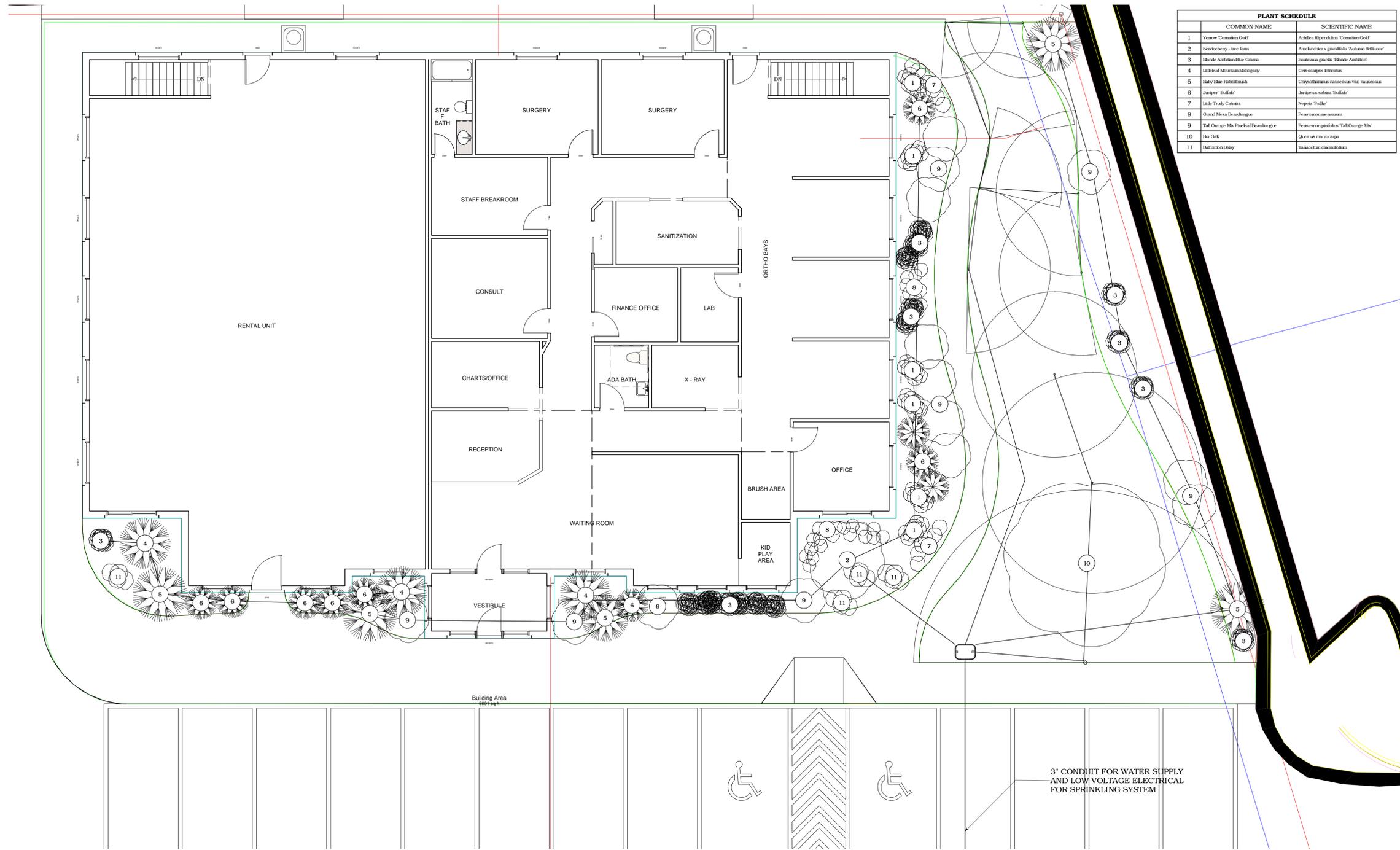
1. Provide a detail of the water service line, meters, and RPZ backflow preventer with the building permit application.
2. Pay applicable city utility fees prior to building permit issuance.
3. The Burr oak tree in the landscaping plan is not authorized. A suitable replacement tree and location can be authorized by staff.
4. Obtain a sign permit for any exterior signage. The former Walmart sign must be reduced in height to comply with the 25-foot maximum height requirement. If a building permit is not obtained for the freestanding sign within one year, the former Walmart sign components must be removed in their entirety (including footings) by April 15, 2016.

5. The drainage facilities must be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
6. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.

DO NOT SCALE DRAWINGS

SHEET:
A-12

Cody, WY Ortho Clinic



PLANT SCHEDULE	
COMMON NAME	SCIENTIFIC NAME
1 Yarrow Cornelian Gold	<i>Actinella bipendula 'Cornelian Gold'</i>
2 Serviceberry- tree form	<i>Amelanchier x grandifolia 'Autumn Brilliance'</i>
3 Huckleberry-Blue Gemma	<i>Blechnum gracile 'Huckleberry Blue'</i>
4 Little-leaf Mountain Mahogany	<i>Cercocarpus montana</i>
5 Ruby Blue Rabbitbrush	<i>Chrysothamnus nauseosus var. nauseosus</i>
6 Juniper 'Baldie'	<i>Juniperus sibirica 'Baldie'</i>
7 Little Tree Cumin	<i>Neptis Pallid'</i>
8 Grand Mesa Bearhugger	<i>Penstemon mensanum</i>
9 Tall Orange Mt. Pinckney Bearhugger	<i>Penstemon pinckneyi Tall Orange Mt.</i>
10 Box Oak	<i>Quercus macrocarpa</i>
11 Dandelion Daisy	<i>Tauschia chrysantha</i>

Cody, WY Ortho Clinic

Terms Of Use:

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PLAN NAME:
LANDSCAPING PLAN

Cody, WY Ortho Clinic



Helam Production, Inc.

P. O. Box 444
Dillon, Montana 59725

EXISTING EASEMENTS

- 20 FEET WIDE UTILITY EASEMENT AND RIGHT-OF-WAY TO THE CITY OF CODY, TCI CABLEVISION, AND CODY GAS CO., BOOK 187 PAGE 920, 921, & 923.
- 20 FOOT WIDE WATERLINE EASEMENT AND RIGHT-OF-WAY PER THE AMENDED PLAT OF PAT O'HARA SUBDIVISION BOOK F PAGE 67.
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- 20 FOOT WIDE DRAINAGE EASEMENT PER THE AMENDED PLAT OF CODY LABORATORIES MINOR SUBDIVISION BOOK K PAGE 129.
- ACCESS EASEMENT OVER A PORTION OF LOT 2 OF CODY LABS MINOR SUBDIVISION TO BENEFIT LOT 2 OF THE AMENDED PLAT OF PAT O'HARA SUBDIVISION.
- INGRESS/EGRESS AND UTILITY EASEMENT BENEFITTING LOT 3-A AND LOT 2 OF AMENDED PLAT OF CODY LABS MINOR SUBDIVISION.



CONIFER LANE

[CODY LABS]

[CODY LABS]

LOT 2
AMENDED PLAT OF
PAT O'HARA SUBDIVISION

LOT 3-A
CODY LABS
MINOR SUBDIVISION

LOT 1-A
CODY LABS
MINOR SUBDIVISION

[MAJESTIC LUBE]

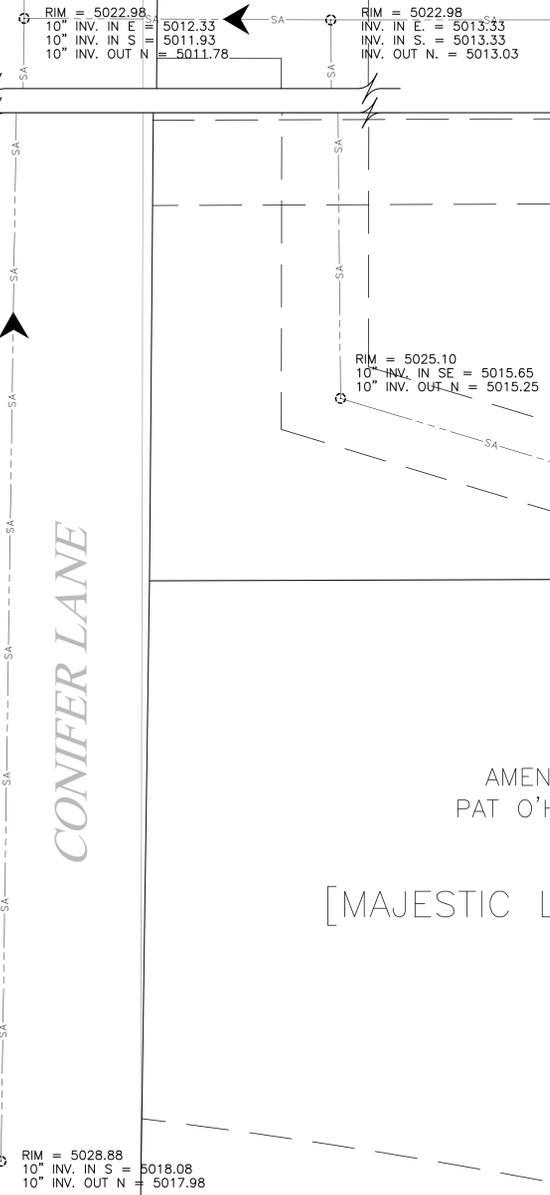
LOT 2
CODY LABS
MINOR SUBDIVISION

HIGHWAY 14-16-20 (YELLOWSTONE AVE.)

[PINNACLE BANK]

LEGEND

	FOUND ALUMINUM CAP MONUMENT.
	SUBJECT PROPERTY LINE.
	BURIED TELEPHONE LINE.
	BURIED POWER LINE.
	BURIED TREATED WATER LINE.
	BURIED SANITARY SEWER LINE.
	BURIED GAS LINE.
	BURIED FIBER OPTIC.
	EDGE OF ASPHALT SURFACE.
	CURB/GUTTER & SIDEWALK.
	CONCRETE.
	ASPHALT.
	MAJOR & MINOR CONTOUR LINES.
	EXISTING SPOT ELEVATION.
	PEDESTAL; TRANSFORMER.
	LIGHT POLE.
	DIRECTIONAL FLOW.
	POWER POLE.
	UTILITY PIPE LINE VALVES.
	SANITARY SEWER MANHOLE.
	FIRE HYDRANT.
	POWER TRANSFORMER.



CITY OF CODY
SANITARY SEWER

CITY OF CODY
WATER MAIN

DRAIN = 5021.9

DRAIN = 5021.3

RIM = 5023.40
10" INV. IN E = 5018.45
10" INV. OUT W = 5018.25

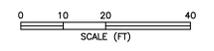
RIM = 5023.40
10" INV. OUT NE = 5019.20

6-FT SIDEWALK

CONCRETE PAD
FOR COFFEE HUT

EXISTING SIGN

EXISTING SIGN



PA\2014\14147_MOSS\ecad\CED_BASE_CODY LABS.dwg, C1.0, 4/10/15 JAH

DATE	DRAWING LOG	BY	CHECKED	APPROVED
12/16/14	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM
JOB NO. 14147
FIELD BOOK NO. 547



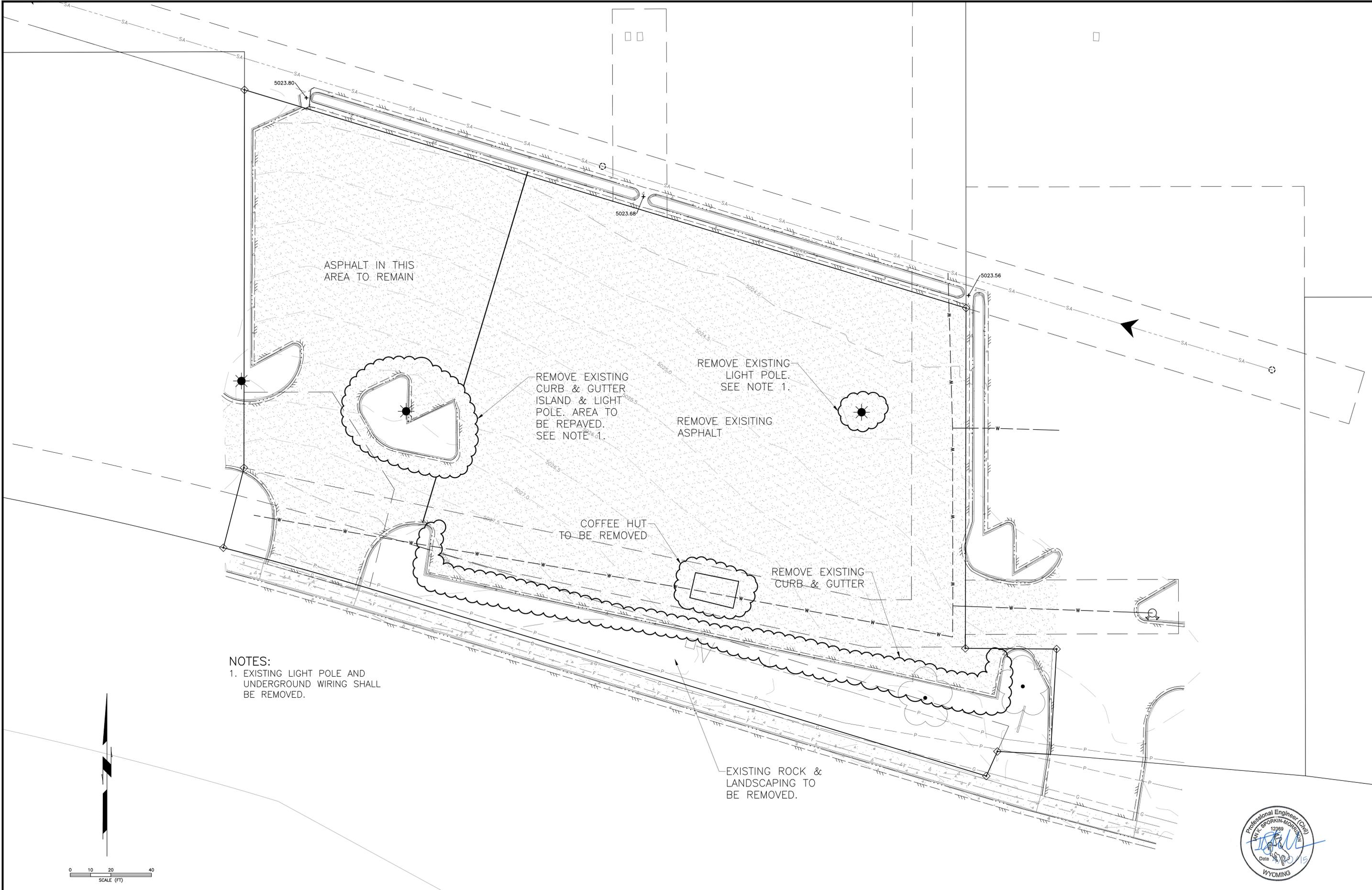
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CONSULTING ENGINEERS & SURVEYORS

OWNER: MOSS LEASING LLC

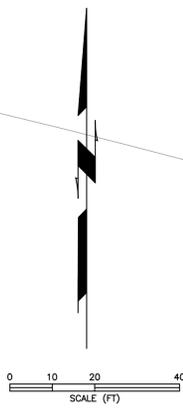
PROJECT: LOT 2, CODY LABS MINOR SUBDIVISION
TITLE: EXISTING SITE PLAN

C1.0

P:\2014\14147_MOSS\sect\C2D_BASE_CODY_LABS.dwg C2.0 4/10/15 IAN



NOTES:
 1. EXISTING LIGHT POLE AND UNDERGROUND WIRING SHALL BE REMOVED.



DATE	DRAWING LOG	BY	CHECKED	APPROVED
03/31/15	ADD NOTE 1	CRA	RAO	
03/09/15	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM
 JOB NO. 14147
 FIELD BOOK NO. 547

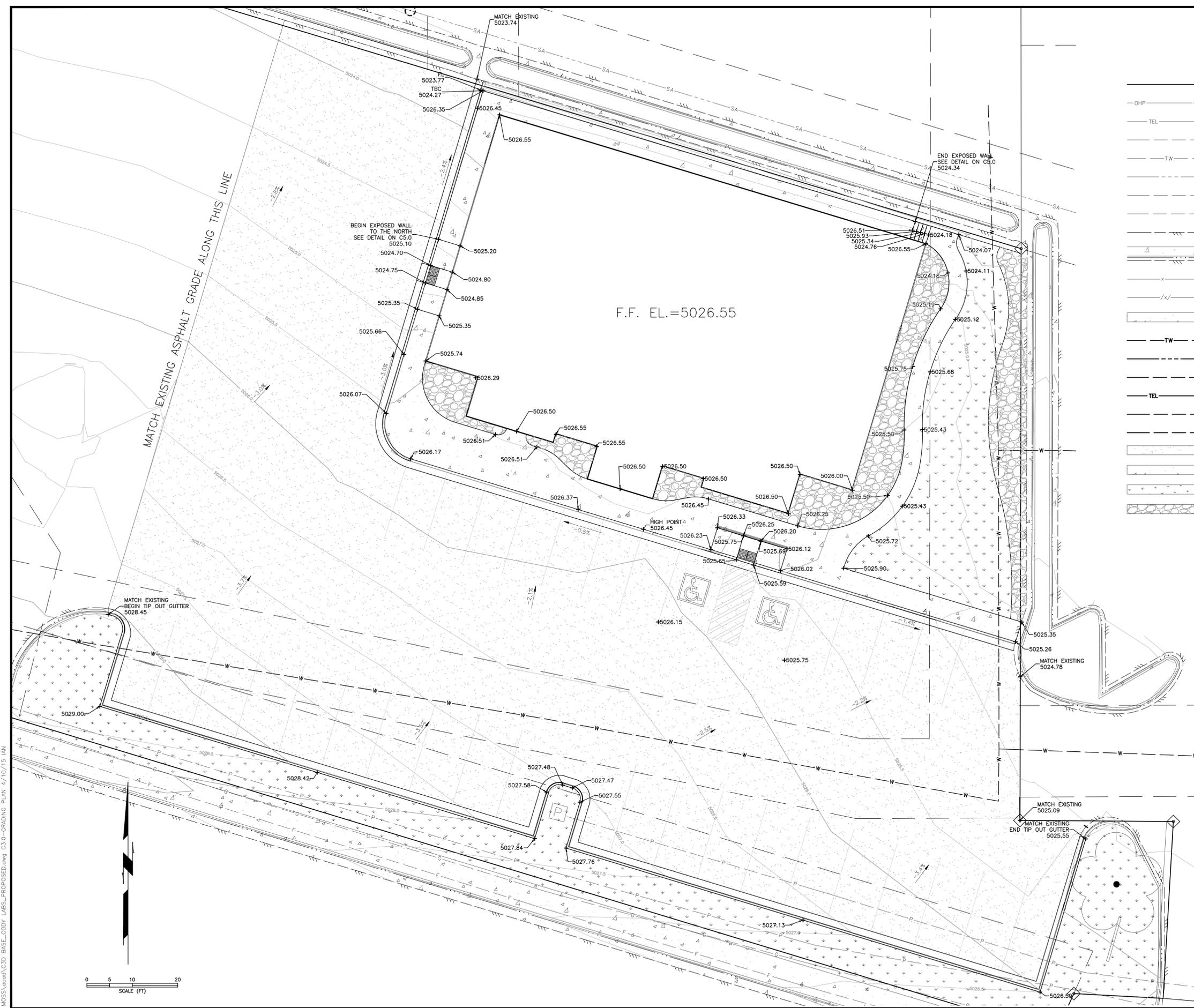


ENGINEERING ASSOCIATES – CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS

OWNER: MOSS LEASING LLC

PROJECT: LOT 2, CODY LABS MINOR SUBDIVISION
 TITLE: DEMOLITION PLAN

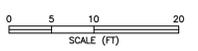
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LEGEND

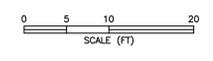
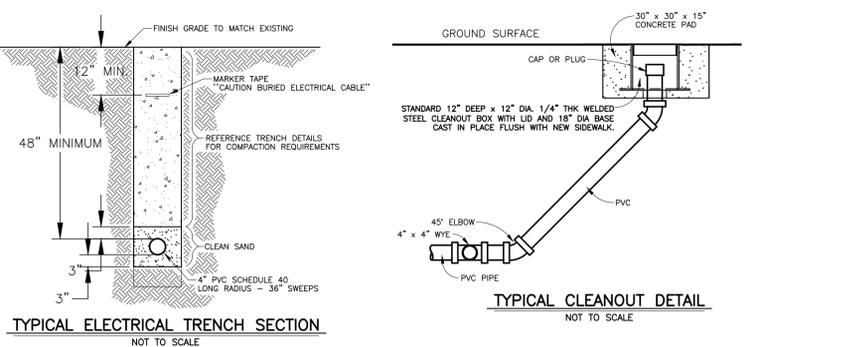
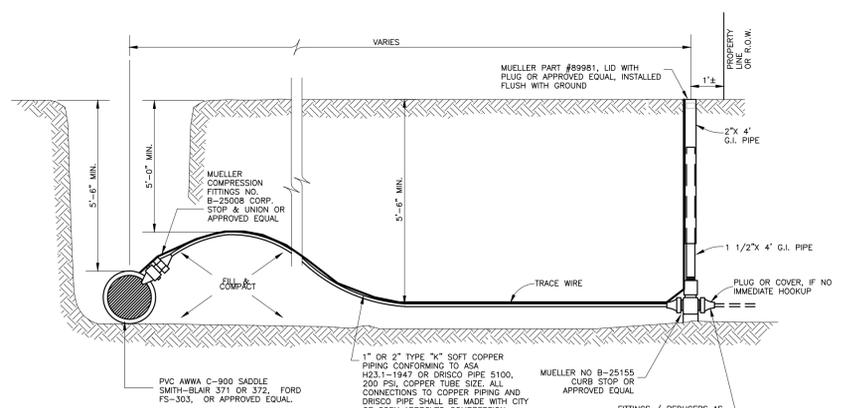
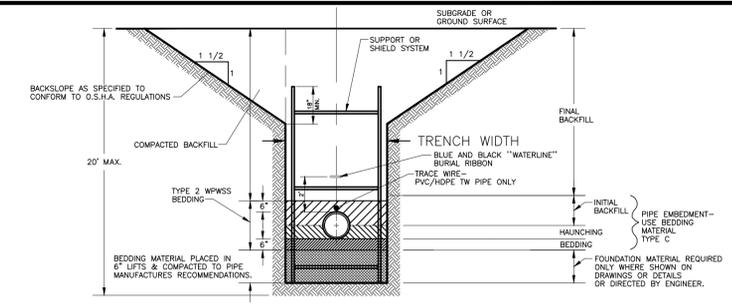
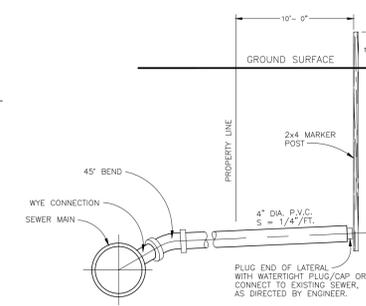
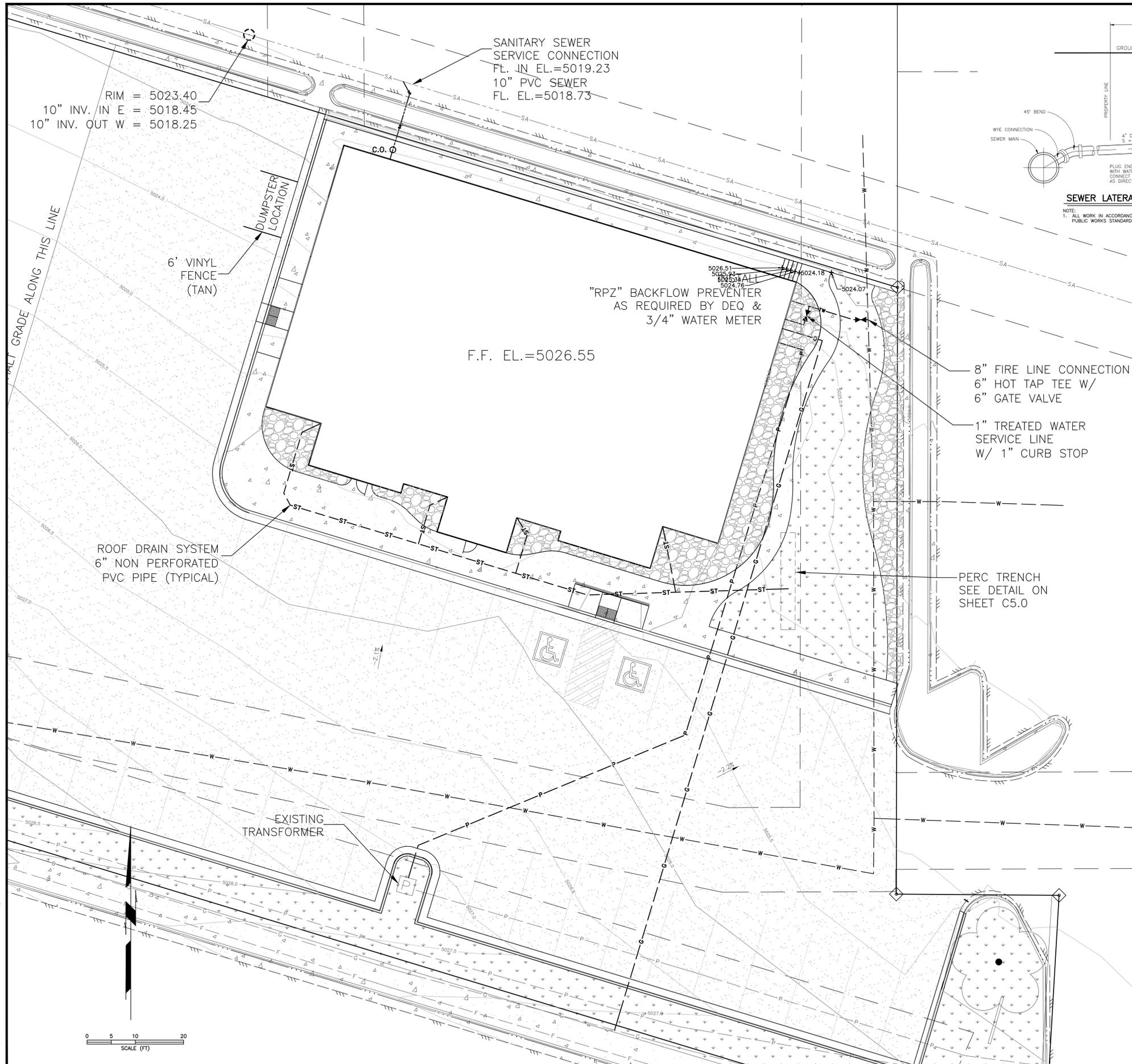
- FOUND ALUMINUM CAP MONUMENT.
- SUBJECT PROPERTY LINE.
- OVERHEAD ELECTRICAL LINE.
- BURIED TELEPHONE LINE.
- BURIED POWER
- BURIED TREATED WATER LINE.
- BURIED SANITARY SEWER LINE.
- BURIED GAS LINE.
- BURIED FIBER OPTIC
- EDGE OF ASPHALT SURFACE.
- CURB/GUTTER & SIDEWALK.
- CHAIN LINK FENCE
- WOVEN WIRE FENCE
- CONCRETE
- PROPOSED TREATED WATER SERVICE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED FIBER OPTIC
- PROPOSED TELEPHONE
- PROPOSED POWER
- PROPOSED GAS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LAWN
- PROPOSED LANDSCAPE GRAVEL
- MAJOR & MINOR CONTOUR LINES.
- PEDESTAL; TRANSFORMER.
- DIRECTIONAL FLOW.
- POWER POLE.
- UTILITY PIPE LINE VALVES.
- EX. SANITARY SEWER MANHOLE
- FIRE HYDRANT
- POWER TRANSFORMER
- PRO. SEWER CLEAN OUT

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DATE	DRAWING LOG	BY	CHECKED	APPROVED	DRAWN BY: IKSM	ENGINEERING ASSOCIATES – CODY, WYOMING CONSULTING ENGINEERS & SURVEYORS	OWNER: MOSS LEASING LLC	PROJECT: LOT 2, CODY LABS MINOR SUBDIVISION	C3.0
4/6/15	REVISED GRADING	IKSM	RAO		JOB NO. 14147			TITLE: PROPOSED SITE PLAN	
3/9/15	ORIGINAL DRAWING	IKSM	RAO	IKSM	FIELD BOOK NO. 547				

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DATE	DRAWING LOG	BY	CHECKED	APPROVED
03/31/15	POWER, GAS, & PERC TRENCH LOC.	CRA	RAO	
3/9/15	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM
JOB NO. 14147
FIELD BOOK NO. 547

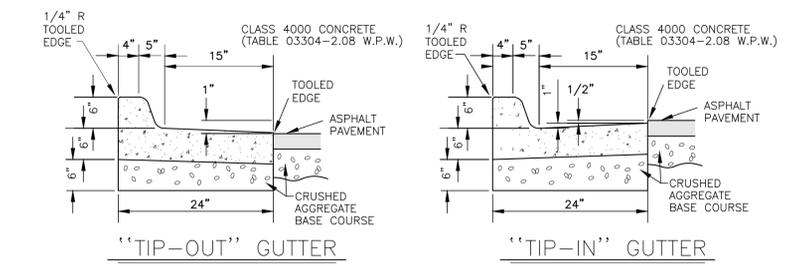
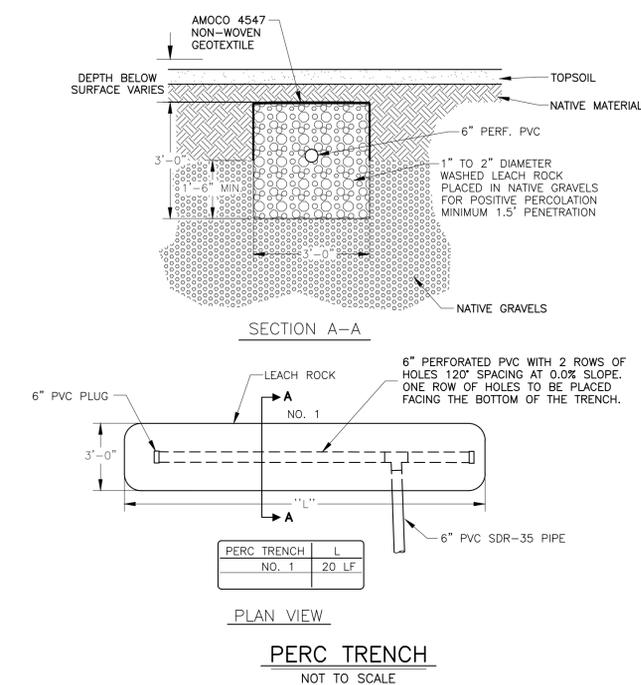
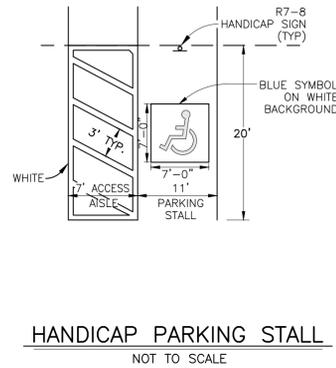
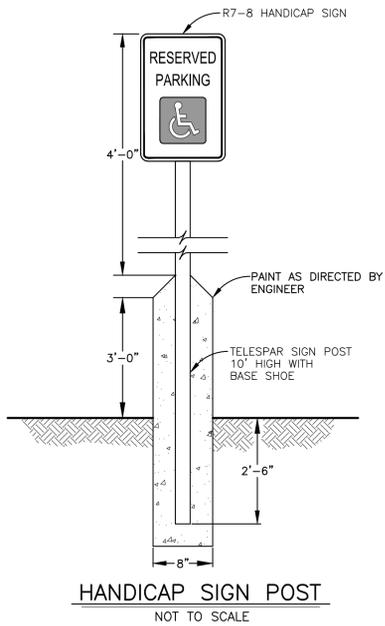


ENGINEERING ASSOCIATES - CODY, WYOMING
 CONSULTING ENGINEERS & SURVEYORS

OWNER: **MOSS LEASING LLC**

PROJECT: LOT 2, CODY LABS MINOR SUBDIVISION
TITLE: PROPOSED UTILITY PLAN

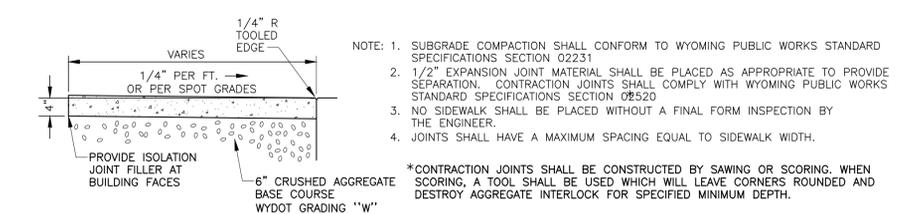
C4.0



- NOTE: 1. SUBGRADE COMPACTION SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02231
 2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT P.C., P.T., AND CURB TURNS. CONTRACTION JOINTS SHALL COMPLY WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02520*
 3. NO CURBS AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.

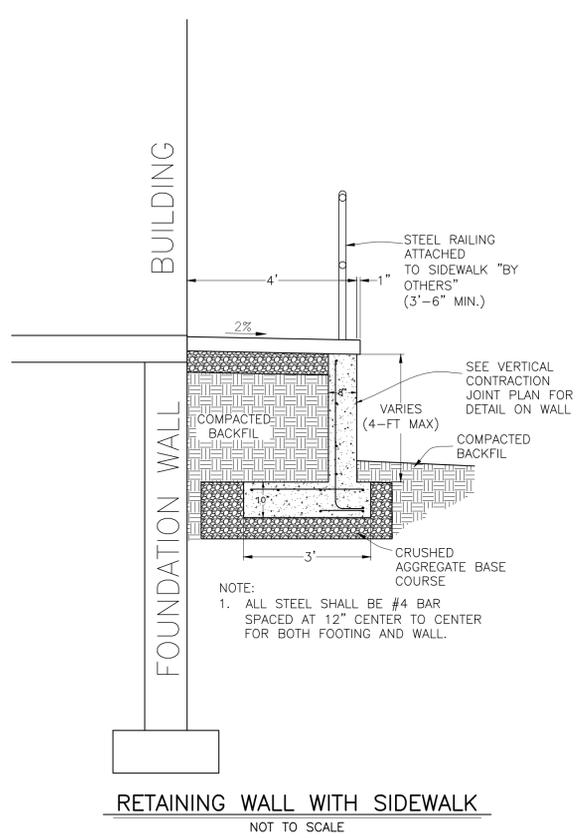
*CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING, A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.

TYPICAL CURB & GUTTER FOR ON-SITE PARKING AREAS
NOT TO SCALE

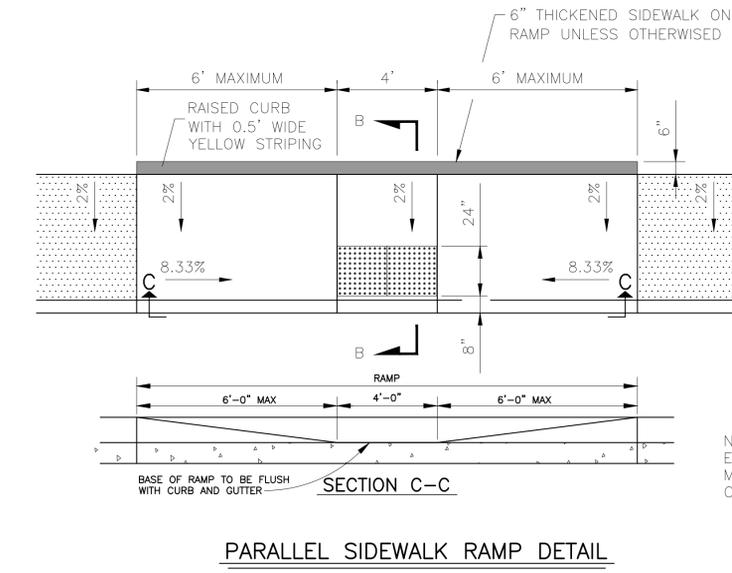
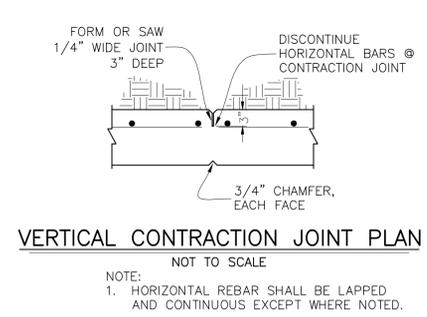


- NOTE: 1. SUBGRADE COMPACTION SHALL CONFORM TO WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02231
 2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AS APPROPRIATE TO PROVIDE SEPARATION. CONTRACTION JOINTS SHALL COMPLY WITH WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02520
 3. NO SIDEWALK SHALL BE PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
 4. JOINTS SHALL HAVE A MAXIMUM SPACING EQUAL TO SIDEWALK WIDTH.

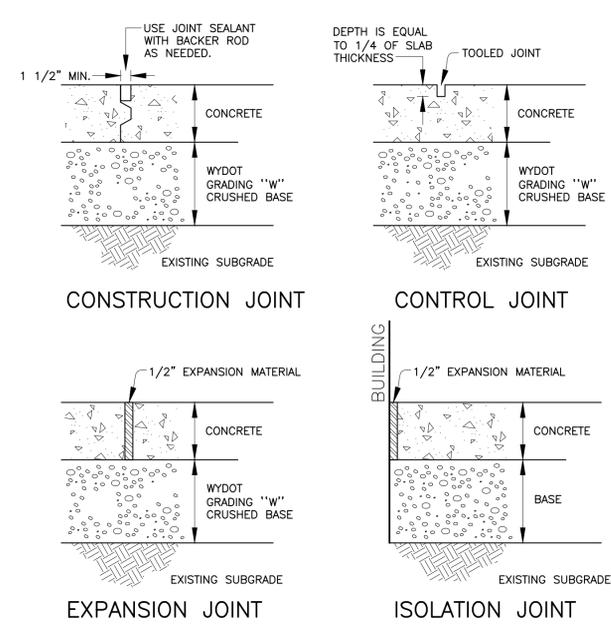
*CONTRACTION JOINTS SHALL BE CONSTRUCTED BY SAWING OR SCORING. WHEN SCORING, A TOOL SHALL BE USED WHICH WILL LEAVE CORNERS ROUNDED AND DESTROY AGGREGATE INTERLOCK FOR SPECIFIED MINIMUM DEPTH.



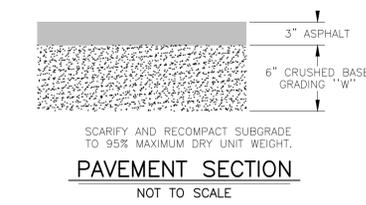
- NOTE: 1. ALL STEEL SHALL BE #4 BAR SPACED AT 12" CENTER TO CENTER FOR BOTH FOOTING AND WALL.



- NOTE: EITHER OF THE ABOVE CROSS SECTIONS MAY BE USED FOR THE CONSTRUCTION OF THE PARALLEL SIDEWALK RAMP.



CONCRETE JOINT DETAILS - SIDEWALK
NOT TO SCALE



P:\2014\14147 MOSS\cadd\C3D BASE_CDDY LABS_PROPOSED.dwg C5.0-DETAILS 4/10/15 IKM

DATE	DRAWING LOG	BY	CHECKED	APPROVED
3/9/15	ORIGINAL DRAWING	IKSM	RAO	

DRAWN BY: IKSM
 JOB NO. 14147
 FIELD BOOK NO. 547

ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

OWNER: MOSS LEASING LLC

PROJECT: LOT 2, CODY LABS MINOR SUBDIVISION
 TITLE: GRADING DETAILS

C5.0

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	PARKING LOT REVISIONS: WALMART (MODIFICATION TO SPR 2015-07)	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Walmart, represented by Carlson Consulting Engineers, has submitted a request to modify their parking lot and east entrance. The modifications will result in a reduction of parking spaces, which requires authorization from the Planning and Zoning Board.

It should first be noted that the City of Cody approached Walmart about a concern relating to the east entrance/exit, in that there have been a significant number of traffic accidents associated with that entrance/exit. It was recommended, and Walmart agreed, to convert the east entrance into a right turn in/right turn out configuration. This would eliminate the legal ability to exit the Walmart parking lot by taking a left turn out of the east exit (towards downtown).

Taking a comprehensive look at the parking lot, the intent is to direct traffic towards exiting the Walmart parking lot at the signalized intersection. To further encourage this, the main drive aisle to the signal will be dedicated for vehicle travel and stacking (waiting)—the parking along the main entrance/exit will be eliminated so that there is no backing into the main drive aisle. Associated work includes lane striping and new islands to formalize an “intersection” where the east entrance meets the main parking lot. Plans are attached. As the work will be done in conjunction with the liquor box addition this spring/summer, the plans have been combined. Sheet SD5.1 shows the overall plan.

The engineering design of the east entrance is under review of WYDOT as it is partially in their right-of-way. The city engineer is agreeable to the design.

Existing Conditions:
(Photos next page)



REVIEW CRITERIA:

Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

Parking Spaces

Using the standard ratios of the parking ordinance a total of 950 parking spaces would be required for the site. Presently there are 892 parking spaces. With the liquor box addition review, the Board authorized a reduction down to 879 spaces. The proposed parking lot modifications would further reduce the amount of parking to 849 spaces. 849 spaces represents a reduction of 30 spaces from the last approval, and 89.4% of the 950 spaces if the standard ratios were used.

The Planning and Zoning Board may authorize a reduction in the number of spaces required for a use, based on reliable data. In this case, all but the liquor box exists, so there is fairly reliable data as to the anticipated use of the parking lot. As noted with the liquor box review, the 892 space parking lot has been able to accommodate parking for all vehicles even during the peak demand times. Based on recent peak events, the smaller parking lot may reach, or almost reach, capacity for a few hours during the "Black Friday/Thanksgiving" sale, but otherwise it is expected to have plenty of excess parking capacity. Designing a parking lot to accommodate a peak which may occur for only a few hours during the year is not the basis of the ratios used in the parking ordinance, as it is generally considered excessive. Staff is agreeable to the reduction requested.

Landscaping:

All of the landscape areas added or modified with this project will contain 3" river cobble to match the existing landscape areas. The new curbed island near the east entrance is proposed to contain two, 10-12' tall blue spruce trees and the area along the main entrance where the parking spaces are to be removed shows a single blue spruce replacement tree. Staff asked the applicant's engineer if the one tree at the main entrance was the actual landscaping plan, or simply representative of the landscaping proposed for that area. The engineer responded in an email that, "*We only planned to replace the existing trees that were removed due to the site modifications. However, if the city wants us to add trees down the length of the drive aisle to match the rest of the site we would be glad to add those to our plans.*" Staff would prefer to see some type of vegetation (bushes or trees) scattered throughout the landscape beds that will line the main vehicle entrance. About 5-8 trees on each side would be reflective of other landscape areas on the property. Bushes or a combination of trees and bushes would also reflect other landscape areas on the property. The Board can discuss the situation with the applicant's representative.

Storm Water:

The drainage plan is designed to allow storm water to flow to the existing inlet grates and into the storm water system—note the curb cuts through the landscape islands.

Lighting:

No modifications to the parking lot lighting are proposed.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the requested modifications to the Walmart parking lot and the associated reduction in parking spaces.

RECOMMENDATION:

Approve the Walmart parking lot and entrance/exit modifications, including the resulting reduction in parking spaces, subject to the following:

1. Submit verification of WYDOT approval (encroachment permit) prior to altering the east entrance.
2. Install and maintain landscaping vegetation in the form of trees and/or shrubs in the landscape islands being constructed, as discussed with the Board.



LEGEND

- ASPHALT PAVEMENT
- SIDEWALK
- CONCRETE ISLAND
- ASPHALT MILL AND OVERLAY
- LANDSCAPED AREA
- CONCRETE CURB AND GUTTER
- APPROXIMATE SAWCUT LIMITS
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- SINGLE SOLID YELLOW LINE
- SIGN
- FACE OF CURB

NOTES:

1. CROSSWALK/PEDESTRIAN CROSSWALK STRIPING, WHERE INDICATED, SHALL BE 6" WHITE STRIPES 90'-2' O.C. (TYP), W/8" END STRIPES, REFER TO DETAIL SHEETS, THIS SET FOR ADDITIONAL INFORMATION.
2. ALL SITEWORK SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS", WHERE CONFLICTS WITH REQUIREMENTS OF UTILITY COMPANY OR OTHER JURISDICTION OCCUR, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
3. TRAFFIC SIGN NUMBERS REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SPECIFIC FIRE LANE SIGNAGE REQUIREMENTS WITH THE AUTHORITY HAVING MARKING AND JURISDICTION. BY SUBMITTING A BID ON THE PROJECT THE CONTRACTOR AFFIRMS THAT ADEQUATE FUNDS HAVE BEEN INCLUDED TO ADDRESS THIS REQUIREMENT.
5. ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
6. ALL PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
7. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN PERFORMING CONSTRUCTION ACTIVITIES IN THE VICINITY OF EXISTING UTILITIES. EXISTING UTILITIES THAT CONFLICT WITH THE PLANNED REPAIR WORK SHALL BE RELOCATED OR LOWERED IN PLACE BY THE CONTRACTOR TO MEET THE SEPARATION AND MINIMUM REQUIREMENTS ESTABLISHED BY LOCAL CODE. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE WALMART CONSTRUCTION MANAGER AND WALMART MANAGER A MINIMUM OF 72 HOURS PRIOR TO ANY PLANNED DISRUPTION TO UTILITY SERVICES. TEMPORARY UTILITY SERVICES SHALL BE USED IF REQUIRED TO ALLOW FOR NORMAL STORE OPERATION. ANY COSTS ASSOCIATED WITH THIS WORK SHALL BE IN THE CONTRACTOR'S LUMP SUM PRICE FOR THE OVERALL PROJECT.
8. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM APPROPRIATE UTILITY COMPANIES AND CONTRACTOR HAS BEEN NOTIFIED.
9. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY FOR ANY DAMAGE, INCURRED BY ANY UTILITY COMPANY, TO THEIR LINES AS A RESULT OF HIS ACTIVITIES, WHETHER THESE LINES ARE SHOWN ON THE CONSTRUCTION PLANS OR NOT.
11. CONTRACTOR IS RESPONSIBLE FOR RELOCATING ANY UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING IN CONFLICT WITH THE PLANNED IMPROVEMENTS.
12. ALL DELTA ANGLES ARE 90° UNLESS NOTED OTHERWISE.
13. CONTRACTOR SHALL VERIFY AS-BUILT INFORMATION AND ALERT THE ENGINEER OF RECORD OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
14. STABILIZE ALL LAWN/LANDSCAPED AREAS DISTURBED BY CONSTRUCTION. PLACE FILL AND PREPARE SUBGRADE IN ACCORDANCE WITH THE SITEWORK SPECIFICATIONS. REPLACE ANY PLANTINGS AND GROUNDCOVER REMOVED, DISTURBED, OR DAMAGED BY CONSTRUCTION TO MATCH EXISTING CONDITIONS.
15. CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT, AS SHOWN, TO ALLOW FOR A CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES. CONTRACTOR SHALL ONLY SAWCUT TO LIMITS NECESSARY TO INSTALL NEW SITE FEATURES SHOWN ON THESE PLANS AND ENSURE POSITIVE DRAINAGE IN ALL AREAS.
16. ADVANCE INTERSECTION LANE CONTROL SIGN. SEE DIRECTION INDICATION AT SYMBOL. SEE DETAIL SHEET.
17. ALL RADII TO BE 3' U.N.O.
18. DIMENSIONS SHOWN ALONG THE PARKING ROW FOR THE 90 DEGREE PARKING SPACE LAYOUT ARE TO THE CENTER OF THE 4" STRIPES. ALL OTHER DIMENSIONS ARE TO THE EDGE OF THE GUTTER U.N.O.
19. ALL CURBS SHALL BE CONCRETE CURB AND GUTTER U.N.O. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
20. SEE DETAIL SHEET FOR DETAILS OF CURBED ISLANDS. ALL CURBED ISLANDS ARE TO BE CONSTRUCTED USING TYPE A CURB AND GUTTER U.N.O.
21. CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).
22. ISOLATION JOINT TYPICAL AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS/DOCK WALLS, DROP INLETS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE DETAIL SHEET.
23. REMOVE EXISTING SSWL WHERE SHOWN.
24. TRANSITION FROM NEW TO EXISTING CURB AND GUTTER THROUGH RADII.

PARKING INFORMATION				
	BUILDING SQ.FT. ¹	PARKING REQUIRED SPACES	TOTAL PARKING PROVIDED SPACES ^{2,3}	TOTAL PARKING RATIO SPACES ³
PROPOSED LIQUOR BOX	3,904	5/1,000 = 20 SPACES	892 SPACES (EXISTING)	4.80/1,000 SQ.FT. (EXISTING)
WALMART (EXISTING)	186,017	5/1,000 = 930 SPACES	849 SPACES (POST DEVELOPMENT)	4.47/1,000 SQ.FT. (POST DEVELOPMENT)
TOTAL (PROPOSED)	189,921	5/1,000 = 950 SPACES		

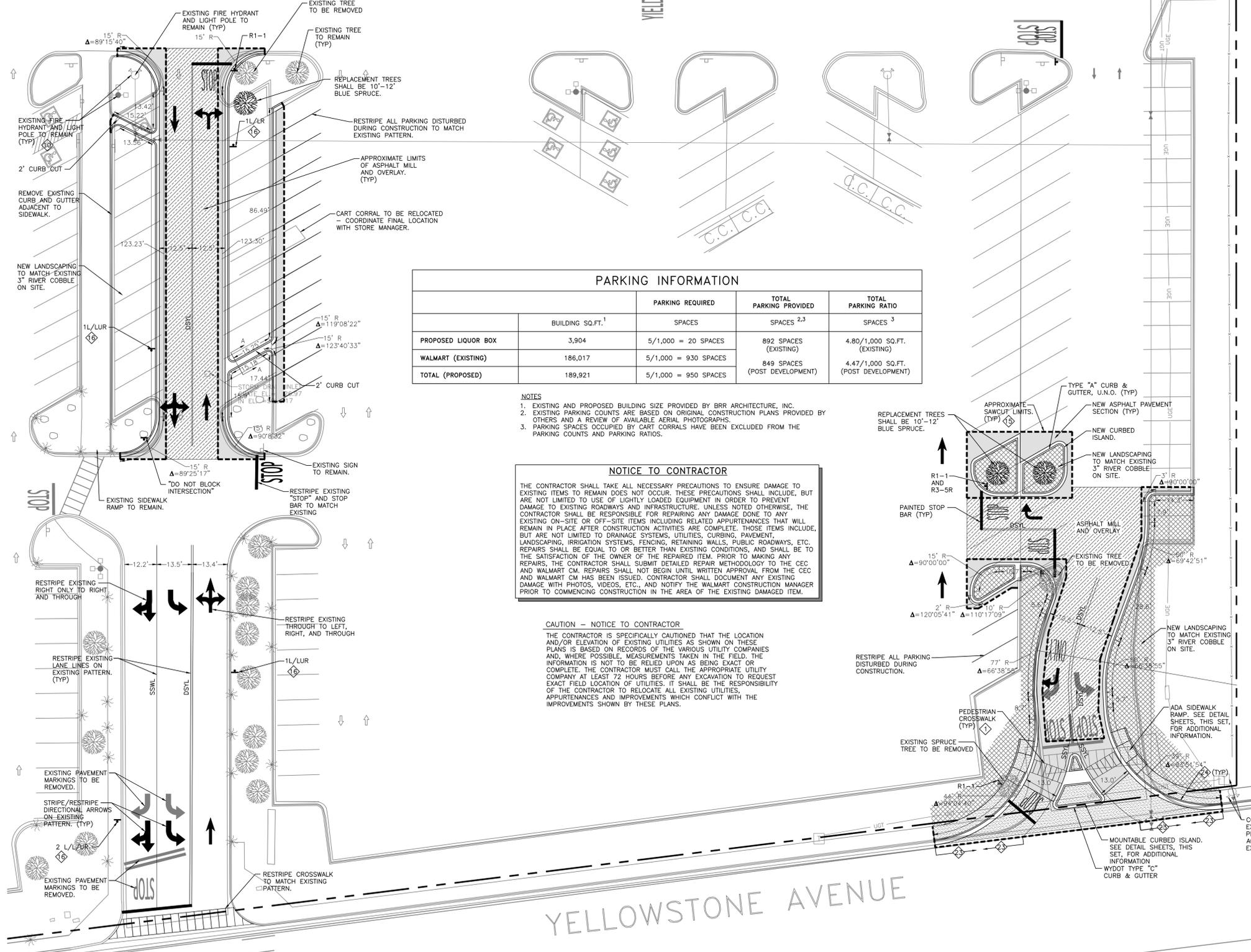
- NOTES**
1. EXISTING AND PROPOSED BUILDING SIZE PROVIDED BY BRR ARCHITECTURE, INC.
 2. EXISTING PARKING COUNTS ARE BASED ON ORIGINAL CONSTRUCTION PLANS PROVIDED BY OTHERS AND A REVIEW OF AVAILABLE AERIAL PHOTOGRAPHS.
 3. PARKING SPACES OCCUPIED BY CART CORRALS HAVE BEEN EXCLUDED FROM THE PARKING COUNTS AND PARKING RATIOS.

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEC AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEC AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, APPURTENANCES AND IMPROVEMENTS WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.



STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT:
DATE: 03/31/15
PROJECT: WALMART STORE #1778
DRAWN BY: NSK
CHECKED BY: SJP
DATE: 01/28/15

CONSULTANTS
CARLSON CONSULTING ENGINEERS, INC.
7008 LEICESTER COMMONS
PH: (901) 384-0400 • FX: (901) 384-0710
WWW.CARLSONENGINEERS.COM

Walmart
CODY, WY
STORE NO: 1778
JOB NUMBER: 98541188 | LIQUOR BOX ADDITION

ISSUE BLOCK

03/31/15	PR #3

CHECKED BY: SJP
DRAWN BY: NSK
PROTOTYPE: 172SC
PROTO CYCLE: 12/19/14
DOCUMENT DATE: 01/28/15

NOT FOR CONSTRUCTION

811
Know what's below.
Call before you dig.

SHEET:
SD5.1

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 14, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	
SUBJECT:	ORDINANCE TO CREATE AN ENTRY CORRIDOR OVERLAY DISTRICT (LANDSCAPING ORDINANCE).	RECOMMENDATION TO COUNCIL:	X
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

The Planning and Zoning Board was introduced to the proposed Entry Corridor Overlay District at their March 10, 2015 meeting. Additional discussion occurred at a workshop (special meeting) held March 31, 2015. Staff has made edits based on the results of the workshop. A copy of the updated proposal, including both the ordinance text and map, is attached.

As a reminder, it is currently a requirement of the City code that landscaping plans be submitted for all new development in commercial and industrial zoning districts. The intent of the proposed ordinance is to provide specific standards to guide applicants and the Planning and Zoning Board in the preparation and review of landscaping plans for projects along the entry corridors.

ATTACHMENTS:

Draft text and map of the Entry Corridor Overlay District

CHAPTER 10-17 (Draft for April 14, 2015 P&Z Meeting)

ENTRY CORRIDOR OVERLAY DISTRICT

10-17-1 PURPOSE: The purpose of the entry corridor overlay district is to promote attractive development and redevelopment along the main commercial corridors of the City. The implementation of this overlay zone will help make the community more attractive and livable; improve and maintain property values; enhance the appeal of the City to residents, tourists and other visitors; and promote increased economic activity.

10-17-2 OVERLAY DISTRICT: The entry corridor overlay district is an overlay district, in that the standards set forth herein are in addition to those of the underlying zoning district.

10-17-3 DISTRICT BOUNDARIES: The entry corridor overlay district includes those properties identified as such on Exhibit A to this ordinance, and shall hereafter be identified on the official zoning district map of the City of Cody. Furthermore, any development or redevelopment project that is partially within the entry corridor overlay district shall be subject to the regulations of this chapter as if it were fully located within the district.

10-17-4 APPLICABILITY: Any redevelopment or new development within the overlay district, whether conducted within a building or outdoors (e.g. vehicle display), shall be subject to the full provisions of this chapter; with the following exceptions:

- A. Residential buildings with less than four dwelling units shall be exempt from the requirements of this chapter.
- B. Replacement of a building due to its destruction from accidental fire, explosion or other casualty, act of God, the public enemy, or intentional acts other than those caused directly or indirectly by the owner shall be exempt; provided a building permit for such replacement is obtained within 365 days of the destructive event. This exception applies only to the extent and size of the previously existing building.
- C. Redevelopment that involves voluntary replacement of less than ten (10) percent of a building, and new development that increases building size or outdoor use area by less than ten (10) percent, need not comply with the requirements of this chapter. The percentage shall be calculated from the date of adoption of this ordinance.
- D. Redevelopment that involves voluntary replacement of 10 to 75 percent of a building, and new development that increases building size or outdoor use area by 10 to 75 percent, need only provide landscaping according to the requirements of section 10-17-5 in proportion to the percent of redevelopment/development. The percentage shall be calculated from the date of adoption of this ordinance. (Note: Redevelopment that involves voluntary replacement of more than 75 percent of a building, and new development that increases building size or outdoor use area by more than 75 percent shall fully comply with the landscaping requirement of section 10-17-5.)

10-17-5 LANDSCAPING:

- A. Landscaping shall be provided within the entry corridor overlay district in the following manner.
1. A minimum of five percent of the subject property shall be landscaped, except as noted below. For purposes of calculating the size of the subject property, any undevelopable land (e.g. hillside) shall not be included. Existing landscaping that is healthy and otherwise meets the standards of this chapter may be counted towards this requirement.
 2. The required landscaping shall be primarily located in the front of the property and should typically be along the street frontage, in landscaped islands, and next to the building.
 - ~~3. The landscaping shall primarily consist of live perennial plants, which are Landscaping materials shall be of sufficient size, number, and variety to give a three-dimensional presence (height, width, and depth) to the landscaped area(s). ~~that is in scale with the features of the development project. This will typically mean groundcover, trees, and shrubs. Works of art, landscape boulders, ornamental grasses, and water features are also acceptable components in a landscape plan.~~~~
 - ~~3.4. Suitable landscaping materials include trees, shrubs, groundcover, flowers, ornamental grasses, decorative rock, landscape boulders, water features, works of art, and other similar materials approved by the Planning and Zoning Board.~~
 - ~~4. Required landscape areas with more than twenty five percent (25%) rock or other non-living groundcover shall incorporate landscape vegetation such as ornamental grasses, shrubs and trees so that the canopy (a.k.a. spread) of the vegetation will cover at least 40% of the non-living groundcover area once the plants grow to maturity. For calculating purposes, the mature size of each plant shall be as published in any reliable horticultural literature.~~
 5. Trees shall be of good quality and measure in size a minimum of 1 ½ inch caliper (tree diameter, measured 6" above ground) if deciduous, and a minimum of four (4) feet in height if evergreen. Tree seedlings and whips may supplement larger trees, but alone shall not be considered sufficient where trees are used to comply with 10-17-5(A)(3) ~~or (4)~~ above.
 6. All vegetation is to be climate and location appropriate, such that it will grow and thrive where planted.
 7. All landscaped ~~areas~~ plants shall be provided with a method of irrigation.
 8. Up to one-fourth of the required landscaping may be located in the public street right-of-way when the street is improved with curb, gutter and sidewalk and not identified for future widening on any WYDOT or City transportation improvement plan. Any landscaping within the right-of-way further requires an encroachment permit from WYDOT or Public Works, as applicable.
 9. Protection of utility lines in landscape areas shall be accomplished by complying with the requirements outlined in Title 7 Chapter 4 of the City Code.
 10. If a final certificate of occupancy for the project is desired prior to completion of the landscaping, the property owner or lessee shall provide a financial security in such form and amount acceptable to the City to guarantee installation of all landscaping by a date agreeable to the City, based on the specific characteristics of the situation. If weather is not a factor, a typical deadline will be 90 days from the date of occupancy. If weather precludes installation, the deadline shall not be later than June 15th of the next growing season.

- B. Maintenance required. All landscaping required by this chapter or previously approved site plans is to be maintained in a healthy, weed-free, manner. Dead and severely diseased vegetation shall be replaced with similar types of healthy living plants, or as otherwise authorized by the Planning and Zoning Board so that the intent of the landscaping plan is met.
- C. Plans: Landscape plans shall be submitted to the City for all landscaping required pursuant to this section. The plans shall be drawn to scale and depict the type, number, sizes and approximate locations of all landscaping materials. ~~If canopy cover is required pursuant to 10-17-5(A)(4) above, submit calculations to demonstrate compliance therewith.~~ Review and approval of the landscaping plans shall be by the Planning and Zoning Board. Landscaping plan review is to be conducted in conjunction with required site plan or landscape and architectural review, when such review is required. If no other review is required, the landscape plan review may be conducted independently by the Board. The Planning and Zoning Board has authority to approve, deny, or require modifications to landscaping plans, based upon the standards of this chapter.

G H I J K L

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G H I J K L

SCALE: NOT TO SCALE

CODY, WYOMING THIS DATE JANUARY 14, 2015

APPROVAL

ACCEPTED AND APPROVED BY THE CITY OF

ATTEST: Barry A. Cook
BARRY A. COOK
CITY ADMINISTRATOR

Nancy Tia Brown
NANCY TIA BROWN
MAYOR



OFFICIAL ZONING DISTRICT MAP

NO	REVISION	DATE	BY
100	RE-ZONING ALL OF PARCEL 11 AND A PORTION OF 18 LOCATE WITHIN LOT 68 OF 10-12 PASSED ON 5/4/2010	5/4/2010	U.S.
101	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 4/8/2009	4/8/2009	U.S.
102	CHANGED NAME OF MAIN STREET TO L.L. CHILDERS STREET 8/1/2009	8/1/2009	U.S.
103	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
104	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
105	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
106	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
107	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
108	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
109	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.
110	ADOPTED CITY LANDMARKS AND MONUMENTS SUBMISSION PASSED ON 5/14/2010	5/14/2010	U.S.

NAME	GRID NO.	NAME	GRID NO.
10th St.	17-9	Greener St.	G9 St. 17
11th St.	17-9	Harper St.	H8 St. 17
12th St.	17-9	Heath Mountain St.	H8-19
13th St.	17-9	Hickory Club St.	H8 St. 17
14th St.	17-9	Hickory Club Dr.	H8 St. 17
15th St.	17-9	Hickory Club Dr.	H8 St. 17
16th St.	17-9	Hickory Club Dr.	H8 St. 17
17th St.	17-9	Hickory Club Dr.	H8 St. 17
18th St.	17-9	Hickory Club Dr.	H8 St. 17
19th St.	17-9	Hickory Club Dr.	H8 St. 17
20th St.	17-9	Hickory Club Dr.	H8 St. 17
21st St.	17-9	Hickory Club Dr.	H8 St. 17
22nd St.	17-9	Hickory Club Dr.	H8 St. 17
23rd St.	17-9	Hickory Club Dr.	H8 St. 17
24th St.	17-9	Hickory Club Dr.	H8 St. 17
25th St.	17-9	Hickory Club Dr.	H8 St. 17
26th St.	17-9	Hickory Club Dr.	H8 St. 17
27th St.	17-9	Hickory Club Dr.	H8 St. 17
28th St.	17-9	Hickory Club Dr.	H8 St. 17
29th St.	17-9	Hickory Club Dr.	H8 St. 17
30th St.	17-9	Hickory Club Dr.	H8 St. 17
31st St.	17-9	Hickory Club Dr.	H8 St. 17
32nd St.	17-9	Hickory Club Dr.	H8 St. 17
33rd St.	17-9	Hickory Club Dr.	H8 St. 17
34th St.	17-9	Hickory Club Dr.	H8 St. 17
35th St.	17-9	Hickory Club Dr.	H8 St. 17
36th St.	17-9	Hickory Club Dr.	H8 St. 17
37th St.	17-9	Hickory Club Dr.	H8 St. 17
38th St.	17-9	Hickory Club Dr.	H8 St. 17
39th St.	17-9	Hickory Club Dr.	H8 St. 17
40th St.	17-9	Hickory Club Dr.	H8 St. 17
41st St.	17-9	Hickory Club Dr.	H8 St. 17
42nd St.	17-9	Hickory Club Dr.	H8 St. 17
43rd St.	17-9	Hickory Club Dr.	H8 St. 17
44th St.	17-9	Hickory Club Dr.	H8 St. 17
45th St.	17-9	Hickory Club Dr.	H8 St. 17
46th St.	17-9	Hickory Club Dr.	H8 St. 17
47th St.	17-9	Hickory Club Dr.	H8 St. 17
48th St.	17-9	Hickory Club Dr.	H8 St. 17
49th St.	17-9	Hickory Club Dr.	H8 St. 17
50th St.	17-9	Hickory Club Dr.	H8 St. 17
51st St.	17-9	Hickory Club Dr.	H8 St. 17
52nd St.	17-9	Hickory Club Dr.	H8 St. 17
53rd St.	17-9	Hickory Club Dr.	H8 St. 17
54th St.	17-9	Hickory Club Dr.	H8 St. 17
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56th St.	17-9	Hickory Club Dr.	H8 St. 17
57th St.	17-9	Hickory Club Dr.	H8 St. 17
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61st St.	17-9	Hickory Club Dr.	H8 St. 17
62nd St.	17-9	Hickory Club Dr.	H8 St. 17
63rd St.	17-9	Hickory Club Dr.	H8 St. 17
64th St.	17-9	Hickory Club Dr.	H8 St. 17
65th St.	17-9	Hickory Club Dr.	H8 St. 17
66th St.	17-9	Hickory Club Dr.	H8 St. 17
67th St.	17-9	Hickory Club Dr.	H8 St. 17
68th St.	17-9	Hickory Club Dr.	H8 St. 17
69th St.	17-9	Hickory Club Dr.	H8 St. 17
70th St.	17-9	Hickory Club Dr.	H8 St. 17
71st St.	17-9	Hickory Club Dr.	H8 St. 17
72nd St.	17-9	Hickory Club Dr.	H8 St. 17
73rd St.	17-9	Hickory Club Dr.	H8 St. 17
74th St.	17-9	Hickory Club Dr.	H8 St. 17
75th St.	17-9	Hickory Club Dr.	H8 St. 17
76th St.	17-9	Hickory Club Dr.	H8 St. 17
77th St.	17-9	Hickory Club Dr.	H8 St. 17
78th St.	17-9	Hickory Club Dr.	H8 St. 17
79th St.	17-9	Hickory Club Dr.	H8 St. 17
80th St.	17-9	Hickory Club Dr.	H8 St. 17
81st St.	17-9	Hickory Club Dr.	H8 St. 17
82nd St.	17-9	Hickory Club Dr.	H8 St. 17
83rd St.	17-9	Hickory Club Dr.	H8 St. 17
84th St.	17-9	Hickory Club Dr.	H8 St. 17
85th St.	17-9	Hickory Club Dr.	H8 St. 17
86th St.	17-9	Hickory Club Dr.	H8 St. 17
87th St.	17-9	Hickory Club Dr.	H8 St. 17
88th St.	17-9	Hickory Club Dr.	H8 St. 17
89th St.	17-9	Hickory Club Dr.	H8 St. 17
90th St.	17-9	Hickory Club Dr.	H8 St. 17
91st St.	17-9	Hickory Club Dr.	H8 St. 17
92nd St.	17-9	Hickory Club Dr.	H8 St. 17
93rd St.	17-9	Hickory Club Dr.	H8 St. 17
94th St.	17-9	Hickory Club Dr.	H8 St. 17
95th St.	17-9	Hickory Club Dr.	H8 St. 17
96th St.	17-9	Hickory Club Dr.	H8 St. 17
97th St.	17-9	Hickory Club Dr.	H8 St. 17
98th St.	17-9	Hickory Club Dr.	H8 St. 17
99th St.	17-9	Hickory Club Dr.	H8 St. 17
100th St.	17-9	Hickory Club Dr.	H8 St. 17

ENTRY CORRIDOR OVERLAY DISTRICT
CITY LIMITS

AA	RESIDENTIAL
A	RESIDENTIAL
B	RESIDENTIAL
C	RESIDENTIAL
D-1	LIMITED BUSINESS
D-2	GENERAL BUSINESS
D-3	OPEN BUSINESS / LIGHT INDUSTRIAL
D-4	HIGH TECH/DATA PROCESSING/LIGHT MANUFACTURING
E	INDUSTRIAL
F-1	MOBILE HOME
F-2	MOBILE HOME
H-1	HEAVY INDUSTRIAL ZONE
P.U.D.	PLANNED UNIT DEVELOPMENT
RR	RURAL RESIDENTIAL
T	TRANSITIONAL

ZONE	DESCRIPTION
AA	RESIDENTIAL
A	RESIDENTIAL
B	RESIDENTIAL
C	RESIDENTIAL
D-1	LIMITED BUSINESS
D-2	GENERAL BUSINESS
D-3	OPEN BUSINESS / LIGHT INDUSTRIAL
D-4	HIGH TECH/DATA PROCESSING/LIGHT MANUFACTURING
E	INDUSTRIAL
F-1	MOBILE HOME
F-2	MOBILE HOME
H-1	HEAVY INDUSTRIAL ZONE
P.U.D.	PLANNED UNIT DEVELOPMENT
RR	RURAL RESIDENTIAL
T	TRANSITIONAL