

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, FEBRUARY 24, 2015
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

REVISED AGENDA

1. Call to Order by Chairman Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the February 10, 2015 Regular Meeting
6. NEW BUSINESS:
 - A. Site Plan Review - Wal Mart Liquor Store at 321 Yellowstone Ave.
 - B. Sign Review – Wells Fargo ATM kiosk at 1401 Sheridan Ave.
 - C. Site Plan Review – Outstanding Issues; Fed Ex at 701 33rd Street.
 - D. Fence Height Request - 10-foot tall fence/screen at the east ball field in Hugh Smith Park (19th Street and River View Drive).
7. P&Z Board Matters (announcements, comments, etc.)
8. Council Update: Steve Miller
9. Staff Items
10. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, February 10, 2015

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, February 10, 2015 at 12:00 PM

Present: Justin Lundvall-Chairperson; Reese Graham; Curt Dansie; Buzzy Hassrick; Steve Miller-Council Liaison; Sandra Kitchen, Deputy City Attorney; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant.

Absent: Brad Payne; Justin Ness; Mark Musser

Chairperson Justin Lundvall called the meeting to order at 12:02 PM, followed by the pledge of allegiance.

Buzzy Hassrick made a motion, seconded by Reese Graham, to approve the agenda. Vote on the motion was unanimous, motion carried.

Curt Dansie made a motion, seconded by Reese Graham, to approve the minutes for the January 27, 2015 meeting. Vote on the motion was unanimous, motion carried.

NEW BUSINESS:

Todd Stowell presented the staff report for the Accessory Dwelling Unit within the Residential AA Zone for Francis Cocchia at 1035 Bleistein Ave.

A public hearing for the Accessory Dwelling Unit within the Residential AA Zone for Francis Cocchia at 1035 Bleistein Avenue began at 12:07 p.m. Public hearing closed at 12:08 p.m.

Buzzy Hassrick made a motion, seconded by Curt Dansie, to approve the Accessory Dwelling Unit within the Residential AA Zone for Francis Cocchia at 1035 Bleistein Avenue as presented. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for the 20-foot fence height request at the west ball field in Hugh Smith Park (19th Street and Riverview Drive).

Reese Graham made a motion, seconded by Curt Dansie, to approve the 20-foot fence height at the west ball field in Hugh Smith Park (19th Street and Riverview Drive) as presented. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for the Final Plat of Rebel Row Minor Subdivision, a 4-lot subdivision on the west side of Stone Street and north of Cougar Avenue.

Buzzy Hassrick made a motion, seconded by Reese Graham, to recommend the approval of the Final Plat of Rebel Row Minor Subdivision, a 4-lot subdivision on the west side of Stone Street and north of Cougar Avenue with the following conditions:

1. Applicable utility fees (three water taps and the electrical estimate) shall be paid prior to the mayor signing the final plat.
2. Provide a minimum 5-foot by 5-foot utility easement on Lot 9 of the Rocky Mountain Business Park, for the new transformer. The easement must be recorded prior to, or with the final plat.
3. All utility work for sewer, water, power, and storm water must be completed as noted on the preliminary plat prior to issuance of a building permit. The work must conform to city standards.
4. Comply with Condition 5 of the preliminary plat approval, relating to constructing or providing a cash deposit for construction of sidewalk along the west side of Stone Street prior to issuance of a building permit.

Vote on the motion was unanimous, motion carried.

Approved Signs by Staff: None

P&Z Board Matters: None

Council Update: None

Staff Items: Todd Stowell spoke on the following subcommittees needing volunteers from the Planning and Zoning Board:

1. Boundary Line Adjustment/Lot Consolidation ordinance rewrite - Justin Lundvall, Reese Graham, and Curt Dansie.
2. Landscaping ordinance for commercial corridors committee needs three volunteers - Buzzy Hassrick, Justin Lundvall and Justin Ness. Todd will check with Brad Payne to see if he is interested.

Buzzy Hassrick made a motion, seconded by Reese Graham, to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Lundvall adjourned the meeting at 12:23 PM.

Lynn Stutzman
Engineering Administrative Assistant

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	FEBRUARY 24, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: WALMART LIQUOR BOX ADDITION SPR 2015-07	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

BRR Architecture has submitted an application on behalf of the Walmart R.E. Business Trust for a 3,904 square foot addition to the Walmart store at 321 Yellowstone Avenue. The addition is proposed to be located off the southeast corner of the existing supermarket and will be used exclusively as a liquor store. The liquor store will function independently from the existing supermarket, in that it will have its own entrance. No customer passage is provided directly between the liquor store and supermarket.

A complete set of the architectural plans, civil site plans, and architectural perspectives of the proposal are provided to the Planning and Zoning Board.

Existing Conditions:



REVIEW CRITERIA:

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The addition has been designed by a professional architectural firm, and generally avoids the appearance of an “addition”, by blending well with the existing building. The building materials and architectural design of the addition will match the existing building, including concrete masonry unit walls, the same multi-color paint scheme, and stone and timber accents. Other architectural design features that are recognized as favorable include the variation in setback depth from the existing building and a slightly lower height—the addition is 21’ 4” in height, which is about five feet shorter than the adjacent section of building. Also, the parapet wraps around the entire addition, screening the roof equipment from all sides.

Additional items that are part of the site plan review are noted below:

Storm Water:

No significant increase in impervious surface will result. Therefore, review is limited to ensuring proper grading of the project. The storm water from off of the building will be collected through downspouts and piped directly to an existing catch basin, and eventually a large infiltration structure to the rear of the supermarket. Grading of the sidewalk and revised parking area likewise flows into the existing storm water system. The grading plan and method of storm water control are acceptable.

Parking:

As noted on sheet SD5, the liquor box addition requires 20 parking spaces under the current parking ordinance. Using the standard ratios of the parking ordinance for the supermarket, a total of 950 parking spaces would be required for both uses. Presently there are 892 parking spaces, and once the liquor box addition is constructed there will only be about 879 spaces. However, as noted in the parking ordinance, the Board may consider other reliable data that justifies a different ratio. In practice, the parking lot has been able to accommodate parking for all vehicles even during the peak parking demand times of 4th of July weekend and “Black Friday”.

Unfortunately from a traffic standpoint, the liquor box will add parking demand in one of the more congested areas of the parking lot. If traffic were the only issue, the liquor box would be better located on the opposite side of the store. But, having it located closest to the food portion of the main store makes sense from a sales standpoint. While it may mean customers having to walk slightly further to get from their parking

space to the store, the overall capacity of the parking lot appears adequate to accommodate the anticipated parking demand.

One modification to the parking along the east side of the liquor box is requested. For ADA purposes, the two southernmost parking spaces should be restriped to provide a single van-accessible ADA parking space. A sign post for the space will also need to be added. (Note: Mounting height of the sign need only be 5', not 7' as shown on sheet SD7.) The ADA route from the ADA parking space to the liquor store will be provided by the new ramp just south of the van accessible space.

Lighting:

No exterior lighting is proposed, other than emergency exit lights at the front and rear doorway (refer to Sheet D1). No changes to parking lot lighting are planned.

Landscaping:

Two curbed islands will be removed (see sheet SD4), which represents only a small portion of the existing landscaping. No new landscaping is proposed.

Signage:

The proposed sign is depicted on Sheet A2, along with the sign schedule. The proposed sign would be a non-illuminated, plastic channel letter sign that says "Liquor". It would measure about 18" high and 5' 8" long (11.3 sq. ft.). The style matches other secondary signage on the Walmart store.

With the new sign, total wall signage would be at 483.7 square feet. The sign code specifies that only 300 square feet of wall signage is permitted per zoning lot in the D-3 zoning district. Staff sees this as more of a technical issue than a true "problem", as the signage is reasonable and in scale with the size of the building. Staff looked at a few different ways of dealing with the situation. One option was to require a special exemption (similar to variance). Another was to allow the flexibility in the definition of the type of sign. Specifically, if the sign were classified as a projecting sign rather than a wall sign it would be permitted. A projecting sign is typically mounted at 90 degrees from the wall, but technically the definition states that is "end-mounted or otherwise attached to an exterior wall of a building and which projects not more than three (3) feet from the wall to which it is attached". The proposed sign would appear to be able to be classified as a projecting sign—not likely the intent, but nonetheless justification for being able to approve this sign.

ATTACHMENTS:

Application materials.

ALTERNATIVES:

Approve or deny the plans for the proposed exterior improvements.

RECOMMENDATION:

Find that the existing parking lot has a sufficient number of spaces to accommodate the demand for the liquor box addition; and,

Approve the site plan and sign, subject to the following modification:

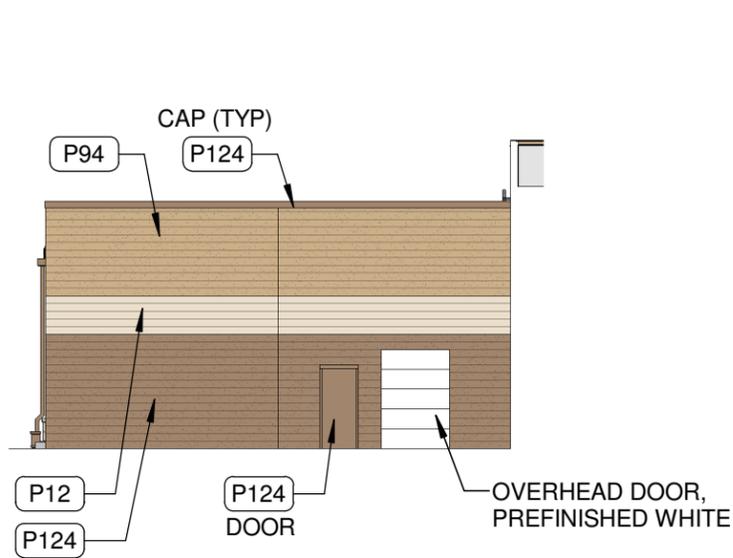
- 1) Provide a van-accessible ADA parking and loading space in the parking area nearest the sidewalk ramp.



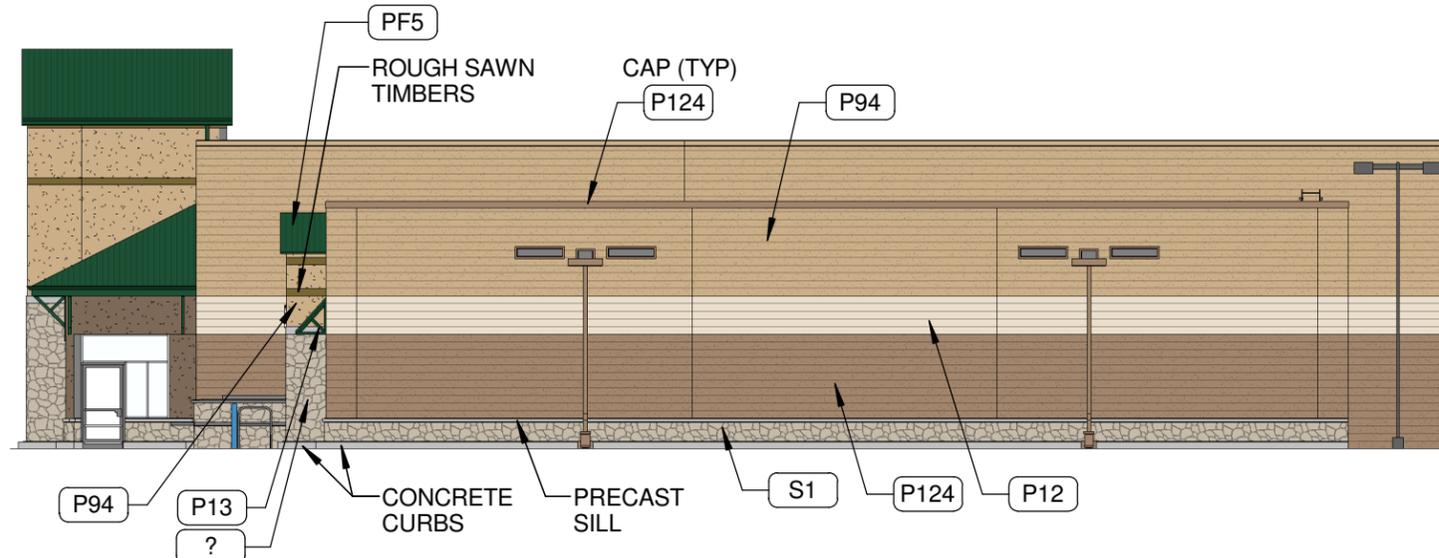
01 - PERSPECTIVE



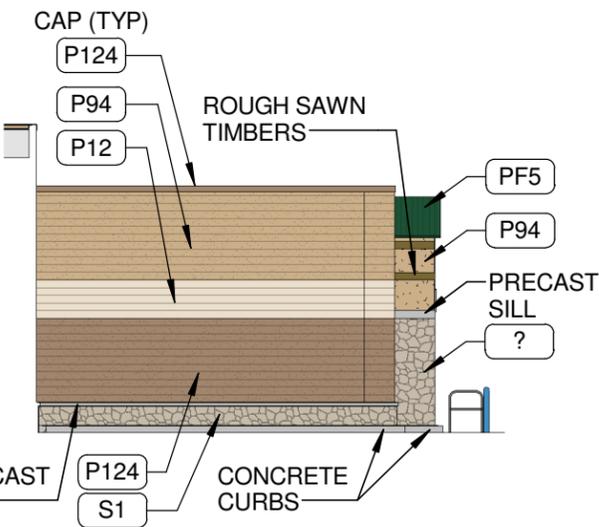
02 - PERSPECTIVE



REAR ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



FRONT ELEVATION



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	FEBRUARY 24, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	WELLS FARGO ATM KIOSK/SIGN DOWNTOWN ARCHITECTURAL DISTRICT REVIEW. SGN 2015-01	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Implementation Solution Services Inc. has submitted an application for an ATM Kiosk at Wells Fargo Bank, located at 1401 Sheridan Avenue. The kiosk is depicted on the attached materials. It will replace a smaller ATM machine at the bank, located at the end of the drive thru lanes. The kiosk is proposed to be approximately ten feet tall and to contain five "Wells Fargo" signs.

Existing:

Proposed:



REVIEW CRITERIA:

The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants."*

STAFF COMMENTS:

The proposal is before the Planning and Zoning Board primarily because of the additional signage. The ATM kiosk is proposed to have two 15" by 80" signs, two 15"

by 72" signs, and one 32" by 48" sign, for a total of approximately 42 square feet of sign area. The ATM kiosk and drive-thru are on a separate parcel than the main bank—being separated by an alley. The D-2 sign district allows the sizes, total amount, and number of signs proposed, whether calculated on the entire facility, or just the ATM/drive-thru parcel.

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. As far as appropriateness and compatibility of the signage, it is professionally designed and simply states the name of the facility. It follows the same branding theme as the rest of the Wells Fargo signage on the main bank parcel and does not seem to create any compatibility conflicts in that it is centrally located within the property.

RECOMMENDATION:

Approve the ATM kiosk and signage as proposed.



RUMSEY AVE

WAREHOUSE

DRIVE THRU LANES

9918F

150'

WELLS FARGO

MPOE ELEC

SHERIDAN AVE

MOUNTAIN HOME INTERIORS

14TH ST

SHOSHONE OFFICE SUPPLY

LA COMIDA

Implementation Solution Services Inc.



1101 S. Acacia Ave
Fullerton, CA 92831
714.738.7935



Cody Main
1401 Sheridan Ave
Cody, WY 82414

NCR
9918F

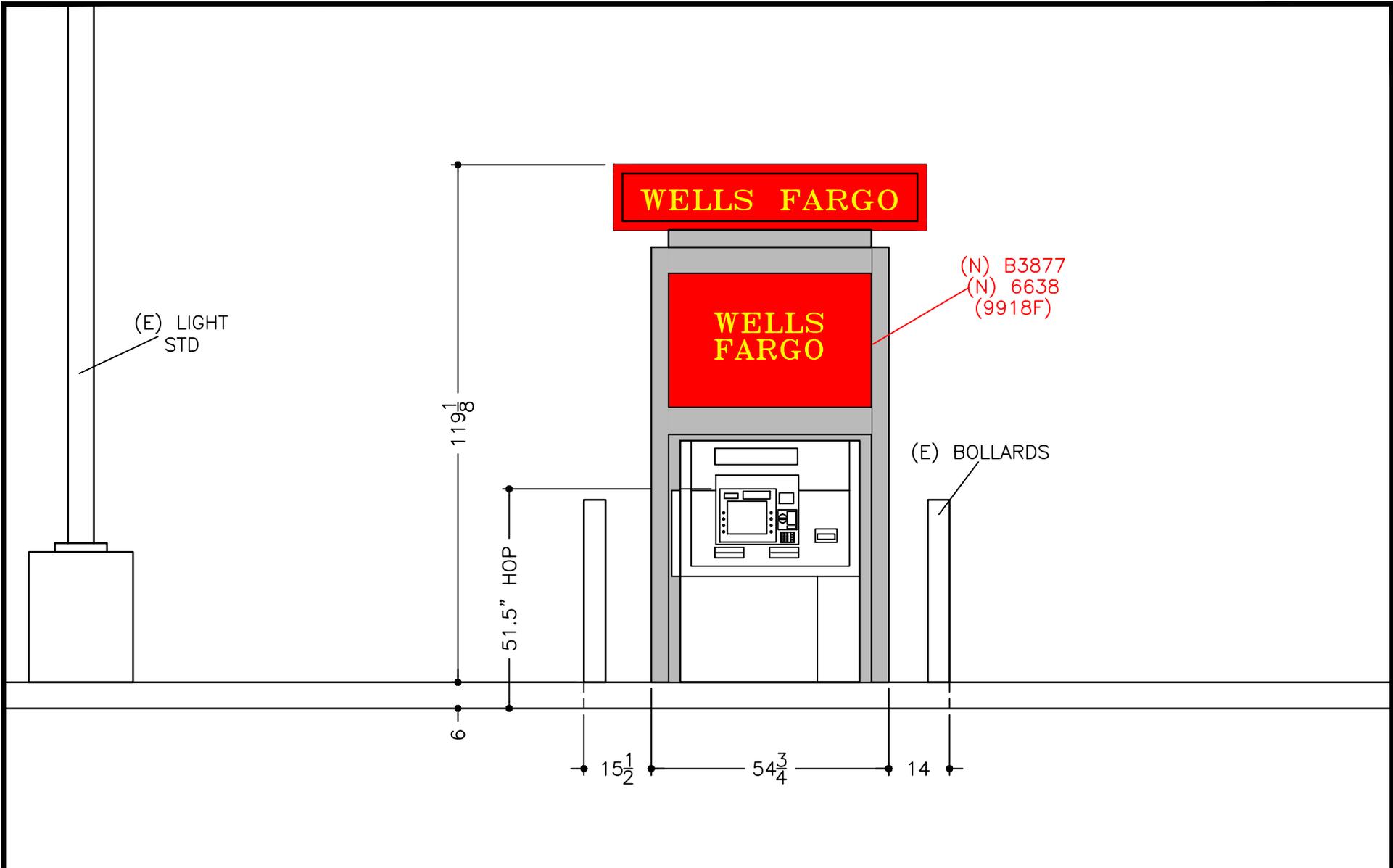
SITE PLAN

-
-
-
Island DU

SCALE:
Not To Scale

09/26/14

Page 1 of 7



Implementation Solution Services Inc.
 1101 S. Acacia Ave
 Fullerton, CA 92831
 714.738.7935



Cody Main
 1401 Sheridan Ave
 Cody, WY 82414

NCR
 9918F
 -
 -
 Proposed Elevation

-
 -
 -
 Island DU

SCALE:
 3/8"=1'-0"
 09/26/14
 Page 6 of 7



Implementation Solution Services Inc.



1101 S. Acacia Ave
Fullerton, CA 92831
714.738.7935



Cody Main
1401 Sheridan Ave
Cody, WY 82414

NCR
9918F
-
-

RENDERING

-
-
-

Island DU

SCALE:
Not To Scale

09/26/14

Page 7 of 7

GENERAL NOTES:

1. CONSTRUCTION SHALL CONFORM TO THE CODE INDICATED ON THIS SHEET.
2. NOT FOR HUMAN OCCUPANCY. KIOSK DOORS INTENDED FOR EQUIPMENT MAINTENANCE ONLY
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
4. THESE PLANS ARE INCOMPLETE WITHOUT THE SETUP INSTRUCTIONS. SET UP INSTRUCTIONS ARE LOCATED IN THE KIOSK HARDWARE PACK INSIDE THE KIOSK.
5. SEE NOTES ON FOUNDATION SHEET FOR SPECIFICATIONS.

ANCHOR NOTES

1. EXPANSION/ADHESIVE ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR ICC REPORT.
2. PERIODIC SPECIAL INSPECTION IS REQUIRED. VERIFICATION OF THE FOLLOWING IS REQUIRED DURING SPECIAL INSPECTION:
 - A. ANCHOR TYPE AND DIMENSIONS.
 - B. CONCRETE TYPE AND COMPRESSIVE STRENGTH.
 - C. HOLE DIMENSIONS AND HOLE CLEANING PROCEDURES.
 - D. ANCHOR SPACING, EDGE DISTANCES, CONCRETE THICKNESS, ANCHOR EMBEDMENT DEPTH, AND TIGHTENING TORQUE.
 - E. COMPLIANCE WITH MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.
3. WHEN INSTALLING DRILLED IN ANCHORS IN EXISTING CONCRETE AVOID CUTTING OR DAMAGING EXISTING REINFORCING BARS.
4. ANCHOR USED WITH ADHESIVES MUST BE ZINC COATED, FULLY THREADED ROD CONFORMING TO ASTM F1554, A36 OR ASTM A193 GRADE B7. SIZE AS INDICATED IN THESE DRAWINGS.
5. ANCHORS INDICATED HEREIN SHALL BE ONE OF THE FOLLOWING OPTIONS:

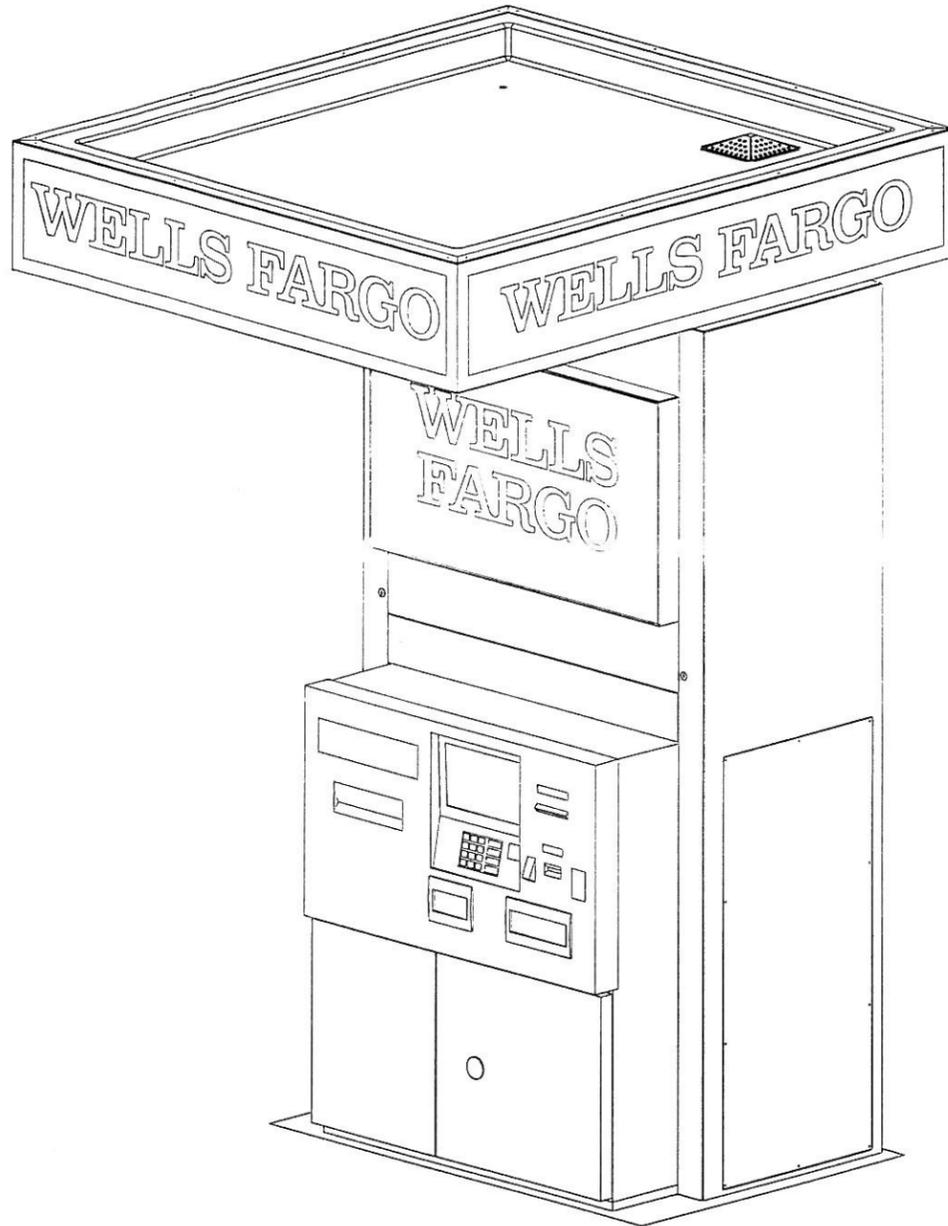
EXPANSION (3/4"φ)			
MFR	BOLT	ICC ES REPORT	INSTALLATION TORQUE
HILTI	KWIK BOLT TZ	1917	110 FT-LBS
SIMPSON	STRONG BOLT-2	3037	150 FT-LBS
ITW REDHEAD	TRUBOLT +	2427	110 FT-LBS
POWERS	POWERSTUD+ SD2	2502	110 FT-LBS
ADHESIVE (3/4"φ ROD)			
MFR	PRODUCT NAME	ICC ES REPORT	MAXIMUM TIGHTENING TORQUE
HILTI	HIT-HY200	3187	100 FT-LBS
SIMPSON	SET-XP	2508	45 FT-LBS
POWERS	PE 1000+	2583	90 FT-LBS

DESIGN CRITERIA

THIS ATM ENCLOSURE, ANCHORAGE AND FOUNDATION ARE DESIGNED TO MEET THE FOLLOWING CRITERIA BASED ON THE LISTED LOCATION:

LOCATION:	CODY MAIN 1401 SHERIDAN AVE CODY, WY 82414
BUILDING CODE	2012 IBC
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	20 PSF
WIND SPEED	
V _{ULT}	115 MPH
V _{ASD}	90 MPH
SEISMIC	
S _{DS}	.324
S _{DI}	.169
SITE CLASS	D
SEISMIC DESIGN CATEGORY	D
SOIL BEARING PRESSURE	MINIMUM REQUIRED PER TABLE 1806.2
FROST DEPTH	2012 IBC SECTION 1809.5 EXCEPTION WHERE APPLICABLE

ANY RE-USE OF THESE DRAWINGS FOR LOCATIONS OTHER THAN THE INDICATED LOCATION, IS PROHIBITED UNLESS REVIEWED AND DEEMED SUITABLE BY A REGISTERED PROFESSIONAL ENGINEER.



3887

POINT 2 JOB No. CS14-084

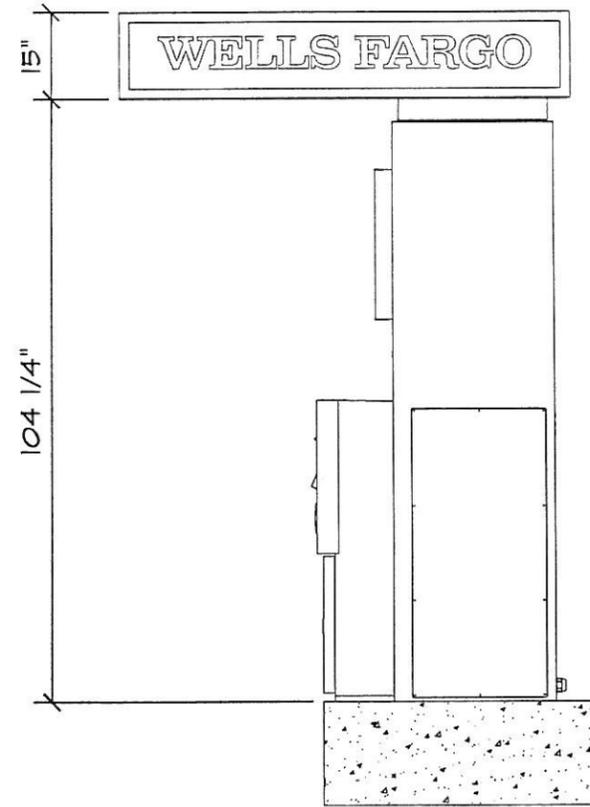
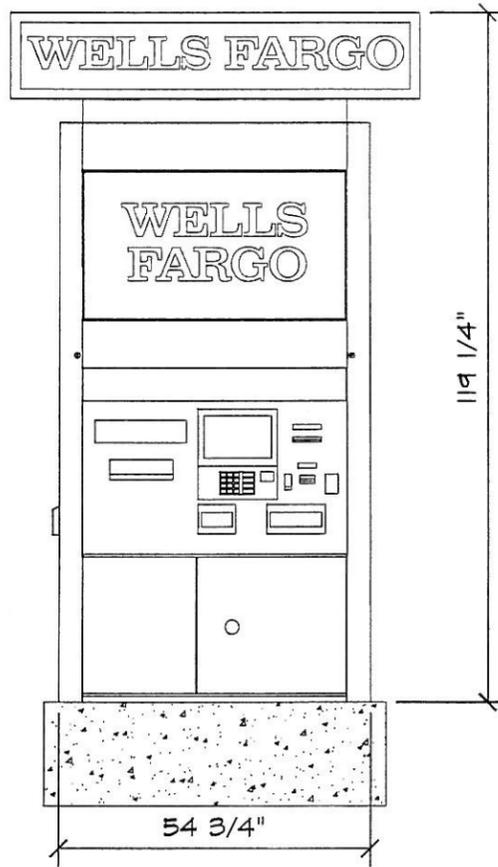
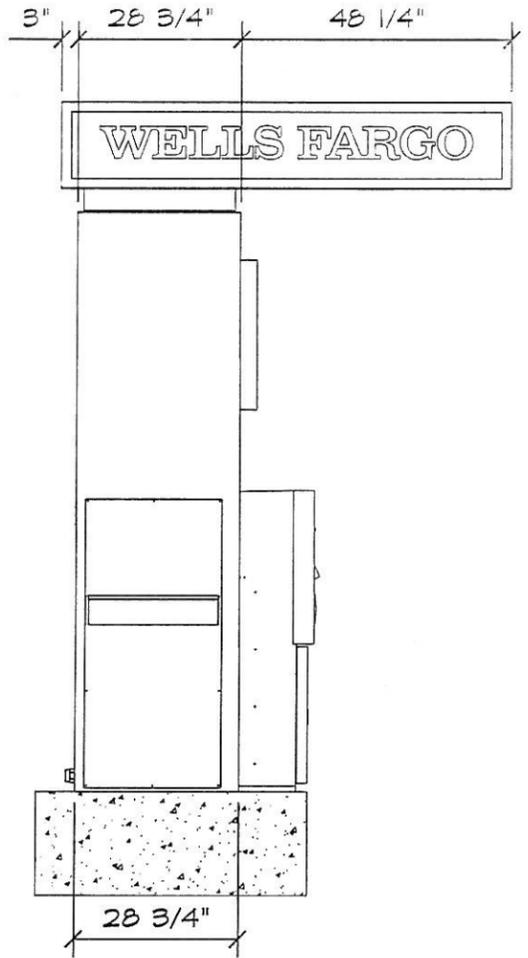
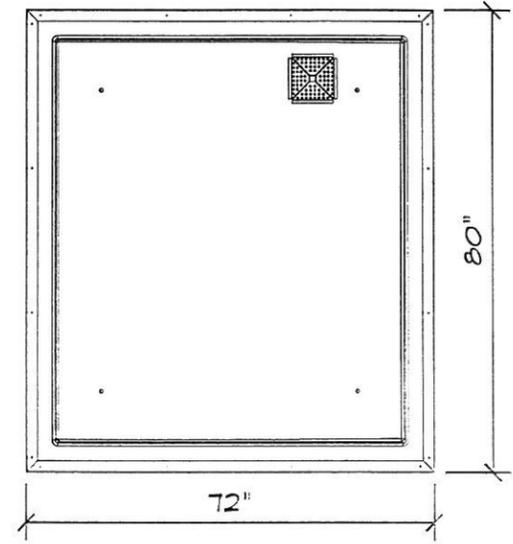
POINT 2
STRUCTURAL ENGINEERS, INC.
3701 BUSINESS DR SUITE 100
SACRAMENTO, CA. 95820
(916)-452-8200
(916)-452-8212 (FAX)

DEC 16 2014

CODY MAIN
1401 SHERIDAN AVE
CODY, WY 82414

COMPANION
645 WEST 200 NORTH - NORTH SALT LAKE, UTAH 84054
FAX # (801) 294-3537 TELEPHONE # (877) 736-3448

COVER SHEET	DATE:	12/15/2014
	KIOSK:	3887
	SHEET #:	1 OF 7



POINT 2 JOB No. CS14-084
POINT 2
 STRUCTURAL ENGINEERS, INC.
 3701 BUSINESS DR SUITE 100
 SACRAMENTO, CA. 95820
 (918)-452-8200
 (918)-452-8212 (FAX)

DEC 16 2014
 Professional Engineer (Structural)
 WILLIAM P. LARSON
 12184
 Date
 WYOMING

CODY MAIN
 1401 SHERIDAN AVE
 CODY, WY 82414

COMPANION
 845 WEST 200 NORTH - NORTH SALT LAKE, UTAH 84054
 FAX # (801) 294-3637 TELEPHONE # (877) 738-3448

OVERALL DIMENSIONS	DATE: 12/15/2014
	KIOSK: 3887
	SHEET #: 2 OF 7

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	FEBRUARY 24, 2015	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW—OUTSTANDING ITEMS FOR FEDEX GROUND FACILITY SPR 2014-36 (CONTINUED)	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

BACKGROUND:

The Planning and Zoning Board reviewed plans for the FedEx Ground facility at 701 33rd Street at two previous meetings. A few outstanding items remained to be submitted for review and the developer, Ruedebush Development & Construction, LLC, is also requesting a few modifications. The outstanding items are presented below for review by the Planning and Zoning Board.

As the application was received “last minute”, the staff report is perhaps not as detailed as otherwise would be. If additional information is needed, the Board has the option of continuing the review at a future meeting.

REVIEW CRITERIA:

The property is located within the General Commercial/Light Industrial “D-3” zoning district, which permits the proposed use.

Section 10-10C-5 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The items requested for review are listed below, along with brief staff comments:

1. Landscaping Plan: In response to neighbor concerns, the number of trees has been increased and the variety of tree changed to Rocky Mountain juniper along the west side of the project and Colorado blue spruce elsewhere.

Staff Comment: The additional trees are appreciated. As the P&Z board specified previously, minimum height at planting is to be at least eight (8) feet above ground level. The landscaping plan is slightly misleading, in that the diameter of the trees are likely exaggerated—Colorado blue spruce has a mature diameter of only about 20 feet in landscapes, while the trees on the plan scale at about 30 feet in diameter and are spaced about 55 feet on center. A true “screen” would require the trees to be planted 15-20 feet apart. The screening effect is also hampered by the grading of the site, as the trees are three to seven feet in elevation lower than the elevation of the building floor. Staff is not saying that more trees are necessarily needed, but we want the Board to understand the situation.

2. Perimeter Fence: The applicants are requesting the approval of the 8 foot high black ornamental fence around the property.

Staff Comment: At the initial P&Z meeting the applicant's representative misunderstood that the fence was proposed at six feet high. An eight foot high fence is a FedEx security requirement for all of their facilities. The fence is proposed to be the same style and height that was installed at the FedEx Billings MT facility. In a meeting with neighboring property owners, all were accepting of the fence height and style now proposed.

3. Entrance Gates: The P&Z Board did not approve any fence or gate over six feet tall in their prior reviews. The standard entrance gate structure is shown on Detail 9 of Sheet D-1, and measures almost sixteen feet tall and sixty feet wide. There is also a turnstile and employee pedestrian gate that would be about eight feet tall. The yard entrance gate, turnstile and employee entrance gate will be painted black to match the perimeter fence. The applicant is requesting permission for the entrance gates as proposed.

Staff Comment: Eight feet for the turnstile and pedestrian gate seem reasonable, as that is the same height as the requested fence. The applicant has not provided any justification for the height and style of the vehicle entrance gate other than to note that it is the standard. It would seem that an eight foot tall gate structure would suffice, as it provides the same level of security as the rest of the perimeter barrier fence.

4. **Masonry Requirement:** The P&Z Board specified a minimum of 25% masonry on the exterior walls of the building. The plans have been revised, but are about 17 linear feet short of meeting the 25% requirement.

Staff Comment: The masonry now forms a wainscot around all of the building, except at the overhead doors. Staff believes the intent of the requirement has been met.

5. **Overhead Door Color:** As required by the P&Z Board and to address the concerns of the adjoining property owners, the applicant has changed the color of the overhead doors. The building colors are shown on the architectural rendering.
6. **Irrigation Plan:** The landscape subcontractor is yet to complete the irrigation distribution plan and will have it submitted for approval prior to installation of any landscaping.
7. **Height of exterior light poles:** The lighting contractor is asking the P&Z Board to reconsider their decision to limit total height of all exterior lights to 33 feet. The current plans show three of the light poles extending 42 feet in height.

Staff Comment: Visual impacts were of major concern for neighbors and P&Z Board members at the prior meetings. As noted previously, about thirty feet is the maximum found anywhere in the Big Horn corridor area. It is also noted that at one point in this process only one pole was going to be taller than 33 feet, but the application now shows three poles at 42 feet. Furthermore, the poles are the three poles nearest the closest neighbor.

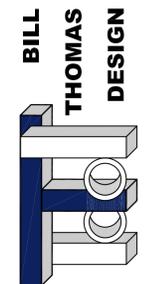
8. **ADA Sidewalk:** The site plan has been revised to include an ADA accessible sidewalk across both vehicle entrances, as required.

ATTACHMENTS:

Applicable plans.



WILLIAM R. THOMAS, JR.
C-2920



A NEW DISTRIBUTION FACILITY FOR:
FEDEX GROUND
33RD STREET & COUGAR AVENUE
ROCKY MOUNTAIN BUSINESS PARK
CODY, WYOMING 82414
BLDG 824



DESIGNER: WRT
DRAWN BY: WRT
JOB NO.: 20140818
DATE: 08-20-14

PROJECT REVISIONS

SHEET NUMBER

A2.0

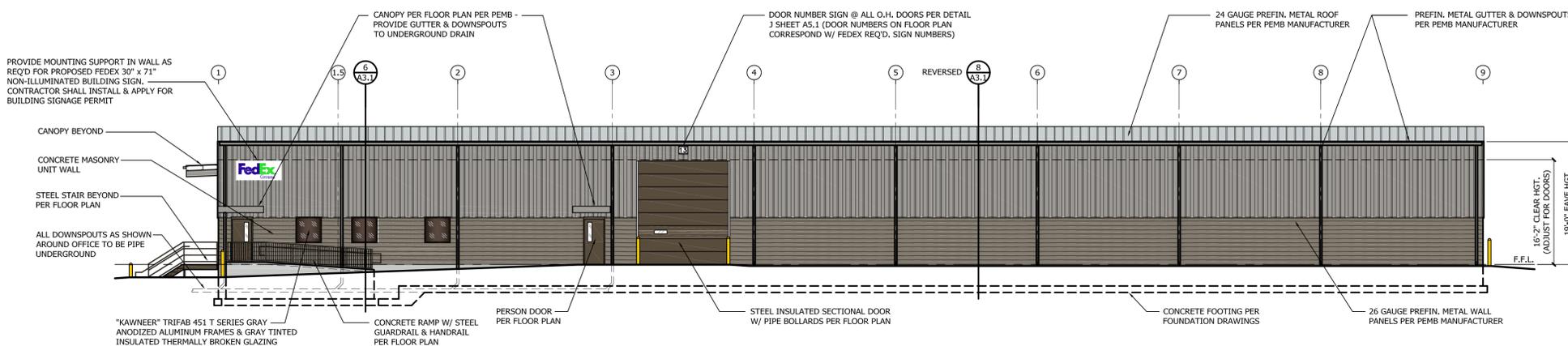
O.F.

ELEVATION NOTES

DOWNSPOUTS DRAINING NEXT TO DOORS SHALL BE DIVERTED AWAY FROM DOOR OPENING. DOWNSPOUTS DRAINING AROUND ENTIRE OFFICE PERIMETER ENTRY ELEVATION SHALL BE PIPED AWAY BELOW GRADE TO AVOID ICE BUILD-UP.
DOWNSPOUTS NOT DRAINING ONTO HARD SURFACE SHALL HAVE EITHER SPLASH BLOCKS OR RIP RAP INSTALLED TO AVOID EROSION. CORNER DOWNSPOUTS ON DOCK CANOPY SHALL BE INSTALLED PER NOTES ON ELEVATION.

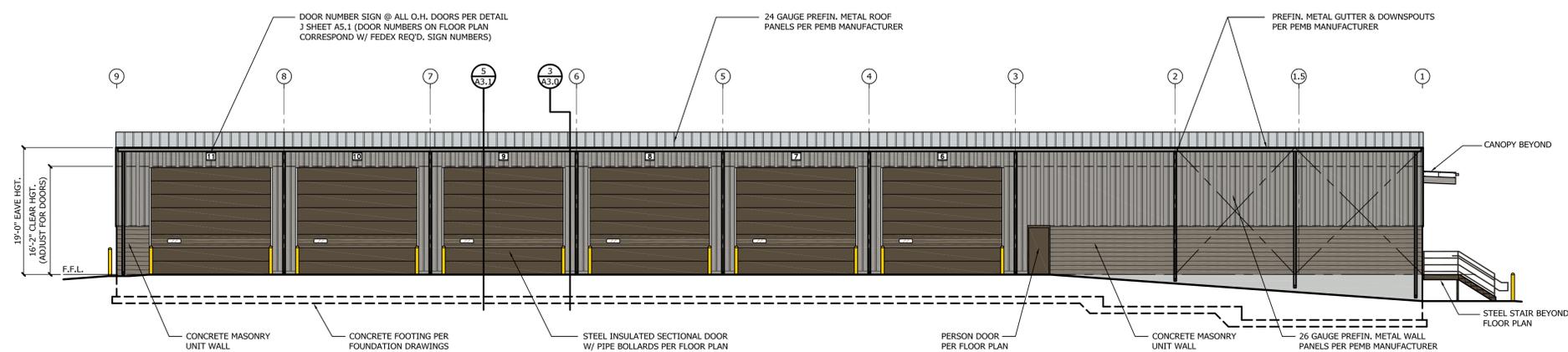
COLOR NOTES

- PEMB COLOR - NUCOR, FOX GRAY
- OVERHEAD DOOR COLOR - OVERHEAD DOOR COMPANY, INDUSTRIAL BROWN. PEDESTRIAN DOORS / WINDOW COLOR - SIMILAR TO KAWNEER, MEDIUM BRONZE
- CONCRETE MASONRY UNIT COLOR - SHERWIN WILLIAMS, SW 7046, ANONYMOUS
- UNPAINTED CONCRETE - COLOR PER PLANT MIX DESIGN
- PEMB GALVALUME FINISH
- OSHA YELLOW



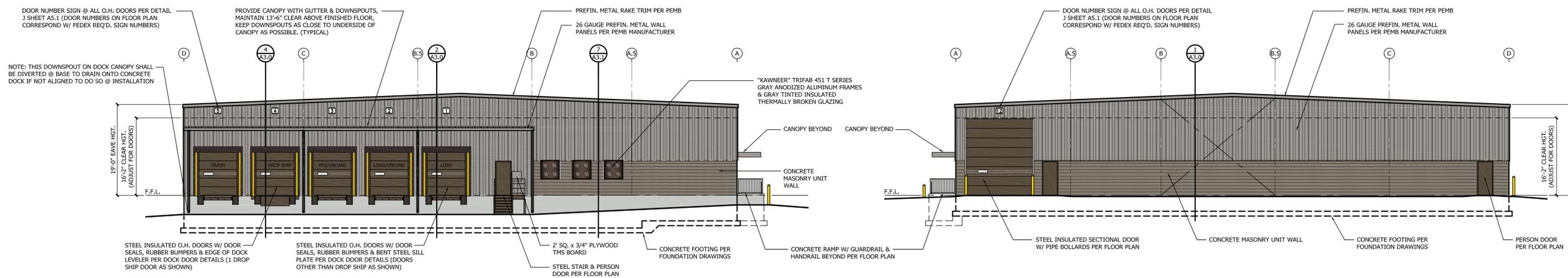
EAST ELEVATION

3/32" = 1'-0"



WEST ELEVATION

3/32" = 1'-0"

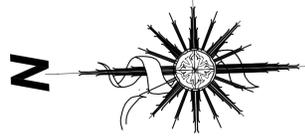


SOUTH ELEVATION

3/32" = 1'-0"

NORTH ELEVATION

3/32" = 1'-0"



FRANZEN MINOR SUBDIVISION
FRANZEN, LLC

LOT 6

LOT 5

COMMON TRENCH FOR GAS,
ELECTRICAL AND TELECOM AS
PER G-C CODY SUB'D PLANS

33RD STREET

EXISTING
LIGHT POLE

COLORADO BLUE SPRUCE OR APPROVED
EQUIVALENT (low maintenance)
WITH WEED BARRIER AND GRAVEL
BEDS AT BASE OF TREES
(Planted height of 8 feet, Minimum Mature
Height of 20 feet)

SOD - IRRIGATED AREA

B.M. TOP OF CAP
EL. 4933.36

N00°27'30"W 1292.59'

2' X 10' Dry Scape
Planter - Upland
Desert Shrubs - 24" to 36"
Mature Height

SOD - IRRIGATED AREA

SOD - IRRIGATED AREA

SOD - IRRIGATED AREA

COLORADO BLUE SPRUCE OR APPROVED
EQUIVALENT (low maintenance)
WITH WEED BARRIER AND GRAVEL
BEDS AT BASE OF TREES
(Planted height of 8 feet, Minimum Mature Height
of 20 feet)

Rock Garden with
Desert Shrubs - 24" to 36"
Mature Height

SPLIT-FACE
MASONRY WILL
BE ADDED AT
OFFICE AREA

ENTRANCE GATE AND
TURNSTILE TO BE
BLACK VINYL COATED

RESEED DISTURBED
AREAS WITH NATIVE
GRASS SPECIES - NO IRRIGATION

COLORADO BLUE SPRUCE OR APPROVED
EQUIVALENT (low maintenance)
WITH WEED BARRIER AND GRAVEL
BEDS AT BASE OF TREES
(Planted height of 8 feet, Minimum Mature Height
of 20 feet)

8' X 8' Dry Scape
Planter - Upland
Desert Shrubs - 24" to 36"
Mature Height

RESEED DISTURBED
AREAS WITH NATIVE
GRASS SPECIES - NO IRRIGATION

BLACK
ORNAMENTAL
FENCE
(NO BARBED WIRE)

ROCKY MOUNTAIN JUNIPER
OR APPROVED EQUIVALENT
(low maintenance)
WITH WEED BARRIER AND
GRAVEL AT BASE OF TREES
(Planted height of 8 feet, Minimum
Mature Height
of 20 feet)

RESEED DISTURBED
AREAS WITH NATIVE
GRASS SPECIES - NO IRRIGATION

S89°59'05"E 379.08'

RESEED DISTURBED
AREAS WITH NATIVE
GRASS SPECIES - NO IRRIGATION

SOD - IRRIGATED AREA

SOD - IRRIGATED AREA

RESEED DISTURBED
AREAS WITH NATIVE
GRASS SPECIES - NO IRRIGATION

16' WIDE EASEMENT
N89°59'05"W 328.96'

COUGAR AVENUE
(GRAVEL-NOT A THROUGH STREET; CONNECTS
33RD STREET WITH STONE STREET)
Edge of Gravel Road

LOT 8

LOT 10

LOT 12

ROCKY MOUNTAIN BUSINESS PARK
"D-3" ZONE, (OPEN BUSINESS/ LIGHT INDUSTRIAL).

0°28'01"W 1292.22'

STONE STREET

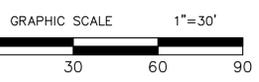
LEGEND

- 5/8" REBAR WITH 2" ALUM. CAP SET
- REBAR WITH ALUM. CAP FOUND
- BRASS CAP FOUND
- 3/4" IRON PIPE FOUND
- 1/2" IRON PIPE FOUND
- BRASS CAP SET (FOUND 1/2" IRON PIPE)
- POWER POLE
- ELECTRIC METER
- GAS VALVE
- ELECTRIC BOX
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- GAS METER
- TELEPHONE BOX
- WATERLINE VALVE
- UTILITY BOX
- TREE
- DROP INLET

- WATER LINE PIPELINE
- NATURAL GAS PIPELINE
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE CABLE
- BURIED ELECTRIC CABLE
- FENCE-EXISTING
- FENCE-PROPOSED
- OVERHEAD UTILITY LINE
- BUILDING
- STONE PAVEMENT TYPE I
- STONE PAVEMENT TYPE II
- CONCRETE PAD

NOTES:

1. THIS DRAWING IS INTENDED FOR PRELIMINARY PLANNING PURPOSES AND HAS NOT BEEN RELEASED FOR CONSTRUCTION.
2. LANDSCAPED AREAS ALONG 33RD STREET WILL REQUIRE IRRIGATION. TREES ARE REQUIRED IN THIS AREA TO PROVIDE A VISUAL SCREEN IN REGARDS TO EXISTING BUSINESSES LOCATED ON THE EAST SIDE OF 33RD STREET.
3. ALL OTHER AREAS THAT ARE NOT PAVED OR UNDER ROOF THAT ARE DISTURBED BY CONSTRUCTION ARE TO BE RESEED WITH ((UNLESS OTHERWISE INDICATED) NATIVE GRASS SPECIES TO CONTROL DUST AND EROSION. A DRIP IRRIGATION SYSTEM SHALL BE EXTENDED TO ALL THE TREE LOCATIONS.



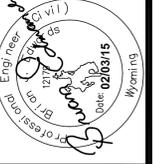
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412/269-1000

REV.	DATE	BY	DESCRIPTION
4	02/03/15	NP	REVISED FOR CONSTRUCTION
3	12/08/14	NCP	REVISION TO ADDRESS COMMENTS FROM MEETING ON 12/03/14
2	11/05/14	NCP	REVISION TO ADDRESS PAZ
1	10/23/14	NCP	REVISION TO ADDRESS PAZ COMMENTS FROM 10/14/14

HOLM, BLOUGH AND COMPANY
CONSULTING ENGINEERS AND LAND SURVEYORS
1402 Stampede Avenue
Cody, WY 82414
(307) 587-6291
www.hbc.com

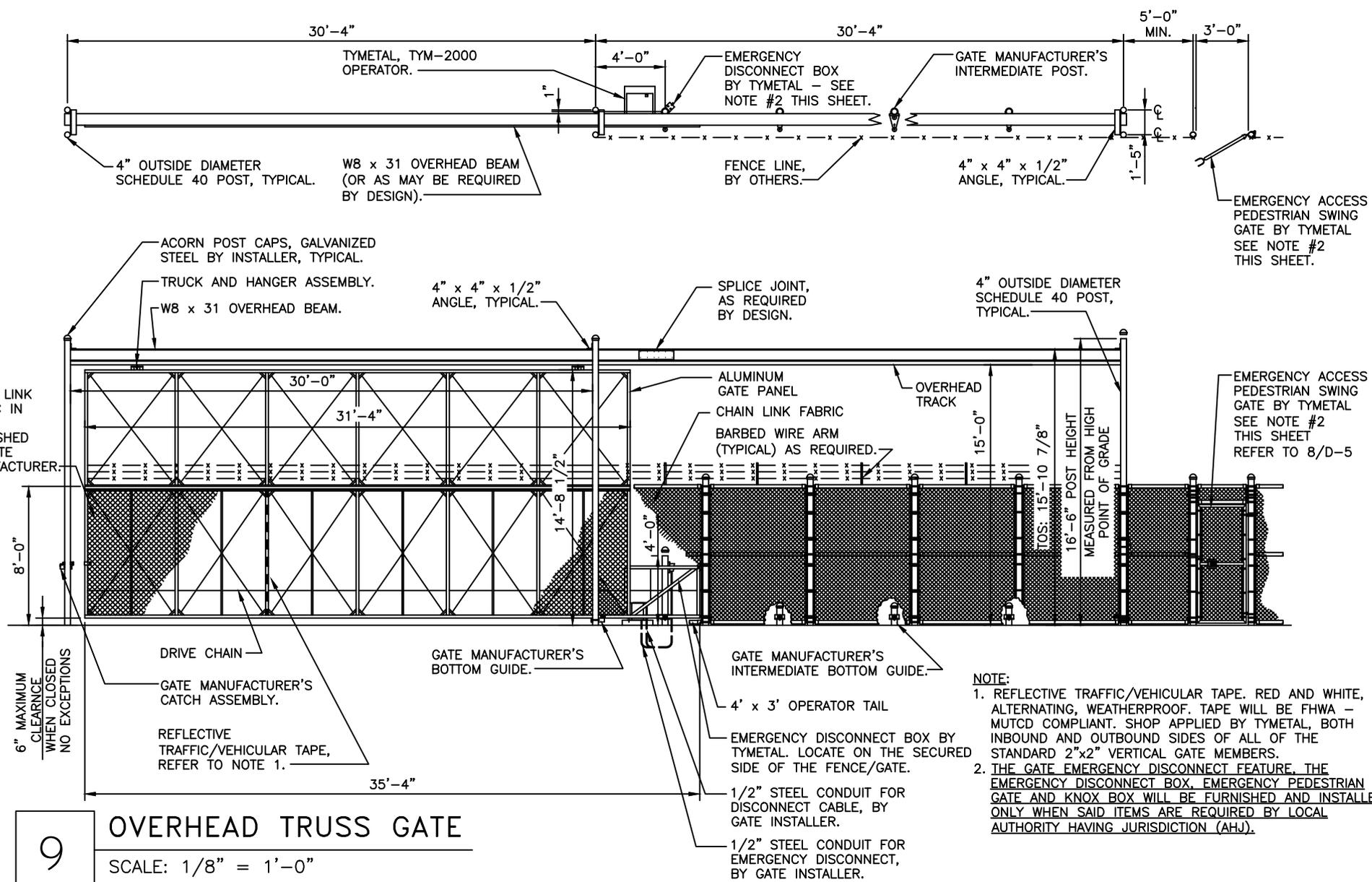
Ruedeusch Development & Construction, LLC
Attn: David Hull
4605 Davall Drive
Madison, WI 53704-5302
(608) 249-2012



DRAWN BY:	Brian Edwards
DESIGNED BY:	Brian Edwards
APP'D. BY:	Roy Holm, P.E.
SCALE:	1"=30'-0"
DATE:	06/05/14
JOB NO.	HBCC # 14-20

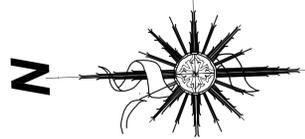
PRELIMINARY SITE LANDSCAPING PLAN
PROPOSED FEDEX GROUND FACILITY
Ruedeusch Development & Construction, LLC
33rd Street and Cougar Avenue
Cody Wyoming

SHEET
C-04
04 OF 04

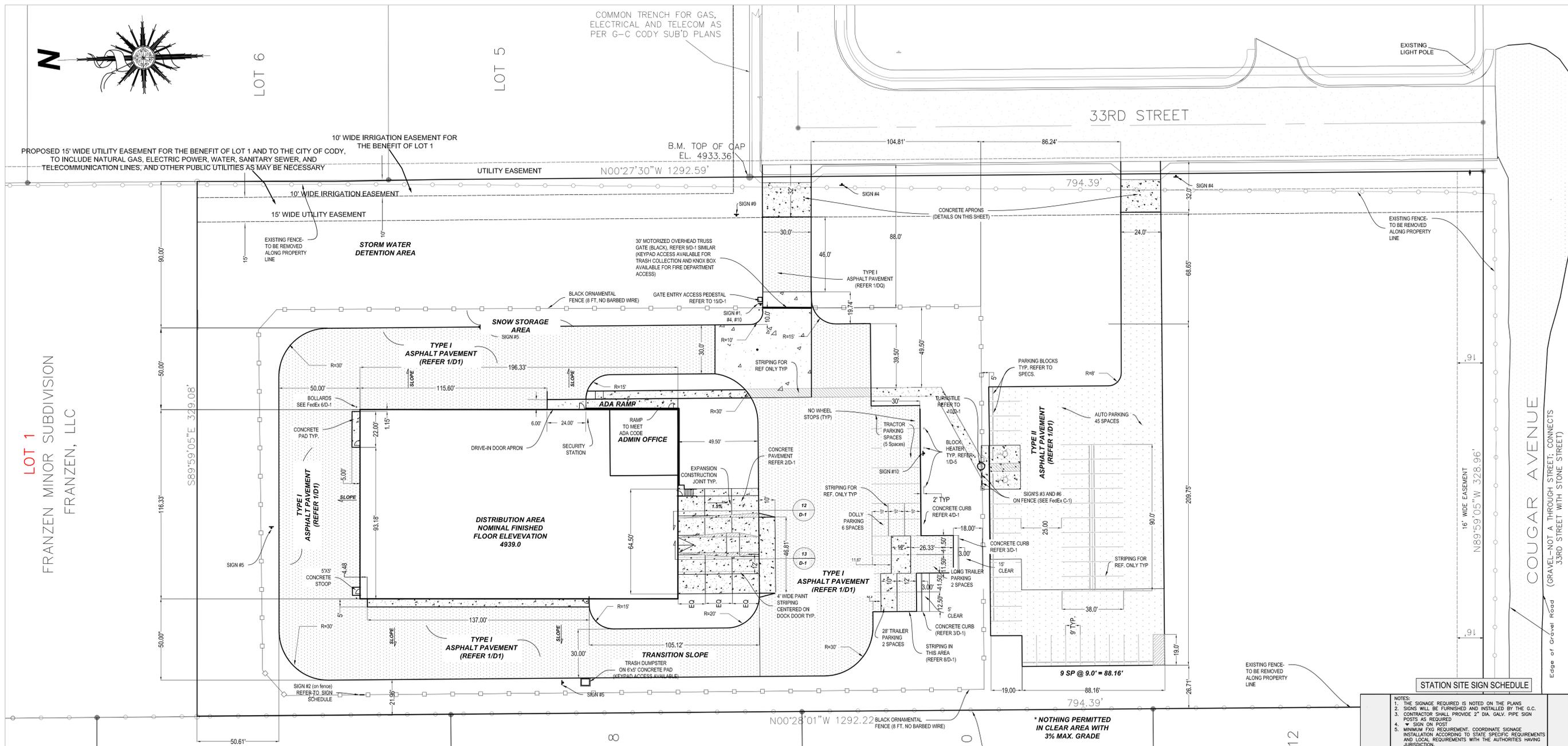


- NOTE:**
1. REFLECTIVE TRAFFIC/VEHICULAR TAPE. RED AND WHITE, ALTERNATING, WEATHERPROOF. TAPE WILL BE FHWA - MUTCD COMPLIANT. SHOP APPLIED BY TYMETAL, BOTH INBOUND AND OUTBOUND SIDES OF ALL OF THE STANDARD 2"x2" VERTICAL GATE MEMBERS.
 2. THE GATE EMERGENCY DISCONNECT FEATURE, THE EMERGENCY DISCONNECT BOX, EMERGENCY PEDESTRIAN GATE AND KNOX BOX WILL BE FURNISHED AND INSTALLED ONLY WHEN SAID ITEMS ARE REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION (AHJ).

9 OVERHEAD TRUSS GATE
 SCALE: 1/8" = 1'-0"



LOT 1
FRANZEN MINOR SUBDIVISION
FRANZEN, LLC



LEGEND

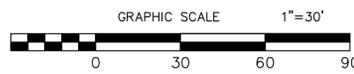
- 5/8" REBAR WITH 2" ALUM. CAP SET
- REBAR WITH ALUM. CAP FOUND
- BRASS CAP FOUND
- 3/4" IRON PIPE FOUND
- 12" IRON PIPE FOUND
- BRASS CAP SET (FOUND 1/2" IRON PIPE)
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- GAS VALVE
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- WATERLINE VALVE
- UTILITY BOX
- TREE
- DROP INLET

- WATER LINE PIPELINE
- RAW WATER PIPELINE
- NATURAL GAS PIPELINE
- SANITARY SEWER
- STORM SEWER
- BURIED TELEPHONE CABLE
- BURIED ELECTRIC CABLE
- FENCE-EXISTING
- FENCE-PROPOSED
- OVERHEAD UTILITY LINE
- EASEMENT

- BUILDING
- TYPE I ASPHALT PAVEMENT
- TYPE II ASPHALT PAVEMENT
- CONCRETE PAVING, WALKS, PADS

NOTES:
1. THIS DRAWING IS INTENDED FOR PRELIMINARY PLANNING PURPOSES AND HAS NOT BEEN RELEASED FOR CONSTRUCTION.

2. PARKING BLOCKS (BUMPERS) ARE REQUIRED FOR ALL PARKING SPACES AS SHOWN. PER CITY CODE, PARKING BLOCKS ARE REQUIRED FOR ALL HANDICAP PARKING SPACES AND FOR OFF-STREET PARKING AREAS THAT ARE NOT PAVED WITH ASPHALT OR CONCRETE. REFER TO FEDEX GROUND STANDARD SPECIFICATIONS AND DETAILS.

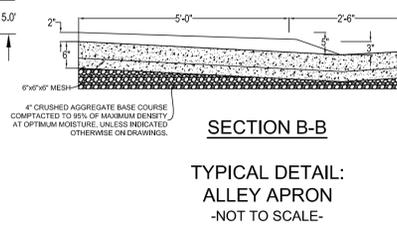
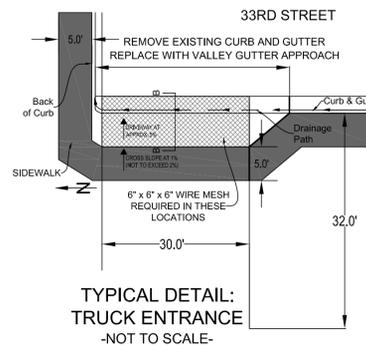
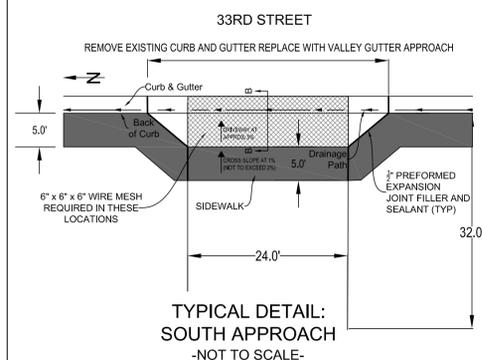


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ROCKY MOUNTAIN BUSINESS PARK

"D-3" ZONE, (OPEN BUSINESS/ LIGHT INDUSTRIAL).

CONCRETE APRON DETAILS



SIGN #	DESCRIPTION	QTY.
1	NOTICE - NO ADMITTANCE UNAUTHORIZED - 21" x 24" UNAUTHORIZED PERSONS OR PRIVATE VEHICLES NOT ALLOWED BEYOND THIS POINT. VIOLATORS WILL BE PROSECUTED. REFERENCE: TAPOD PART NO. 373-01091 IBS SIGNS PART NO. 11-1812B	1
2	NO TRESPASSING - 18" x 12" REFERENCE: TAPOD PART NO. 373-04409 IBS SIGNS PART NO. 11-1812B (FOR PERIMETER FENCE) INSTALL AT 100'-0" INTERVALS	AS REQ'D
3	ALL VISITORS MUST REPORT TO OFFICE - 18" x 18" REFERENCE: TAPOD PART NO. 373-00844 IBS SIGNS PART NO. 11-1818C	1
4	STOP SIGN - STANDARD 24" x 24" REFERENCE: TAPOD PART NO. 373-04730 IBS SIGNS PART NO. 11-R1-1	3
5	SPEED LIMIT 10 MPH - 24" x 18" REFERENCE: TAPOD PART NO. 373-04730 IBS SIGNS PART NO. 11-R2-1	3
6	ADA ACCESSIBILITY SIGN - 18" x 12" REFERENCE: TAPOD PART NO. 373-0008109-8 IBS SIGNS PART NO. 11-R7-8 PC ALUMINUM W/VINYL GRAPHIC (SEE NOTE #5)	2
7	VAN ACCESSIBILITY SIGN - 9" x 18" REFERENCE: TAPOD PART NO. 373-04828 IBS SIGNS PART NO. 11-R7-8A (SEE NOTE #5)	AS REQ'D BY LOCAL CODE
8	MOTORCYCLE PARKING ONLY SIGN - 18" x 12" REFERENCE: TAPOD PART NO. 373-05906 IBS SIGNS PART NO. 11-18MD	0
9	FACILITY ADDRESS SIGN - 36" H x 60" W x 72" OAH (MIN.) REF. BLANK PART NO. D4110 COORDINATE WITH AUTHORITY HAVING JURISDICTION	1
10	NO ENGINE IDLING SIGN - 20" x 24" REFERENCE: TAPOD PART NO. 100092 IBS SIGNS PART NO. 11-2024D	2

SITE LAYOUT PLAN
PROPOSED FEDEX GROUND FACILITY
Ruedebusch Development & Construction, LLC
33rd Street and Cougar Avenue
Lot 2 Franzen Minor Subdivision
Cody Wyoming

DESIGNED BY: Brian Edwards
APP'D BY: Roy Holm, P.E.
SCALE: 1"=30'-0"
DATE: 09/12/14
JOB NO.: HBCC # 14-210

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	09/12/14	NP	GRADING/EASEMENT UPDATE
2	11/05/14	NP	COMMENTS FROM 10/28/14
3	12/02/14	NP	REVISION PER D. HULL REVIEW
4	02/03/15	NP	REVISED FOR CONSTRUCTION

HOLM, BLOUGH AND COMPANY
CONSULTING ENGINEERS AND LAND SURVEYORS
1402 Stampede Avenue
Cody, WY 82414
(307) 587-6281
Fax: (307) 587-6292
www.hbc.com

Ruedebusch Development & Construction, LLC
Attn: David Hill
4605 Dovehill Drive
Madison, WI 53704-6302
(608) 249-2012

Professional Engineer Seal: Brian Edwards, License No. 17177, State of Wyoming, Exp. 02/03/15

Graphic Scale: 1"=30'

Graphic Scale: 0 30 60 90

Graphic Scale: 0 30 60 90

Graphic Scale: 0 30 60 90