

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, OCTOBER 28, 2014  
CITY HALL COUNCIL CHAMBERS

**MEETING AGENDA**

**REGULAR MEETING**, 12:00 P.M. (Noon)

1. Call to Order by Chair Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the October 14, 2014 – Special Meeting.
6. Approval of Minutes of the October 14, 2014 – Regular Meeting.
7. **NEW BUSINESS:**
  - A. Site plan review-Whitlock Motors-1807 Stampede Avenue
  - B. Site plan review-Autozone -610 Yellowstone Avenue
  - C. Site plan review-FedEx Ground Facility- 33<sup>rd</sup> Street
8. **APPROVED SIGN APPLICATIONS:**
  - A. Thrivent Financial, 205 Trail Ave.
  - B. Canyon Therapy, 544 Yellowstone Ave.
  - C. Willow Creek Apartments,
9. P&Z Board Matters (announcements, comments, etc.)
10. Council Update: Steve Miller
11. Staff Items:
12. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, October 14, 2014**

A special meeting of the Cody Planning, Zoning and Adjustment Board was held in Council Chambers of Cody City Hall on Tuesday, October 14, 2014 at 11:45 a.m.

Present: Justin Lundvall-Chairperson; Robert Senitte; Buzzy Hassrick; Kim Borer; Mark Musser; Justin Ness; Scott Kolpitcke, City Attorney; Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Nancy Tia Brown, Mayor; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant

Absent: Brad Payne

Chairperson Justin Lundvall called the meeting to order at 11:50 a.m.

Justin Ness made a motion seconded by Mark Musser to enter into an Executive Session pursuant to Wyoming State Statute 16-4-405(a)(iii)(litigation) at 11:50 a.m.

Mark Musser made a motion seconded by Robert Senitte to exit the Executive Session at 12:33 p.m. No action was taken.

Chairman Lundvall adjourned the meeting at 12:33 p.m.

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Lynn Stutzman  
Engineering Administrative Assistant

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Justin Lundvall  
Chairperson

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, October 14, 2014**

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, October 14, 2014 at 12:00 PM

Present: Justin Lundvall-Chairperson; Robert Senitte; Buzzy Hassrick; Kim Borer; Mark Musser; Justin Ness; Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Lynn Stutzman, Engineering Administrative Assistant.

Absent: Brad Payne

Chairperson Justin Lundvall called the meeting to order at 12:38 PM, followed by the pledge of allegiance.

Mark Musser made a motion, seconded by Robert Senitte, to approve the agenda. Vote on the motion was unanimous, motion carried.

Kim Borer made a motion, seconded by Mark Musser, to approve the minutes for the September 23, 2014 meeting with the corrections noted. Vote on the motion was unanimous, motion carried.

**NEW BUSINESS:**

Irma Hotel Seasonal Enclosure located at 1192 Sheridan Avenue.

Robert Senitte made a motion to amend the motion from the September 9, 2014 meeting, seconded by Justin Ness, to extend the time frame for the Seasonal Closure installation from the present time to April 30, 2015 for this year only. Justin Lundvall, Justin Ness, Mark Musser, and Robert Senitte voted in favor. Buzzy Hassrick and Kim Borer opposed the motion. Motion carried.

Todd Stowell presented the staff report for a site plan review of a vehicle storage and shop for Rodney Hayes located at 314 Blackburn Avenue.

Kim Borer made a motion, seconded by Buzzy Hassrick, to approve the site plan of the vehicle storage and shop located at 314 Blackburn Avenue as presented with the following conditions:

1. The domestic water line to the building must be a minimum of 1 inch and fitted with a residential dual check valve.
2. If the sewer line is a 4" diameter line, sewer cleanouts are required every 75 feet and the cleanouts should be protected with concrete collars if they are in a vehicle maneuvering area.
3. Provide a gate in the fence and a walkable pedestrian pathway for pedestrian access from the building to the alley for access to the dumpster.
4. Prior to occupancy, the applicant's engineer must provide a certification letter that the storm water system was installed in substantial compliance with the storm water plan.
5. Add a sign for the ADA Van Accessible space to the building in front of the parking space.
6. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes, including installation of the required fire separation wall.

7. Groundcover of cobble or gravel from the existing fence to the sidewalk to prevent weed growth.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for a revised site plan review for the Park County Search and Rescue Building located at 721 15<sup>th</sup> Street. Rick Lambert answered questions from the Board. Mr. Sanders, the neighbor to the west, expressed concerns and a desire for landscaping west of the building.

Justin Ness made a motion seconded by Robert Senitte to approve the revised site plan review for the Park County Search and Rescue Building located at 721 15<sup>th</sup> Street as presented with the following conditions:

1. That unless adequate off-site parking is provided, use of the facility is limited to the storage, command center, and small search and rescue training sessions as described by the applicant. The facility cannot be used for large training events/meetings, or other uses that would exceed available parking on site and along the property frontage.
2. That prior to occupancy, the applicant must plant a minimum of two “medium” or “large” trees in the park strip to the south of the property or provide a financial guarantee. No tree is to be closer than 30 feet from the corner of the curb at the intersection and the tree species and location must be authorized by the city in accordance with City of Cody Code 7-4. The applicant may provide a bond (financial security) for the trees. In addition, the park strip is to be provided with a finished groundcover to prevent weeds, such as lawn or decorative rock.
3. Replace the red color with dark grey except for the signage.
4. Due to the emergency shower/eye wash station, a RPZ backflow device is required.
5. The project must otherwise comply with the submitted plans and applicable building, fire, and electrical codes.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for minor site plan review for a 2-vehicle carport at St. Anthony’s Church parking lot located at 1333 Monument Street.

Justin Ness made a motion seconded by Robert Senitte to approve the minor site plan review for a 2-vehicle carport located at 1333 Monument Street. Kim Borer, Justin Lundvall, Justin Ness, Mark Musser and Robert Senitte voted in favor of the motion. Buzzy Hassrick opposed the motion. Motion passed.

Todd Stowell presented the staff report for a site plan review for a 10-unit RV/vehicle storage building for Jim Sommers located at 416 DY Road.

Kim Borer made a motion seconded by Buzzy Hassrick to approve the site plan review for a 10-unit RV/vehicle storage building at 416 DY Road with the following conditions:

1. Prior to occupancy of the building, the engineer is to certify that the storm water facilities have been constructed as designed.
2. Provide bollards around the fire hydrant—coordinate with Public Works.

3. As with the first building, a fire wall separation is needed within the building in order to avoid the requirement for a fire sprinkler system. Show the fire wall on the building plans.
4. The project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes.
5. A waiver is granted to eliminate the residential buffer requirement.

Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for the Libations illuminated sign and message board located at 1503 Sheridan Avenue.

Kim Borer made a motion seconded by Robert Senitte to approve the illuminated sign and message board located at 1503 Sheridan Avenue with a minimum dwell time of 7 ½ seconds and a maximum transition time of 1 second. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the staff report for a parking agreement between a daycare/preschool located at 2132 Cougar Avenue and the Cody Bible Church located at 2137 Cougar Avenue.

Buzzy Hassrick made a motion seconded by Kim Borer to table this item. Kim Borer, Buzzy Hassrick and Robert Senitte voted in favor of the motion. Justin Lundvall, Justin Ness and Mark Musser opposed the motion. Motion failed for lack of a majority vote.

Justin Ness made a motion seconded by Mark Musser to approve the parking agreement between a daycare/preschool located at 2132 Cougar Avenue and the Cody Bible Church located at 2137 Cougar Avenue with the following conditions:

1. Annual renewing of lease.
2. Final approval of the parking agreement by the city attorney.
3. Verification of liability insurance for the shared spaces.
4. Execution of the parking agreement by both parties.

Kim Borer, Justin Lundvall, Justin Ness, Mark Musser and Robert Senitte voted in favor of the motion. Buzzy Hassrick opposed the motion. Motion carried.

Public hearing for the Special Exemption Request to operate an indoor gun range at 142 W. Yellowstone Avenue began at 2:00 p.m. Public hearing closed at 2:37 p.m.

Todd Stowell presented the staff report for the Special Exemption and Site Plan for Wyoming Firearms Experience located at 142 W. Yellowstone Avenue.

Justin Ness made a motion seconded by Buzzy Hassrick to approve the Special Exemption and Site Plan for Wyoming Firearms Experience located at 142 W. Yellowstone Avenue with the following conditions 1 through 7 and the City Council conditions 1 through 9 adding Item No. 10:

1. That the requested indoor gun range represents a use not listed in the zoning ordinance, and that the special exemption process is the most appropriate method to determine whether such use should be permitted.

2. That proper notice of the special exemption public hearing was provided by advertising in the Cody Enterprise and by certified mail to all property owners within 140 feet at least ten days before the hearing.
3. That the Planning and Zoning Board may grant special exemptions that are reasonable and harmless deviations from the zoning ordinance as determined by the standards outlined in Section 10-14-2, City of Cody Code.
4. That the Planning and Zoning Board has held a public hearing as required and has considered all comments pertaining to the specific application.
5. That the Planning and Zoning Board has reviewed the standards of 10-14-2 City of Cody Code and finds that the proposal can be sufficiently conditioned to meet the requirements thereof, including finding that an indoor shooting range complying with the City Council restrictions imposed at their October 7, 2014 meeting, is similar to other land uses listed in the Open Business/Light Industrial (D-3) zoning district, when considering the criteria of 10-14-2(B)(2). Such similar uses are listed in the staff report discussion.
6. That the points identified in the staff report and at the Board meeting are adequate to set forth the reasoning why the criteria of 10-14-2(B)(2), including similarity of size, intensity, noise, traffic, burden on infrastructure, and purpose of the use, are met.
7. That the requirements of 10-14-2(C)(2) have been sufficiently addressed in the staff report and at the Board meeting to confirm that they will be met, subject to the conditioning authority noted in 10-14-2(C)(3).

And approve Special Exemption for the indoor shooting range subject to the following conditions, which include the five City Council conditions.

Conditions of Approval:

1. Noise Restrictions: From 7 a.m. to 10 p.m., sound levels from the discharge of firearms within the facility shall not result in firearm noise exceeding 50 dBA at the north property line and 60 dBA at all other property lines of the existing parcel, for any amount of time. Between the hours of 10 p.m. and 7 a.m. firearm noise shall not exceed 50 dBA at any property line of the subject property. Any brief exceedance of these sound level thresholds due to a person opening the building's exterior door to enter or exit shall not constitute a violation of these standards. Similarly, brief increased sound levels due to simultaneous gunshots shall not constitute a violation of these standards.
2. Prior to opening the facility to the public, the applicant must demonstrate compliance with the maximum sound level thresholds to the city. Verification must include the services of a qualified professional with calibrated certified equipment. Testing shall include the loudest firearm(s) to be shot at the facility. If ammunition sizes and/or loads need to be limited to comply with the required sound thresholds, signage indicated maximum ammunition sizes and/or loads shall be prominently posted within the facility.
3. The gun range shall be designed to contain all gunfire within the gun range. The gun range operator shall strictly control the use of ammunition within the facility so that the loads do not exceed design standards or result in sound level violations.
4. A HEPA filtration system must be used as contemplated, so that any air discharged from the shooting range is not discharged without HEPA filtration.

5. For safety purposes, instructor to student ratios shall be consistent with national safety standards.
6. The applicant's professional engineer must certify that the heating, cooling and ventilation system has been designed to operate in compliance with the requirements of Condition 4 prior to commencing operation of the facility.
7. It shall be a violation of this permit for any person operating the range to knowingly permit any intoxicated or chemically impaired person to handle a firearm within the premises.
8. If future modifications to the building, gun range structure, or sound attenuating systems occur after initial verification of required sound levels, the City may require the applicant to re-verify compliance with required sound level thresholds.
9. The parking plan shall be modified to include exterior lighting in accordance with the parking ordinance requirements. At least 18 of the parking spaces that are not currently illuminated need to be provided with illumination. In addition, any spaces that restrict required driveway widths shall be eliminated (at least the one on the west side, and if needed in the future, the westernmost paved space.) The parking lot shall be improved according to the plans prior to occupancy of the gun range facility.
10. No 0.50 caliber Browning Machine Gun ammunition allowed.

Vote on the motion was unanimous, motion carried.

The Board discussed the Architecture and Landscaping of Proposed FedEx Ground Facility located at 701 33<sup>rd</sup> Street with the Applicant's Representative. Comments were received from James Klessens of Forward Cody, Harold Musser, and Dustin Spomer of GDA Engineers.

Justin Ness made a motion, seconded by Buzzy Hassrick, to table Items 7. through 10. on the agenda until the next regularly scheduled Planning and Zoning Meeting and to adjourn this meeting.

Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Justin Lundvall adjourned the meeting at 3:45 PM.

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Lynn Stutzman  
Engineering Administrative Assistant

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	OCTOBER 28, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: NEW WHITLOCK MOTORS SITE. SPR 2014-38	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Brett Whitlock and Brian Shumard of Whitlock Motors have submitted an application for a vehicle sales lot and 80' by 130' vehicles sales and maintenance building at 2825 Big Horn Avenue. The property is a 2.4 acre lot located immediately east of Wyoming Home and Ranch, on the north side of Big Horn Avenue, within the Open Business/Light Industrial (D-3) zoning district.

The proposed building would contain a showroom, staff offices, four vehicle service bays, and a wash/detailing bay. A mezzanine floor above the office area would be used for storage and mechanical equipment. The building footprint is 10,576 square feet in size.

**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Vacant .7 acre lot, 12-plex condos to NE, Fire district building to NW.	D-3
East	Vacant 3.3 acre parcel.	D-3
South	Commercial and residential uses across Big Horn Avenue.	D-3
West	WY Home and Ranch store.	D-3

**Architecture:**

The architectural drawings and elevations are attached. The façade of the building, which faces Big Horn Avenue, has been professionally designed to present a high-quality presentation. Materials include large glass display windows, stucco panels, manufactured stone masonry work, and exposed metal framework and awnings. The arched entry and the walls next to the main entry are galvalume metal panels. The variety and placement of materials appear to work well together. Architectural lighting on the front of the building is proposed to be intentionally bright to draw attention to the business, while preventing glare by using fully shielded light fixtures.

The sides and back of the building are covered in the more typical metal panel siding in a light gray color.

Staff has no concerns with the architectural features of the building, as it gives a good presentation on the front and is set back far enough from Big Horn Avenue that the less attractive sides of the building are not readily visible from the highway.

**Landscaping:**

The proposed landscaping is shown on the site plan. It includes irrigated grass lawn along the frontage for a depth of fifteen feet, plus an additional island extension around the future freestanding sign. While lawn is often the Board's preferred groundcover, a lack of vertical components in the landscaping has been a concern in the past. Groupings of shrubs or large boulders in conjunction with the lawn would enhance the landscaping and provide the vertical component currently lacking. Due to utility easements, trees are not an option in the first 15 feet next to the highway. For a 600-foot deep property on one of the City's main entry corridors, the amount of landscaping proposed is relatively minimal.

**Access and Parking:**

Access to and from the site is through an existing shared approach to Big Horn Avenue. All but the landscape area and the area at the back of the property will be paved with asphalt or concrete. The boundaries of the vehicle display area are not identified on the site plan, which is not of great concern provided a clear access route, at least 20

feet wide and maneuverable by emergency vehicles, is always available to the building. Due to multiple possible routes, the route was not required to be shown on the site plan. It is also noted that a minimum 24-foot backup area/parking lot aisle needs to be left clear behind all parking spaces.

The primary parking areas will provide 16 paved spaces. Additional gravel parking is available to the rear of the building—primarily for vehicles using the service shop. The paved spaces and gravel area provide for more than the 27 spaces required based on 1 space per 300 sq. ft. for the office and indoor sales area, plus 3 spaces per service bay. It is noted that the gravel parking area will be unmarked, as it is expected to be used primarily by employees and in conjunction with the service shop.

The driveways and parking spaces meet the dimensional requirements of the parking ordinance. Other parking requirements, including illumination, surfacing, proximity to building, configuration, pedestrian access to building, circulation patterns, etc. are met. A stop sign at the exit should be added to the site plan. The location needs to be carefully coordinated with Public Works to avoid the utilities in the utility easement along the front of the property.

#### Exterior Lighting

The exterior lighting plan for the building is shown on the electrical plan (Sheet E1.0). The primary lighting for the building exterior includes full cutoff LED wall packs mounted on the north, east and west sides of the building. The front of the building has extensive lighting using full cut-off fixtures.

While a full photometric plan has not been submitted, the lighting cut sheets (specifications) seem to indicate that due to distance to property lines, there will not be significant amounts of lighting from these wall packs extending beyond the property line. Furthermore, there do not appear to be any immediately neighboring land uses that would be sensitive to minimal lighting impacts. The condo units to the south are about 240 feet away.

Additional site lighting is relatively limited, with only two, 209 watt LED fixtures mounted on poles about 150 feet from Big Horn Avenue. (209 watts of LED lighting is roughly equivalent to about 1000 watts of incandescent lighting and appears to be the largest LED fixtures readily available—to go brighter would involve adding multiple fixture heads.) The lighting fixtures are a forward throw fixture, with much of the light spread forward into the lot. Some backlighting near the poles is expected, but is only a few foot candles in amount (Less than 5 foot candles immediately behind pole and 1 foot candle at 1.25 times the mounting height.).

The height of the light poles is not clear the in the application. It appears the steel pole is 35 feet in length, but it is not known if some of that is buried, or if the full pole would be mounted on top of a concrete base. For comparison, it does not appear that there

are any parking lot lights at businesses along Big Horn Avenue that are more than 30 to 32 feet in total height. It is preferred that the pole height at this location be similar.

#### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. No residential buffers are required for this proposal as there is no adjacent residential zoning.

#### Storm Water Plan:

An engineered storm water plan has been submitted and reviewed by the City Engineer. The grading is properly designed to collect the storm water and retain it in accordance with the city storm water policy manual. There are two outstanding items related to the storm water plan that need addressed. First, there is a new inlet at the front of the property that would tie into the WYDOT storm water system. Permission to do so is required from WYDOT. Also, the type of pipe for this connection needs to be changed to an approved standard as PVC is not permitted—WYDOT apparently requires concrete and the City allows HDPE or concrete.

#### Snow Storage

Snow storage is shown in the northeast corner of the property. Much, but not all, of that area is proposed to be graded towards the retention pond. (The grade break runs from the northeast corner of the property to the northeast corner of the concrete at the nearest corner of the building.) It is preferred that the snow storage piles be entirely within the area graded towards the retention pond so that snow melt does not impact neighboring property.

#### Utility Services

The building will utilize domestic water, power, gas, and sewer service, as shown on the site plan. The locations of the service lines are acceptable, but some of the details are lacking or need corrected. These details can be addressed in conjunction with the building permit review and generally relate to the sizes and configuration of the water lines, backflow preventer, meters, tapping method, etc.

Electrical service has been coordinated and applicable fees estimated. A new transformer and service line are needed as shown on the plans.

Fees for city sewer and water will also apply and estimates will be provided when estimated usage rates are supplied to the city.

It is recommended that all sewer clean outs and water valves in driving areas be protected with concrete collars.

Natural gas service and any other private utilities will need to be coordinated with those providers.

### Signage

The wall sign and logo meet applicable sign standards and can be approved at this time. The application for the freestanding sign will need to be submitted in the future.

### Hydrants/Fire Line

The building relies on the fire hydrant near the northwest corner of the property for fire protection. The property is not proposed to be fenced in this area, so access to the fire hydrant is possible, provided a fire lane is always maintained. The area is open and will have a drivable surface, and will need to remain open for fire truck access.

### Frontage Status

Sidewalk, curb, gutter, and streetlights exist along the full property frontage.

### Garbage

The dumpster location is at the north end of the building.

### Other

No long-term storage of disabled vehicles is proposed. (If long-term storage of disabled vehicles is to occur in the future, it will need additional Planning and Zoning Board review for applicable screening/fencing to ensure compliance with the city nuisance ordinance.)

### **ATTACHMENTS:**

Application materials.

### **ALTERNATIVES:**

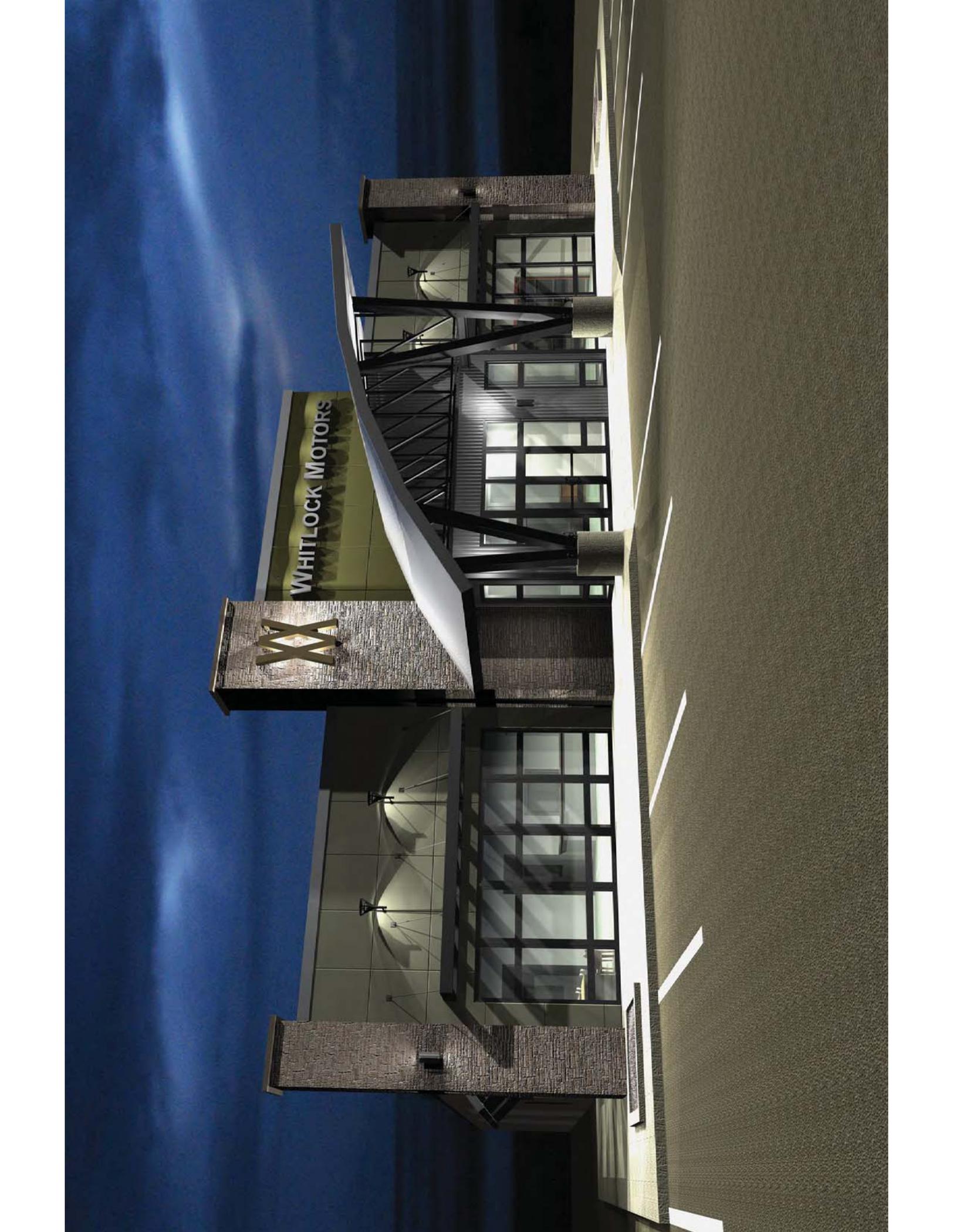
Approve or deny the site plan with or without changes.

### **RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items:

1. A stop sign is to be installed at the exit, in accordance with City standards.
2. Provide corrected utility details on the plan set that will be submitted with the building permit. The details are to be per the utility provider's requirements. Include a reduced pressure principle backflow preventer on the water line.
3. The light poles are limited to \_\_\_ (32?) feet above grade.
4. Provide an update to the storm water inlet detail, which shows a type of pipe approved by the city and WYDOT. An encroachment permit for the work must be obtained prior to installation.
5. Add the "Van Accessible" sign to the ADA parking sign.
6. Applicable city utility fees (water, sewer, power) are to be paid prior to building permit issuance.
7. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.

8. The storm water facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.



WHITLOCK MOTORS

WM

# WHITLOCK MOTORS SITE PROJECT

LOT 2 OF G.W. MINOR SUBDIVISION  
SEPTEMBER 2014

## INDEX OF DRAWINGS

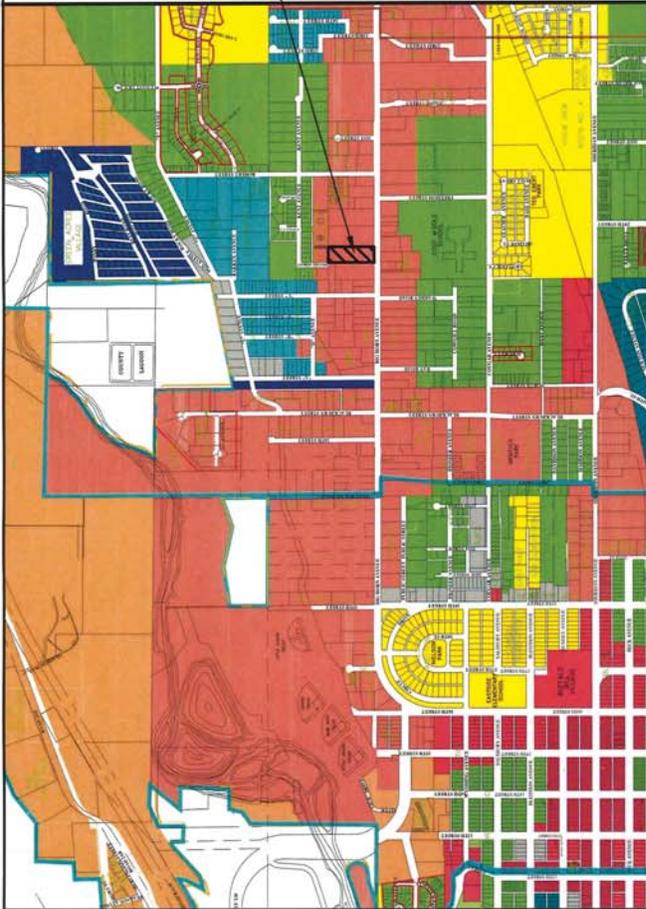
TITLE	SHEET NO.
TITLE SHEET	T-1
NOTES	T-2
EXISTING SITE PLAN	C-1
PROPOSED SITE PLAN	C-2
SITE GRADING PLAN	C-3
CIVIL DETAILS	D-1,2,3



PREPARED BY:  
ENGINEERING ASSOCIATES  
P.O. BOX 1900  
CODY, WYOMING 82414  
(307) 587-4911



PROJECT LOCATION



### VICINITY MAP

NOT TO SCALE

- 'AA' ZONE
- 'A' ZONE
- 'B' ZONE
- 'C' ZONE
- 'D-1' ZONE
- 'D-2' ZONE
- 'D-3' ZONE
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ENGINEERING ASSOCIATES - CODY, WYOMING  
CONSULTING ENGINEERS & SURVEYORS

DATE	REVISIONS	BY	CHECKED	APPROVED	DRAWN BY	MAR	10/22
09/12/14	UPDATES	MAR	RAO	RAO	MAR	10/22	539
09/13/14	ORIGINAL DRAWING	MAR	RAO	RAO	MAR	10/22	539

OWNER: **BRETT WHITLOCK AND BRIAN SHUMARD**

PROJECT: **NEW WHITLOCK MOTORS SITE**

SHEET **11** of **8**

**2Visions**  
**FLOOR PLAN**

Whitlock Motors New Facility / Big Horn Avenue  
 Brian Shumard  
 307-250-3787

Bret Whitlock  
 307-899-5776  
 Mailing Address: 1807 Stampede Avenue  
 Cody Wyoming 82414

**Preliminary Plans**  
 Not For Construction

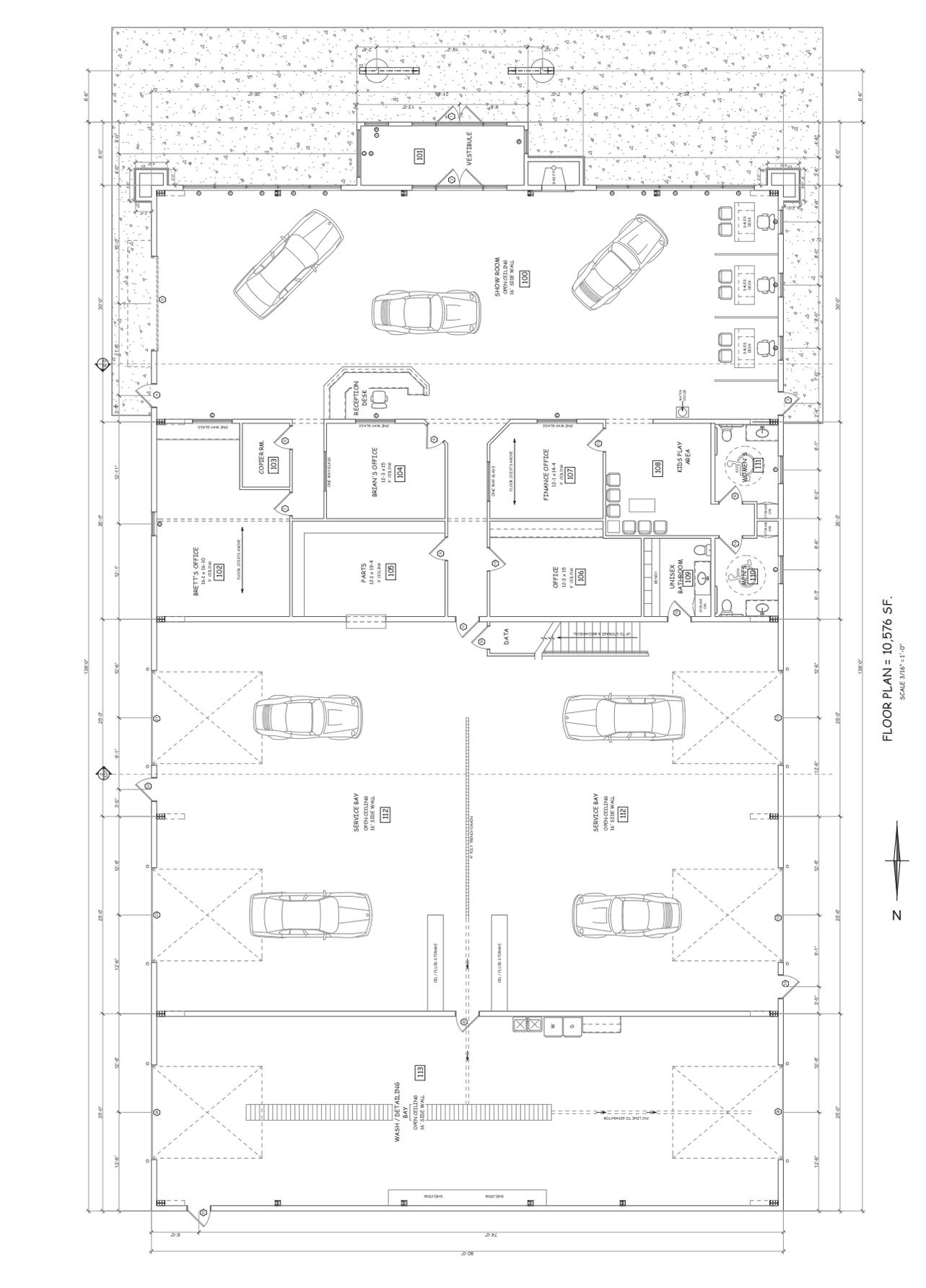
SUSAN HOLTDE  
 Architect  
 P.O. Box 1514  
 Red Lodge, MT 59068  
 (406) 446-3160

Precision Plans and Design Inc.  
 Custom Plans Service  
 1000 W. 20th  
 Cody, WY 82401  
 Project # 1027

DATE: Revision (2)  
 July 14, 2014

NO.	DATE	DESCRIPTION

**A1.0**  
 SHEET #  
 1 OF



FLOOR PLAN = 10,576 SF.  
 SCALE 3/16" = 1'-0"

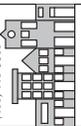


**2Visions**  
 Whittock Moors New Facility / Big Horn Avenue  
 Brian Shumard: 307-250-3787  
 Cody Wyoming 82414  
 Bret Whittock: 307-899-5776

**FLOOR PLAN**

**Palmerly Plans**  
 Not For Construction

SUSAN HOTIJE  
 Architect  
 P.O. Box 1514  
 Red Lodge, MT, 59068  
 (406) 446-3160

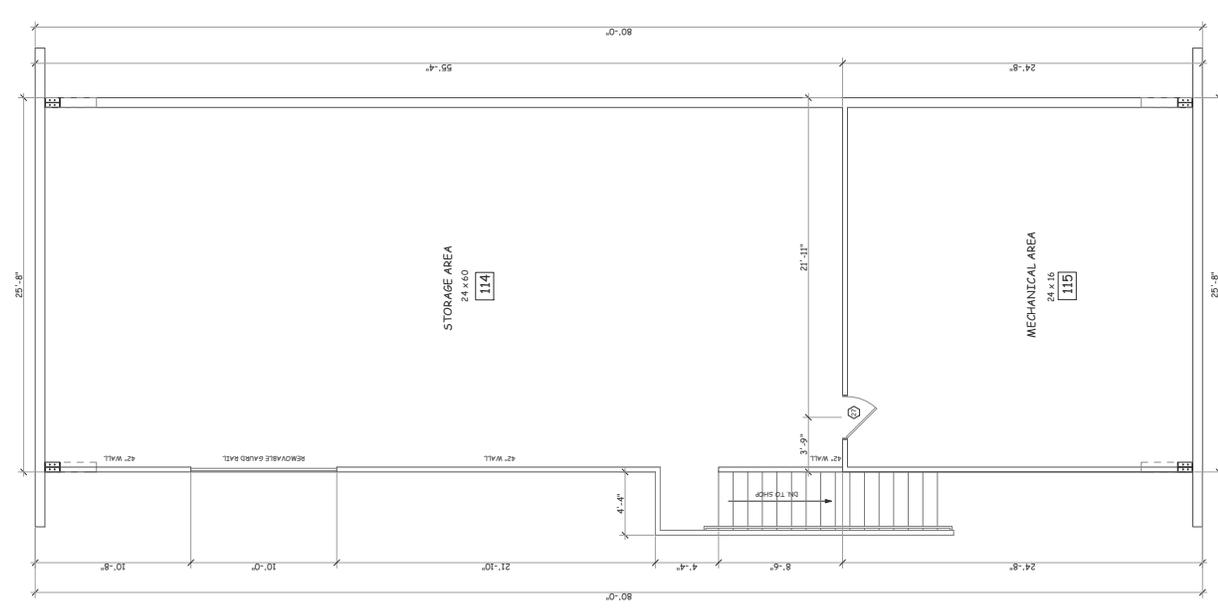


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 Custom Plans Service  
 1000 W. 10th  
 Cody, WY 82401  
 Project # 1027

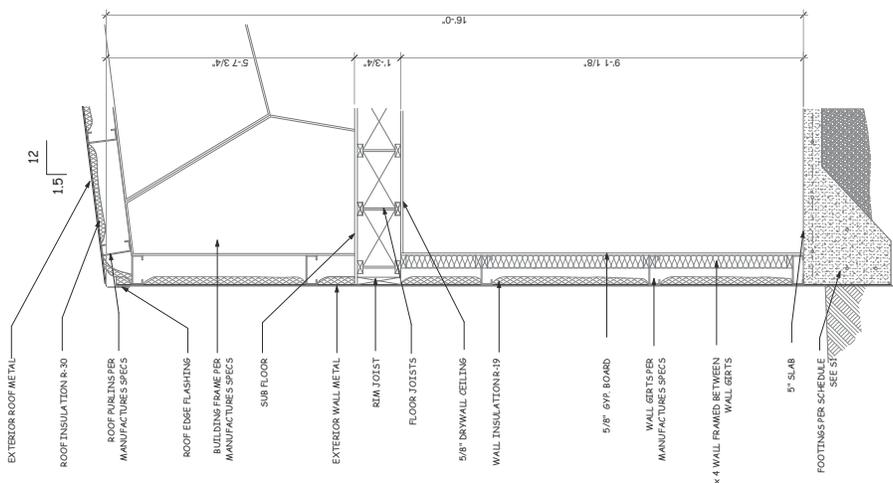
DATE: Revision (1)  
 June 11, 2014

DATE:	REVISION:

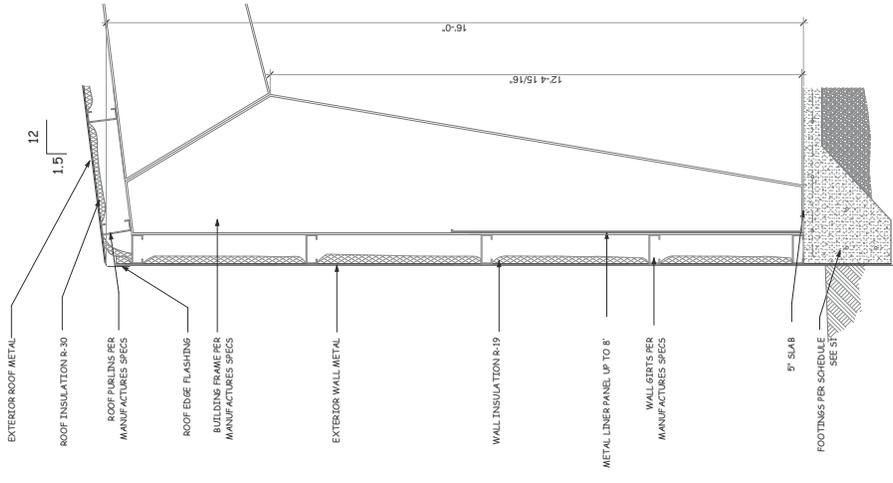
**A1.1**  
 SHEET #  
 1 OF



**MEZZANINE = 2,080 SF.**  
 SCALE 1/4" = 1'-0"



**2**  
**WALL SECTION**  
 SCALE 3/4" = 1'-0"



**3**  
**WALL SECTION**  
 SCALE 3/4" = 1'-0"

**ELEVATIONS**

**2Visions**

Whitlock Motors New Facility / Big Horn Avenue  
 Brian Shumard: 307-250-3787  
 Cody Wyoming 82414

Whitlock: 307-899-5776

**Palmer Plan**  
 Not For Construction

SUSAN HOWDE  
 Architect

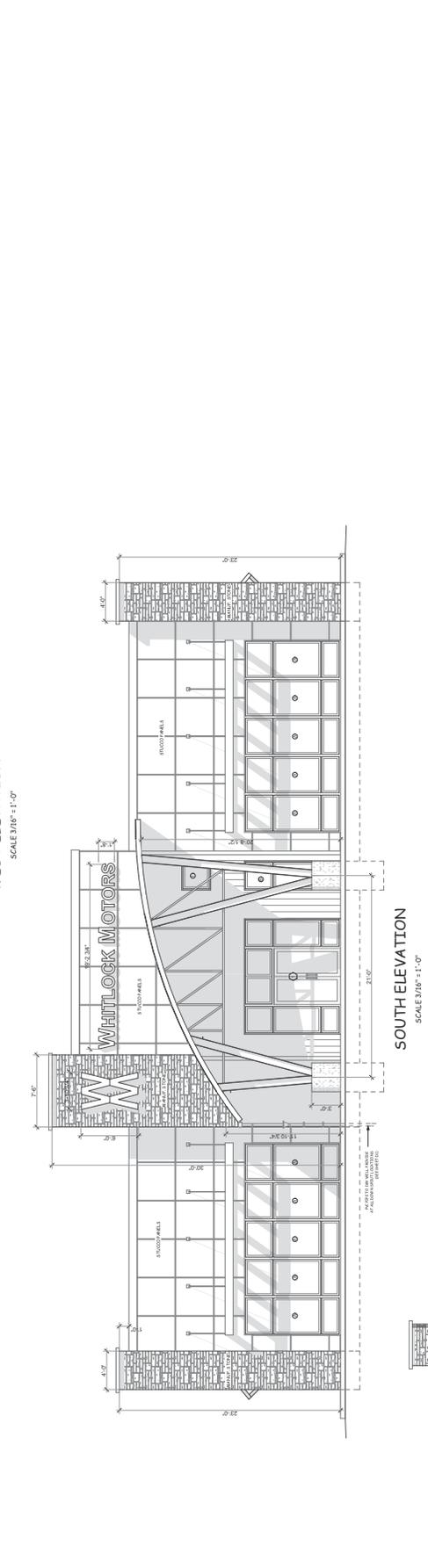
P.O. Box 1514  
 Red Lodge, MT, 59068  
 (406) 446-3160

Precision Plan and Design Inc.  
 Custom Plans Service  
 1000 W. 10th  
 Cody, WY 82401  
 (307) 552-1100  
 Project # 1027

DATE: Revision (1)  
 June 11, 2014

DATE:	CHANGE ORDER

# **A2.0**  
 SHEET #  
 1 OF



**2Visions**  
**ELEVATIONS**  
 Whitlock Motors New Facility / Big Horn Avenue  
 Mailing Address: 1807 Stampede Avenue  
 Cody Wyoming 82414  
 307-250-3787  
 Brian Shumard

Bret Whitlock:  
 307-899-5776

*Palmer Plan*  
 Not For Construction

SUSAN HOLTJE  
 Architect  
 P.O. Box 1514  
 Red Lodge, MT, 59068  
 (406) 446-3160

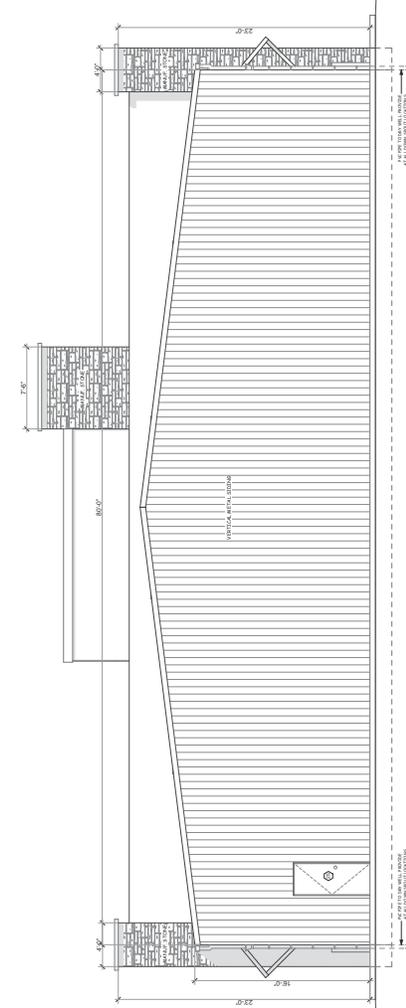


Precision Plan and Design Inc.  
 Custom Plan Service  
 1000 W. 10th  
 Cody, WY 82401  
 Project # 1007

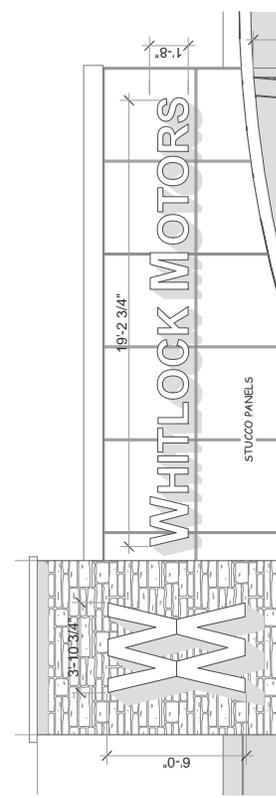
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 May 28, 2014

DATE	REVISION

**A2.1**  
 SHEET #  
 1 OF 1



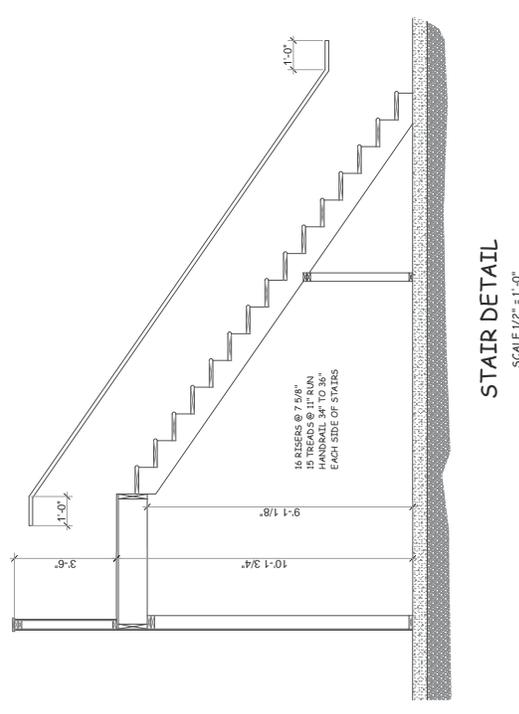
**NORTH ELEVATION**  
 SCALE 3/16" = 1'-0"



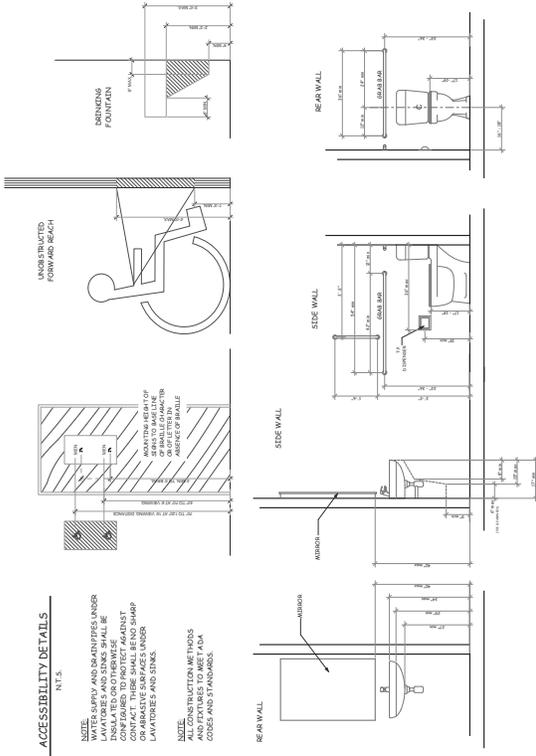
**BUILDING SIGNAGE**  
 N.T.S.

**SIGN SPECIFICATIONS:**

- ALL ATTACHED WALL SIGNS TO BE VINYL LETTERS COLOR AS RENDERING MOUNTED TO WALL WITH FASTENERS PER SIGN CONTRACTORS SPECS.
- ZONE D-3
- ATTACHED WALL SIGN # 1 = 24 SF.
- ATTACHED WALL SIGN # 2 = 38 SF.
- TOTAL ATTACHED WALL SIGNAGE = 62 SF.
- TOTAL ALLOWED SIGNAGE PER 10-15 = 600 SF.



**STAIR DETAIL**  
 SCALE 1/2" = 1'-0"



**ACCESSIBILITY DETAILS**  
 N.T.S.

NOTE: ALL SURVEY AND GRADIENTS, LANSOR LAVATORIES AND SIGNS SHALL BE MOUNTED TO WALL WITH FASTENERS CONTACT. THESE SHALL BE NO SHARP CORNERS OR POINTS TO CONTACT LAVATORIES AND SIGNS.

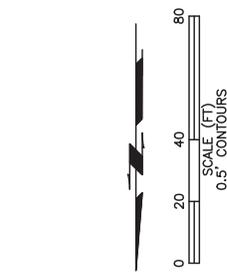
NOTE: CONSTRUCTION METHODS AND FIXTURES TO MEET ADA CODES AND STANDARDS.



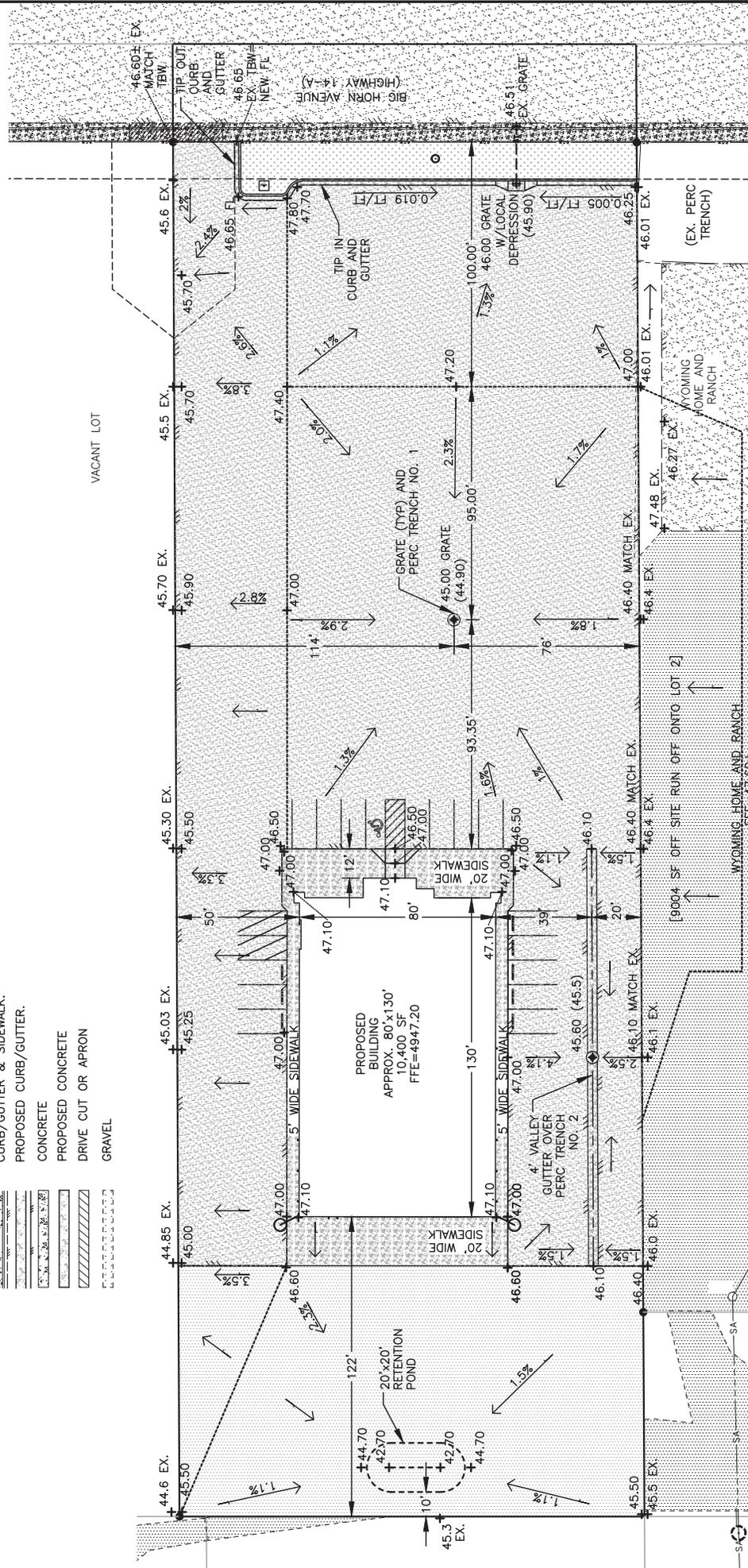


**LEGEND**

- FOUND ALUMINUM CAP MONUMENT.
  - SUBJECT PROPERTY LINE.
  - ADJACENT PROPERTY LINE.
  - HIGHWAY RIGHT-OF-WAY EASEMENT.
  - EDGE OF ASPHALT SURFACE.
  - PROPOSED STORM SEWER
  - PROPOSED GRADE BREAK
  - CURB/GUTTER & SIDEWALK.
  - PROPOSED CURB/GUTTER.
  - CONCRETE
  - PROPOSED CONCRETE
  - DRIVE CUT OR APRON
  - GRAVEL
- 
- PROPOSED GRAVEL
  - PROPOSED LAWN
  - ASPHALT
  - PROPOSED ASPHALT
  - STORM DRAIN INLET GRADE.
  - PROPOSED INLET GRADE.
  - DESIGN SPOT ELEVATION
  - DESIGN FLOW DIRECTION



NOTE:  
 1. TIP OUT CURB AND GUTTER - 25 LF±  
 2. TIP IN CURB AND GUTTER - 165 LF±  
 3. "EX." MARKS EXISTING GROUND ELEVATION.



 <p><b>ENGINEERING ASSOCIATES - CODY, WYOMING CONSULTING ENGINEERS &amp; SURVEYORS</b></p>		<p>OWNER: <b>BRETT WHITLOCK AND BRIAN SHUMARD</b></p>	<p>PROJECT: <b>NEW WHITLOCK MOTORS SITE</b></p>
<p>DATE: _____</p>		<p>BY: _____</p>	<p>DATE: _____</p>
<p>REVISIONS:</p>		<p>APPROVED:</p>	<p>DATE: _____</p>
<p>DATE: 09/12/14</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>UPDATES:</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>09/19/14 ORIGINAL DRAWING</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>FIELD BOOK NO. _____</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>JOB NO. 14092</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>DRAWN BY: MMR</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>FIELD BOOK NO. 539</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>FIELD BOOK NO. _____</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>MMR RAO</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>MMR RAO</p>		<p>DATE: _____</p>	<p>DATE: _____</p>
<p>MMR RAO</p>		<p>DATE: _____</p>	<p>DATE: _____</p>

# LNC SERIES

Cat.# N1

Job Whitlock

Type N1



**HUBBELL**  
Outdoor Lighting

Approvals

## SPECIFICATIONS

### Intended Use:

The compact LED LNC is designed for entry/perimeter illumination for safety, security and identity. Typical mounting height is up to 12 feet with 40ft fixture spacing (without acrylic diffuser) and 30ft spacing with acrylic diffuser installed. Photocontrol option is available to provide dusk-to-dawn control for additional energy savings.

### Construction:

Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for long life – 60,000 hours minimum LED life at L96 rating per IESNA TM-21-11. Powder paint finishes provide lasting appearance in outdoor environments.

### Optics/Electrical

#### LED:

Drivers are 120-277V, 50/60Hz 5000K/70 CRI Type III and Type IV lenses provide wide lateral spread. 0-10V dimming 120-277V only.

- LNC5L – 5 LEDs, 12.6w, .11 amp max, 967 lumens, Type III only
- LNC7L – 7 LEDs, 16.4w, .14 amp max, 1389 lumens, Type III or IV
- LNC9L – 9 LEDs, 20.6w, .18 amp max, 1745 lumens, Type III or IV
- Minimum operating temperature is -40°C/-40°F

### Lenses:

Full cut-off distribution; Ambient diffuser included, use for applications near entrances or locations where reduced brightness is desired.

### Installation:

Quick mount adapter provides quick installation, designed for both recessed box or surface conduit wiring. Fits 4" square junction box.

### Listings:

Listed and labeled to UL 1598 for wet locations, 25° C ambient environments. Some models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>

- IES Progress Award Winner - 2012

### Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

## PRODUCT IMAGE(S)



LNC-5L



LNC-7L

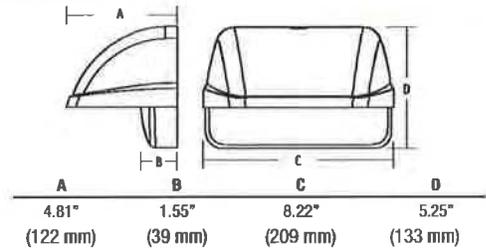


LNC-9L



With diffuser

## DIMENSIONS



## SHIPPING INFORMATION

Catalog Number	G.W.(kg)/ CTY	Carton Dimensions			Carton Qty. per Master Pack
		Length (Inch (cm))	Width (Inch (cm))	Height (Inch (cm))	
LNC-5LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2
LNC-7LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2
LNC-9LU	9.6 (4.36)	14.5 (37)	9.6 (24.5)	6.8 (17.5)	2

## CERTIFICATIONS/LISTINGS



## ORDERING INFORMATION LNC-5L and LNC-7L/9L (Order tree below)

CATALOG NUMBER	WATTAGE	NUMBER OF LEDES	VOLTAGE	LUMENS <sup>1</sup>	LIFE	CCT	WEIGHT LBS. (KG)
LNC-5LU-5K	12.6w	5	120-277V	967	60,000hrs	5000k	4.0 (1.8)
LNC-5LU-5K-PC	12.6w	5	120V	967	60,000hrs	5000k	4.0 (1.8)

1 Acrylic diffuser accessory lumen output is 650 with increased uniformity in the Type III distribution

2 Projected per IESNA TM-21-11

## ORDERING EXAMPLE: LNC-9LU-5K-3-1-PC1

SERIES	NUMBER OF LEDES/SOURCE/VOLTAGE	CCT	IES DISTRIBUTION	FINISH	OPTIONS
LNC Laredo Cut-off	7LU 7 LEDs, Universal voltage 120-277V	3K 3000K nominal, 70 CRI	3 <sup>3</sup> Type III	1 Bronze	PC(X) <sup>1</sup> Button photocontrol, replace X with voltage, specify 1-120V, 2-208V, 3-240V, 4-277V
	9LU <sup>2</sup> 9 LEDs, Universal voltage 120-277V	4K 4200K nominal, 70 CRI	4 <sup>3</sup> Type IV	2 Black	
		5K <sup>3</sup> 5000K nominal		3 Gray	
		AM <sup>2</sup> Amber (590 nm available for "Turtle Friendly"/observatory applications, 350 mA (consult factory)		4 White	
				5 Platinum	

1 When PC is ordered, input must match PC voltage

2 Amber LEDs only available on 7LU and 9LU configurations, 350 mA only

3 DesignLights Consortium (DLC) qualified 5/7/9 models 5K only



**HUBBELL**  
Outdoor Lighting

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Due to our continued efforts to improve our products, product specifications are subject to change without notice.

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LAREDO-LNC-SPEC 4/14



**LIGHTING FACTS**

Hubbell Outdoor Lighting

**LED lighting facts**  
A Program of the U.S. DOE

Light Output (Lumens)	820
Watts	12.7
Lumens per Watt (Efficacy)	64

---

Color Accuracy Color Rendering Index (CRI)	77
---	----

---

Light Color  
(Correlated Color Temperature, CCT)

5353 (Daylight)

2700K 3000K 4000K 5000K 6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product label data and results.

Visit [www.lightingfacts.com](http://www.lightingfacts.com) for the Label Reference Guide

Registration Number: A256-LM-108 (11/18/2011)  
Model Number: ENG-SL1306  
Type: Outdoor wall pack

Hubbell Outdoor Lighting

**LED lighting facts**  
A Program of the U.S. DOE

Light Output (Lumens)	1147
Watts	16.4
Lumens per Watt (Efficacy)	69

---

Color Accuracy Color Rendering Index (CRI)	73
---	----

---

Light Color  
(Correlated Color Temperature, CCT)

5052 (Daylight)

2700K 3000K 4000K 5000K 6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product label data and results.

Visit [www.lightingfacts.com](http://www.lightingfacts.com) for the Label Reference Guide

Registration Number: A256-LM-108 (11/18/2011)  
Model Number: ENG-SL1303  
Type: Outdoor wall pack

Hubbell Outdoor Lighting

**LED lighting facts**  
A Program of the U.S. DOE

Light Output (Lumens)	1400
Watts	20.6
Lumens per Watt (Efficacy)	70

---

Color Accuracy Color Rendering Index (CRI)	73
---	----

---

Light Color  
(Correlated Color Temperature, CCT)

5050 (Daylight)

2700K 3000K 4000K 5000K 6500K

All results are according to IESNA LM-79-2008. Approved Method for the Electrical and Photometric Testing of Solid State Lighting. The U.S. Department of Energy (DOE) verifies product label data and results.

Visit [www.lightingfacts.com](http://www.lightingfacts.com) for the Label Reference Guide

Registration Number: A256-LM-108 (11/18/2011)  
Model Number: ENG-SL1303  
Type: Outdoor wall pack



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LAURENIE-SPEC 4/14



# CSXW LED LED Wall Luminaire



**CONTOUR**

Catalog Number **N**

Notes **Whitlock**

Type

## Specifications

**Height:** 7-1/8"  
(29.2 cm)

**Width:** 16-3/8"  
(41.6 cm)

**Depth:** 9-5/16"  
(23.6 cm)

**Weight (max):** 30 lbs  
(13.6 kg)



## Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

The CSXW LED combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing 100-400W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

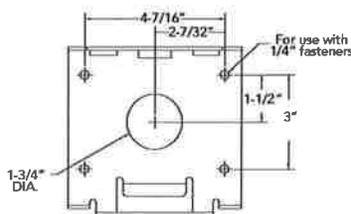
## Ordering Information

**EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT DDBXD**

### CSXW LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish
CSXW LED	30C 30 LEDs	700 700 mA	40K 4000K	T2M Type II, medium	MVOLT <sup>2</sup>	<b>Shipped included</b> (blank) Surface mount	<b>Shipped installed</b> PE Photoelectric cell, button type <sup>5,5</sup> DMG 0-10V dimming driver (no controls) SF Single fuse (120, 277, 347V) <sup>7</sup> DF Double fuse (208, 240, 480V) <sup>7</sup>	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
		1000 1000 mA	50K 5000K	T3M Type III, medium	120 <sup>2</sup>			
				T4M Type IV, medium	208 <sup>2</sup>			
				TFTM Type forward throw, medium	240 <sup>2</sup>			
					277 <sup>2</sup>			
					347 <sup>3</sup>	<b>Shipped separately</b> BBW Surface-mounted back box (for conduit entry) <sup>4</sup>	<b>Shipped separately<sup>4</sup></b> VG Vandal guard WG Wire guard	
				480 <sup>3</sup>				

## Mounting Detail



## Accessories

Ordered and shipped separately.

CSXWBBW DDBXD U	Back box accessory (specify finish)
CSXWWVG U	Wire guard accessory
CSXWVG U	Vandal guard accessory

## NOTES

- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE option).
- Available with 700 mA options only (30C 700).
- Also available as a separate accessory; see Accessories Information at left.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Must be ordered with fixture; cannot be field installed.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.



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## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K					50K				
					1400K-70 CRI					1500K-67 CRI				
					Lumens	B	U	C	LPW	Lumens	B	U	C	LPW
30C (30 LEDs)	700 mA	30C 700--K	69W	T2M	6,695	2	0	2	97	7,183	2	0	2	104
				T3M	7,068	2	0	2	102	7,582	2	0	2	110
				T4M	7,017	2	0	2	102	7,528	2	0	2	109
				TFTM	7,158	2	0	2	104	7,679	2	0	2	111
	1000 mA	30C 1000--K	104W	T2M	8,868	2	0	2	85	9,560	2	0	2	92
				T3M	9,361	2	0	2	90	10,091	2	0	2	97
				T4M	9,293	2	0	2	89	10,018	2	0	2	96
				TFTM	9,481	2	0	2	91	10,220	2	0	2	98

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.99

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSXW LED platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.91	0.85

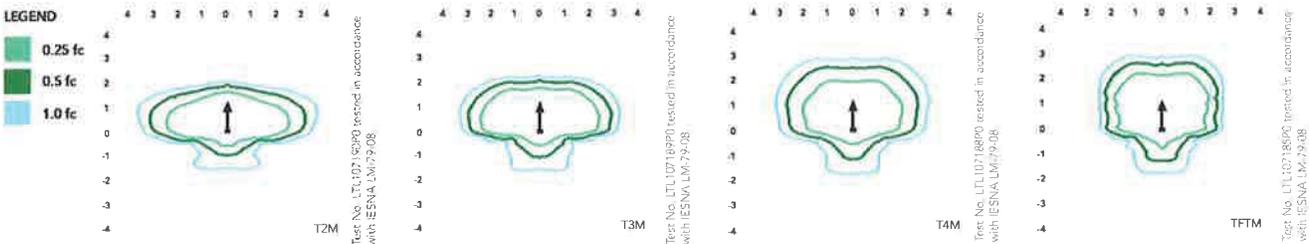
### Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30C	700	70W	0.695	0.412	0.367	0.331	0.247	0.186
	1000	104W	1.034	0.599	0.528	0.472	0.382	0.302

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's CSXW homepage.

Isocandela plots for the CSXW LED 30C 1000 40K. Distances are in units of mounting height (20').



## FEATURES & SPECIFICATIONS

### INTENDED USE

The Contour Series Wall LED luminaire is ideal for commercial building mounted applications from over-the-door to 20 ft mounting heights.

### CONSTRUCTION

Rugged, die-cast, single-piece aluminum housing. Unique flow-through design for optimized thermal management. Modularity allows for ease of maintenance and potential for future system upgrades. Metallic screen covers the top of the housing, preventing debris build-up while allowing for air flow. Housing is completely sealed against moisture and environmental contaminants.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

### OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (70 CRI) or optional 5000K (67 CRI) configurations. The CSXW has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine consists of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### INSTALLATION

Universal mounting mechanism with integral mounting support allows fixture to hinge down. Bubble level provides correct alignment with every installation.

### LISTINGS

CSA Certified to U.S. and Canadian standards. Light engine is IP66 rated. Luminaire is IP65 rated.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

### WARRANTY

Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Specifications subject to change without notice.



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CSXW-LED  
Rev. 12/17/13



# D-Series Size 1 LED Area Luminaire

Catalog Number

Notes **Whitlock**

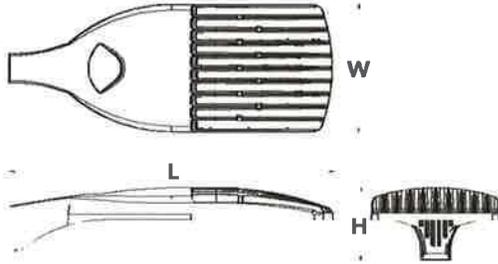
Type



d<sup>series</sup>

## Specifications

<b>EPA:</b>	1.2 ft <sup>2</sup> (0.11 m <sup>2</sup> )
<b>Length:</b>	33" (83.8 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height:</b>	7-1/2" (19.0 cm)
<b>Weight (max):</b>	27 lbs (12.2 kg)



## Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

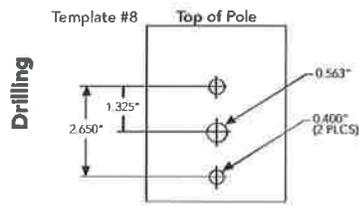
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 – 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Ordering Information

**EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD**

### DSX1 LED

Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Control options	Other options	Finish
<b>DSX1 LED</b>	<b>Forward optics</b>	530 530 mA	30K 3000 K (80 CRI min.)	T1S Type I short	<b>MVOLT</b> <sup>3</sup>	<b>Shipped included</b>	<b>Shipped installed</b>	<b>Shipped installed</b>	<b>DDBXD</b> Dark bronze
	30C 30 LEDs (one engine)	700 700 mA	40K 4000 K (70 CRI min.)	T2S Type II short	120 <sup>3</sup>	<b>SPA</b> Square pole mounting	PER NEMA twist-lock receptacle only (no controls) <sup>7</sup>	HS House-side shield <sup>14</sup>	<b>DBLXD</b> Black
	40C 40 LEDs (two engines)	<b>1000 1000 mA (1 A)</b>	50K 5000 K (70 CRI)	T2M Type II medium	208 <sup>3</sup>	RPA Round pole mounting	DMG 0-10V dimming driver (no controls) <sup>8</sup>	WTB Utility terminal block <sup>15</sup>	<b>DNAXD</b> Natural aluminum
	<b>60C 60 LEDs (two engines)</b>		AMBPC Amber phosphor converted <sup>2</sup>	T3S Type III short	240 <sup>3</sup>	WBA Wall bracket	DCR Dimmable and controllable via ROAM <sup>9</sup> (no controls) <sup>2</sup>	SF Single fuse (120, 277, 347V) <sup>15</sup>	<b>DWHXD</b> White
	<b>Rotated optics<sup>1</sup></b>			T3M Type III medium	277 <sup>3</sup>	SPUMBA Square pole universal mounting adaptor <sup>2</sup>	DS Dual switching <sup>10,11</sup>	DF Double fuse (208, 240, 480V) <sup>15</sup>	<b>DDBTXD</b> Textured dark bronze
	60C 60 LEDs (two engines)			<b>TFTM</b> Forward throw medium	347 <sup>4</sup>	RPUMBA Round pole universal mounting adaptor <sup>2</sup>	PIR Motion sensor, 8-15' mounting height <sup>12</sup>	L90 Left rotated optics <sup>17</sup>	<b>DBLBXD</b> Textured black
				T4M Type IV medium	480 <sup>4</sup>	KMAB DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>5</sup>	PIRH Motion sensor, 15-30' mounting height <sup>12</sup>	R90 Right rotated optics <sup>17</sup>	<b>DNATXD</b> Textured natural aluminum
				T5VS Type V very short			BL30 Bi-level switched dimming, 30% <sup>13,13</sup>		<b>DWHGXD</b> Textured white
				T5S Type V short			BL50 Bi-level switched dimming, 50% <sup>13,13</sup>		
				T5M Type V medium					
			T5W Type V wide						



<b>Accessories</b> Ordered and shipped separately.	DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) <sup>14</sup>
	DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) <sup>14</sup>
	DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) <sup>14</sup>
	SCU Shorting cap <sup>18</sup>
	DSX1HS 30C U House-side shield for 30 LED unit
	DSX1HS 40C U House-side shield for 40 LED unit
	DSX1HS 60C U House-side shield for 60 LED unit
	PUMBA ODDBXD U* Square and round pole universal mounting bracket adaptor (specify finish)
	KMAB DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>5</sup>

DSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

<b>DM18AS</b> Single unit	<b>DM28AS</b> 2 at 90° *
<b>DM28AS</b> 2 at 180°	<b>DM38AS</b> 3 at 90° *
<b>DM48AS</b> 4 at 90° *	<b>DM32AS</b> 3 at 120° **

**Example: SSA 20 4C DM18AS DDBXD**

Visit Lithonia Lighting's **POLES CENTRAL** to see our wide selection of poles, accessories and educational tools.

\*Round pole top must be 3.25" O.D. minimum.  
\*\*For round pole mounting (RPA) only.

### Tenon Mounting Slipfitter \*\*

Slipfitter O.D.	Single Unit	2 at 90°	2 at 180°	2 at 120°	3 at 90°	3 at 120°
2-3/8"	AST20-190	AST20-280	N/A	N/A	N/A	N/A
2-7/8"	AST25-190	AST25-280	N/A	AST25-320	N/A	N/A
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

- ### NOTES
- Rotated optics only available with 60C.
  - AMBPC only available with 530mA or 700mA.
  - MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
  - Not available with single board, 530mA product (30C 530, or 60C 530 DS). Not available with DCR, BL30 or BL50.
  - Available as a separate combination accessory: PUMBA (finish U).
  - Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
  - Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
  - DMG option for 347V or 480V requires 1000mA
  - Specifies a ROAM<sup>9</sup> enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM<sup>9</sup> deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with BL30, BL50, DS, PIR or PIRH.
  - Requires 40C or 60C. Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with PER, DCR, WTB, PIR, or PIRH.
  - Requires an additional switched circuit.
  - PIR specifies the SensorSwitch SBGR-10-ODP control; PIRH specifies the SensorSwitch SBGR-6-ODP control; see Motion Sensor Guide for details. Dimming driver standard. Not available with DS or DCR.
  - Dimming driver standard. MVOLT only. Not available with DCR.
  - Also available as a separate accessory; see Accessories information.
  - WTB not available with DS.
  - Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
  - Available with 60 LEDs (60C option) only.
  - Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Control.



# Performance Data

## Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/-10%. Contact factory for performance data on any configurations not shown here.

LED	Drive Current [mA]	System Watt	Dir. Type	30K					40K					50K				
				1000 K, 40 minimum CRI					1000 K, 70 minimum CRI					1500 K, 70 CRI				
				Lumens	R	U	V	LPW	Lumens	R	U	V	LPW	Lumens	R	U	V	LPW
30C (30 LEDs)	700 mA	68 W	T1S	5,290	1	0	1	78	6,524	2	0	2	96	7,053	2	0	2	104
			T2S	5,540	1	0	1	81	6,833	2	0	2	100	7,387	2	0	2	109
			T2M	5,360	1	0	2	79	6,611	2	0	2	97	7,147	2	0	2	105
			T3S	5,479	1	0	1	81	6,757	1	0	2	99	7,305	2	0	2	107
			T3M	5,452	1	0	2	80	6,724	2	0	2	99	7,269	2	0	2	107
			T4M	5,461	1	0	2	80	6,736	2	0	2	99	7,282	2	0	2	107
			TFTM	5,378	1	0	2	79	6,633	1	0	2	98	7,171	1	0	2	105
			TSVS	5,708	2	0	0	84	7,040	3	0	0	104	7,611	3	0	1	112
			TSS	5,639	2	0	0	83	6,955	2	0	0	102	7,519	3	0	0	111
			TSM	5,710	3	0	1	84	7,042	3	0	1	104	7,613	3	0	2	112
	TSW	5,551	3	0	1	82	6,847	3	0	2	101	7,401	3	0	2	109		
	1000 mA	105 W	T1S	7,229	2	0	2	69	9,168	2	0	2	87	9,874	2	0	2	94
			T2S	7,572	2	0	2	72	9,603	2	0	2	91	10,342	2	0	2	98
			T2M	7,325	2	0	2	70	9,291	2	0	2	88	10,005	2	0	3	95
			T3S	7,488	2	0	2	71	9,496	2	0	2	90	10,227	2	0	2	97
			T3M	7,451	2	0	2	71	9,450	2	0	2	90	10,177	2	0	2	97
			T4M	7,464	2	0	2	71	9,467	2	0	2	90	10,195	2	0	2	97
			TFTM	7,351	1	0	2	70	9,323	2	0	2	89	10,040	2	0	3	96
			TSVS	7,801	3	0	1	74	9,894	3	0	1	94	10,655	3	0	1	101
			TSS	7,803	3	0	2	74	9,774	3	0	1	93	10,526	3	0	1	100
TSM			7,707	3	0	0	73	9,897	3	0	2	94	10,658	4	0	2	102	
TSW	7,586	3	0	2	72	9,621	4	0	2	92	10,363	4	0	2	99			
40C (40 LEDs)	700 mA	89 W	T1S	6,876	2	0	2	77	8,639	2	0	2	97	9,345	2	0	2	105
			T2S	7,202	2	0	2	81	9,049	2	0	2	102	9,788	2	0	2	110
			T2M	6,968	2	0	2	78	8,755	2	0	2	98	9,469	2	0	3	106
			T3S	7,122	2	0	2	80	8,948	2	0	2	101	9,679	2	0	2	109
			T3M	7,088	2	0	2	80	8,905	2	0	2	100	9,632	2	0	2	108
			T4M	7,100	2	0	2	80	8,920	2	0	2	100	9,649	2	0	2	108
			TFTM	6,992	1	0	2	79	8,785	2	0	2	99	9,502	2	0	2	107
			TSVS	7,421	3	0	0	83	9,323	3	0	1	105	10,085	3	0	1	113
			TSS	7,331	2	0	0	82	9,210	3	0	1	103	9,962	3	0	1	112
			TSM	7,423	3	0	2	83	9,326	3	0	2	105	10,087	4	0	2	113
	TSW	7,216	3	0	2	81	9,066	4	0	2	102	9,807	4	0	2	110		
	1000 mA	138 W	T1S	9,521	2	0	2	69	11,970	2	0	2	87	12,871	3	3	0	93
			T2S	9,972	2	0	2	72	12,558	3	0	3	91	13,481	3	0	3	98
			T2M	9,648	2	0	3	70	12,149	3	0	3	88	13,043	3	0	3	95
			T3S	9,862	2	0	2	71	12,418	2	0	2	90	13,331	2	0	2	97
			T3M	9,814	2	0	2	71	12,358	3	0	3	90	13,267	3	0	3	96
			T4M	9,831	2	0	2	71	12,379	2	0	3	90	13,290	2	0	3	96
			TFTM	9,681	2	0	2	70	12,191	2	0	3	88	13,087	2	0	3	95
			TSVS	10,275	3	0	1	74	12,937	3	0	1	94	13,890	4	0	1	101
			TSS	10,150	3	0	1	74	12,782	3	0	1	93	13,721	3	0	1	99
TSM			10,278	4	0	2	74	12,942	4	0	2	94	13,894	4	0	2	101	
TSW	9,991	4	0	2	72	12,582	4	0	2	91	13,507	4	0	2	98			
60C (60 LEDs)	700 mA	131 W	T1S	10,226	2	0	2	78	12,871	3	0	3	98	13,929	3	0	3	106
			T2S	10,711	2	0	2	82	13,481	3	0	3	103	14,589	3	0	3	111
			T2M	10,363	2	0	3	79	13,043	3	0	3	100	14,115	3	0	3	108
			T3S	10,592	2	0	2	81	13,331	2	0	2	102	14,427	3	0	3	110
			T3M	10,541	2	0	2	80	13,267	3	0	3	101	14,357	3	0	3	110
			T4M	10,559	2	0	2	81	13,290	2	0	3	101	14,382	3	0	3	110
			TFTM	10,398	2	0	3	79	13,067	2	0	3	100	14,163	2	0	3	108
			TSVS	11,036	3	0	1	84	13,890	4	0	4	106	15,032	4	0	1	115
			TSS	10,902	3	0	1	83	13,721	3	0	1	105	14,849	4	0	1	113
			TSM	11,039	4	0	2	84	13,894	4	0	2	106	15,036	4	0	2	115
	TSW	10,732	4	0	2	82	13,507	4	0	2	103	14,617	4	0	2	112		
	1000 mA	209 W	T1S	14,017	3	0	3	67	17,632	3	0	3	84	19,007	3	0	3	91
			T2S	14,681	3	0	3	70	18,467	3	0	3	88	19,908	3	0	3	95
			T2M	14,204	3	0	3	68	17,867	3	0	3	85	19,260	3	0	3	92
			T3S	14,518	3	0	3	69	18,262	3	0	3	87	19,687	3	0	3	94
			T3M	14,448	3	0	3	69	18,173	3	0	4	87	19,591	3	0	4	94
			T4M	14,473	3	0	3	69	18,205	3	0	3	87	19,625	3	0	4	94
			TFTM	14,253	2	0	3	68	17,928	3	0	4	86	19,326	3	0	4	92
			TSVS	15,127	4	0	1	72	19,028	4	0	1	91	20,512	4	0	1	98
			TSS	14,943	4	0	1	71	18,797	4	0	1	90	20,263	4	0	1	97
TSM			15,131	4	0	2	72	19,033	4	0	2	91	20,517	5	0	3	98	
TSW	14,710	4	0	2	70	18,503	5	0	3	89	19,946	5	0	3	95			

**Note:** Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

### Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
30	530	52	0.52	0.30	0.26	0.23	--	--
	700	68	0.68	0.39	0.34	0.30	0.24	0.17
	1000	105	1.03	0.59	0.51	0.45	0.36	0.26
40	530	68	0.67	0.39	0.34	0.29	0.23	0.17
	700	89	0.89	0.51	0.44	0.38	0.31	0.22
	1000	138	1.35	0.78	0.67	0.58	0.47	0.34
60	530	99	0.97	0.56	0.48	0.42	0.34	0.24
	700	131	1.29	0.74	0.65	0.56	0.45	0.32
	1000	209	1.98	1.14	0.99	0.86	0.69	0.50

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	DSX1 LED 60C 1000			
	1.0	0.95	0.93	0.88
Lumen Maintenance Factor	DSX1 LED 60C 700			
	1.0	0.99	0.98	0.96

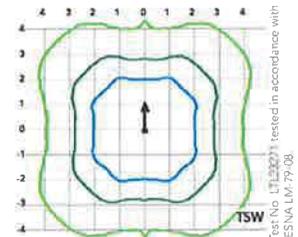
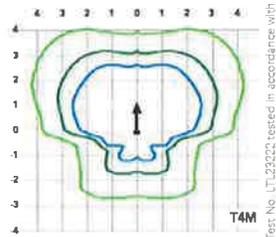
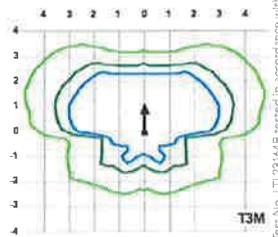
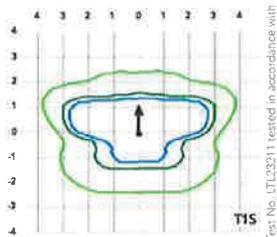
## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').

#### LEGEND

- 0.1 fc
- 0.5 fc
- 1.0 fc



## FEATURES & SPECIFICATIONS

#### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

#### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.2 ft) for optimized pole wind loading.

#### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

#### OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 4000 K (70 minimum CRI) or optional 3000 K (80 minimum CRI) or 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

#### ELECTRICAL

Light engine configurations consist of 30, 40 or 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L96/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an

expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV or 6kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

#### INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern. Optional terminal block, tool-less entry, and NEMA photocontrol receptacle are also available.

#### LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org](http://www.designlights.org) to confirm which versions are qualified.

#### WARRANTY

Five-year limited warranty. Full warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

**Note:** Specifications subject to change without notice.



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DSX1-LED  
Rev. 07/14/14



# INFINIUM™ LED SERIES LENSED 3" UP/DOWN CYLINDER LE SERIES/12 WATT MAX LED



## SPC0310UDLEDLE

### APPLICATION

3" Round LED LE series direct/indirect cylinder.

### FEATURES

Single high powered LED produces point source quality and luminaire focus.  
50,000 hours rated LED system life.

Interchangeable optics.

### FINISH

Variety of powdercoat options available.

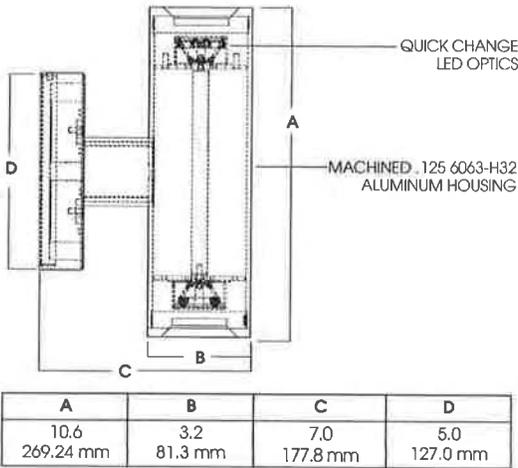
### CONSTRUCTION

Machined .125 thick 6063-H32 aluminum.

### LABELS

UL/ ETL listed for damp locations. Wet locations available.

Manufactured and tested to UL standard No. 1598/8750.



Fixture Weight: 5.00 lbs

STANDARD LE LED	
WATTAGE	LUMENS*
12W/27K	350 lm
12W/31K	375 lm
12W/35K	400 lm
12W/41K	480 lm
12W/55K	560 lm

### MOUNTING



SERIES	LED	KELVIN	BEAM	DRIVER	OPTIONS	MOUNTING	FINISH
SPC0310UDLEDLE	12W	27K -2700° K	ND (12°)	E1 -Electronic, 120V	GL -Glass Lens GS -Gasket SO -Micro Prism Solite™ Lens WL -Wet Location	WM -Wall Mount	GW -Gloss White
		31K -3100° K		E2 -Electronic, 277V			GB -Gloss Black
		35K -3500° K	MD (22°)	DS101 -Spectrum 0-10v Dimming, 120v	MW -Matte White		
		41K -4100° K		DS102 -Spectrum 0-10v Dimming, 277v	MB -Matte Black		
		51K -5100° K	WD (38°)		BZ -Bronze		
					PT -Platinum Silver		
				MT -Mini Tek Silver			
				TW -Textured White			
				CC -Custom Color			

\*Contact Factory for Dimming or Control Options.

See Cylinder Mounting Page for Additional Information

\*See Color Options for More Finishes

EXAMPLE: SPC0310UDLE12W31KMDE1/SOWL/WM/MT

Dimensions shown are nominal. Spectrum Lighting is continually improving products and reserves the right to make changes that will not alter performance or appearance with or without written notice.



PROJECT:	TYPE:
CAT. NO.:	



## FEATURES & SPECIFICATIONS

**INTENDED USE** — Provides a minimum of 90 minutes illumination for the rated wattage upon loss of AC power. Ideal for applications requiring low-profile, attractive emergency lighting.

**CONSTRUCTION** — Compact, low-profile, architectural design with die-cast aluminum housing. Available finishes are textured polyester powder coat paint in brushed nickel, white, black and dark bronze. All finishes can be painted in the field to match the wall color of choice.

U.S. Patent No. D468,046.

**OPTICS** — Standard optics provided with two 6W wedge-base xenon lamps offer 55 percent more light output than standard incandescent lamps. Patent-pending reflector/refractor design features superior vac-metalized, die-casted reflectors; and multi-faceted, highly transmissive refractor that significantly improve photometrics.

Forward throw (FWD) option optics provided with two high-brightness white LEDs (10.8W total), projecting an NFPA-101 compliant path 3' wide and 28' forward, when mounted 8-1/2' AFF. The typical life of the LED lamp is 10 years.

**All light sources meet requirements for NEC 700.16.**

Dual-voltage input capability (120/277V).

Edge connectors on printed circuit board ensure long-term durability.

Universal J-box mounting pattern.

Low-profile, integrated test switch/pilot light located below the lens.

Easily visible green status indicator.

Rigid conduit entry provision on top of the unit.

Battery: Sealed, maintenance-free lead-calcium battery provides 12W rated capacity. Nickel-cadmium battery with Premium and Exterior option packages.

Automatic 48-hour recharge after a 90-minute discharge.

Low-voltage disconnect prevents excessively deep discharge that can permanently damage the battery. Single-circuit battery connection.

**ELECTRICAL** — Current-limiting charger maximizes battery life and minimizes energy consumption. Provides low operating costs.

Short-circuit protection — current-limiting charger circuitry protects printed circuit board from shorts.

Thermal protection senses circuitry temperature and adjusts charge current to prevent overheating and charger failure.

Thermal compensation adjusts charger output to provide optimum charge voltage relative to ambient temperature.

Regulated charge voltage maintains constant-charge voltage over a wide range of line voltages. Prevents over/undercharging that shortens battery life and reduces capacity.

Filtered charger input minimizes charge voltage ripple and extends battery life.

AC/LVD reset allows battery connection before AC power is applied and prevents battery damage from deep discharge.

Brownout protection is automatically switched to emergency mode when supply voltage drops below 80 percent of nominal.

EXT option package includes 20-minute time delay for supplemental lighting during HID startup.

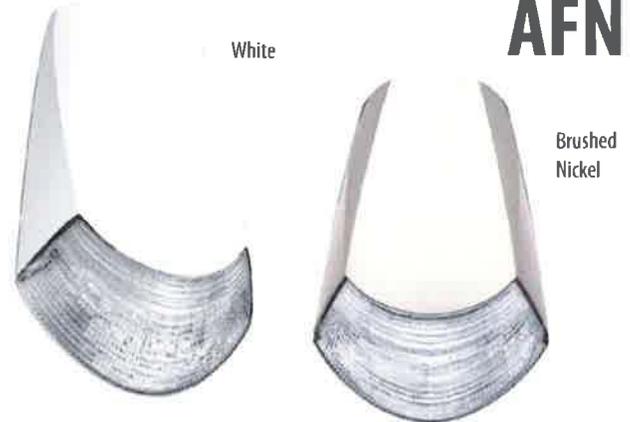
**Self-diagnostics (PREM and EXT option packages)**

**Patented Electronics - U.S. Patent No. D468,046 and 6,502,044.**

Catalog Number	L
Notes	Whitlock
Type	

## AFFINITY® Die-Cast Architectural Emergency Light

# AFN



Single multi-chromatic LED indicator to display two-state charging, test activation and three-state diagnostic status.

Test switch provides manual activation of 30-second diagnostic testing for on-demand visual inspection.

Self-diagnostic testing for five minutes every 30 days and 30 minutes every six months.

Diagnostic evaluation of lamp, AC to DC transfer, charging and battery condition. Continuously monitors AC functionality.

Postpone automatic test initiates eight hour delay of an automatic test by activating the manual test switch.

**LISTINGS** — UL Listed. Wet locations and cold temperature (EXT) listed. Damp location (PREM) listed. Wet location (WL) option available with PREM package. Meets UL 924, NFPA 101, NFPA 70-NEC and OSHA illumination standards. UL labeled.

**WARRANTY** — 3-year limited warranty. Complete warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

### ORDERING INFORMATION

For shortest lead times, configure product using **bolded options**.

**Example:** AFN WEXT

Series	Finish	Options
<b>AFN</b> AFFINITY Series die-cast architectural emergency lighting	<b>W</b> White <b>B</b> Black BN Brushed nickel <b>DB</b> Dark bronze	<b>(blank)</b> Features lead calcium battery PREM Features ni-cad battery, self-diagnostics and damp location 32°F to 122°F (0°C to 50°C) <b>EXT</b> Features high-temperature ni-cad battery listed from 0°F to 122°F (-18°C to 50°C), self-diagnostics, time delay; listed for cold weather, damp and wet location FWD Forward throw optics with LED light source, 10.8W WL Wet location with time delay listed from 32°F to 122°F (0°C to 50°C) <sup>1</sup>

**Accessories:** Order as separate catalog number.<sup>2</sup>

ELA AFNR DB Remote fixture (less batteries and electronics) to be powered by 6V battery equipment as part of an emergency lighting system (listed from -40°F to 122°F; -40°C to 50°C), BN, W, B finishes available.

#### Notes

<sup>1</sup> WL only available with PREM option package.

<sup>2</sup> See spec sheet [ELA-DMC-ELA-AFNR](#).

# AFN Affinity® Die-Cast Architectural Emergency Light

## SPECIFICATIONS

ELECTRICAL: Primary Circuit					
Type	AC Input			Output volts	Watts output 1-1/2 hrs.
	Volts	Amps	Watts		
AFN	120	.11	1.1	6	12
	277	.12	1.3		
AFN PREM	120	.15	1.4	6	12
	277	.14	1.4		
AFN EXT	120	.23	21 <sup>1</sup>	6	12
	277	.25	35 <sup>1</sup>		

BATTERY: Sealed Lead-Calcium				
Voltage	Shelf life <sup>2</sup>	Typical life <sup>2</sup>	Maintenance <sup>4</sup>	Optimum temperature <sup>3</sup>
6	12 months	5 - 7 years	none	60°-90°F (16°-32°C)

BATTERY: Nickel-Cadmium				
Voltage	Shelf life <sup>2</sup>	Typical life <sup>2</sup>	Maintenance <sup>4</sup>	Optimum temperature <sup>3</sup>
6	3 years	7 - 9 years	none	32°-122°F (0°-50°C)

### Notes

- EXT provided with battery heater.
- At 77°F (25°C).
- Optimum ambient temperature range where unit will provide capacity for 90 minutes. Higher and lower temperatures affect life and capacity. See option packages for expanded temperature ranges. Consult factory for detailed information.
- All life safety equipment, including emergency lighting for path of egress must be maintained, serviced, and tested in accordance with all National Fire Protection Association (NFPA) and local codes. Failure to perform the required maintenance, service, or testing could jeopardize the safety of occupants and will void all warranties.

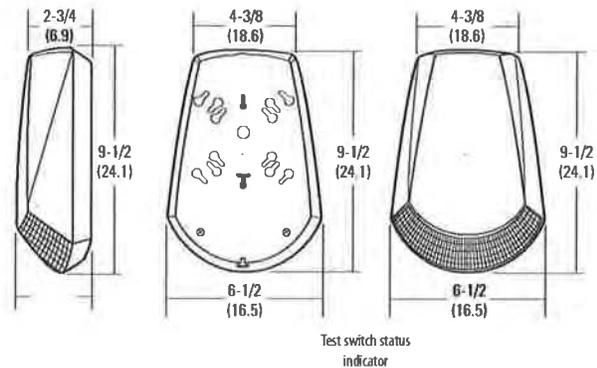
## SPACING GUIDE

Xenon Lamp	Path of Egress 3'-wide	Path of Egress 6'-wide
Center-to-Center Spacing	26'	21'

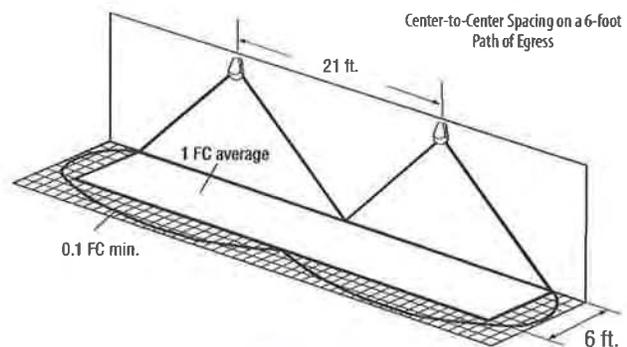
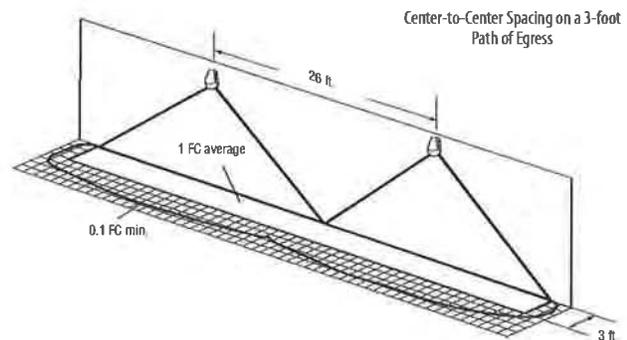
NOTE: Meets Life Safety Code standard minimum illuminance of 0.1 FC and average illuminance of 1.0 FC. Assumes open space with no obstructions, mounting height: 8.5', ceiling height: 9', and reflectances: 80/50/20.

## MOUNTING

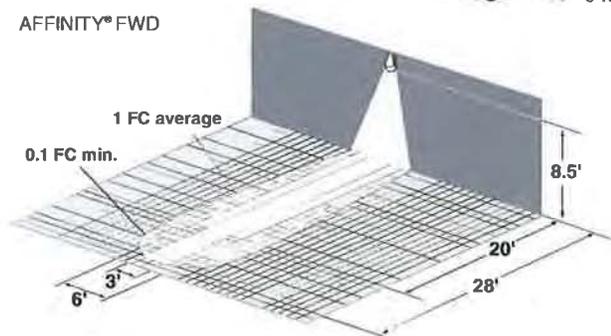
All dimensions are inches (centimeters).  
Shipping weight: 3.5 lbs. (1.59 kgs.)



## FIXTURE PERFORMANCE



## AFFINITY® FWD



An Acuity Brands Company

AFN

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	OCTOBER 28, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: AUTOZONE SPR 2014-23	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

AutoZone, Inc. has submitted an application for an AutoZone auto parts store to be constructed at 610 Yellowstone Avenue (former Tacos el Taconazo restaurant site). All existing buildings will be removed from the property for the proposed development. AutoZone will be developer and lease the property from the current owner, the Kenneth & Kathleen Revocable Family Trust. The property is 2.05 acres in size and within the Open Business/ Light Industrial (D-3) zoning district.

The proposed building would be 6,912 square feet in size and be constructed of smooth-faced concrete masonry block with large storefront windows on the building façade. The area of the AutoZone logo above the storefront windows would have an EIFS finish. The signs would be internally illuminated. Existing conditions are below.



**REVIEW CRITERIA:**

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The surrounding area is as follows:

<i>DIRECTION</i>	<i>EXISTING USE</i>	<i>ZONING</i>
North	Car Wash, coffee stand, Cody Labs across highway.	D-3
East	Car Wash.	D-3
South	Hillside and Sulphur Creek—part of “the bowl” property.	D-3
West	Stick Shift Motors.	D-3

**Architecture:**

The architectural drawings and elevations represent one of the AutoZone standard prototypes in both design and color. The building is rectangular from all perspectives. The front of the building contains large glass storefront windows; the four windows furthest from the entry are faux and included for architectural effect.

The EIFS above the storefront windows provides some variety of texture with its stucco appearance. The CMU blocks are proposed to be smooth faced, apparently for a cleaner, more modern effect.

For comparison, the new car was next door uses split-face block in a brown color scheme. The Cody Labs building is presently an old Walmart blue, but we are aware of plans to repaint it.

The planning and Zoning Board will need to determine if the architecture is “architecturally compatible”.

The AutoZone sign and logo itself are trademarked and the Board should avoid getting into a discussion on the colors or styles of those particular items. However, if there is a concern over compatibility of building color, it appears that there are other "standard" color schemes that AutoZone has used.

#### Neighboring Buildings:



#### Landscaping:

The proposed landscaping is shown on the site plan. It includes a relatively expansive irrigated grass lawn along the frontage and sides of the property, plus a few shrubs in planters at the entrance to the parking lot. Due to utility easements across the front of the property, trees are not an option in that area.

Currently this particular strip of the highway corridor is severely lacking in trees. In addition, the loading area isn't the most architecturally attractive component. For purposes of screening the loading area and enhancing the landscaping, it is recommended that two or three evergreen trees be considered in the landscaped area east of the building.

#### Access and Parking:

Access to the site is directly from the Yellowstone highway. The approach is proposed to be widened slightly. The approach work will require a permit from WYDOT and will need to be constructed to full ADA standards, including the truncated dome warning pads.

Parking is provided in accordance with all city off-street parking regulations. The driveways and parking spaces meet the dimensional requirements of the parking ordinance. Other parking requirements, including illumination, surfacing, proximity to building, configuration, pedestrian access to building, circulation patterns, etc. are met.

A stop sign at the exit should be considered. The location needs to be carefully coordinated with Public Works to avoid the utilities in the easement along the front of the property.

### Exterior Lighting

A photometric plan is included and demonstrates that lighting will be largely contained within the site. The light fixtures on the light poles will apparently be at a height of 28 feet (Have applicant clarify—Sheet C1.A Figure 13 shows 25' pole on 3' base, while the photometric plan PH1.0 shows a 28' pole on a 3' base). The fixtures are 209 watt LED fixtures.

The exterior lighting plan for the building apparently includes five wall packs (per Sheet CE) which were not reflected in the photometric plan, two of which are on the front of the building, two on the left side, and one on the right. Provided the wall packs are full cut off style, staff has no concerns with lighting.

### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. No residential buffers are required for this proposal as there is no adjacent residential zoning.

### Storm Water Plan:

The amount of impervious surface on the new site will actually be slightly less than what exists now, and at present there is no formal storm water retention. Therefore, only a grading plan is required. The grading plan (Sheet C1.1) indicates the use of swales to carry water to the grass areas next to the highway and to the south over a steep hillside. Staff is somewhat concerned that the swales will create point discharges, as opposed to the sheet flow that occurred in the past and we have discussed the issue with the applicant and their engineer. They are planning to bring ideas to the meeting. Also of concern is that in the past a large berm prevented storm water from going down the hillside to Sulphur Creek, while the proposal would create a point discharge onto the steep hillside that appears to have significant erosion potential. If erosion is bad enough, it could affect the adjacent car wash site. The applicant and engineer are also looking at this and will bring their ideas to the meeting.

### Snow Storage

Snow storage areas are not shown on the site plan. As parking demand is expected to be less in the winter months, staff is not opposed to using the corners of the parking lot for snow storage.

### Utility Services

The building will utilize domestic water, power, gas, and sewer service, as shown on the site plan. The locations of the service lines are acceptable, but some details are lacking. Cleanouts are needed in the sewer line at each 90-degree bend, and concrete collars should be provided around the clean outs in the drivable areas.

There will be some utility fees (1/2 cost of transformer, and potentially sewer and water fees depending on estimated usage). Estimates will be provided when estimated usage

rates are supplied to the city.

Natural gas service and any other private utilities will need to be coordinated with those providers.

### Signage

The two wall signs and the freestanding pole sign meet applicable sign standards and can be approved at this time. The wall sign on the front of the building is just less than 150 square feet in size where 150 square feet is allowed. The wall sign on the left side of the building is about 89 square feet, where 150 are allowed. Total wall signage is under the 300 square feet allowed. The freestanding sign is 10'6" wide by 6'6" tall (68.25 sq. ft.), which is well within allowable size. The overall height of the freestanding sign is 25 feet, which is the maximum allowed.

### Hydrants

The building will rely on a fire hydrant near the northeast corner of the property for fire protection.

### Frontage Status

Sidewalk, curb, gutter, and streetlights exist along the full property frontage. No changes are proposed or needed other than the desired widening of the approach.

### Garbage

The dumpster location is at the south end of the parking lot. This will mean that the garbage truck will need to turn around in the main parking lot area and back up to the dumpster location. The sanitation division would prefer the dumpster to be further north, yet there are aesthetic arguments for keeping it towards the back of the site. To make turning around easier, it is preferable if the parking space at the northeast corner of the building were eliminated. The loss of one, or even a few parking spaces, would not be of concern to staff. Note that the collection is on the "passenger" side of the vehicle, and the loading area will need to be kept clear if the proposed dumpster location is to work.

### Other

The entrance to Stick Shift Motors is right at the northwest corner of this property. Staff has noted to the applicant's engineer that the lack of a vertical barrier along the front grass area in that location could result in vehicles thinking the grass is a drivable surface when covered with snow. A barrier was recommended. The applicant will bring their ideas to the meeting.

### **ATTACHMENTS:**

Application materials.

**ALTERNATIVES:**

Approve or deny the site plan with or without changes.

**RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items:

1. A stop sign is to be installed at the exit, in accordance with City standards.
2. Address the storm water concerns noted in the staff report (point discharge and erosion hazard), and provide details to correct those issues on the plan set that will be submitted with the building permit.
3. Provide an approved barrier along the grassy area next to the Stick Shift Motors entrance.
4. Obtain the necessary encroachment permit from WYDOT for the landscaping within the WYDOT right-of-way.
5. Obtain a permit from WYDOT for the widening of the approach. The approach is to be constructed to ADA standards, including the truncated dome warning pads.
6. The ADA entrance to the building needs a detectable warning mat where the unloading zone meets the sidewalk.
7. Provide the engineer's wind loading calculations for the freestanding sign with the building permit application.
8. Cleanouts are to be provided at the 90-degree bends of the sewer line. Also, the cleanouts in the driving areas are to be protected with concrete collars.
9. Applicable city utility fees (power, etc.) are to be paid prior to building permit issuance.
10. The project must otherwise comply with the site plan and applicable building, fire, and electrical codes.
11. The drainage facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
12. (Any additional landscaping, such as trees?)
13. (Dumpster location/parking space removal?)
14. (Wall pack light fixtures to be full-cut off style?)



**AutoZone Store Development  
Preliminary/Final Site Plan Submission**  
for:  
**Store No. 6278  
610 Yellowstone Avenue  
Cody, Wyoming 82414**

**Owner:**  
**Quintiliani, Kenneth T.  
& Kathleen A.**

1805 Gulch Street  
Cody, WY 82414  
(307) 527-6227

**Site Plans Prepared by:  
Applicant/Developer/Lessee:**

**AutoZone, Inc.**

c/o: Michelle Williams  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103  
(901) 495-8717

**Architect:**

**AutoZone, Inc.**

123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103  
(901) 495-8717

**Civil Engineering Plans Prepared by:  
Civil Engineer:**

**Holm Blough & Company**

c/o: Roy R. Holm WY P.E.L.S. 2899  
1402 Stampede Avenue  
Cody, WY 82414  
(307) 587-6281

INDEX OF DRAWINGS	
C0	COVER SHEET
C1.0	SITE PLAN
C1.A	SITE DETAILS
C1.B	CITY OF CODY STANDARD STREET DETAILS
C1.C	CITY OF CODY STANDARD WATER, SEWER DETAILS
C1.1	GRADING & DRAINAGE PLAN
C1.2	UTILITY PLAN
L1.0	LANDSCAPE PLAN
PH1.0	PHOTOMETRIC PLAN
CE	EXTERIOR COLOR ELEVATIONS



**Plan Submittal Date:  
October 6, 2014**





**AutoZone Store Development  
Preliminary/Final Site Plan Submission**  
for:  
**Store No. 6278  
610 Yellowstone Avenue  
Cody, Wyoming 82414**

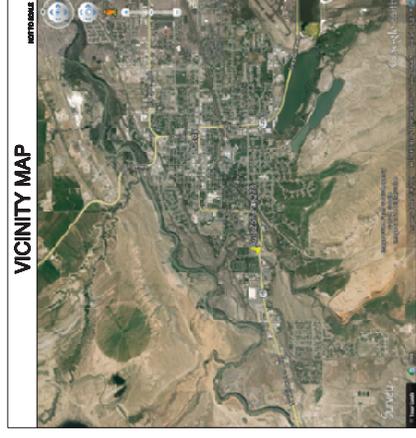
**Site Plans Prepared by:  
Applicant/Developer/Lessee:**  
**AutoZone, Inc.**  
c/o: Michelle Williams  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103  
(901) 495-8717

**Architect:**  
**AutoZone, Inc.**  
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(901) 495-8717

**Civil Engineering Plans Prepared by:  
Civil Engineer:**  
**Holm Blough & Company**  
c/o: Roy R. Holm WY P.E.L.S. 2899  
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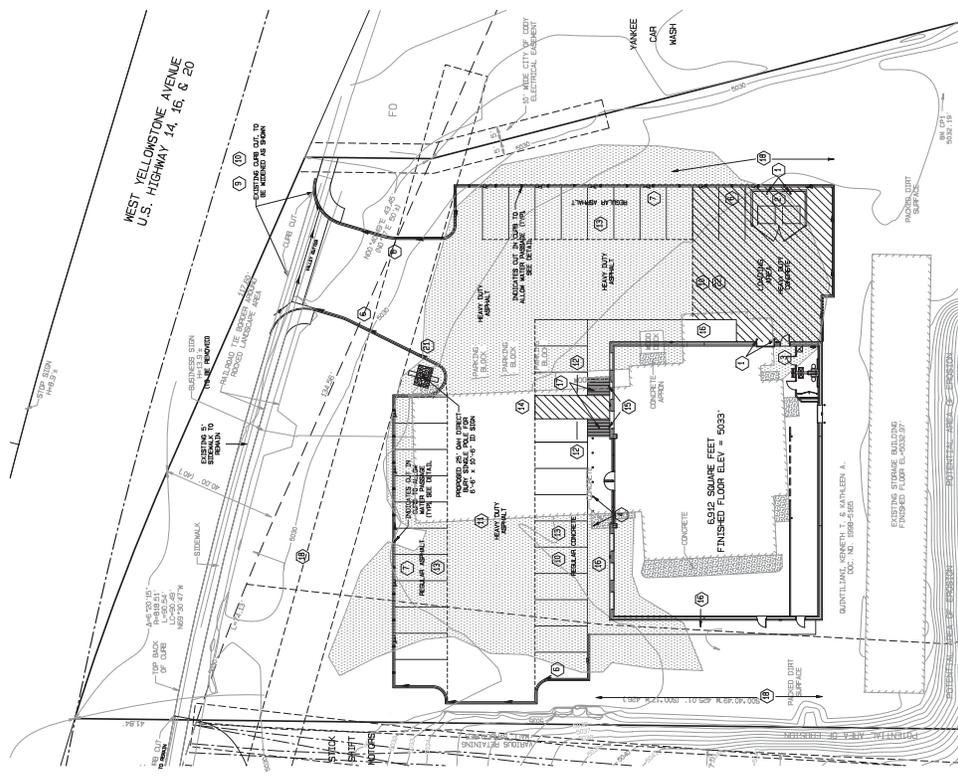
**Plan Submittal Date:  
October 6, 2014**



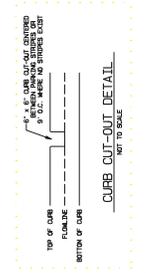
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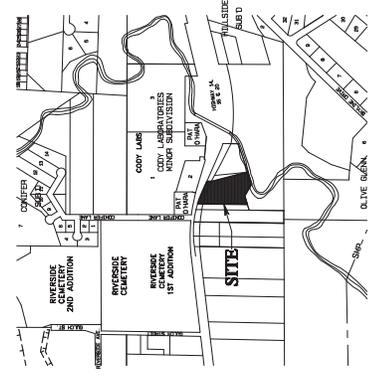
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(RESURVEY)**



**Detail Map**  
GRAPHIC SCALE 1"=20'  
0 20 40 60  
CALL 1-800-848-2478  
48 HOURS BEFORE YOU DIG



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**Vicinity Map**  
Scale: 1"=400'

- Special Notes**
- THE SITE LAYOUT SHOWN IS APPROXIMATE AND IS NOT TO BE USED FOR PRELIMINARY PLANNING PURPOSES. THIS INFORMATION SHALL NOT BE RELIED UPON OR UTILIZED FOR CONSTRUCTION PURPOSES.
  - ACTUAL LOCATIONS OF UTILITIES AND SITE FEATURES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED AT THE TIME OF CONSTRUCTION.
  - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.
  - ALL WORK IN THE RIGHT-OF-WAY, INCLUDING EARTHWORK/GRADING IS TO BE COORDINATED WITH WYDOT AND APPLICABLE LOCAL UTILITY PROVIDERS.
  - LANDSCAPING AND/OR PLANTINGS SHALL BE COORDINATED WITH WYDOT AND APPLICABLE LOCAL UTILITY PROVIDERS.
  - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND ORDINANCES.
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BULK AREA REQUIREMENTS	
ITEM	REQUIREMENTS
MINIMUM LOT AREA	None Codified
MINIMUM FRONT SETBACK	None Codified
MINIMUM SIDE SETBACK	None Codified
MINIMUM REAR SETBACK	None Codified
MAXIMUM BUILDING HEIGHT	None Codified

PARKING INFORMATION	
REQUIREMENTS	PROVIDED
BUILDING SIZE	6,912 sq ft
PARKING REQUIRED	35 Total Spaces
MIN. PARKING DIM.	9' x 18' with 2' Overhang*
MIN. ASIDE WIDTH	24'
MIN. DRIVEWAY WIDTH	24' per WYDOT
HANDICAP SPACES	2 per ADA
LOADING SPACE	1 Space

**KEYNOTES - Provided by AutoZone**

**BUILDING & FINISH**

1. Floor guard - see detail B / C1A
2. Concrete floor - see detail B230.0 / C1A
3. Service floor Plan - see detail 10 / C1A
4. Sill Plan - see detail 14 / C1A
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68. Sill Plan - see detail 14 / C1A
69. Sill Plan - see detail 14 / C1A
70. Sill Plan - see detail 14 / C1A
71. Sill Plan - see detail 14 / C1A
72. Sill Plan - see detail 14 / C1A
73. Sill Plan - see detail 14 / C1A
74. Sill Plan - see detail 14 / C1A
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79. Sill Plan - see detail 14 / C1A
80. Sill Plan - see detail 14 / C1A
81. Sill Plan - see detail 14 / C1A
82. Sill Plan - see detail 14 / C1A
83. Sill Plan - see detail 14 / C1A
84. Sill Plan - see detail 14 / C1A
85. Sill Plan - see detail 14 / C1A
86. Sill Plan - see detail 14 / C1A
87. Sill Plan - see detail 14 / C1A
88. Sill Plan - see detail 14 / C1A
89. Sill Plan - see detail 14 / C1A
90. Sill Plan - see detail 14 / C1A
91. Sill Plan - see detail 14 / C1A
92. Sill Plan - see detail 14 / C1A
93. Sill Plan - see detail 14 / C1A
94. Sill Plan - see detail 14 / C1A
95. Sill Plan - see detail 14 / C1A
96. Sill Plan - see detail 14 / C1A
97. Sill Plan - see detail 14 / C1A
98. Sill Plan - see detail 14 / C1A
99. Sill Plan - see detail 14 / C1A
100. Sill Plan - see detail 14 / C1A



**AutoZone, Inc.**  
123 S. FRONT STREET, 3RD FLOOR  
MARTIN, TENNESSEE 38103

**AutoZone STORE DEVELOPMENT**  
Prepared For:  
610 Yellowstone Avenue  
Cody, Wyoming 82414

**SCALE: VARIOUS**

**REVISIONS**

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

**ARCHITECT:** CMB  
**DATE:** 10-03-14  
**CHECKED BY:** RMB  
**DATE:** 10-03-14  
**PROJECT NO.:** 651W2-L

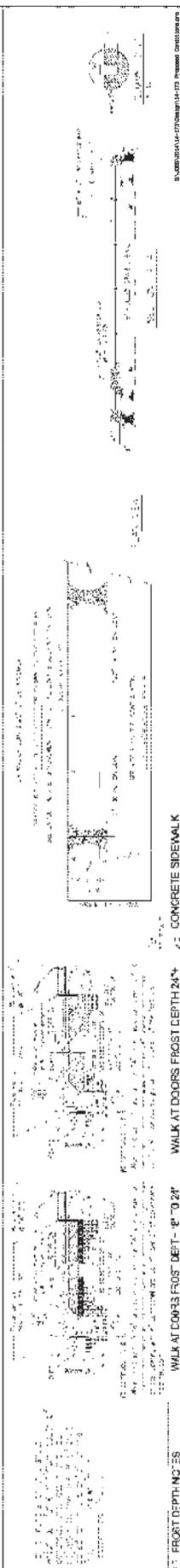
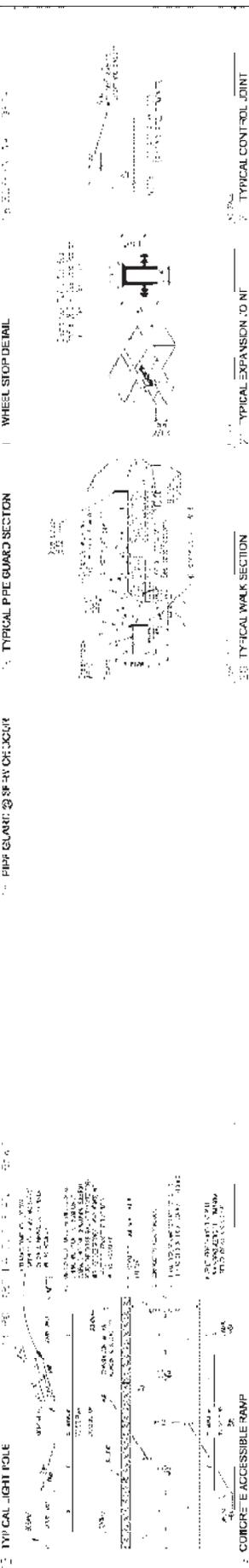
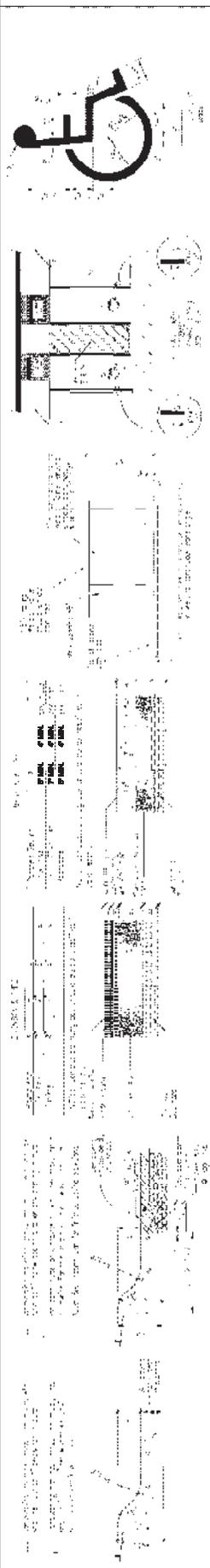
**GENERAL NOTES - Provided by AutoZone**

1. Provide all building and all parking areas. Notify the architect of any unavailability areas.
2. Edge of new pavement to be flush with existing.
3. All utility work shall be in accordance with the applicable codes, ordinances, regulations, rules, etc. Notify the architect of any unavailability areas.
4. All utility work shall conform to all applicable codes, ordinances, regulations, rules, etc. Notify the architect of any unavailability areas.
5. For proposed utility locations, see the utility plan.





ARCHITECT:	DATE:	CMS
DRAWN BY:	CHECKED BY:	REV
10-03-14		
PROJECT NUMBER		
65W2-L		



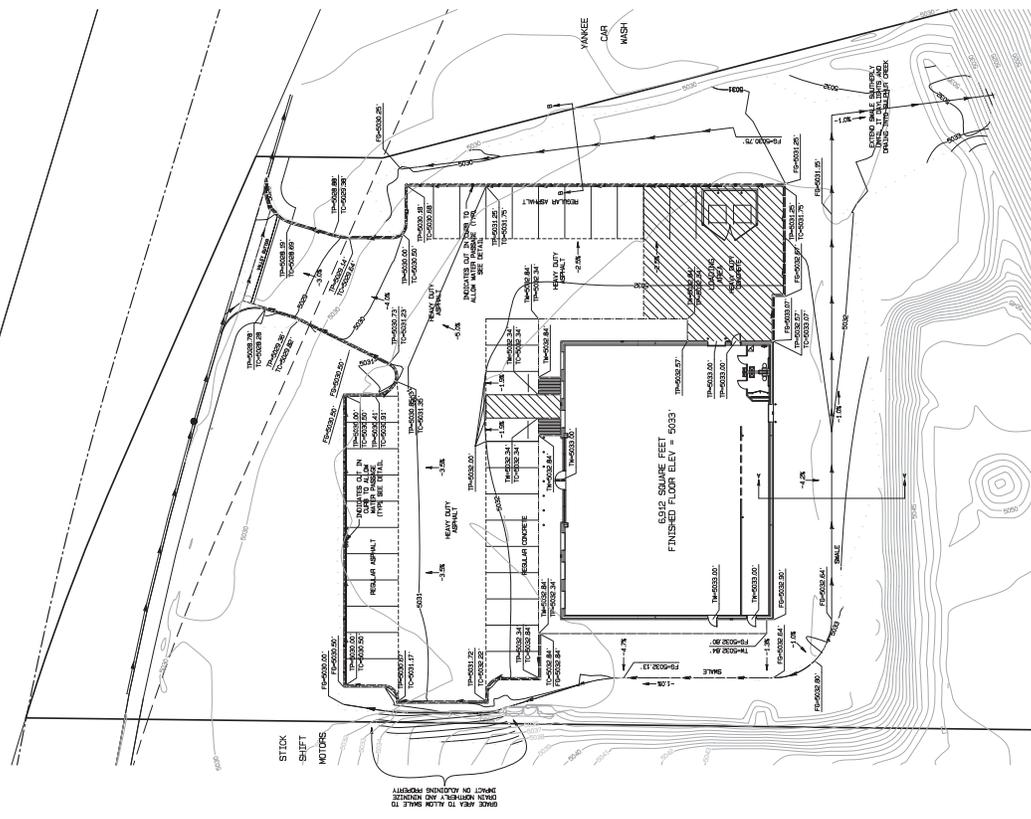
17 FRONT DEPTHING ES  
18 WALK AT DOORS FROST DEPT - 8" TO 24"  
19 WALK AT DOORS FROST DEPTH 24"  
20 CONCRETE SIDEWALK

NOTES: 1. Roll-over curb shall be designed and installed with a minimum height of 4 inches. 2. Concrete shall be finished and cured in accordance with ACI 308.3R. 3. All concrete shall be finished and cured in accordance with ACI 308.3R. 4. All concrete shall be finished and cured in accordance with ACI 308.3R. 5. All concrete shall be finished and cured in accordance with ACI 308.3R. 6. All concrete shall be finished and cured in accordance with ACI 308.3R. 7. All concrete shall be finished and cured in accordance with ACI 308.3R. 8. All concrete shall be finished and cured in accordance with ACI 308.3R. 9. All concrete shall be finished and cured in accordance with ACI 308.3R. 10. All concrete shall be finished and cured in accordance with ACI 308.3R. 11. All concrete shall be finished and cured in accordance with ACI 308.3R. 12. All concrete shall be finished and cured in accordance with ACI 308.3R. 13. All concrete shall be finished and cured in accordance with ACI 308.3R. 14. All concrete shall be finished and cured in accordance with ACI 308.3R. 15. All concrete shall be finished and cured in accordance with ACI 308.3R. 16. All concrete shall be finished and cured in accordance with ACI 308.3R. 17. All concrete shall be finished and cured in accordance with ACI 308.3R. 18. All concrete shall be finished and cured in accordance with ACI 308.3R. 19. All concrete shall be finished and cured in accordance with ACI 308.3R. 20. All concrete shall be finished and cured in accordance with ACI 308.3R.





**T. 52 N., R. 102 W.  
(RESURVEY)**



**Detail Map**



CALL 1-800-949-2478  
48 HOURS BEFORE YOU DIG

**GRADING LEGEND**  
 TP = TOP OF PAVING  
 TC = TOP OF CURB  
 TB = TOP OF BULK  
 FT = FINISHED GRADE

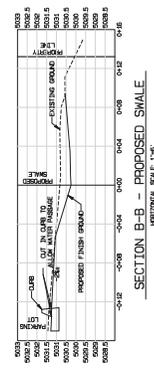
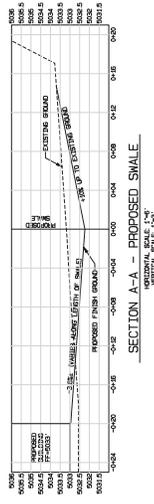
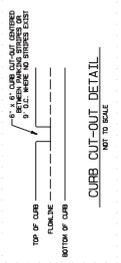


**AutoZone, Inc.**  
 123 S. FRONT STREET, 3RD FLOOR  
 MEMPHIS, TENNESSEE 38103

**AutoZone STORE DEVELOPMENT**  
 Prepared For:  
 Store No. 6278  
 610 Yellowstone Avenue  
 Cody, Wyoming 82414  
**GRADING & DRAINAGE PLAN**

SCALE: VERTICALLY	1. 1" = 20'
SCALE: HORIZONTALLY	1" = 40'
REVISIONS	2. 1. 10-03-14
	3. 1. 10-03-14
	4. 1. 10-03-14
	5. 1. 10-03-14
	6. 1. 10-03-14
	7. 1. 10-03-14
ARCHITECT:	CMS
DRAWN BY:	PKM
CHECKED BY:	PKM
DATE:	10-03-14
PROJECT NUMBER:	651W2-L

**C1.1**



**T. 52 N., R. 102 W.**  
*(RESURVEY)*

**Special Notes**

- PROVIDED BY AUTHORIZED CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING AND APPLYING FOR UTILITY SERVICE. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR STREET WORK AS REQUIRED BY CITY OF COBY.
- PROVIDES ALL UTILITIES SHOWN IN RESURVEY AND SHALL BE RESPONSIBLE FOR NECESSARY FOR THE CONSTRUCTION OF THE BUILDING AND THE PROPOSED SERVICES SHOWN HEREON.
- NO RAW WATER EXISTS ON THE PROPERTY CURRENTLY AND NONE IS PROPOSED AS PART OF THIS DEVELOPMENT.

**Utility Contacts and Specific Notes**

**ELECTRIC SERVICE**

CITY OF COBY TO PROVIDE UNDERGROUND 120/208 3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL 4" PVC CONDUIT FROM PRESTAL TO MAIN PANEL. COMPANY POINT OF CONNECTION TO BE DETERMINED BY UTILITY.

CONTACT: COBY ELECTRIC EQUIPMENT  
2200 MOUNTAIN AVENUE  
CODY, WY 82414  
307.587.4821

**TELECOMMUNICATIONS SERVICE**

GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 4" PVC CONDUIT FROM PRESTAL TO PHONE PANEL. CONTACT: SBC  
614 4TH STREET  
CODY, WY 82414  
307.587.7554

**GAS SERVICE**

GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER LINE FROM THE EXISTING MAIN TO THE BUILDING. CONTRACTOR TO PROVIDE AND INSTALL 4" SERVICE TO THE BUILDING AS SHOWN. MINIMUM GRADE IS 26. PROVIDE CLEANSOUTS AS SHOWN.

CITY OF COBY  
18 STEPHEN W. RANNE P.E., PUBLIC WORKS DIRECTOR  
2200 MOUNTAIN AVENUE  
CODY, WY 82414  
307.587.7551

**SEWER AND TREATED WATER**

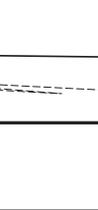
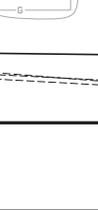
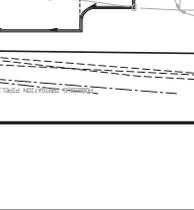
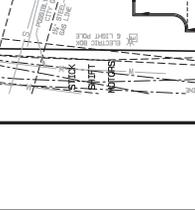
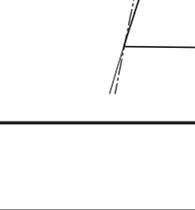
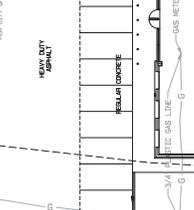
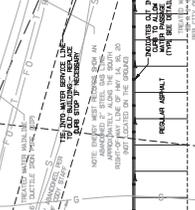
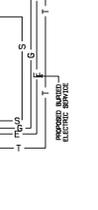
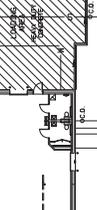
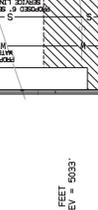
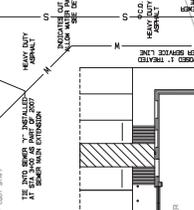
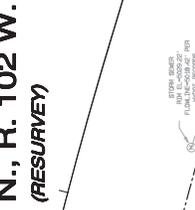
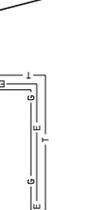
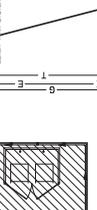
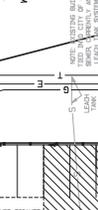
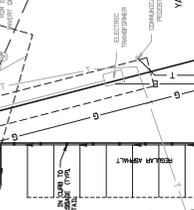
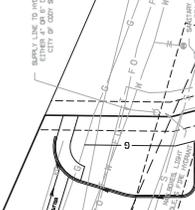
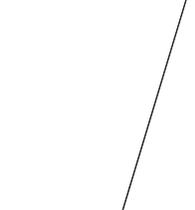
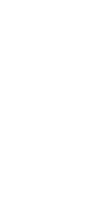
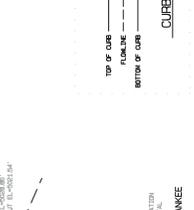
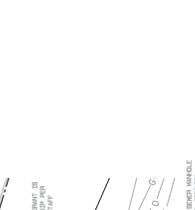
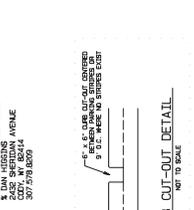
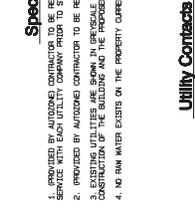
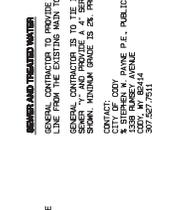
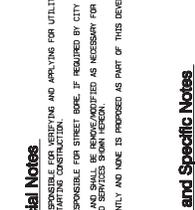
GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 4" PVC CONDUIT FROM PRESTAL TO PHONE PANEL. CONTACT: SBC  
614 4TH STREET  
CODY, WY 82414  
307.587.7554

**WATER COMMUNICATIONS SERVICE**

GENERAL CONTRACTOR TO PROVIDE AND INSTALL ONE 4" PVC CONDUIT FROM PRESTAL TO PHONE PANEL. CONTACT: SBC  
614 4TH STREET  
CODY, WY 82414  
307.587.7554

**LEGEND**

EXISTING ELECTRIC BOX	—E—
EXISTING TELEPHONE WAREHOUSE	—T—
EXISTING WATER LINE GASE STOP	—W—
EXISTING WATER VALVE COVER	—V—
PROPOSED SEWER CLEANSOUT (C.O.)	—S—
EXISTING WATER LINE PIPELINE	—H—
EXISTING BORED COMMUNICATION CABLE	—G—
EXISTING BORED ELECTRIC CABLE	—Y—
EXISTING FENCE	—X—
PROPOSED WATER LINE PIPELINE	—M—
PROPOSED BORED COMMUNICATION CABLE	—G—
PROPOSED BORED ELECTRIC CABLE	—E—
VARIOUS ELEMENTS	—Dashed Lines—



Autozone, Inc.  
123 S. FRONT STREET, 3RD FLOOR  
MERRIS, TENNESSEE 38103

Prepared For:  
Autozone  
Store No. 8278  
610 Yellowstone Avenue  
Cody, Wyoming 82414

UTILITY PLAN  
SCALE: VARIES

REVISIONS  
1.  
2.  
3.  
4.  
5.  
6.  
7.

ARCHITECT: CMS  
DESIGNED BY: PMS  
CHECKED BY: PMS  
DATE: 10-03-14  
PROJECT NUMBER: 651W2-L

C1.2



CALL 1-800-848-2478  
48 HOURS BEFORE YOU DIG





Architect: Phil Perced  
123 South Trent Street  
Memphis, Tennessee 38103  
TTL: 901-495-6500 FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
McGray - Hill Construction Tel. 615-884-1017  
www.construction.com

Autozone Store No. 6278  
YELLOWSTONE AVE  
WY 82414

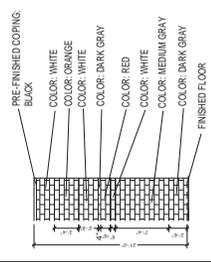
EXTERIOR COLOR ELEVATIONS AND NOTES

REV#	DATE	DESCRIPTION
1	REV#	
2	REV#	
3	REV#	
4	REV#	
5	REV#	
6	REV#	

- REVISIONS
- TWO BECE COMPRESSION TRIM SEE DETAIL 4166
  - SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
  - WALL MOUNTED LIGHT FIXTURE
  - PPE GUARD WITH RED SLEEVE
  - MFG. WHITE EXTERIOR INSULATED FINISH - PAINT WHITE
  - PAINT MAIN DOOR RED & METAL FRAMES BLACK
  - DO NOT PAINT COVERHEAD DOOR PAINT ANGLES BLACK
  - EXPANSION JOINT
  - ALUMINUM STONEFRONT - RED KINAR FINISH
  - GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
  - FRONT WALL SIGN - 46" CHANNEL LETTER
  - NOT USED
  - TOWEL WALL VENTS PAINT TO MATCH WALL
  - STORE ADDRESS - 5" WHITE REFLECTIVE NUMBERS
  - SCUPERS AND DOWNSPUTES PAINTED TO MATCH BACKGROUND WALL COLOR ADJACENT 4" H X 6" W OVERFLOW SCUPPER FLOWLINE 2" ABOVE ROOF.
  - BOND BEAM AT ROOF LINE
  - LEFT SIDE WALL SIGN - 46" CHANNEL LETTER
  - CLERESTORY WINDOW - EVERGREEN GLASS
  - FAUX WINDOW - OPAQUE BLACK GLASS

2 ELEVATION KEY NOTES

NOTE: CENTER ALL WALL SIGNAGE VERTICALLY ON THE PAINTED ORANGE STRIPE OR BETWEEN THE TOP TWO BRICK SOLDIER COURSES. PAINT ORANGE STRIPE TO WITHIN 2" OF WALL SIGN. DO NOT PAINT ORANGE STRIPE BEHIND SIGN.

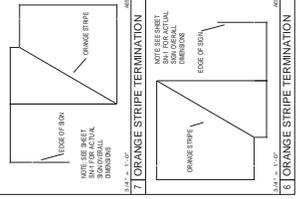


3 EXTERIOR WALL COLOR SCHEME

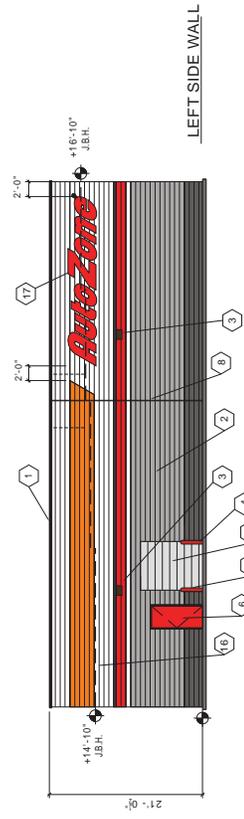
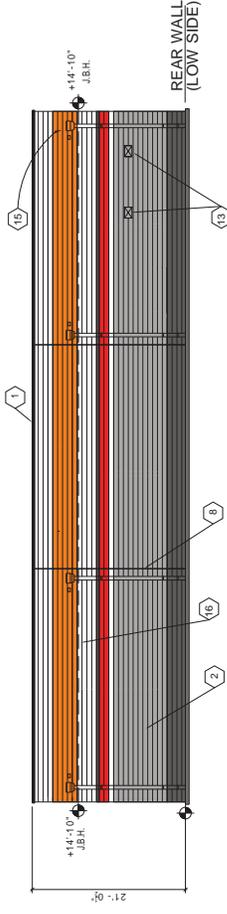
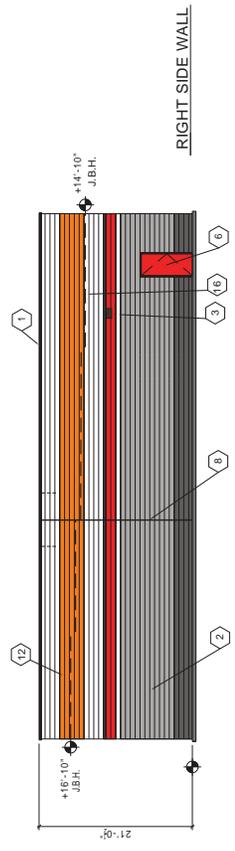
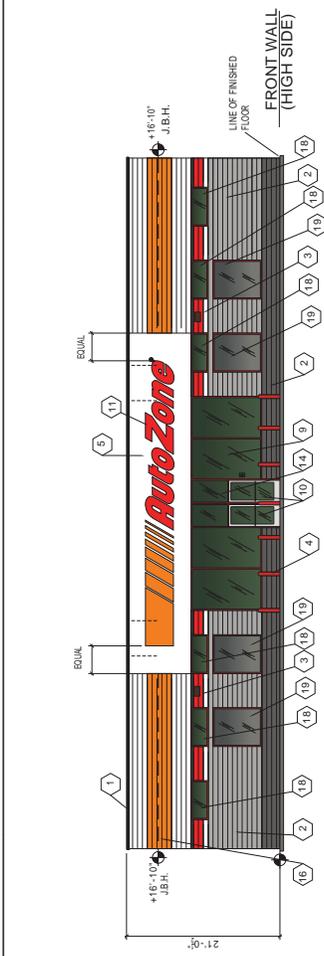
- GENERAL NOTES:
- REFER TO SECTION 0900 OF THE SPECIFICATIONS FOR PAINT AND FINISH COATINGS. ALL COLORS ARE OF SHERWIN-WILLIAMS PAINT COMPANY.
  - PAINT RES ROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
  - SEAMANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
  - ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

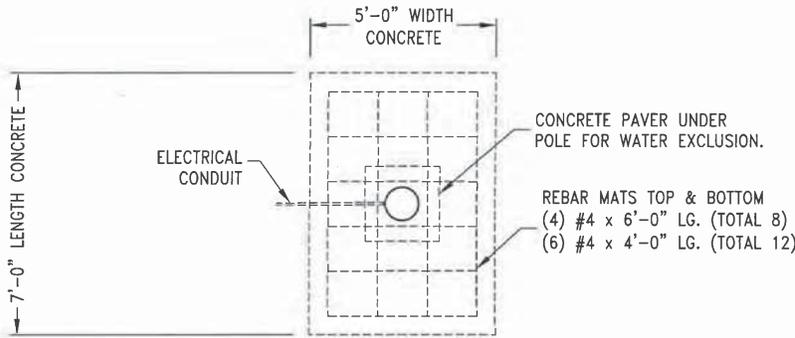
4 GENERAL NOTES

- SIGNAGE NOTES:
- AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS OTHERWISE SPECIFICALLY NOTED ON THE DRAWINGS. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FINISHED AND PREPARED BY GENERAL CONTRACTOR.
  - SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL PRE-EXISTING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGNS IS TO BE LOCATED.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL AND FINAL ELECTRICAL HOOK-UP. SEE 'SI' SHEETS FOR ADDITIONAL INFORMATION.
  - SEE SHEET 63 FOR LOCATIONS OF JOINTS TERMINATING EACH WALL SIGN CIRCUIT.

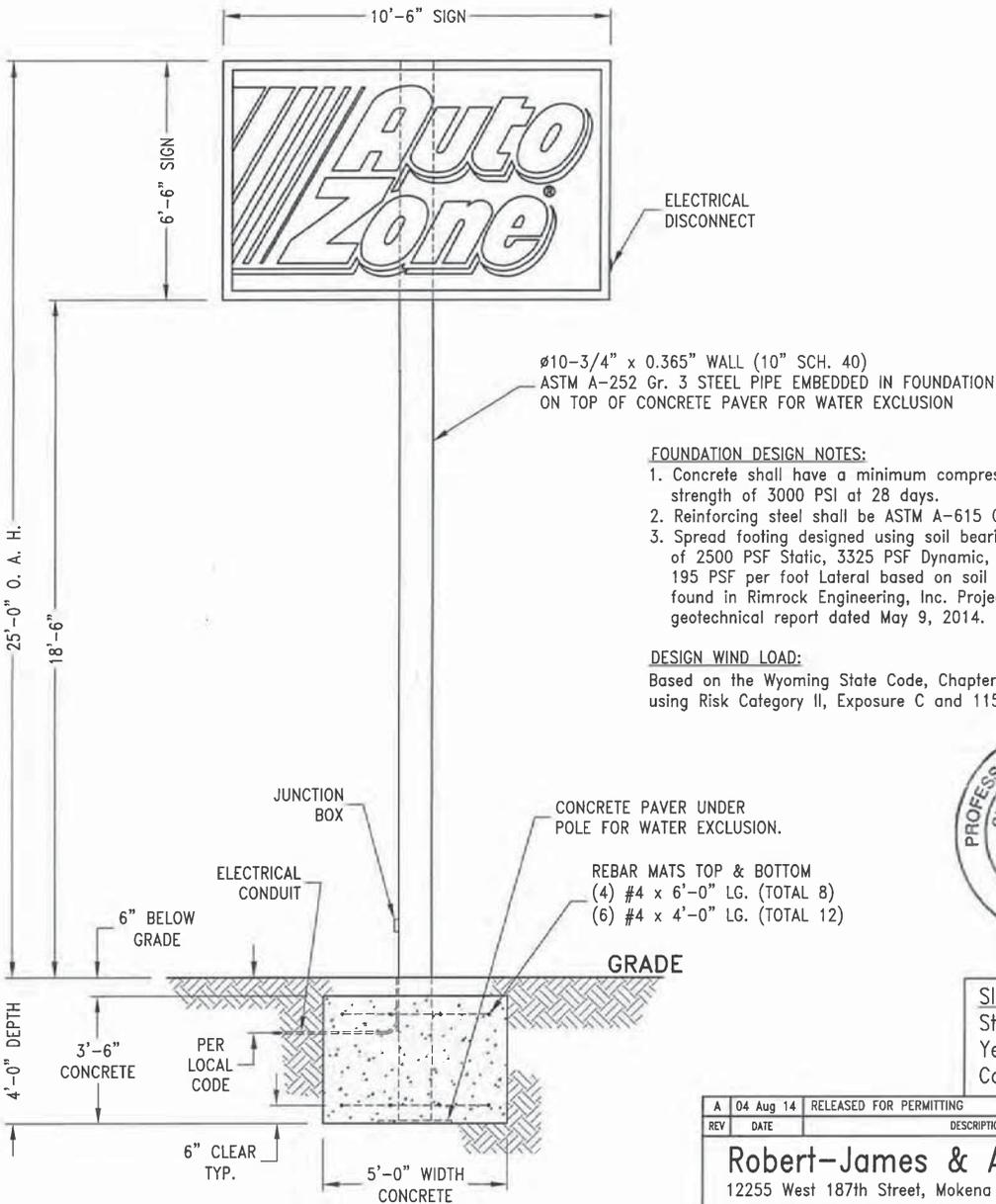


J.B.H. = JOIST BEARING HEIGHT





**PLAN VIEW**  
QTY. CONCRETE: 4.5 CU. YDS.



**ELEVATION VIEW**

**FOUNDATION DESIGN NOTES:**

1. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
2. Reinforcing steel shall be ASTM A-615 Gr. 60.
3. Spread footing designed using soil bearing forces of 2500 PSF Static, 3325 PSF Dynamic, and 195 PSF per foot Lateral based on soil conditions found in Rimrock Engineering, Inc. Project No. 13-154-04 geotechnical report dated May 9, 2014.

**DESIGN WIND LOAD:**

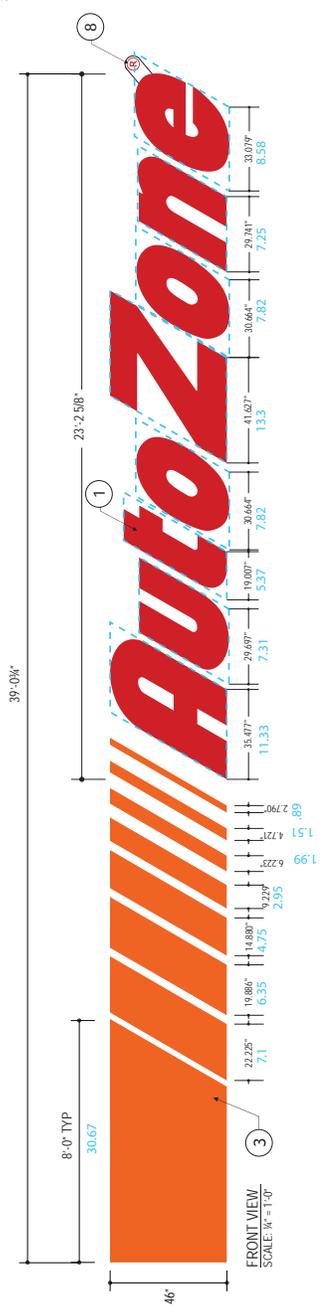
Based on the Wyoming State Code, Chapter 9 (2012 IBC) using Risk Category II, Exposure C and 115 mph wind speed.



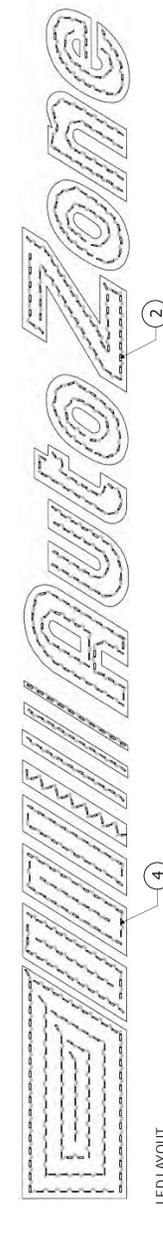
SITE: AutoZone  
Store No. 6278  
Yellowstone Avenue  
Cody, Wyoming

A	04 Aug 14	RELEASED FOR PERMITTING	J. HOGAN
REV	DATE	DESCRIPTION	APPROVED
<b>Robert-James &amp; Associates, Inc.</b> 12255 West 187th Street, Mokena Illinois 60448-9737 phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net			
<b>TITLE 25'-0" OAH DIRECT BURY SINGLE POLE FOR 6'-6" x 10'-6" ID SIGN</b>			
DRAWN BY	J. GREENAN	DATE	04 Aug 14
CHECKED BY	J. HOGAN	DATE	04 Aug 14
SCALE	NONE	DRAWING NUMBER	1408013
SHEET	SN-1	REV.	A

149.74 sq. ft.  
124.99 sq.ft.



FRONT VIEW  
SCALE: W=1'-0"



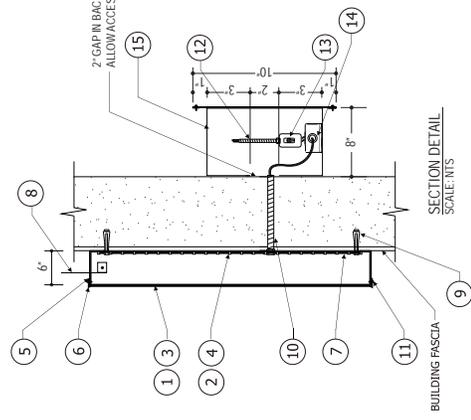
LED LAYOUT  
SCALE: NTS

**CALL OUTS:**

- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS.
- AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED.
- 3/16" THK PIGMENTED PLEXIGLAS ORANGE 2119 AUTOZONE STRIPES.
- AUTOZONE STRIPES INTERNALLY ILLUMINATED w/ GE TETRA MAX ORANGE LED.
- 6" PRE-FINISHED .040 BLACK/WHITE ALUMINUM RETURNS LETTER LOCKED/STAPLED TO BACK AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS/STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED GLOSS BLACK. (P-1) SPACING SHALL NOT EXCEED 18". NO FEWER THEN FOUR (4) SCREWS PER FACE.
- PRE-FINISHED .063 BLACK/WHITE ALUMINUM BACK LETTER LOCKED/STAPLED TO RETURN AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- WHITE ALUMINUM TAB w/ RED @ VINYL APPLIED FIRST SURFACE V-1.
- REFER TO ENGINEERING FOR MOUNTING REQUIREMENTS.
- 3/8" FLEXIBLE CONDUIT (GREEN FIELD).
- 1/4" WEEP HOLES.
12. 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS, TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS.
- UL APPROVED ELECTRICAL SHUT OFF SWITCH.
- TETRA POWER SUPPLY MOUNTED TO BOTTOM OF RACEWAY COVER.
- 8" x 10" H x .063 ALUMINUM FOUR SIDED INTERIOR RACEWAY w/ REMOVABLE FACE P-2, P-3 (REQUIRED FOR ALL SIGNS).

**NOTES:**

- ALL VISIBLE SCREW HEADS & POP RIVETS PAINTED GLOSS BLACK.
- RACEWAY SHIPPED IN (5) PIECES (2-BACKS, 1-FRONT, 2-ENDS) & ASSEMBLED IN FIELD.



SECTION DETAIL  
SCALE: NTS

MATERIAL BREAKDOWN		
Item	Modules	P/S
GEMPO-1		
S1	10.0	
S2	10.0	
S3	10.0	
S4	14.0	1
S5	20.0	
S6	20.0	
S7	32.0	
S8	114.0	1
GEMRD-1		
Modules		P/S
A	43	1
U	28	
T	19	
O	27	1
Z	49	
O	27	
N	29	1
E	29	

MATERIAL LIST		
LED Module	GEMPO-1	239 Mod
Power Supply	GEMRD-1	251 Mod
Supply Wire	GEPS17-60U-NA	5 Ea
Choose one wire connector	GEPS17-20	0 Ea
Choose one wire connector	9409	186 Ft
End Caps	191600005	54 Ea
	191600041	54 Ea
	191600041	34 Ea

**FINISHES:**

- P-1 GLOSS BLACK
- P-2 RUSTOLEUM 20-9109 WHITE PRIMER
- P-3 SHERWIN WILLIAMS RELIABLE WHITE
- V-1 SIGN TECH (ARLON) 2500-2662 RED CAST FLEX VINYL



Job Number  
**XXXX**

QTY: (1)

JOB NAME: CITY, STATE  
**AUTO ZONE - STORE #**  
46" AZ CHANNEL LETTERS - LS

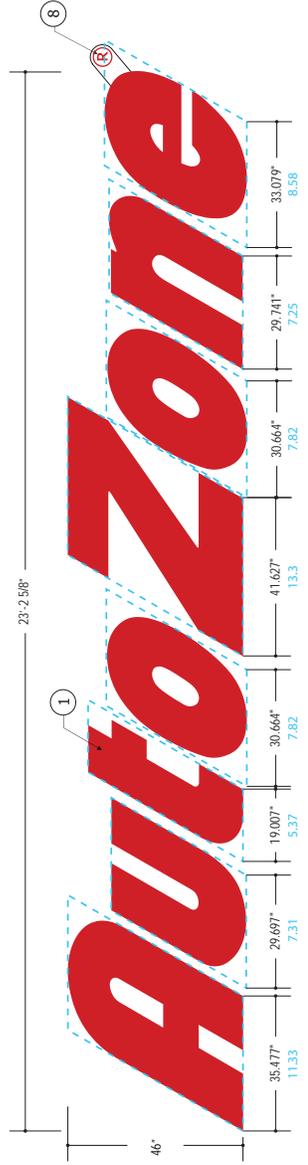
**JONES SIGN**  
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1711 SCHEURING ROAD  
DE PERE, WI 54115  
TEL: 920-983-6700  
FAX: 920-983-9145  
www.jonesign.com

Quality Grade:	2
# of Circuits Req'd:	1-20 AMP CIRCUIT
Amp Draw:	3.3A
Voltage:	120V
Price Manager:	Mike Walker
Salesman:	Mike Borklund
Revision Date:	(SEE REVISION TABLE)
Date:	06.06.14
Drawn By:	JS
Sheet No.:	1

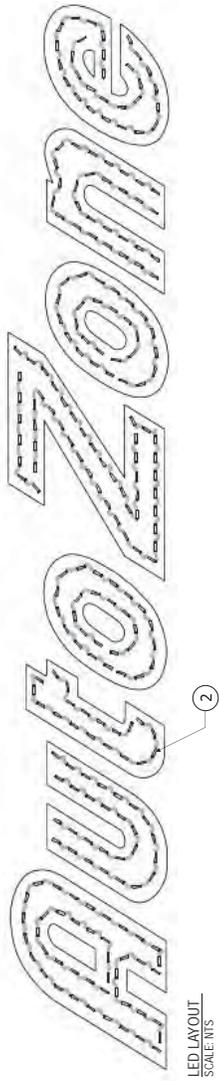
**REVISIONS**

REV.	DATE	BY	DESCRIPTION
1			

89.01 sq. ft.  
68.78 sq.ft.



FRONT VIEW  
SCALE: 3/8" = 1'-0"

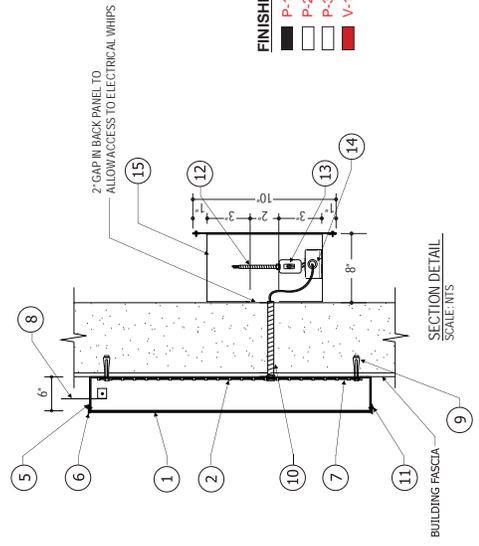


**CALL OUTS:**

- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS.
- AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED.
5. 6" PRE-FINISHED .040 BLACK/WHITE ALUMINUM RETURNS LETTER LOCKED/STAPLED TO BACK AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS/STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED GLOSS BLACK P-1. SPACING SHALL NOT EXCEED 18". NO FEWER THEN FOUR (4) SCREWS PER FACE.
- PRE-FINISHED .063 BLACK/WHITE ALUMINUM BACK LETTER LOCKED/STAPLED TO RETURN AND CAULKED. (INSIDE OF LETTERS/STRIPES TO BE WHITE)
- WHITE ALUMINUM TAB w/ RED @ VINYL APPLIED FIRST SURFACE V-1.
- REFER TO ENGINEERING FOR MOUNTING REQUIREMENTS.
- 3/8" FLEXIBLE CONDUIT (GREEN FIELD).
- 1/4" WEEP HOLES.
- 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS, TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS.
- UL APPROVED ELECTRICAL SHUT OFF SWITCH.
- TETRA POWER SUPPLY MOUNTED TO BOTTOM OF RACEWAY COVER.
- 8" x 10" x .063 ALUMINUM FOUR SIDED INTERIOR RACEWAY w/ REMOVABLE FACE P-2, P-3 (REQUIRED FOR ALL SIGNS).

**NOTES:**

- ALL VISIBLE SCREW HEADS & POP RIVETS PAINTED GLOSS BLACK.
- RACEWAY SHIPPED IN (5) PIECES (2-BACKS, 1-FRONT, 2-ENDS) & ASSEMBLED IN FIELD.



**FINISHES:**

- P-1 GLOSS BLACK
- P-2 RUSTOLEUM 20-9109 WHITE PRIMER
- P-3 SHERWIN WILLIAMS RELIABLE WHITE
- V-1 SIGN TECH (ARLON) 2500-2662 RED CAST FLEX VINYL



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THE SIGN SHALL BE PROPERLY GROUNDING AND BONDING OF THE SIGN.

MATERIAL BREAKDOWN			MATERIAL LIST		
ITEM	QUANTITY	UNIT	DESCRIPTION	QUANTITY	UNIT
GEARMD-1	1	Module	LED Module	1	Module
A	28.0	Module	Power Supply	5	Module
T	19.0	Module	Supply Wires	186	FT
O	27.0	Module	Choose one wire connector	54	EA
Z	49.0	Module	End Caps	34	EA
N	29.0	Module			
E	29.0	Module			

Job Number  
**XXXX**

QTY: (1)

JOB NAME: CITY, STATE  
**AUTOZONE - STORE #**  
**46" AZ CHANNEL LETTERS - NS**

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DE FRE. WI 54115 TEL: 920-983-6700  
FAX: 920-983-9145  
www.jonesign.com

Quality Grade:	2
# of Circuits Req'd:	1-20 AMP CIRCUIT
Amp Draw:	3.3A
Voltage:	120V
Prep Manager:	Mike Walker
Subcontractor:	Mike Borklund
Revision Date:	(SEE REVISION TABLE)
Date:	06.06.14
Drawn By:	JS
Sheet No.:	1

**REVISIONS**

REV.	DATE	BY	DESCRIPTION
1			

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	OCTOBER 14, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW: FEDEx GROUND FACILITY SPR 2014-36	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Ruedebush Development & Construction, LLC has submitted an application for a FedEx Ground facility at 701 33<sup>rd</sup> Street. The facility includes 22,635 square feet of building and associated loading docks, parking facilities, and infrastructure. Attached are the site plan, utility plan, grading/drainage plan, landscaping plan, and architectural elevations.

**REVIEW CRITERIA:**

The property is located within the General Commercial/Light Industrial "D-3" zoning district, which permits the proposed use.

Section 10-10C-5 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

Section 9-2-3 is as follows:

*Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.*

**STAFF COMMENTS:**

The surrounding area is as follows:

<b>DIRECTION</b>	<b>EXISTING USE</b>	<b>ZONING</b>
North	Vacant 4-acre lot.	D-3
East	Eleutian building across 33 <sup>rd</sup> , vacant lots in GC	D-3

	Cody Subdivision along north side of east property line.	
South	City storm water facilities and hillside.	D-3
West	Vacant lots in Rocky Mtn. Business Park.	D-3

Landscaping and Architecture:

The Planning and Zoning Board discussed the architectural and landscaping plans with the applicant's representative at the last Board meeting (see also staff report from that meeting). Neighboring property owners voiced concern over the lack of landscaping and architectural enhancements to the plain metal building. The developer and neighboring property owners had a follow-up meeting on these subjects, as well as fencing and traffic, on October 21<sup>st</sup>. In response to all of the above, the applicant has voluntarily revised the architectural plans by adding split face block to the office area of the building as a wainscot treatment. In addition, the landscaping plan now includes 29 Austrian pine (or equivalent) trees and 36 white spruce (or equivalent) trees around the perimeter of the developed area, and a new rock garden and sod landscaped area at the southeast corner of the building. The sod areas along 33<sup>rd</sup> Street remain. Proposed fencing has also changed from the 8-foot tall chain link plus 3-strand barbed wire to a 6(?) -foot tall, black ornamental fence. The fence is also relocated to be inside of the tree plantings, rather than along the perimeter of the property.

We understand that the architectural and landscaping plans are now acceptable to the majority of the neighbors. (Note: The review standard is not that the neighbor's need to approve the plans, yet the fact that neighbors are now satisfied in those aspects lets the Board know where the neighbors are on the issues.)

The landscaping plan needs to be slightly modified so that all trees are outside of the city utility easement along the east side of the property, based on their mature size. It is also recommended that the outside row of trees on the east side of the building be shifted west so that they are not in the bottom of the drainage swale or infiltration basin. The shift will result in the trees being planted about 4-feet higher in elevation.

The sizes of the trees at planting are not noted. Seedlings should not be accepted. The Board may want to specify a minimum height at planting (5 feet?). The landscaping plan calls for drip irrigation to all tree locations.

Irrigation of the grass areas is noted, although details are not provided. The property does have Cody Canal irrigation water available from a private line.

Access:

Proposed access to the site is directly from the 33<sup>rd</sup> Street, a fully-improved city street, classified as a "local access" on the City's master street plan. Cougar Avenue, classified as a "collector", is along the south side of the property, but is only improved as an emergency access gravel roadway.

The access points to 33<sup>rd</sup> Street are at acceptable locations. Neighbors would prefer that the truck entrance be off of Cougar Avenue. This makes sense for the long-term, as Cougar Avenue is intended to be the collector street for the area. However, staff does not believe that the applicant can be forced to use Cougar Avenue, as 33<sup>rd</sup> Street is technically adequate. If the applicant voluntarily wants to use 33<sup>rd</sup> Street for the truck entrance, staff believes it reasonable to allow such even if it is not presently improved to applicable street standards.

The approaches to 33<sup>rd</sup> Street will need to be constructed to full ADA pedestrian standards. The current drawings lack the sidewalk detail and ADA components necessary.

#### Parking:

Parking is provided in accordance with all city off-street parking regulations. The driveways and parking spaces meet the dimensional requirements of the parking ordinance. Other parking requirements, including illumination, surfacing, proximity to building, configuration, pedestrian access to building, circulation patterns, etc. are met.

#### Exterior Lighting

A photometric plan is included. It is based on light fixtures of 33 feet in height, except for one pole near the middle of the site that is proposed at 42 feet. The additional height is apparently needed to provide adequate coverage over the large truck maneuvering area south of the building. For comparison, there are no other light pole fixtures on the Big Horn Avenue commercial corridor taller than 30 to 32 feet.

As the photometric plan does not extend beyond the property boundary and we do not have cut sheets for the lights, it not known how much backlighting would affect the neighboring properties to the west. It is suggested that the three light poles along the west property line be moved slightly away from that property line, so that backlighting impacts to the neighboring lots are minimized. If these fixtures are not "forward throw", they should be changed to be such.

The photometric plan reflects exterior lighting fixtures on the building, but fixture details were not submitted. The light fixtures should be of a full cut-off design to prevent glare.

#### Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or building height limits in this zone. No residential buffers are required for this proposal as there is no adjacent residential zoning.

#### Storm Water Plan:

The storm water plan has been designed according to the City's storm water policy manual. It involves a series of swales that collect water and carry it to a large storm

water basin in the northeast portion of the property (see Sheet C-03). The city engineer likes the plan, but would like a small lip on the edge of the asphalt near the west side of the property. The lip would serve to minimize the potential for drainage to flow onto the neighboring Rocky Mountain Business Park property.

#### Snow Storage

The modifications to the landscape plan prevent full utilization of the original snow storage areas shown on the site plan (due to fence and trees). Nevertheless, it appears that sufficient snow storage area is still available in the corners of the fenced areas and off of the pavement.

#### Utility Services

The building will utilize domestic water, power, gas, and sewer service. The water and sewer details on the "Treated Water and Sewer Main Extensions" plan reflect the current proposal (Modifies Sheet C-02). As these plans were just received, Public Works has not had a chance to review them. Conceptually they look like what Public Works was asking for, with the exception of missing a fire hydrant on the water line.

The electrical plan is still technically conceptual, as electrical load calculations have yet to be submitted. The size of the transformer and other electrical components will be based on the information provided. In addition estimated water and sewer usage estimates need to be provided so that the City can calculate those utility fees.

Natural gas service and any other private utilities will need to be coordinated with those providers.

#### Signage

The proposed wall sign is a 30" by 71" non-illuminated panel displaying "FedEx Ground", at the southeast corner of the building. An entry sign at the truck entry would be a five-foot tall, 3-foot by 5-foot address sign (Note 9 on Sheet C-01). Other signs noted on Sheet C-01 are on-site "convenience" signs. All of these signs can be authorized as proposed.

#### Fire Protection/Emergency Response

The building will rely on a fire sprinkler system for fire protection. The entry gate prevents access by other than authorized personnel. A method of entry (key card, lock box, etc.) for emergency personnel is needed. Coordinate with the fire marshal.

#### Frontage Status

Sidewalk, curb, gutter, and streetlights exist along 33<sup>rd</sup> Street. The property is under covenant to participate in a future improvement district for the construction of Cougar Avenue to City standards. After discussion with City Council, the formation of an improvement district does not appear to be likely in the immediate future.

### Garbage

The gated entry also causes issues for trash collection by the City. The applicant is contemplating options. If the City is to provide trash collection, (or cardboard recycling), they require the ability to enter the property without relying on others. A key card or other simple method of entry would be needed. Also, the dumpster location shown on Sheet C-02 will need to be shifted a few feet west to allow pickup—the garbage trucks utilize a passenger side pickup method.

### **ATTACHMENTS:**

Application materials.

### **ALTERNATIVES:**

Approve or deny the site plan with or without changes.

### **RECOMMENDATION:**

It is recommended that the Planning and Zoning Board approve the project subject to the following items.

1. Provide updated plans for submittal with the building permit addressing all of the following applicable items, and coordinated with the architectural and landscaping plans.
2. Update the landscaping plan by shifting all trees outside of the city utility easement (based on size at maturity), and out of the bottom of the drainage swale/area. Also note the height of the fence (6 feet) and the irrigation plan (pump, storage, sleeves under pavement, etc. as needed). Minimum height of the trees at planting is 5 feet above ground level.
3. The final utility plans are subject to review and approval by the Public Works Department. In addition the water and sewer main extensions require WY DEQ approval prior to construction.
4. Coordinate access to the site for garbage collection, and the dumpster location(s) with the sanitation division. They require access without relying on others (e.g. keycard).
5. Coordinate emergency response access to the site with the fire marshal. Again, a key card or other easy method of entry is needed.
6. Provide the lip along the west side of the asphalt, as requested by the city engineer.
7. Provide for pedestrian ADA access across the road approaches (slope sidewalks/curbing and install detectible warning pads, etc.). Submit details for review prior to construction.
8. Shift the three light poles on the west side of the property away from the property line at least a few feet. (Any limit on height of proposed 42' pole?)
9. Applicable city utility fees (power, etc.) are to be paid prior to building permit issuance.
10. All site lighting must be full cut-off style.
11. The project must otherwise comply with the most recent plans and applicable building, fire, and electrical codes.

12. The drainage facilities are to be inspected and certified by the applicant's engineer that they were completed according to approved plans, prior to issuance of a certificate of occupancy.
13. If landscaping cannot be installed prior to occupancy due to weather, a financial security with conditions acceptable to the city may be provided to delay installation until favorable weather conditions exist.













**ELECTRICAL SITE KEY NOTES:**

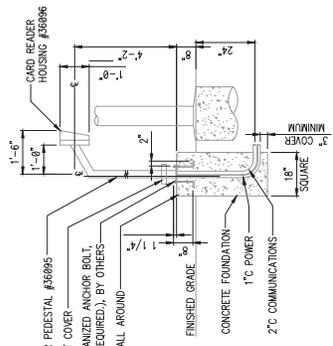
- 1 PROVIDE (1) 1" PVC SCHEDULE 40 AND (1) 2" PVC SCHEDULE 40 24" BELOW FINISHED GRADE. ALL SUB-SURFACE COMMUNICATIONS SHALL HAVE (1) #12 SOLID COPPER TRACE WIRE THIN OR THIN WM-1, 680V, WITH 1/2" JACKET THICKNESS AND RATED SPECIFICALLY FOR BURIED USE. REFER TO FEDX SPECIFICATION SECTION 16.12.
- 2 SUB-HP 2" WITH PULLSTRING 24" ABOVE FINISHED GRADE. 2" WITH CONDUIT WITH 1/2" PULLSTRING 24" BELOW GRADE. COORDINATE WITH FENCING CONTRACTOR.
- 3 SUB 2-4" COMMUNICATION CONDUITS DIRECTLY BENEATH TELEPHONE BACKBOARD. REFER TO DETAIL 5 SHEET E-6.
- 4 REFER TO DETAIL 2, SHEET SE-2 FOR BASE, POLE, AND FIXTURE INSTALLATION DETAILS FOR I FIXTURE.
- 5 REFER TO DETAIL 1, SHEET SE-2 FOR BASE, POLE, AND FIXTURE INSTALLATION DETAILS FOR K FIXTURE.
- 6 TURNSTILE GATE. REFER TO DETAIL 6 SHEET E-14.
- 7 REFER TO UTILITY TRENCH DETAIL 4 THIS SHEET. COORDINATE ALL UTILITY WORK WITH UTILITIES PRIOR TO ANY WORK.
- 8 REFER TO DETAIL 2 GATE ENTRY ACCESS PEDESTAL THIS SHEET.
- 9 REFER TO DETAIL 1 AND 1A SHEET E14 PRIOR TO ANY WORK FOR ELECTRICAL COMPONENTS.
- 10 SEE ENLARGED BLOCK HEATER DETAIL 3 THIS SHEET.
- 11 REFER TO SHEET E7 FOR UTILITY RESPONSIBILITY CHART.
- 12 REFER TO DETAIL 3, SHEET SE-2 FOR BASE, POLE, AND FIXTURE INSTALLATION DETAILS FOR L FIXTURE.
- 13 ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL LOPT1.

**GENERAL NOTES**

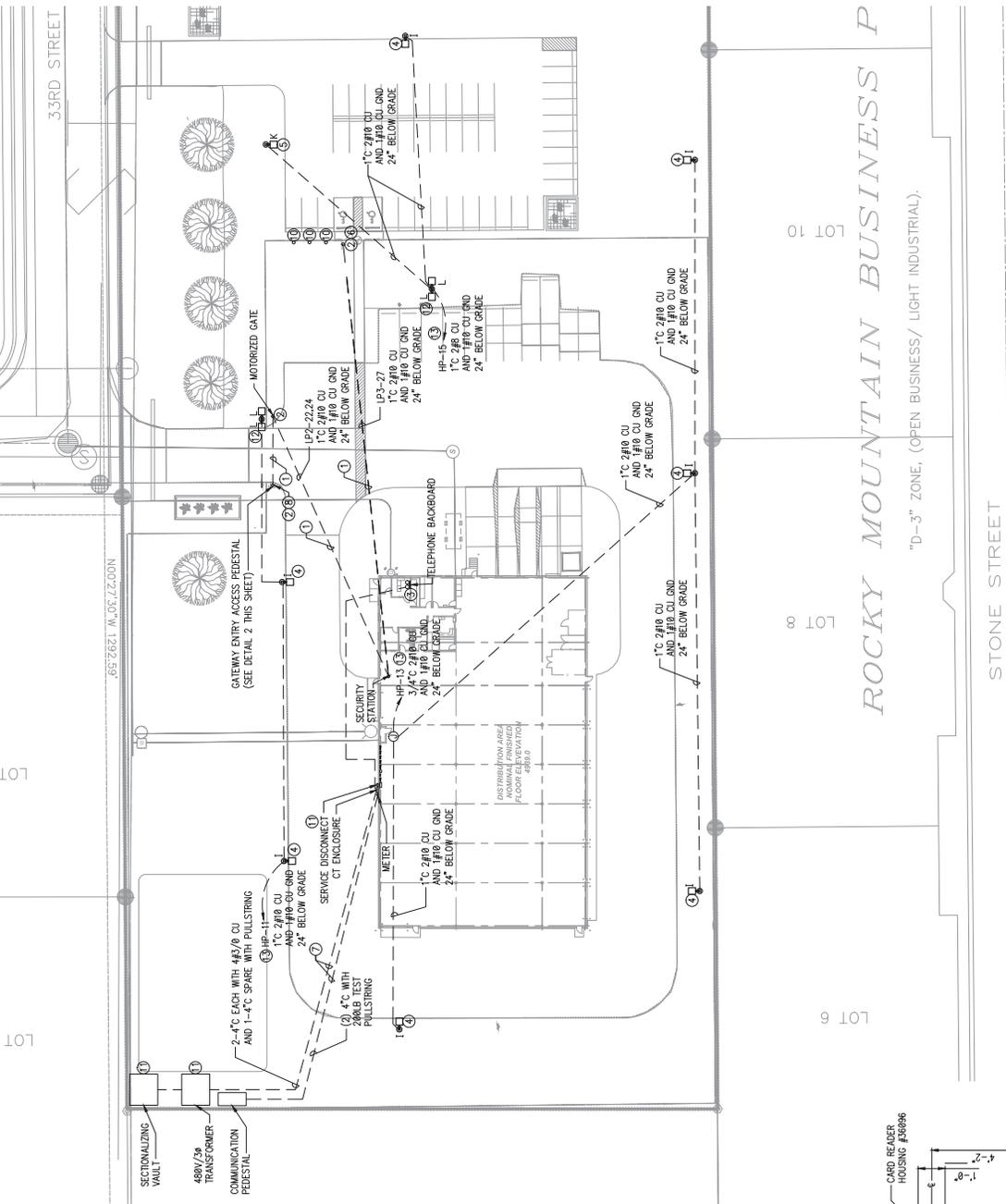
1. ALL AREA AND PARKING LIGHTING TO BE ROUTED THROUGH LPT1 UNLESS NOTED OTHERWISE.

**NOTES:**

1. THE MINIMUM DEPTH FOR THE PEDESTAL SHALL BE 18" BELOW FINISHED GRADE ELEVATION AND SHALL BE DESIGNED IN ACCORDANCE WITH THE LOCAL SOIL CONDITIONS AND LOCAL CODES. SAID DESIGN SHALL, WITH THE EXCEPTION, BE REVIEWED BY A LOCAL ENGINEER.
2. CONDUIT TO EXIT FOUNDATION BELOW FROST LINE.
3. PEDESTAL ARRANGEMENT TO BE FURNISHED AND INSTALLED BY FENCE CONTRACTOR.

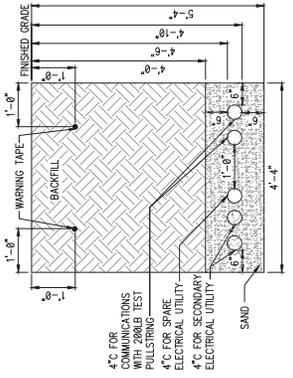


**2 GATE ENTRY ACCESS PEDESTAL - SECTION VIEW**  
SCALE: 1/2" = 1'-0"



**1 ELECTRICAL SITE PLAN**  
SCALE: 1" = 30'

**3 ENLARGED BLOCK HEATER DETAIL**  
SCALE: 1/8" = 1'-0"



**4 TRENCH DETAIL**  
SCALE: 3/4" = 1'-0"



**BEC**  
BEC Engineering & Construction  
182 Adams Street  
Toll Free 800-368-8282 Fax 908-324-2884  
www.bec-engineering.com

**SE-1**  
Project No: 824-SE-001  
Drawing Number: 824-SE-001  
Scale: A

**FedEx Ground**  
RELOCATE & MATERIAL HANDLING SYSTEMS  
1000 PAGES, 30x48, 10/08  
PROJECT NO: 824-SE-001  
DATE: 2/22/11  
DRAWN BY: JEP  
CHECKED BY: JEP

**CODY**  
CY15 RELOCATION ELECTRICAL SITE PLAN  
DATE: 2/22/11  
DRAWN BY: JEP  
CHECKED BY: JEP

**Rocky Mountain Business P**  
"D-3" ZONE, (OPEN BUSINESS/ LIGHT INDUSTRIAL)  
LOT 6, 8, 10  
STONE STREET

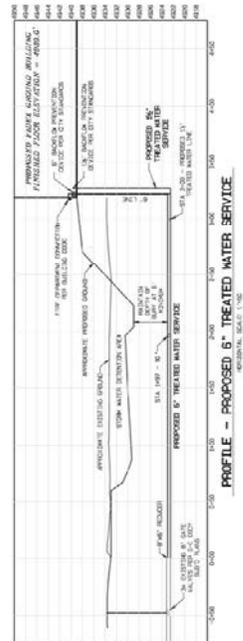
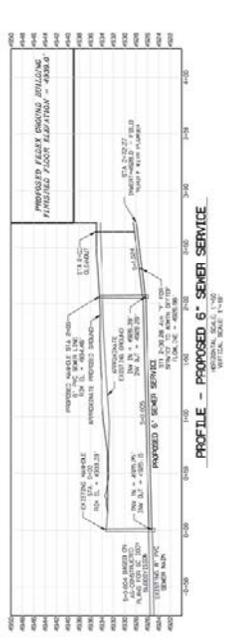
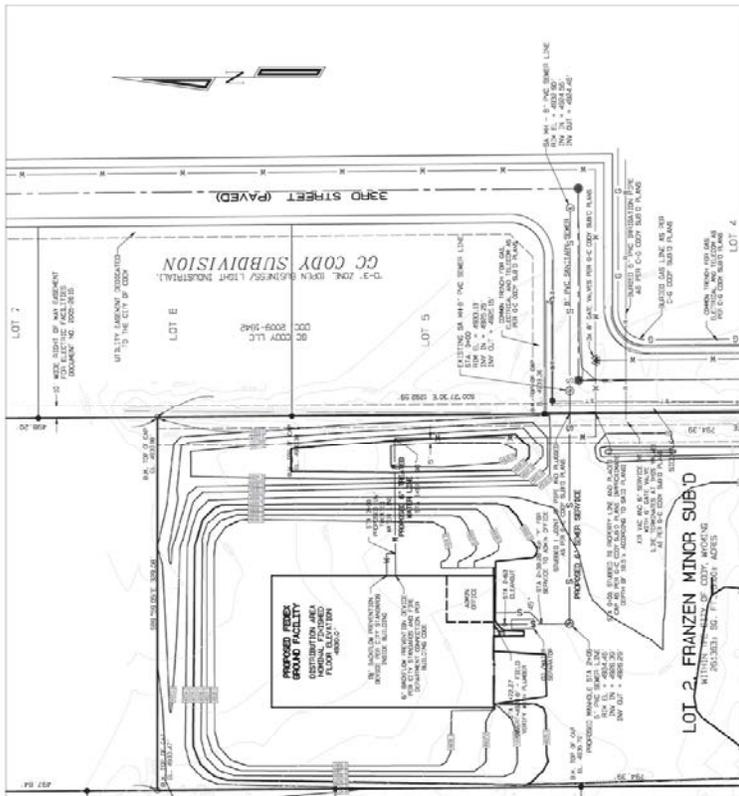
**North Arrow**  
PROJECT NORTH

Rev.	Date	Revised By	Rev.	Date	Revised By
1	2-4-11	JEP	1	2-4-11	JEP

**Rocky Mountain Business P**  
"D-3" ZONE, (OPEN BUSINESS/ LIGHT INDUSTRIAL)  
LOT 6, 8, 10  
STONE STREET







**NOTES**

1. EXISTING WATER AND STORM WATER LINES WERE STRENGTH VERIFIED AND THE SIZE OF EACH DOWNSIDE WAS DETERMINED FOR THE PROPOSED WATER SERVICE.

RUEBESCH DEVELOPMENT &  
 CONSULTING, LLC  
 CODY, WYOMING  
 DRAINAGE SHOPPING

**PLAN AND PROFILES FOR PROPOSED  
 TREATED WATER & SEWER MAIN EXTENSIONS**  
 IN LOT 2 OF THE FRANZEN MINOR SUBDIVISION WITHIN  
 THE CITY OF CODY, PARK COUNTY, WYOMING.

**JJB**  
 JOLIX, BLOUGH AND COMPANY  
 1000 OGDEN AVENUE, SUITE 100  
 CODY, WYOMING 82401 (307) 567-8311  
 CADD NUMBER: 2014-01-001

DATE	REV.
08/13/14	1

