

CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
TUESDAY, JUNE 10, 2014  
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

**MEETING AGENDA**

1. Call to Order by Chair Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the May 13, 2014 –Regular Meeting.
6. NEW BUSINESS:
  - A. Modified landscaping plan for Good 2 Go convenience store at 1200 17<sup>th</sup> Street.
  - B. Commercial Site Plan Review/Nonconforming Use Expansion—Shultz Garage in Industrial E Zone, located at 9 Road 2AB.
  - C. Downtown Architectural District Review—Juniper Wine & Spirits signs and building color, located at 1128 12<sup>th</sup> Street.
  - D. Off-Site Parking Plan Authorization for Gee Properties, 702 Platinum Ave.—Agreement with Sunset Motor Inn.
  - E. Clarify intent of proposed ordinance under City Council Review—Process for nonconforming structure replacement.
  - F. Zoning Ordinance Amendments—Setback Standards for Residential Zones (clarify and add missing language).
7. APPROVED SIGN APPLICATIONS:
  - Fast Eddy’s, Sheridan Ave.
  - Wyoming Wireless, 504 Yellowstone Ave.
  - The Cody Hotel, 232 W. Yellowstone Ave.
  - Technical Cowboy 901 16<sup>th</sup> Street
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items
  - Modification to SPR 2010-04, change location of Two Tough Guys storage/handling building.
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings. If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

**City of Cody**  
**Planning, Zoning and Adjustment Board**  
**Tuesday, May 13, 2014**

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, May 13, 2014 at 12:00 PM

Present: Justin Lundvall, Chairperson; Justin Ness, Vice Chairperson; Kim Borer; Brad Payne; Bob Senitte; Mark Musser; Buzzy Hassrick; Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Kylie Hanson, Administrative Secretary.

Absent: None

Chairperson Justin Lundvall called the meeting to order at 12:02 PM, followed by the pledge of allegiance.

Brad Payne entered the meeting at 12:03p.m.

Justin Ness made a motion, seconded by Mark Musser to approve the agenda with the withdrawal of item D. Vote on the motion was unanimous, motion carried.

Buzzy Hassrick made a motion, seconded by Mark Musser, to approve the minutes for the April 22, 2014 meeting, with corrections. Vote on the motion was unanimous, motion carried.

Kim Borer made a motion, seconded by Justin Ness, to approve the minutes for the April 29, 2014 with corrections. Vote on the motion was unanimous, motion carried.

Presentation of Communications:

Justin Lundvall rescued himself from the meeting.

Todd Stowell presented the staff report for the site plan review for the Park County Sheriff Departments Search and Rescue Building located at 721 15<sup>th</sup> Street.

Greg Gasper representative for the Sheriff Department. The Flag pole. They wanted to have a flag pole they don't see and issue. The curb and gutter. Sage Civil Engineering is not an issue. The flag will be lite and the flag will be on the monument below. It will fly daily.

Kim Borer made a motion, seconded by Brad Payne, for the site plan for the Park County Sheriff Department Search and Rescue Building located at 721 15<sup>th</sup> Street with the following condition:

1. That unless adequate off-site parking is provided, use of the facility is limited to the storage, command center, and small search and rescue training sessions as described by the applicant. The facility cannot be used for large training events/meetings, or other uses that would exceed available parking on site and along the property frontage.
2. That detail to the construction plans be added showing the gutter system being sloped to direct runoff from at least 750 square feet of the roof area to the infiltration trench on the west side of the building.
3. That the exterior lighting be full cut-off style (no lens below the metal fixture housing).

4. That the project must otherwise comply with the submitted plans and applicable building, fire, and electrical codes.

Buzzy Hassrick made a motion to amend the motion, second by Brad Payne to include two more conditions. To move the flag pole to allow more parking spaces and to move the existing signs. Vote on the motion was unanimous. Motion carried.

Justin Lundval re-entered the meeting.

Todd Stowell presented the staff report for Landscape, Architecture, and Sign Plan for the Park County School District #6 Court Tennis complex located at 2901 Cougar Avenue.

Mark Cozzens reprehensive park school district #6. Snow removal they don't show shade structures. Off into the football field side. East of basketball court and north of the court to the football field. The type of the cost difference. With the funding involve. The School district will continue the maintenance. The Signage did not put anything in about the signage. Small sign will be in place. Restroom issues. Matching grant for future restroom concession stand combination. Timer for the lights. The lights will not be on unless some is playing on the courts.

Justin Ness made a motion, seconded by Kim Borer, to approve the landscape, architecture, and sign plan for the Park County School District #6 Court Tennis Complex located at 2901 Cougar Avenue subject to the following recommendations:

1. On the construction plans, add an ADA compliant sidewalk connecting the existing concrete basketball area to the tennis court sidewalk.
2. The lighting for the tennis courts must have a timer to automatically shut off the lighting at night. Shut off time is to be no later than 11:00 p.m. at this time and may be limited to as early as 10:00 p.m. if conflicts arise with future residential development in the area.
3. Informational signage of conservative size is recommended and authorized, to inform users of hours of operation, rules for use, etc.
4. Correct the drainage note on sheet P2 to refer to drainage flow from East to West instead of West to East, and resolve the outstanding question of drainage on the east end of the site with the City engineer.

Vote on the motion was unanimous. Motion carried.

Todd Stowell presented the staff report for the site plan for Ed Higbie's 5,728 square foot shop and office area located at 178 Blackburn Street.

Ed Higbie spoke on behalf of his project. He has met the parking requirements of 6 spaces.

Buzzy Hassrick made a motion, seconded by Mark Musser, to approve the site plan for Ed Higbie's 5728 square foot office and shop located at 178 Blackburn Street with the following condition:

1. Any use of the facility that will involve outside storage of scrap or junk materials, the handling of hazardous materials, or potential ground contamination issues is not authorized without further site plan review by the Planning and Zoning Board.
2. That the storm water facilities be coordinated with and approved by the city engineer prior to building occupancy.
3. That any exterior lighting be of a down-lit style.
4. That a hard surfaced ADA parking space and loading area be provided in accordance with ADA standards.

5. That the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes.
6. Including parking blocks requirement for a gravel parking lot.

Vote on the motion was unanimous. Motion carried.

P&Z Board Matters:

The Board had no matters to discuss.

Council Update:

There were no Council updates.

Staff Items:

There were no staff matters to discuss.

Mark Musser made a motion, seconded by Brad Payne adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Justin Lundvall adjourned the meeting at 12:54PM.

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Utana Dye  
Certified Level II Engineering Tech. II

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	REVISED LANDSCAPE PLAN FOR GOOD 2 GO GAS STATION AND CONVENIENCE STORE (1200 17 <sup>TH</sup> STREET) SPR 2014-08	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Brad Hall and Associates has submitted a request to change their landscaping plan for the Good 2 Go gas station and convenience store located at 1200 17<sup>th</sup> Street. The prior plan was for trees, shrubs, bushes and perennials in a bed of river rock. The current plan is for lawn/grass with a Canadian cherry tree (a variety of chokecherry) in the storm water retention basin at the north end of the building. The prior plan and the proposed plans are attached.

**STAFF COMMENTS:**

The change to grass will definitely add color, yet it lacks the vertical component provided by the shrubs and trees in the prior plan. WYDOT does not want trees in their right-of-way which rules out trees in the west landscape beds. It appears that there would be the option of also planting a tree in the landscape area at the northeast corner of the property.

The choice of tree variety appears acceptable, based on climate (hardy to approx. -30 degrees) and size at maturity (20-30 feet). The tree does have fragrant flowers in spring and a small fruit attractive to birds. Its leaves turn purple soon after emerging.

**ATTACHMENTS:**

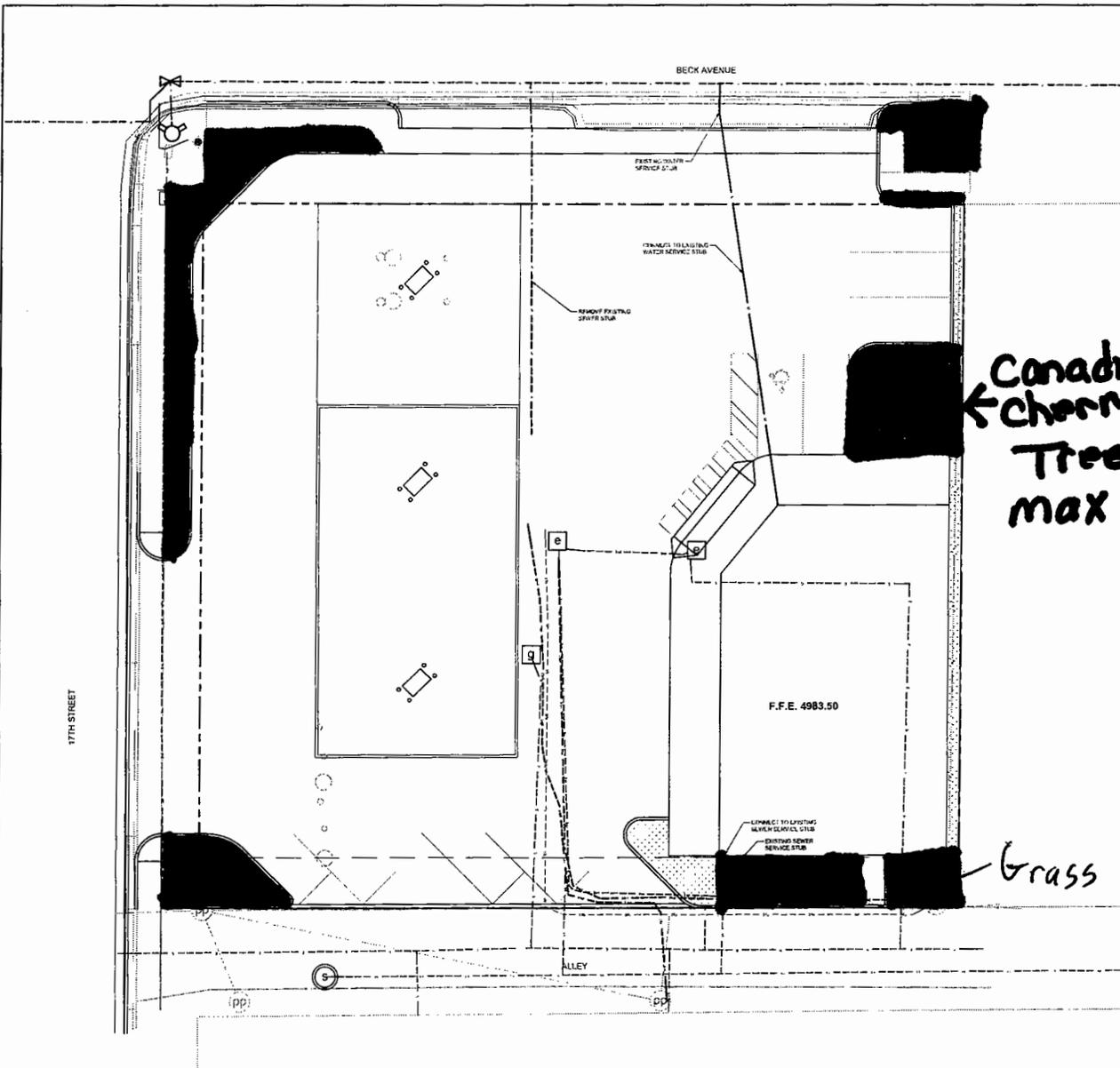
Prior and proposed landscaping plans.

**ALTERNATIVES:**

Approve, deny, or require changes to the proposed landscape plan.



# Proposed Plan



- Notes:
- 1) ALL SANITARY SEWER AND WATER WORK SHALL BE COMPLETED ACCORDING TO THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 2) POTABLE AND NON-POTABLE UTILITY SEPARATION TO BE PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 3) INSTALL CLEANOUTS PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 4) CONNECT TO EXISTING SEWER LINE PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 5) INSTALL SEWER SERVICE LINE PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 6) WATER SERVICE TO BE INSTALLED PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.
  - 7) SEE MECHANICAL PLANS FOR CONNECTION FROM BUILDING TO WATER AND SEWER SERVICES
  - 8) CAP OR ABANDON EXISTING UNUSED WATER AND SEWER SERVICES PER THE STANDARDS AND THE SPECIFICATIONS OF CODY, WY.

Canadian Cherry Tree  
max height 20'

Grass

H:\PDS\BE-347-1302-04\City\17C\Proposed\DWG\17C-02\_C-08\UTILITY PLAN.dwg - Layout1 - 11/15/2013 12:25pm, LKH

REV	DATE	BY	APP. / REVISION

SCALE  
HORIZONTAL  
1" = 10'

VERTICAL  
N/A

**WARNING**  
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

**HORROCKS ENGINEERS**

5700 East Franklin Rd.  
Suite 160  
Nampa, ID 83687  
(208) 463-4197

**1200 17TH C-STORE**

UTILITY PLAN

DESIGNED	DATE	PROJECT NO.
KH	07/09/2013	BE-347-1302
DRAWN	DATE	SHEET NO.
WMH	07/09/2013	5 of 7
EXPLAINED	DATE	PROJECT NO.
KH	07/09/2013	5

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	SITE PLAN REVIEW AND NONCONFORMING USE EXPANSION: GARAGE IN INDUSTRIAL ZONE SPR 2014-17	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Joseph and Betty Schultz has applied to construct a 30-foot by 40-foot residential garage (1200 sq. ft.) behind their residence at 9 Road 2AB, which is in the industrial E zoning district. The garage will be for personal use at this time; however, future commercial use could be permitted in accordance with the zoning ordinance and applicable building codes. No sewer or water will be installed and power will come from the existing residential service panel.

Existing Condition:



**REVIEW CRITERIA:**

The property is located within the Industrial (E) zoning district.

Section 10-10E-3 of the zoning regulations states:

*All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.*

In addition, residential use is not permitted in the Industrial (E) zoning district. The residence has existed as a legal nonconforming use since the time the area was

annexed. Under the existing code, any expansion of a nonconforming use needs to be approved by the Planning and Zoning Board. There are no specific criteria listed in the code and the language is vague, nevertheless, if there is no public detriment to allowing the garage, planning staff believes the Board can grant the permission to add the residential garage as an addition to the nonconforming use. It is noted that the proposed nonconforming use code that would more clearly address this situation is scheduled for adoption the week after the P&Z meeting. This application is to be considered under the code in effect at time of application, which reads as follows:

*10-13-1: NONCONFORMING BUILDINGS:*

*Any nonconforming buildings in existence as of the date of this title may be kept in proper repair, but, no additions or structural changes shall be permitted, except with the approval of the planning and zoning commission.*

**STAFF COMMENTS:**

Architecture:

An elevation drawing of the building is included, which shows a 10-foot tall perimeter wall and a 6:12 pitch gable roof. The siding, roofing, and trim will be metal. The siding and roofing will be a "mocha tan" color, and the trim will be white. The building is of typical shop architecture, which is common in the Industrial Zone.

Staff has no concerns relating to architectural compatibility with the proposal.

Landscaping:

No landscaping is proposed or recommended in relationship to the new garage. It is located approximately 370 feet from Road 2AB, and below the highway grade, so visibility of the shop area is minimal.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or height limits for the Industrial E zone. No buffers are required for this proposal. The building official is authorizing the four-foot rear setback, where five feet is typically required, due to the metal siding, roofing and soffits, combined with 5/8" fire-rated sheetrock on the back wall.

Storm Water:

A percolation trench has been designed and is shown on the plans. Technically, so long as the garage is for personal use it is exempt from the city's storm water policy. However, if it is ever used for commercial or industrial purposes, on-site storm water retention would be required. Therefore, the applicant has the option of installing the percolation trench at this time, but it is not required.

Utility Services

No new utility services are needed and based on our utility maps there are no conflicts with existing public utilities.

**ATTACHMENTS:**

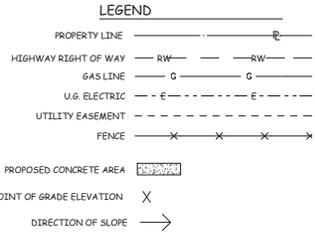
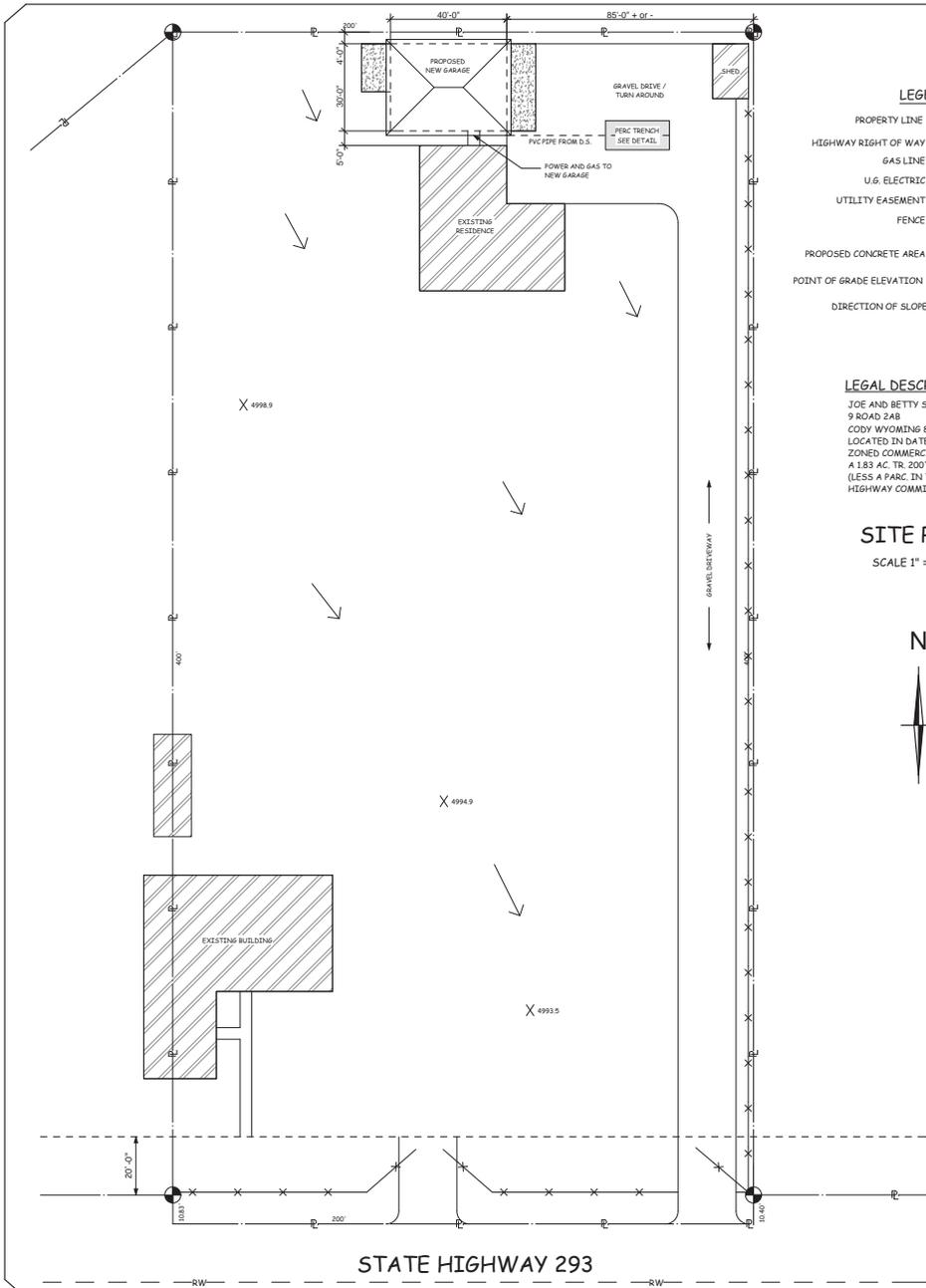
Site plan.

**ALTERNATIVES:**

Approve or deny the project with or without changes.

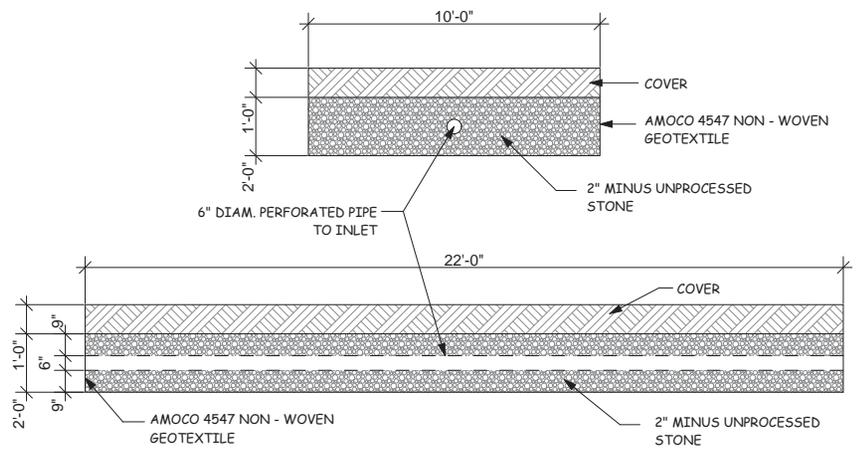
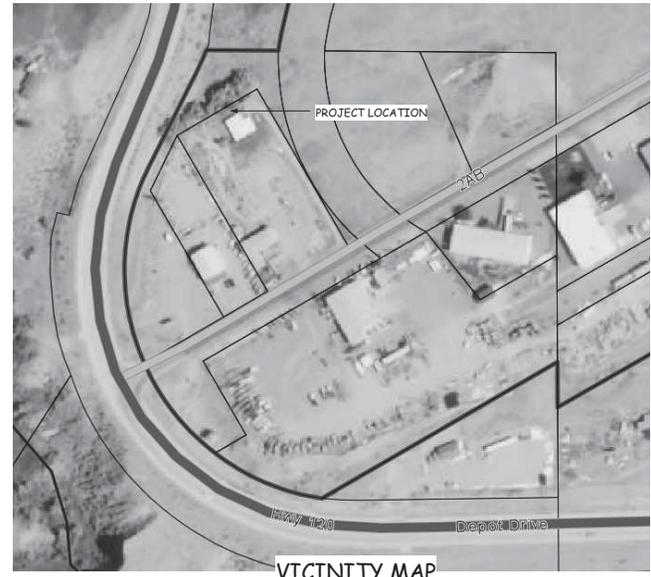
**RECOMMENDATION:**

Grant zoning approval for the project, as submitted, which approval is for the site plan and expansion of the nonconforming residential use. The percolation trench is optional while the shop is used for personal residential use.



**LEGAL DESCRIPTION:**  
 JOE AND BETTY SCHULTZ  
 9 ROAD 248  
 CODY WYOMING 82414  
 LOCATED IN DATE SUBDIVISION  
 ZONED COMMERCIAL  
 A 1.83 AC. TR. 200' x 400' IN TR. 47 SEC 29 T53 R101  
 (LESS A PARC. IN THE NW COR. TO WYO.  
 HIGHWAY COMMISSION MF188-809)

**SITE PLAN**  
 SCALE 1" = 20'-0"



**PERC TRENCH DETAIL**  
 SCALE 1/2" = 1'-0"

**Schultz Garage**  
 Project # 1035

**Dan McDonald Construction**  
 P. O. Box 1612  
 Cody Wyoming 82414  
 307-527-7445

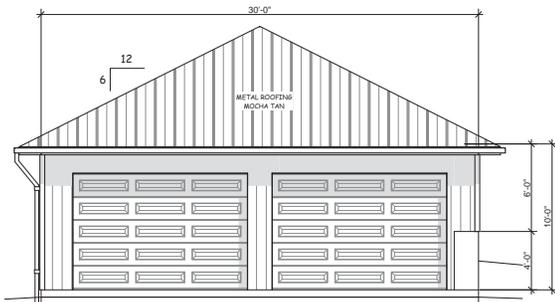
**NOTE:**  
 ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THE PREPARATION OF THIS PLAN, THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION OF ANY KIND, EXPRESS OR IMPLIED, THAT THIS PLAN IS WITHOUT IMPERFECTIONS. THEREFORE NO PRECISION PLAN DESIGN OR RICK LAMBERT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PROPERTY OR PERSONS, PLANS, BUILDING, OR OWNER VERIFY ALL DIMENSIONS, PLANS SUBJECT TO CHANGE PER ENGINEER OR LOCAL CODES

**PRECISION PLANNING DESIGN INC.**  
 CUSTOM PLAN SERVICE  
 Rick Lambert  
 Member  
 ILSA No. 1271  
 (307) 527-5709  
 (307) 527-6227  
 930 12th Street  
 Cody, Wyoming 82414

SHEET #  
**A1**  
**SITE PLAN**  
 SCALE: AS NOTED  
 05-24-2014  
 REVISED ( )

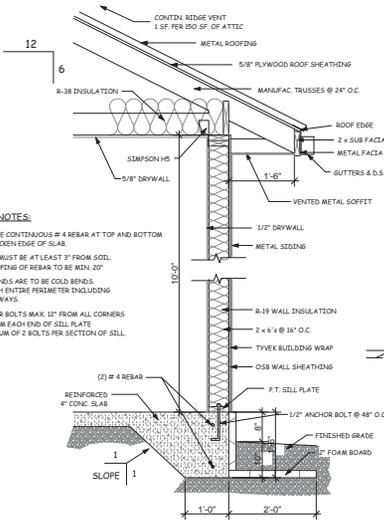
**NOTE:**  
ALTHOUGH GREAT CARE AND EFFORT HAVE GONE INTO THE PLANNING AND DESIGN OF THIS PROJECT, THE ARCHITECT ASSUMES NO LIABILITY FOR THE PRECISION OF THE INFORMATION OR THE ACCURACY OF THE INFORMATION. THIS PLAN IS WITHOUT IMPERFECTIONS, THEREFORE NO PRECISION PLAN DESIGN OR RICK LAMBERT ASSUMES NO LIABILITY FOR THE PRECISION OF THE INFORMATION. PLANNING, BUILDING, OWNER VERIFY ALL DIMENSIONS, PLANS SUBJECT TO CHANGE PER ENGINEER OR LOCAL CODES

**PRECISION PLANNING DESIGN INC.**  
CUSTOM PLAN SERVICE  
(307) 252-5709  
(307) 587-6227  
Rick Lambert  
Member  
IBMA No. 1271  
930 12th Street  
Cody, Wyoming 82414



**EAST ELEVATION**

SCALE 1/4" = 1'-0"

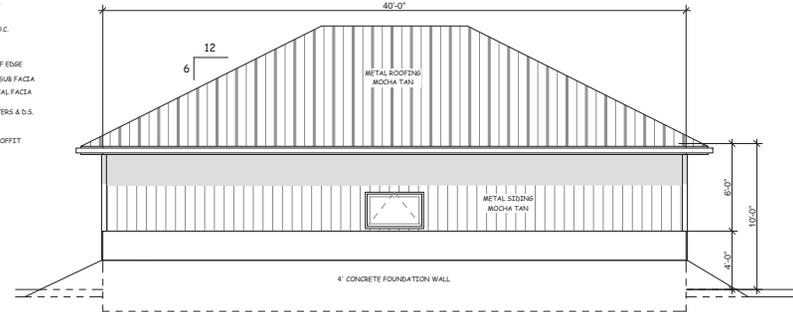


**SLAB NOTES:**

PROVIDE CONTINUOUS #4 REBAR AT TOP AND BOTTOM OF THICKENED EDGE OF SLAB.  
REBAR MUST BE AT LEAST 3" FROM SOIL.  
ALL LAPPING OF REBAR TO BE MIN. 20"  
ALL BIRDS ARE TO BE COLD BIRDS.  
TRENCH ENTIRE PERIMETER INCLUDING DOORWAYS.  
ANCHOR BOLTS MAX. 12" FROM ALL CORNERS  
12" FROM EACH END OF SILL PLATE  
MINIMUM OF 2 BOLTS PER SECTION OF SILL

**WALL SECTION (1)**

SCALE 3/4" = 1'-0"

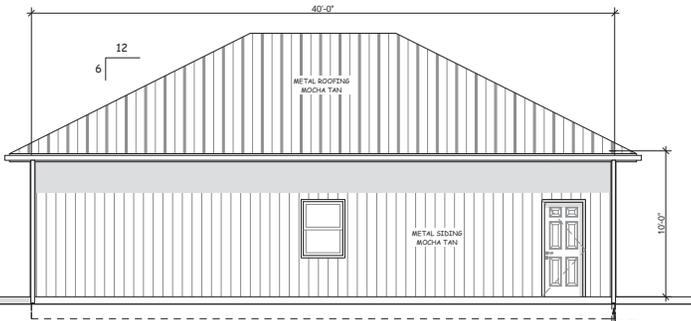


**NORTH ELEVATION**

SCALE 1/4" = 1'-0"

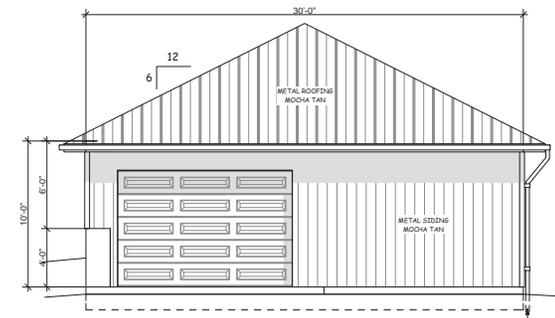
**BUILDING COLORS:**

METAL ROOFING: MOCHA TAN  
METAL SIDING: MOCHA TAN  
METAL TRIM: WHITE  
DOORS / WINDOWS: WHITE



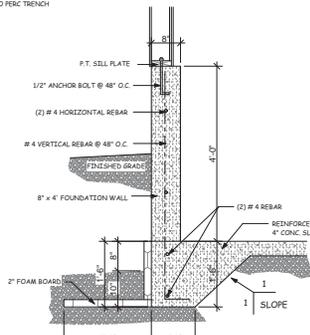
**SOUTH ELEVATION**

SCALE 1/4" = 1'-0"



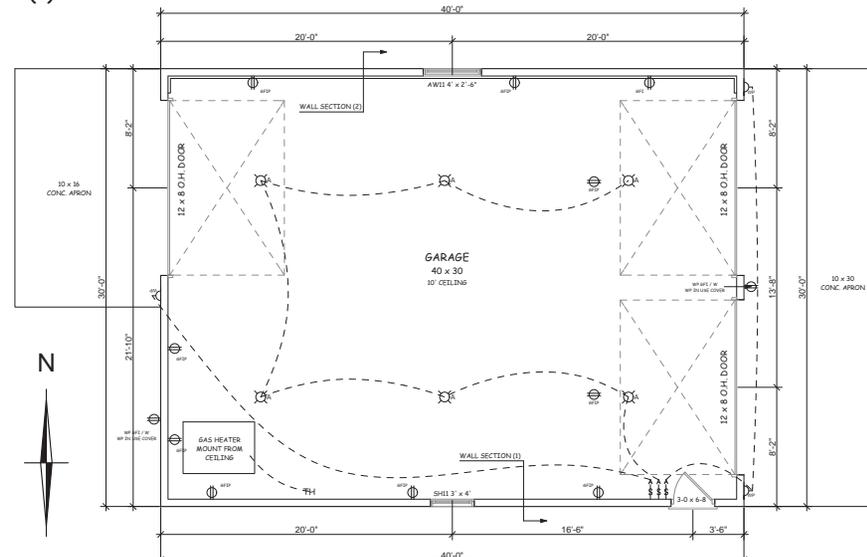
**WEST ELEVATION**

SCALE 1/4" = 1'-0"



**WALL SECTION (2)**

SCALE 3/4" = 1'-0"



**FLOOR PLAN = 1,200 S.F.**

SCALE 1/4" = 1'-0"

**ELECTRICAL NOTES:**

- 1) ALL STANDARD OUTLETS MUST BE AFCI FAULT BREAKER PROTECTED.
- 2) MAX SPACING FOR OUTLETS 12" @ KITCHEN MAX. SPACE 4"
- 3) ALL EXTERIOR OUTLETS MUST BE WEATHER PROOF WITH WEATHER PROOF IN USE COVER.

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	JUNIPER WINE & SPIRITS SIGN PLAN, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW. SGN 2014-25	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL	DISCUSSION ONLY:	

**PROJECT DESCRIPTION:**

Michele Prevost of Juniper Wine & Spirits has submitted an application to install two signs at 1128 12<sup>th</sup> Street for her business, and change the color of the brick building. One sign is a 3-foot wide by 7.5-foot tall projecting sign above the entrance. The other sign would be a 14-foot wide by 4-foot tall wall sign (non-illuminated) on the north side of the building. Both signs advertise the business and have brown lettering and borders on a tan background. Renderings of the signs are included.

The proposal to change the color of the building involves a masonry stain to change the existing yellow/blond bricks on the building façade to a more traditional red/rust brick color.

Existing Conditions:



**REVIEW CRITERIA:**

The property is within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, within the downtown Architectural District, *“The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.*

**STAFF COMMENTS:**

The sign types, locations, and sizes meet the requirements for the D-2 sign district in which the property is located. (Note: While the property is in the downtown architectural district it is not in the downtown sign district, but the D-2 sign district, which allows significantly more signage.)

*Projecting Sign:*

The projecting sign is 22.5 square feet per sign face, where 25 square feet is permitted. Specific requirements for projecting signs are that they project not more than three feet from the building wall (per definition), be not less than eight feet above the sidewalk, and be at least two feet behind the curb line. The sign should be interpreted to meet these requirements, provided the sign is mounted with its side flush against the building.

It is also noted that the projecting sign does project into the City right-of-way, as the front of the building is on the property line. The sign code appears to grant automatic permission to do so on city streets, provided the sidewalk clearance and curb distance requirements are met. Furthermore, there is a section in City Code, outside of the zoning ordinance which states:

*7-2-7: OBSTRUCTIONS; BUILDINGS, FENCES, SIGNS, ETC.:*

*No person shall erect, build or set up in the city, in whole or in part, any fence, signpost, shop or any other building or obstruction whatever, in or upon any street, alley, sidewalk or other public place, provided, however, merchandise, A-frame signs, merchandising props and flowerpots may be placed on the sidewalk by a merchant in front of its business as long as the same does not impede pedestrian traffic or interfere with parked cars or passengers exiting same. No A-frame sign shall be larger than two feet by four feet (2' x 4'). No sign, awning or other obstruction shall be suspended from any building into or over any sidewalk, street or alley, so as to obstruct or interfere with the pedestrian traffic or vehicle traffic, nor shall any sign, awning or other obstruction be suspended in or over any portion of the street other than the sidewalk line. (1960 Compilation § 15-707; amd. Ord. 89-4)*

*7-2-8: OBSTRUCTIONS; HEIGHT OF AWNINGS ABOVE SIDEWALKS:* 

*All awnings, including the aprons thereof, and all suspensions from any buildings and all suspensions whatever over any sidewalk, shall not come nearer the sidewalk than seven and one-half feet (7½'). (1960 Compilation § 15-707)*

Cumulatively, the sections of city code appear to grant permission for projecting signs over city right-of-way, provided applicable standards are met. This interpretation would apply to awnings as well.

Due to existing overhead power lines above the sidewalk, there are also clearance requirements from the power line. The electrical superintendent is interpreting the National Electrical Code (Table 234-1, Horizontal Clearance from Signs) to require a 1.5

meter (4' 11") separation from the power line to the sign. Based on staff's rough measurement, the power line is about 7'3" from the building and the clearance would be provided if the top of the sign is mounted 2'6" below the height of the power line.

External illumination of the projecting sign will be accomplished by gooseneck LED light fixtures on each side of the sign. (For comparison, Walgreens uses a similar type.) The lights will have light sensors and timers to come on at dusk and turn off at close.

*Wall Sign:*

The wall sign is to be 56 square feet in size, where 150 square feet would be permitted.

Both signs are made of vinyl coated wood, mounted on angle iron. A building permit will need to be obtained by the installer of the signs.

The purpose of the Downtown Architectural District is understood to be the promotion of architectural compatibility and preservation of historic features. The signs are of professional quality and have an earth toned color scheme.

*Color Change:*

The proposed brick staining to change the yellow/blonde bricks to red/rust is intended to bring the building into the same color scheme as the buildings on both sides. Due to the existing raked mortar joints between the brick (see photo), which exposes a little of the top, bottom, and sides of the brick, the fact that the bricks are stained will likely be visible close up, but from a distance it is expected to blend well. Any restrictions from the Board pertaining to the coloring of the bricks are limited to suggestions.

**ATTACHMENTS:**

Application materials.

**RECOMMENDATION:**

Approve the signs, subject to the projecting sign being mounted flush against the building and with its top at least 2' 6" below the height of the power line.

And authorize the staining of the brick, with or without making recommendations and suggestions.



COMMUNITY DEVELOPMENT DEPARTMENT  
SIGN PLAN REVIEW APPLICATION

STAFF USE  
File #: SGN2014-\_\_\_\_\_  
P&Z Invoice: \_\_\_\_\_  
Approved By: \_\_\_\_\_  
Date: \_\_\_\_\_

Applicant's Name: Michele Prevost Business Name: Juniper Wine & Spirits  
Applicant's Address: 1128 12th St. City: Cody State: WY Zip: 82414  
Phone: 307-587-4472 Cell: 307-213-9818 Email: ruffinprevost@gmail.com  
Project Address: \_\_\_\_\_ City: Cody, WY Zoning: \_\_\_\_\_  
Property Owner's Name: Hudson Partners LLC Phone/Cell: 307-587-8364  
Property Owner's Mailing Address: 104 Bear Creek Rd City: Cody State: WY Zip: 82414  
Sign Installer (Commercial signs require a licensed installer): Cody Contractors LLC

Types of Signs:  Attached Wall  Projecting  Awning  Banner (Temporary)  Inflatable (Temporary)  
 Freestanding  Monument  Electronic Message Board  Temporary A-Frame  
 Other (Marquee, Suspended, Bulletin, Billboard, Subdivision, etc.)—Please describe \_\_\_\_\_

Is the sign in the Downtown Sign District? (1/2 block each side of Sheridan Avenue, from 9<sup>th</sup> St. to 16<sup>th</sup> St.)  No  Yes  
Will an existing sign be replaced by the proposed sign(s)?  No  Yes (If yes, note which sign in description below.)

Brief Description of Proposal: A permanent projecting sign identifying Juniper Wine & Spirits to be hung from front of building along east wall, along with a temporary banner to be hung along top of north wall for visibility from Sheridan Ave.

Property Owner: [Signature] 29, May 2014 OR  Letter of authorization from property owner  
Signature Date

**FEE SCHEDULE:**

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10 Chapter 15 of the city code.

- Off Premise Temporary A-Frame Signs No Fee
- Sign Application Submitted with Commercial Site Development Application No Additional Fee\*
- Flush/Wall Mount Signs, without Electricity \$25.00\*
- Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans \$50.00\*

\* A building permit fee, based on the valuation of the sign, is required in addition to the fee noted above. The building permit fee is calculated and collected when the permit is ready to be issued.

**MATERIAL REQUIRED FOR SUBMITTAL & REVIEW**

- Two\* copies of a drawing or graphic rendering of the proposed sign(s) that indicate the sign content, design, colors, dimensions, area per sign face, materials, lighting and anchoring/mounting details. (\* 12 copies if Planning & Zoning Board Review is needed.)
- Identify any existing signs that will be removed or replaced by the proposed signs.
- If the proposed sign is under the general category of "freestanding" (not attached to a building), submit:
  - A site plan that identifies the location of the freestanding sign and its distance to all property lines and utility easements in proximity.
  - The dimensions and square footage of any freestanding sign that will remain on the premises.
- If the proposed sign is attached to a building or something on a building, submit:
  - Drawings or photo renderings of the building elevations with all proposed signs depicted.
  - If the sign is permanent (>120 days), note the dimensions and square footage of any existing attached signs that will remain on the premises.
- A Building Permit Application for the sign(s).

29 May 2014

Todd Stowell, planner  
Planning, Zoning and Adjustment Board Members  
City of Cody  
1332 Rumsey Ave.  
Cody WY 82414

Dear Todd and Board Members,

I have reviewed the materials included in plans for signs and brick facade color changes proposed for the new location of Juniper Wine & Spirits at 1128 12th Street.

All of the proposed changes will be beneficial to the building and will be in keeping with other existing uses and plans for future use of the property.

Juniper has my permission to make the proposed changes.

Thanks,

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ruffin Prevost', with a long horizontal stroke extending to the right.

Ruffin Prevost, managing partner  
Hudson Partners LLC

# PROJECTING SIGN

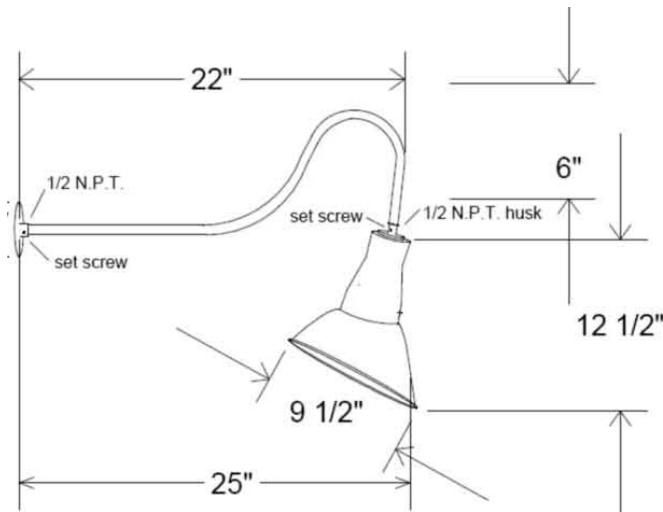
**3 X 7.5 ft    22.5 sq ft**

Lit from above, one light on each face. Shaded gooseneck sign light, 120v with A19 LED bulb, appx 500 lumens, set on timer dusk-close. Bulb not visible from normal viewing angles.

Sign will be at least 8 feet above sidewalk and 2 feet back from curb.

Mounted using 1.5-inch threaded pipe to sign frame at two points along long side of sign and attached to brick wall with strike anchors.

Sign constructed from wood, angle iron and vinyl.



<---3 ft. --->

▼---7.5 ft. ---▲





BAR  
+  
MARKET  
+  
BISTRO  
**JUNIPER**

SALE

<-----14 ft. ----->

<---4 ft. --->



**ATTACHED WALL SIGN (no lights)**

**14 FEET WIDE X 4 FEET TALL 56 square feet**

**To be hung along exterior of north wall at 1128 12th St.**

**Will be mounted approx. 1-2 feet below top of north wall.**

**Constructed of wood, vinyl and angle iron.**

**JUNIPER** FINE WINE CIGARS  
BAR • MARKET • BISTRO CRAFT BEER PATIO

Dude  
Ranchers

Local  
Artists  
Association

Western  
Museum

SPEED  
LIMIT  
15

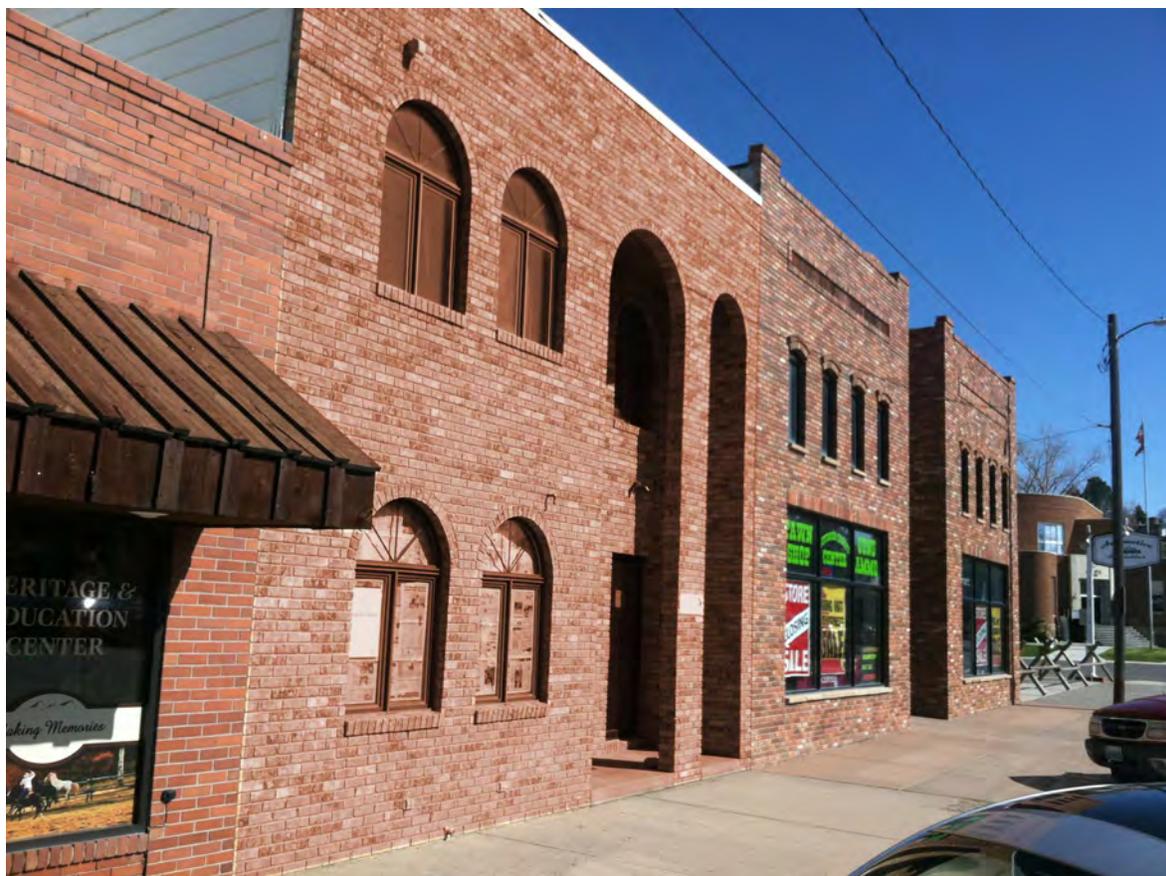
ASSOCIATION CENTER  
ASSOCIATION CENTER

PAWN  
SHOP  
STORE  
GUNS  
GIFTS  
AND  
MORE



# CHANGING COLOR OF BRICK FACADE

Use a commercial masonry stain called Dye Brick ([www.dyebrick.com](http://www.dyebrick.com)) to convert existing yellow-blonde bricks to a more standard red-colored brick in keeping with other buildings on the street. This will also give the building, constructed in 1985, a look that is closer to other historic buildings in Cody's downtown.



**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	OFF-SITE PARKING AGREEMENT: GEE PROFESSIONAL OFFICE BUILDING (702 PLATINUM AVENUE) AND SUNSET MOTOR INN FILE NO. SPR 2014-18	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**BACKGROUND:**

At the June 11, 2013 meeting the Planning and Zoning Board approved the site plan application for the Dr. Gee Medical office facility at 702 Platinum Avenue subject to a number of conditions. However, due to lack of parking spaces, a limitation was placed by the Planning and Zoning Board on occupancy of the basement. Use of the basement was limited such that 816 square feet of it could not be occupied.

In addition, the agreement with the city that was done at the time of the rezone of the property specified that no variance would be granted to the parking requirements. Additional parking would need to be obtained.

Dr. Alan Gee is working with Bill Garlow, the owner of the Sunset Motor Inn to establish a parking agreement to utilize parking at the Inn for his medical office building. His intent is that if the parking is needed, it would be used as employee parking for the medical office staff. With the additional parking, utilization of the full basement of the medical office building would be permitted.

The option for off-site parking agreements is listed in the City's parking ordinance. Approval of the agreement is subject to a number of criteria and approval by the Planning and Zoning Board. Specifically, the ordinance states:

*10-16-7: OFF SITE PARKING:*

*The planning and zoning board may authorize parking facilities located on neighboring private property to qualify as required off street parking under the following conditions:*

*A. The parking spaces are not required for another building, structure or use, unless joint parking is allowed pursuant to section 10-16-6 of this chapter;*

Staff Comment: The Sunset Motor Inn has 120 rooms and 25 employees at peak time. It appears that the most recent expansions were constructed when the parking requirement was for 1 space per room plus one space per employee. The facility is

"grandfathered" under those standards and with 141 parking spaces it technically does not have any excess parking spaces (4 spaces short). However, the joint parking language of 10-16-6 states:

*10-16-6: JOINT PARKING FACILITIES, MULTIPLE OR MIXED USES:*

*In the case of joint parking facilities that will serve multiple or mixed uses, the number of off street parking spaces required shall be the sum of the requirements for the individual uses computed separately, unless the planning and zoning board authorizes otherwise based on reliable data, such as a parking demand study prepared by a qualified parking consultant or engineer that justifies a reduced number. Site specific characteristics, such as offset peak parking times/days, are to be considered when determining whether a reduction in the number of spaces is justified for joint parking facilities.*

It is noted that the hours of operation of the medical office building are effectively 8:00 a.m. to 5:00 p.m.. (Sleep lab would occur at night, at a time when parking is available at the office building.) The medical office hours of operation do not overlap with the peak parking period of the motel. National studies indicate peak parking demand for hotels to be between 10 p.m. and 6 a.m. on weekdays. (*Source: Appraisal Journal, The Appraisal Institute; Jan. 1999, Vol. 67*). Even if the peak demand extended from 7:00 p.m. to 7:30 a.m. there would likely be excess parking available for the office building to use during their hours of operation. Therefore, a reduction in the number of total spaces required for the combined uses seems justified. The total number necessary for each use will be available during the peak times they are needed.

*B. The nearest point of the parking lot is within the following distances, as measured along the pedestrian's path of travel, from the building served:*

- 1. One hundred feet (100') for accessory apartments, single-family dwellings, and two-family dwellings;*
- 2. Two hundred feet (200') for multiple-family dwellings, hotels, motels, and lodging facilities;*
- 3. Three hundred feet (300') for hospitals, medical offices, homes for the aged, and clubs/fraternal orders; and*
- 4. Five hundred feet (500') for uses not otherwise specified above.*

Staff Comment: The parking lot is within 300 feet of the medical office building. The nearest parking areas are about 120 feet away and contain more parking spaces than guest rooms in the immediate area.

*C. A legally binding long term agreement, typically a minimum of ten (10) years, for the off-site parking, in a form and with conditions acceptable to the city planner, city attorney and planning and zoning board, is entered into between the affected property owner(s) and recorded in the office of the county recorder. An agreement shall be required regardless of whether the neighboring property is owned by a different or same property owner as the use requiring the parking.*

Staff Comment: The draft agreement is attached and appears to meet the intent of the ordinance. The agreement still needs to be reviewed by the city attorney.

*D. If the off-site parking is no longer available for any reason, including, but not limited to, expiration or termination of the parking agreement, then the certificate of occupancy may be revoked pursuant to section 10-16-12 of this chapter, and the property owner shall be subject to such other penalties as provided in this title.*

Staff comment: Noted.

### Basement Use

The office building basement has 816 feet that was not allowed to be occupied without providing additional parking. The parking ratio for medical office buildings is 1 space per 200 square feet, which would require four spaces for the 816 square feet. With the additional parking, the area is planned to be developed with a break room and three therapy rooms. The proposed plan is attached.

### Pathway

The 4' wide gravel pathway connecting the parking area with the Gee property should be installed prior to occupancy of the office building. The route shown on the attached drawing will need revised, but the concept will work.

Fence between properties:



Sidewalk connecting to motel parking:



### **RECOMMENDATION:**

If the Planning and Zoning Board is agreeable to approving the request, it is recommended that it be subject to following.

1. Final approval of the parking agreement by the city attorney.
2. Execution of the parking agreement and installation of a 4-foot wide gravel pathway from the concrete sidewalk on the motel property to the paved alley next to the medical office building, prior to occupancy of the medical office building.

## **PARKING LEASE AGREEMENT**

THIS LEASE AGREEMENT is made and entered into by and between the following parties and upon the following terms and conditions:

### **(1) Parties**

The parties to this Agreement, hereinafter referred to as LANDLORD and TENANT, respectively, are:

- 1.1 LANDLORD: Sunset Properties Inc. d/b/a Best Western Sunset Motor Inn; and
- 1.2 TENANT: Gee Properties, LLC.

### **(2) Premises**

LANDLORD hereby leases to TENANT the following premises situated in Cody, Park County, Wyoming, to wit:

Four parking spaces, anywhere available in the parking area of the Best Western Sunset Inn, Cody, Wyoming. The photo is incorporated herein.

### **(3) Term**

The term of this Agreement shall be one ten year as follows:

- 3.1 Date of Beginning of Base Term: July 1, 2014
- 3.2 Date of Termination of Base Term: June 30, 2024
- 3.3 Term Extension: This Agreement shall automatically renew for one year periods at the end of any term for an additional one-year period unless Tenant or Landlord elect not to renew. In order for either Tenant or Landlord to elect not to renew, notice in writing of this election shall be provided to the other party no less than 30 days prior to the end of the then-existing term.
- 3.4 This Agreement can be terminated by either party with 30-day notice.

### **(4) Consideration**

This rental agreement is made for good and valuable consideration exchanged between the parties.

### **(5) Repair or Alteration**

- 5.1 TENANT accepts possession of said premises in the same condition in which they are received on the date of this Agreement.
- 5.2 TENANT shall not have the right to make alterations or changes in or upon said premises without the prior written consent of LANDLORD.

**(6) Utilities**

There exist zero utilities ancillary to this lease.

**(7) Maintenance of Premises**

Landlord shall maintain the leased premises, including compliance with any City of Cody ordinances.

**(8) Purpose of Lease**

The purpose of this lease is to comply with City of Cody parking ordinance 10-20-060 and 10-20-070, as well as site plan approval conditions for Gee Properties, LLC.

If any need for the use of the leased parking spaces arises, the leased premises shall be accessed by a gate located between the real property owned by Tenant and the real property owned by Landlord. The gate shall be installed by Tenant in accordance with the consent and instructions of landlord.

In compliance with City of Cody request, Landlord advises that the Best Western Sunset Motor Inn contains 120 rooms with parking that exceeds the city requirements and that Tenant will have year round access to the leased parking spots.

**(9) Use of Premises**

TENANT shall utilize said premises for business purposes only and shall neither engage in nor permit any activity thereon in violation of the ordinances of the City of Cody or the laws of the State of Wyoming.

**(10) Taxes**

LANDLORD shall be responsible for the cost of the annual real property taxes on the premises.

**(11) Covenants of LANDLORD**

LANDLORD covenants that LANDLORD is the owner in fee of the premises forming the subject matter of this Agreement and that TENANT shall have use, as necessary, of the four leased parking spaces.

**(12) General**

This Agreement constitutes the entire agreement of the parties, and all representations of the parties made heretofore have been embodied herein and no other representations have been made. This Agreement supersedes all prior and contemporaneous written or oral agreements, correspondence and understandings between the parties hereto with regard to the subject matter hereof.

In the event of any conflict, it is understood and agreed that the law of the State of Wyoming shall govern. Any litigation concerning this Agreement shall be venued in Circuit Court or District Court, Fifth Judicial District, Park County, Wyoming.

This Agreement shall extend to and be binding upon the heirs, personal representatives and assigns of LANDLORD and of TENANT.

SUNSET PROPERTIES, INC  
LLC, LANDLORD

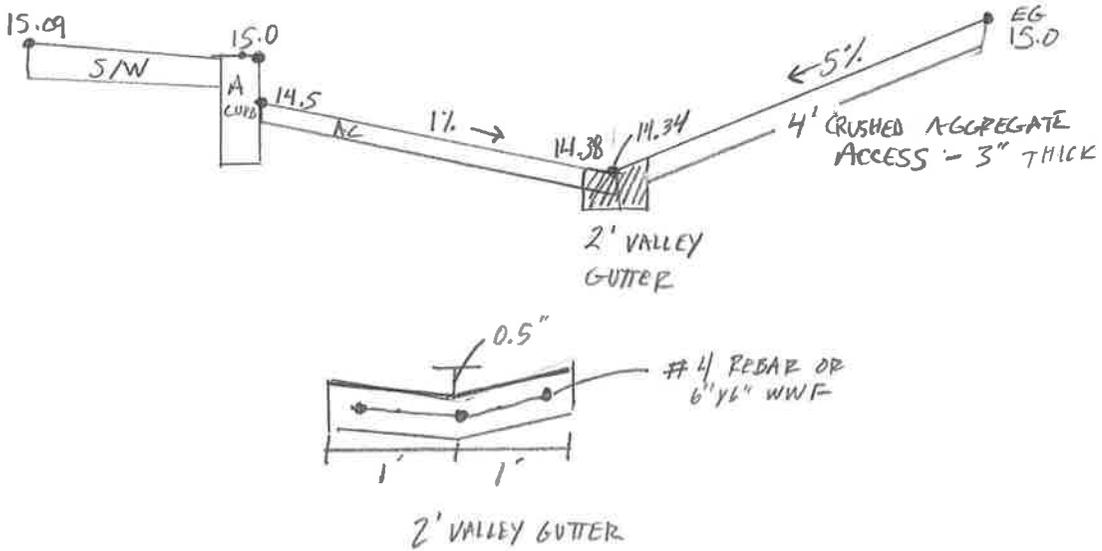
GEE PROPERTIES, LLC,  
TENANT

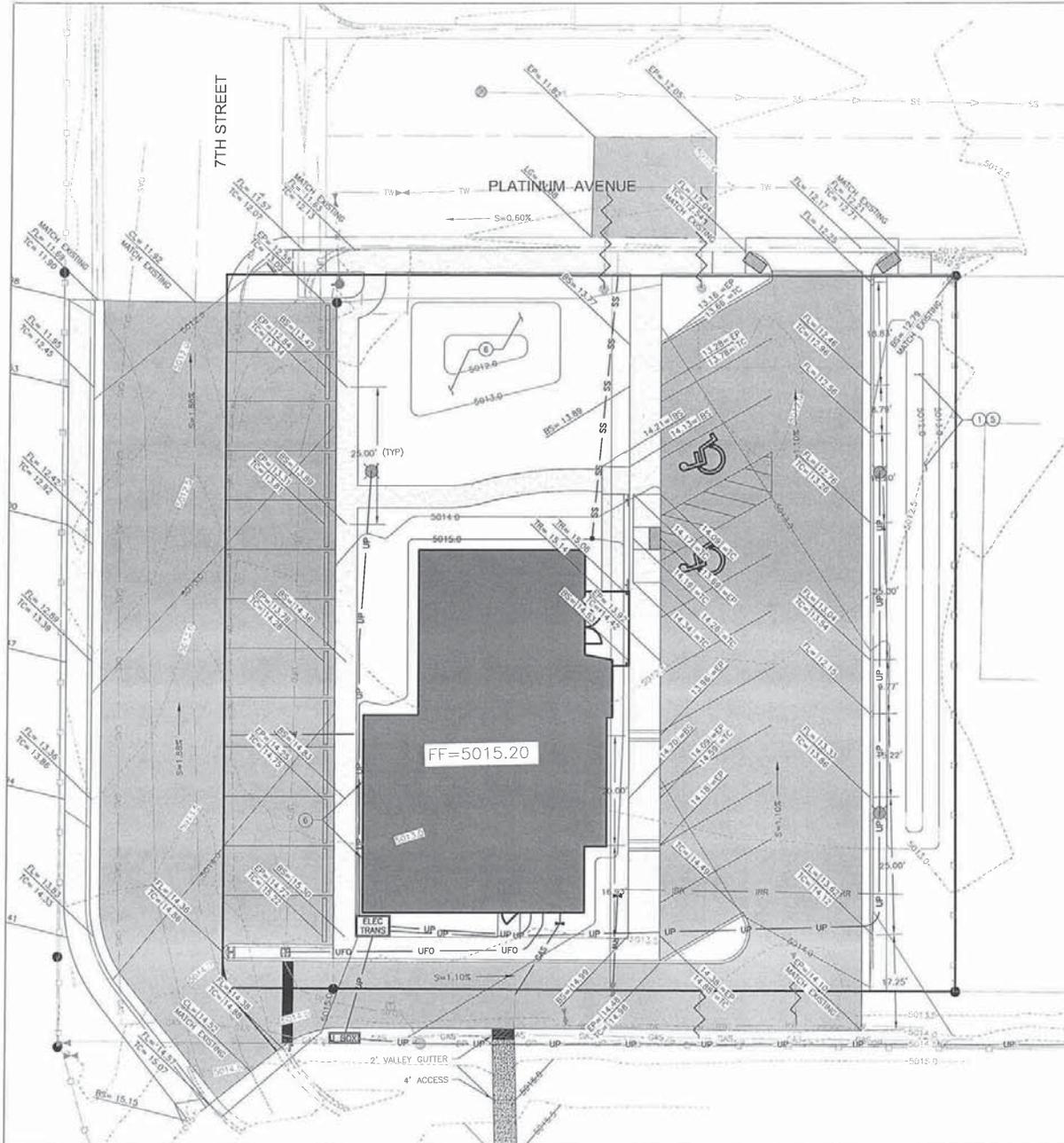
By: \_\_\_\_\_

\_\_\_\_\_  
Signature

Date: \_\_\_\_\_

\_\_\_\_\_  
Date

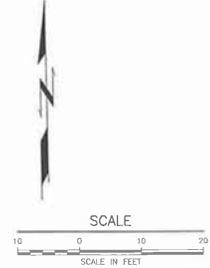
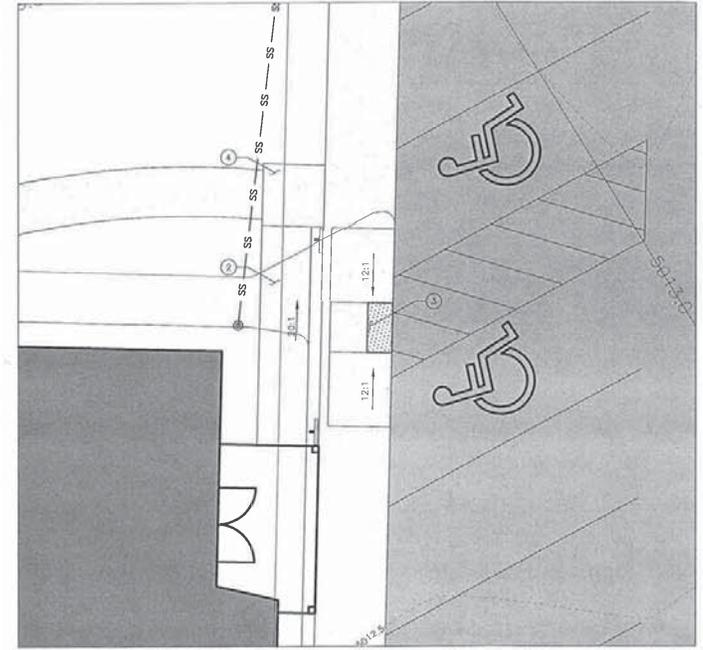




**GRADING CONSTRUCTION NOTES**

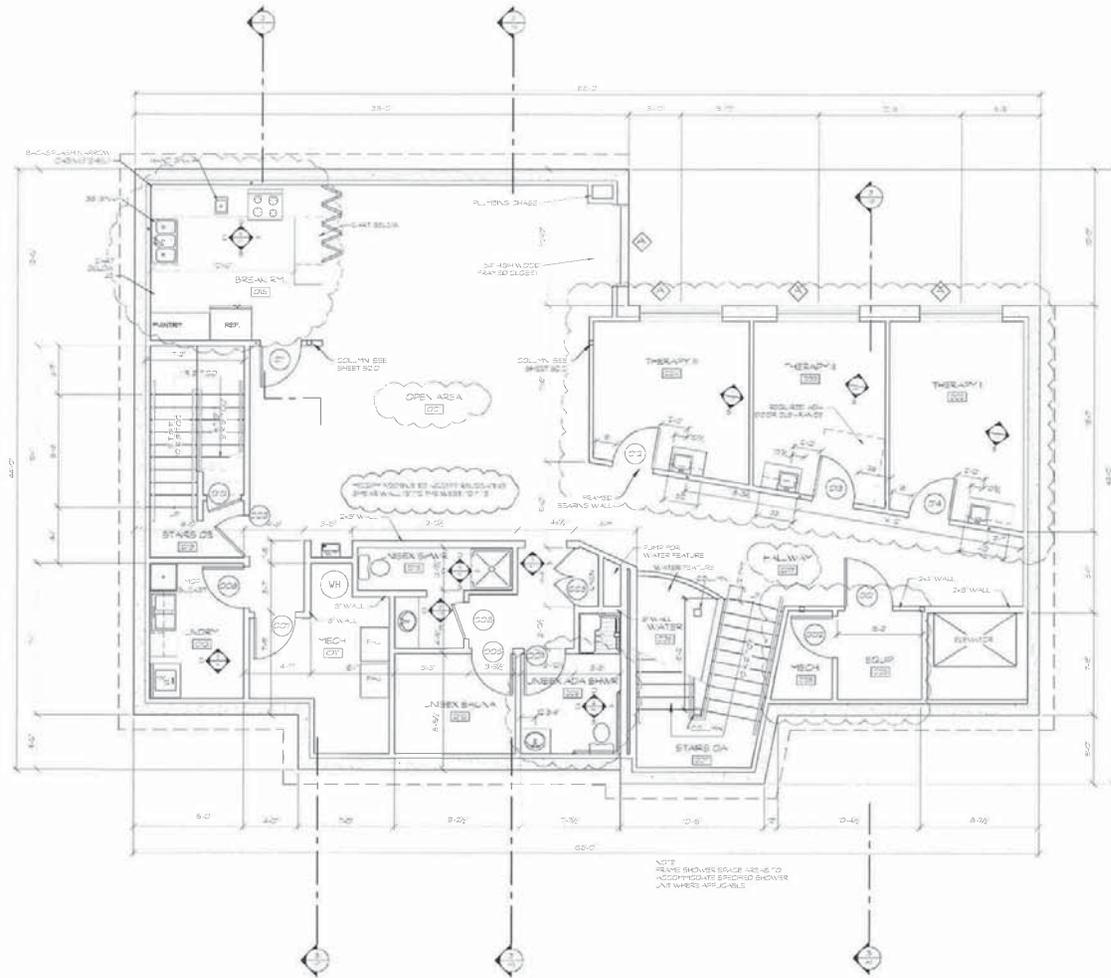
- ① EXCAVATE 660 CF RETENTION BASIN W/3:1 SS REFER TO SHEET 6 FOR TYPICAL SECTIONS
- ② CONSTRUCT 4-FT ADA RAMP W/HANDRAILS AT MAX 20:1
- ③ CONSTRUCT ADA 'SIDEWALK RAMP' TYPE M W/ TRUNCATED DOMES PER DETAIL "C" ON SHEET 7 AND DETAIL "M" ON SHEET 8
- ④ CONSTRUCT 5-FT X 5-FT ADA LANDING AREA
- ⑤ SNOW REMOVAL AREA
- ⑥ EXCAVATE 240 CF RETENTION BASIN W/8:1 SS REFER TO SHEET 6 FOR TYPICAL SECTIONS
- ⑦ CONVEY ROOF DRAINAGE FROM WEST SIDE OF BUILDING TO THE NORTH TO THE PROPOSED SWALE

**ADA RAMP AND CURB OPENING BLOWUP (DOUBLE SCALE)**



GENERAL NOTES (A)

1. WALLS AROUND PROCEDURE ROOMS, EXAM ROOMS, AND REST ROOMS SHALL BE 2x6 PLATE WITH 2x4 5" SPACED STUDS INSULATED WITH R-11 SOUND ATTENUATION BATT INSULATION. ALL OTHER INTERIOR PARTITION WALLS TO BE 2x4 STUD WALLS INSULATED TO R-11 SOUND ATTENUATION BATT INSULATION U.N.C.
2. INSULATE EXTERIOR BASEMENT WALLS WITH R-11 FIBERGLASS BATT INSULATION PLUS VAPOR BARRIER.
3. INSULATE CEILING BETWEEN BUILDING LEVELS WITH R-38 J-N-FACED FIBERGLASS BATT INSULATION.



**1** BASEMENT PLAN  
728 S2 P

SCALE: 1/4"=1'-0"

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	X
<b>SUBJECT:</b>	NONCONFORMING STRUCTURES— CLARIFY INTENT OF PROPOSED ORDINANCE.	RECOMMENDATION TO COUNCIL:	
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**BACKGROUND:**

The City Council is reviewing the nonconforming ordinance recommended to them by the Planning and Zoning Board. There has been a question raised, and staff would like to verify the Board's intent on a certain provision. Currently the section reads as follows. Sections B and C relate to the question.

**10-13-4 Legal Nonconforming Structures**

*A legally-permitted existing structure that is nonconforming only by reason of not meeting current setback, height, lot coverage, or other dimensional or architectural standards of this title is classified as a "Legal Nonconforming Structure". For legal nonconforming structures that also contain a legal nonconforming use, Section 10-13-5 shall apply rather than this section.*

- A. *Legal nonconforming structures may be remodeled, repaired, and enlarged by up to 50%, provided that any enlargement meets the current development standards of this title, no new dwelling units are created, the use of the structure is a permitted use, and in the Building Official's judgment the work does not significantly increase any life or safety hazards. If additional dwelling units are desired, enlargement exceeds 50% of the existing structure, or the Building Official has a life or safety concern, the property owner may submit an application for review by the Planning, Zoning and Adjustment Board under Section 10-13-6. In determining the percentage of any enlargement, calculations shall be based on the gross square footage of the structure either at the time this provision was adopted (insert Month Day, Year) or the time the structure became legally nonconforming, whichever occurred most recently.*
  
- B. *When the enlargement or replacement of a legal nonconforming structure does not meet the development standards of this title, relief may be requested in the form of a special exemption or zoning variance.*
  
- C. *When a legal nonconforming structure is damaged by accidental fire, explosion or other casualty, act of God, the public enemy, or intentional acts other than those caused directly or indirectly by the owner, the structure may be restored to*

*its legal nonconforming condition; provided, a building permit for restoration of the legal nonconforming structure must be obtained within 365 days of the damage and kept active until the project is completed.*

The question raised, is whether nonconforming structures that are destroyed by accident should be allowed to be replaced at their nonconforming location. If so, then it is proposed to add "or destroyed" after "damaged" in C, and delete "replacement" from B. (Technically replacement of a nonconforming structure voluntarily removed would need to meet setbacks unless a special exemption was obtained, but that does not need to be said here to be the case.)

I believe this to reflect the Board's intent and that it reflects what most lenders ask for—assurance that a nonconforming structure accidentally destroyed can be reconstructed where is.

**ALTERNATIVES:**

Provide direction for staff to present to the City council.

A motion to add the concept of "or destroyed" to section C would result in the following:

*B. When the enlargement of a legal nonconforming structure does not meet the development standards of this title, relief may be requested in the form of a special exemption or zoning variance.*

*C. When a legal nonconforming structure is damaged or destroyed by accidental fire, explosion or other casualty, act of God, the public enemy, or intentional acts other than those caused directly or indirectly by the owner, the structure may be restored to its legal nonconforming condition; provided, a building permit for restoration of the legal nonconforming structure must be obtained within 365 days of the damage or destruction and kept active until the project is completed.*

**CITY OF CODY  
PLANNING, ZONING AND ADJUSTMENT BOARD  
STAFF REPORT**

<b>MEETING DATE:</b>	JUNE 10, 2014	<b>TYPE OF ACTION NEEDED</b>	
<b>AGENDA ITEM:</b>		P&Z BOARD APPROVAL:	
<b>SUBJECT:</b>	AMEND ZONING ORDINANCE: CORRECT AND CLARIFY RESIDENTIAL SETBACK REQUIREMENTS.	RECOMMENDATION TO COUNCIL:	X
<b>PREPARED BY:</b>	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

**BACKGROUND:**

Staff has identified the need for some technical corrections in the portions of the zoning code related to residential setbacks. Specifically, the Residential A zoning district is missing language related to setbacks for detached garages and accessory buildings. The language is found in the other residential zones and was inadvertently deleted from the Residential A zone in an unrelated 2008 code amendment that pertained to short term rentals. While we are amending the residential setback sections, the setback tables themselves are not as clear as they should be, which leads to confusion and misunderstandings. Therefore, additional modifications are proposed to address the tables. Technically, these are amendments, but in practice they reflect the standards that the city, developers, and builders have used for years. In addition, the zero-foot common wall setback for townhouses and attached single-family dwellings is proposed to be outlined in the Residential B and C zones.

To demonstrate the lack of clarity in the existing code, take a moment to determine what the side setback requirements should be for a residence from the following table:

Front	Side, Rear	Interior Lot	Corner Lot, Side Street
25 feet	15 feet	5 feet	15 feet

In practice, the requirement is five feet from a side property line, except 15 feet when the side property line is next to a street.

The attached document contains a "track changes" version of the proposed ordinance amendments, with text to be added underlined and text to be deleted struck through.

The amendments, reflecting practice, have not been through a subcommittee, which is an option. However, in an attempt to save money I went ahead and advertised the

change in conjunction with other public hearings before the Council on June 17<sup>th</sup>. If more time is needed, that is okay, but if it is straightforward let's try to move it on.

**PROCEDURE:**

***10-5-1, City Council Authority***

*The city council may by ordinance at any time, on its own motion or petition, or upon the recommendations by the planning and zoning commission, amend, supplement or change the regulations or districts herein or subsequently established; provided, however, that a public hearing shall first be held in relation thereto, after one publication of notice of the time, place and purpose of such hearing, in an official newspaper, at least fifteen (15) days prior to such hearing.*

Once the Board is satisfied with the code, they can forward it to the City Council with a recommendation for adoption.

**ATTACHMENTS:**

Draft Amendments.

**Residential AA District**

10-7A-3: YARDS:

Each building, whether a dwelling, detached private garage or municipal recreation building, shall have setbacks (yards) of not less than the following as herein delineated.

Front Yard	Side, Rear Yard	Interior Lot: Side Yards	Corner Lot: Side Yards Street
25 feet	15 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

Except a detached private garage may be located not less than within five feet (5') off from a property line bordering an alley line.

Detached accessory buildings, other than private garages, shall be located within the rear half of the lot and shall have setbacks (yards) of not less than the following as herein delineated.

Front Yard	Rear Yard Side	Interior Lot: Side Yards	Corner Lot: Side Yards Street
<u>Front 1/2 of lot</u>	5 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

(Ord. 85-1; amd. Ord. 87-3; Ord. 93-4; Ord. 97-15; Ord. 00-13)

**Residential A District**

10-7B-4: YARDS:

Each building, whether a dwelling, detached private garage or other building for an approved principal use, shall have setbacks (yards) of not less than the following as herein delineated.

Front Yard	Side, Rear Yard	Interior Lot: Side Yards	Corner Lot: Side Yards Street
25 feet	15 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

Except a detached private garage may be located not less than five feet (5') from a property line bordering an alley.

Detached accessory buildings, other than private garages, shall be located within the rear half of the lot and shall have setbacks (yards) of not less than the following.

<u>Front Yard</u>	<u>Rear Yard</u>	<u>Interior Lot: Side Yards</u>	<u>Corner Lot: Side Yards</u>
<u>Front ½ of lot</u>	<u>5 feet</u>	<u>5 feet</u>	<u>15 feet on side next to public street, 5 feet other side</u>

(Ord. 2008-30, 12-16-2008)

**Residential B District**

10-7C-4: YARDS:

Each building, whether a dwelling, detached private garage or other building for an approved principal use shall have setbacks (yards) of not less than the following as herein delineated.

<u>Front Yard</u>	<u>Side, Rear Yard</u>	<u>Interior Lot: Side Yards</u>	<u>Corner Lot: Side Yards</u> <u>Street</u>
15 feet	15 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

Except a detached private garage may be located not less than within five feet (5') off from a property line bordering an alley line.

Detached accessory buildings, other than private garages, shall be located within the rear half of the lot and shall have setbacks (yards) of not less than the following as herein delineated.

<u>Front Yard</u>	<u>Side, Rear Yard</u>	<u>Interior Lot: Side Yards</u>	<u>Corner Lot: Side Yards</u> <u>Street</u>
<u>Front ½ of lot</u>	5 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

(Ord. 2008-11, 3-4-2008)

**Residential C District**

10-7D-3: YARDS:

Each building, whether a dwelling, detached private garage or other building for an approved principal use shall have setbacks (yards) of not less than the following as herein delineated.

<u>Front Yard</u>	<del>Side, Rear</del> <u>Yard</u>	<u>Interior Lot:</u> <u>Side Yards</u>	<u>Corner Lot:</u> <del>Street</del> - <u>Side Yards</u>
15 feet	15 feet	5 feet	15 feet <u>on side next to public street, 5 feet other side</u>

Except a detached private garage may be located not less than~~within~~ five feet (5') off from a property line bordering an alley~~line~~.

Detached accessory buildings, other than private garages, shall be located within the rear of the lot and shall have setbacks (yards) of not less than the following as herein delineated.

<u>Front Yard</u>	<u>Rear Yard</u>	<del>Side, Interior</del> <u>Lot: Side Yards</u>	<u>Corner Lot:</u> <u>Side Yards</u> <del>Street</del>
<u>Front 1/2 of lot</u>	5 feet	5 feet	15 feet <u>on side next to the public street, 5 feet other side</u>

(Ord. 85-1; amd. Ord. 97-15)

ALL DAY'S DELICIOUS  
**BBQ**  
RIBS - SMOKED BRISKET  
PORK - TACOS  
CATERING FOR ALL YOUR SPECIAL OCCASIONS  
NO ONE BEATS OUR MEAT

SMALL WONDERS  
CHILDREN  
LA INTERPHONE





**verizon**wireless  
Authorized Retailer

*The* **SHOPPES at CODY**

 **DOLLAR TREE**

**Aaron's**

**ACE** PAYDAY  
LOANS

 Wyoming

verizon

 **ANYTIME  
FITNESS**

**VITAL AIR**

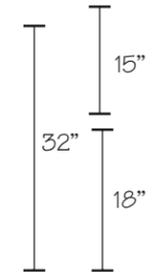
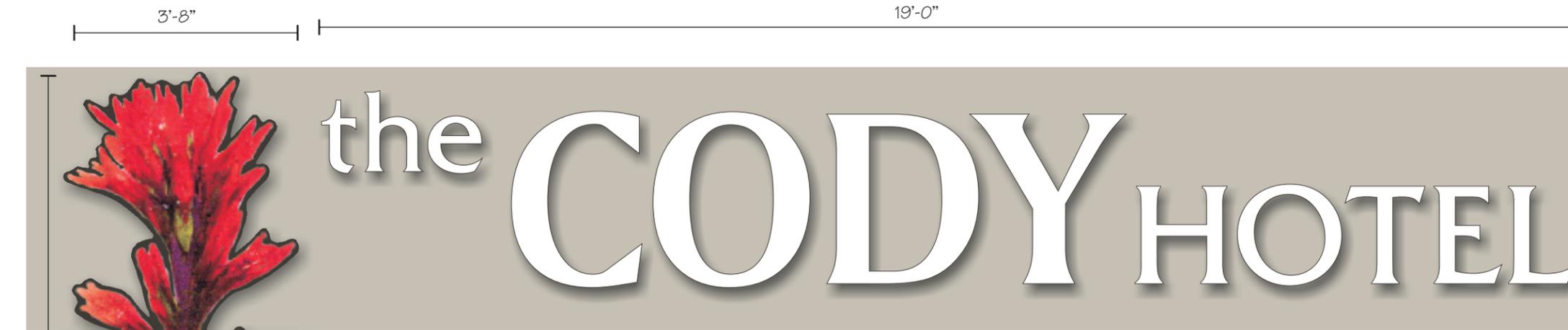
**DESIGN**  As Designed  
 Approval for Production  With Changes

X  
 Client Signature \_\_\_\_\_

Sales \_\_\_\_\_

DATE \_\_\_\_/\_\_\_\_/\_\_\_\_

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7'-6"

INDIVIDUAL ILLUMINATED LETTERS SCALE 1/2" = 1'-0"

**B** MANUFACTURE AND INSTALL ONE SET OF INDIVIDUAL ILLUMINATED LETTERS AND LOGO, FABRICATED 5" DEEP ALUMINUM PAN CHANNELS WITH A DARK BRONZE PRE-FINISHED RETURN AND STAPLED ALUMINUM BACKS. CUT OUT #7328 WHITE PLEXIGLAS FACES WITH A 1" DARK BRONZE TRIM CAP RETAINER ON LETTERS AND LOGO, PRINTED VINYL FLOWER GRAPHIC WITH A UV COATING APPLIED TO LOGO FACE, ILLUMINATE ALL FROM INTERIOR WITH SLOAN VL SERIES WHITE LED LIGHTS. FLUSH MOUNT TO BUILDING WALL IN AREA SHOWN IN PHOTO RENDERING. (VERIFY ACCESS BEHIND WALL FOR POWER SUPPLIES)



PHOTO RENDERING NO SCALE



INDIVIDUAL LETTERS PHOTO RENDERING NO SCALE



SINGLE FACED HANGING CABINET SCALE 1/2" = 1'-0"

**C** MANUFACTURE AND INSTALL ONE SINGLE FACED CABINET, TYPE IV EXTRUDED ALUMINUM FRAME WITH 1" RETAINERS. ALUMINUM FACE AND BACK, ENAMEL PAINT FINISH ALL DARK BROWN/BRONZE (MATCH ENTRANCE BEAM COLOR). ROUTE COPY AREA FROM FACE AND BACK WITH #7328 WHITE ACRYLIC. ILLUMINATE FROM INTERIOR WITH SLOAN WHITE LED LIGHTS. PLATE AND PIPE HANGING MOUNT TO BOTTOM OF ENTRANCE BEAM AS SHOWN IN PHOTO RENDERING.

DESIGNER TP  
 SHEET # 2 OF 2

DESIGN # 17762-14A  
 SALES MIKE N.

DATE 04-10-14  
 SCALE SHOWN

CLIENT CODY HOTEL- THE CODY, WY

SIGN PRODUCTS, INC.  
 1425 MONAD, BILLINGS, MT 59104  
 Phone: (406) 252-6348 Fax: (406) 252-6654





APPROXIMATE SIGN MOUNTING LOCATION TO BE VERIFIED



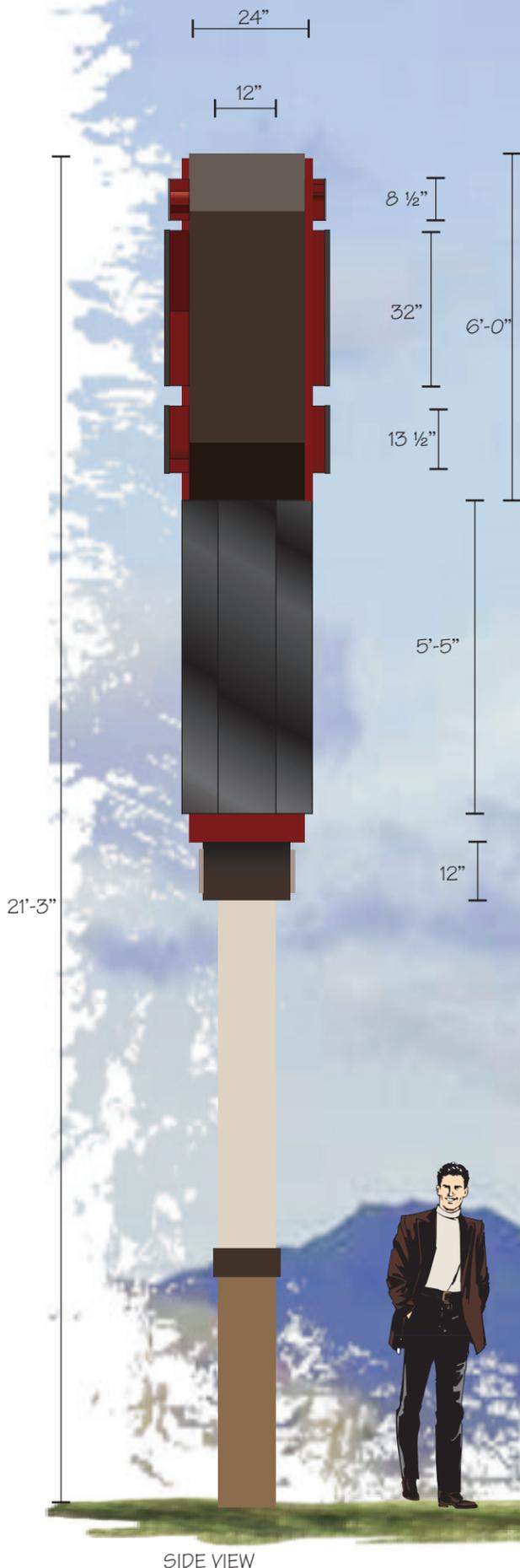
OPTIONAL D/F CABINET SCALE 1/4" = 1'-0"

**A1** CABINET OPTION: FABRICATED WIDE BODY EXTRUSION WITH RETAINER SYSTEM FOR FLEXIBLE FACES, PAINT FINISH DARK BRONZE, PRINTED PAN-O-FLEX FACES WITH A UV COATING. INTERIOR MESSENGER HOLOPHANE METAL HALLIDE LIGHTING.



EXISTING MESSAGE UNIT ON PROPERTY. REMOVE - REUSE UNITS

<b>DESIGN</b>	<input type="checkbox"/> As Designed
Approval for Production	<input type="checkbox"/> With Changes
X	Client Signature
_____	_____
Sales	_____
DATE	____/____/____



SIDE VIEW



DOUBLE FACED POLE SIGN SCALE 3/8" = 1'-0"

**A** MANUFACTURE AND INSTALL ONE DOUBLE FACED POLE SIGN, FABRICATED SHEET METAL UPPER CABINET WITH INTERNAL ANGLE IRON FRAME. PAINT FINISH MP 10161 CHOCOLATE BLISS (DARK BRONZE), "CODY HOTEL" ARE FABRICATED 5" DEEP ALUMINUM PAN CHANNELS, PAINT FINISH RETURNS MP 11936 SPLIT SECOND RED. #7328 WHITE ACRYLIC FACES WITH A 1" DARK BRONZE TRIM CAP RETAINER. "THE" IS FABRICATED 4" DEEP ALUMINUM PAN CHANNELS WITH A MP 11936 PAINTED RETURN. #7328 WHITE ACRYLIC FACES LAMINATED TO 1/2" DEEP CLEAR ACRYLIC. INSET CLEAR ACRYLIC INTO LETTER AND SCREW ATTACH. ILLUMINATE ALL FROM INTERIOR WITH SLOAN WHITE LED LIGHTS. FLOWER GRAPHIC IS CUT OUT 1 1/2" HDU SIGN FOAM. PAINT FINISH BORDER LINE AND FLOWER MP 11936 RED. APPLIED PRINTED VINYL WITH UV COATING TO FACE OF SIGN FOAM. IN-BETWEEN MOUNT CABINET TO 2 STEEL SUPPORT PIPES SET INTO CONCRETE FOOTINGS. FABRICATED SHEET METAL POLE COVERS WITH A LIGHT TEXTURE. PAINT FINISH BEIGE, DARK TAN(SIMILAR TO ROCK COLOR) AND MP 10161 CHOCOLATE BLISS. MOUNT (FROM EXISTING GROUND SIGN) LAMP POST FIXTURES TO TOP OF POLE COVERS. MOUNT EXISTING DOUBLE FACED MESSAGE UNIT TO STRUCTURE BELOW MAIN CABINET. USE 6" SQUARE TUBE FROM EXISTING SIGN FOR CROSS SUPPORTS. PAINT FINISH ALL BLACK. ADDRESS PANELS ARE CUT OUT 1 1/2" DEEP SIGN FOAM WITH 1 1/2" DEEP SIGN FOAM NUMERALS. MOUNT SIGN IN BOULEVARD AREA WHERE EXISTING GROUND SIGN IS LOCATED.



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CLIENT  
CODY HOTEL- THE  
CODY, WY

DATE 04-10-14  
SCALE 3/8" = 1'-0"

DESIGN # 17762-14A  
SALES MIKE N.

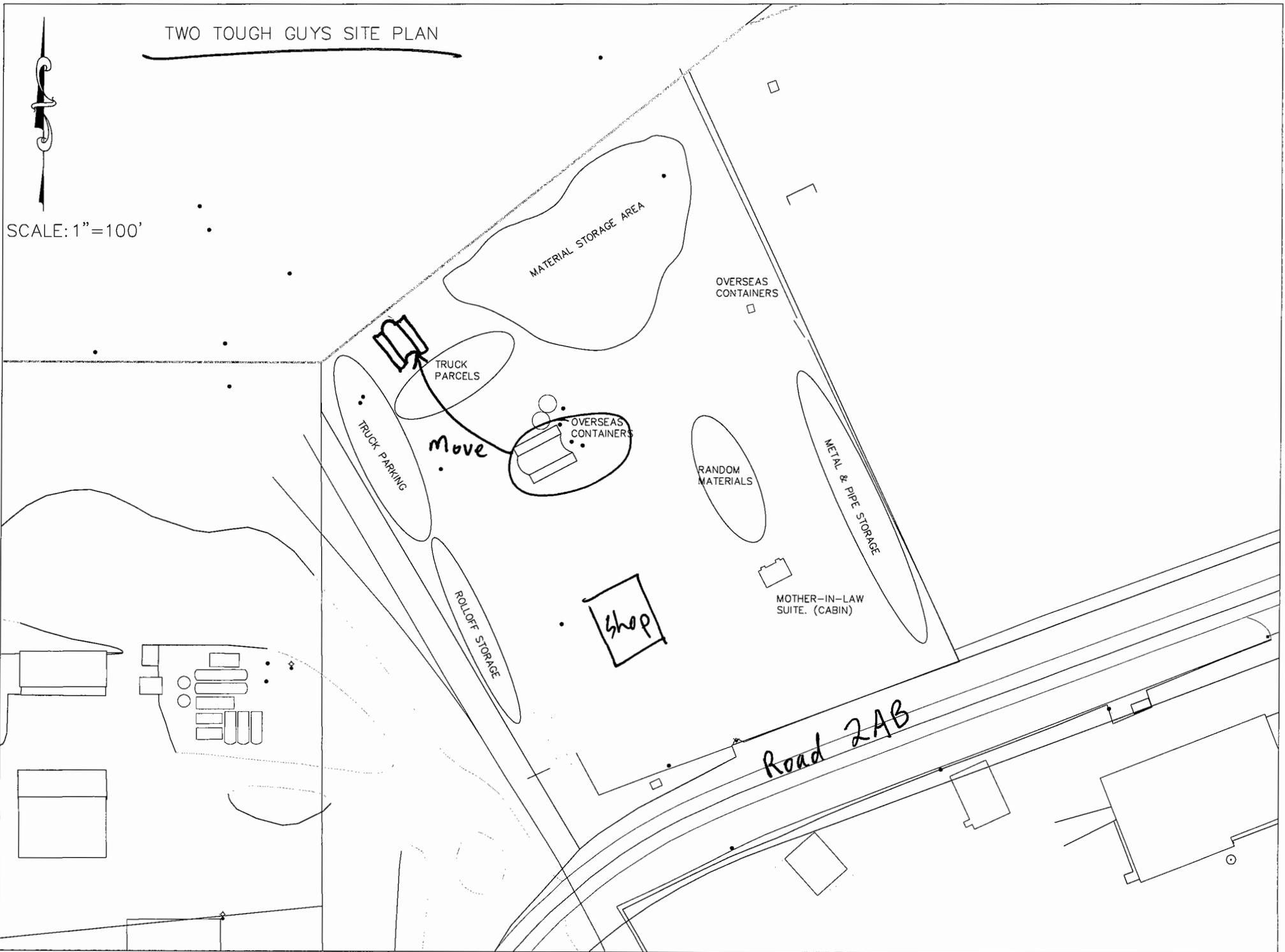
DESIGNER TP  
SHEET # 1 OF 2

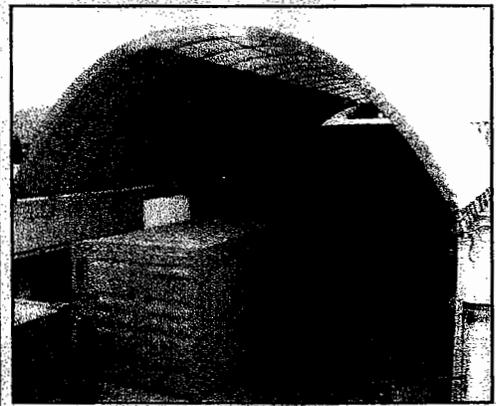
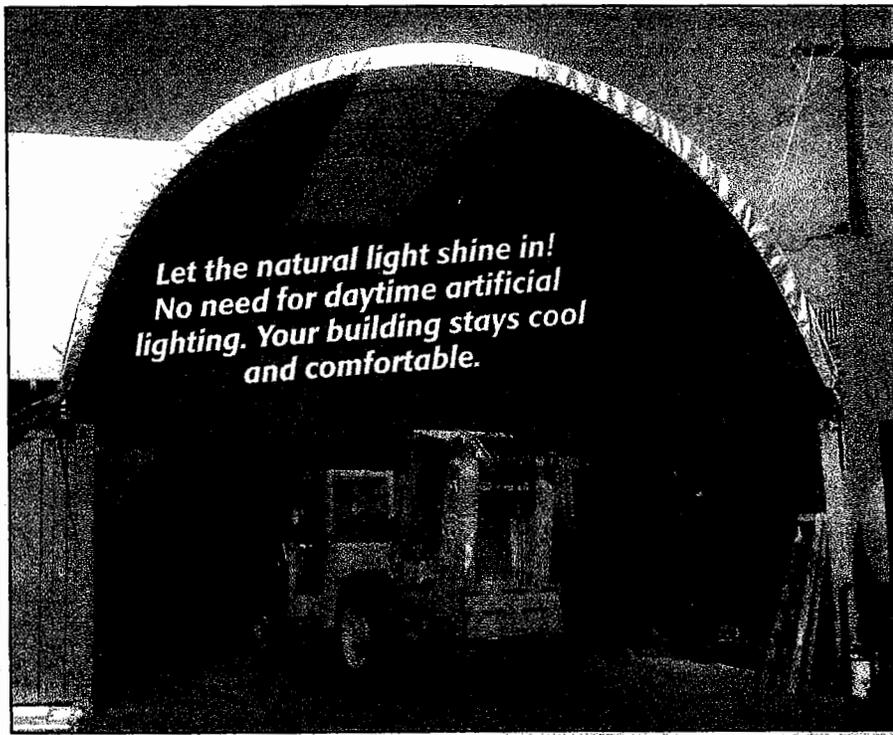
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TWO TOUGH GUYS SITE PLAN



SCALE: 1"=100'

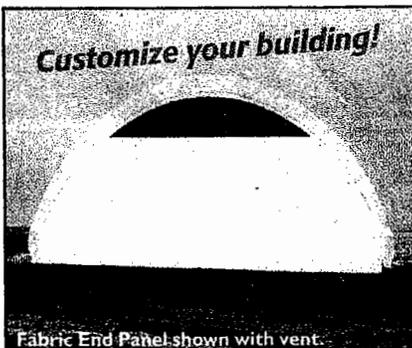




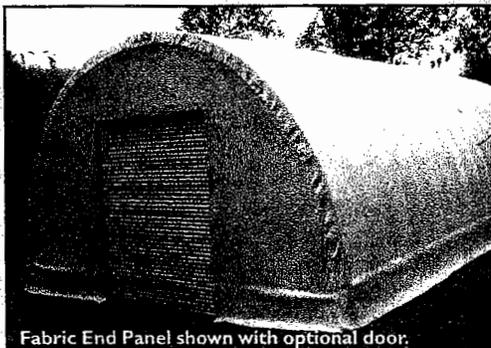
**Our Customers Write...**

A ClearSpan™ Freestanding Building with end panels was the most economical and effective choice for us when we needed to cover the area we use to prepare cars for scrap. I hadn't thought that it would be so much more pleasant working in the ClearSpan™ building, compared to being outside. The productivity of our workers has gone way up and it is easier to keep the place clean. This is a well-made product, all the necessary parts were included and everything fit together as it should. Everything has been excellent.

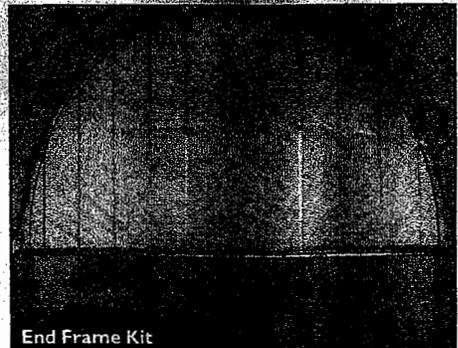
-Bob Berry, Berry Brothers Towing & Transport, Oakland, CA



Fabric End Panel shown with vent.



Fabric End Panel shown with optional door.



End Frame Kit

**Special End Frame Kits and Panels will keep out harsh weather, while offering natural ventilation and maximum airflow.**

- Special End Frame Kits and Panels allow you to create a healthy, comfortable environment that aids in moisture removal, draft control and natural ventilation.
- Steel End Frames are constructed from Allied Gatorshield® structural steel square tubing.
- Solid or vented panels are manufactured from our 12.5 oz., 24 mil premium fabric and come in your choice of four colors. Vent is made from 80% black knitted shade cloth.
- When not utilizing an End Frame Kit, please remember to purchase necessary conduit.
- Please note, 36"W End Panels are available in white only, with or without vent.

**CLEARSPAN™ END FRAME KITS AND PANELS**

STK#	END FRAME KIT	SIZE	STK#	FABRIC END PANELS**	FABRIC END PANEL WITH VENT**
103952	\$ 449.00	20'W x 12'H	106645	\$ 315.00	\$ 415.00
106627	549.00	20'W x 16'H	106646	405.00	509.00
103953	679.00	26'W x 12'H	106647	405.00	519.00
106628	799.00	26'W x 16'H	106648	519.00	619.00
103955	699.00	30'W x 11'H	106649	415.00	519.00
103956	799.00	30'W x 15'H	106650	559.00	659.00
105442	849.00	34'W x 17'4"H	106651	699.00	825.00
108986	849.00	36'W x 16'2"H	108985W	639.00	749.00
108701	995.00	36'W x 20'2"H	108476W4	699.00	819.00
108702	1,095.00	36'W x 22'2"H	108476W6	769.00	899.00
108703	1,195.00	36'W x 24'2"H	108476W8	829.00	949.00
103958	1,049.00	38'W x 15'H	106652	699.00	825.00
103959	1,189.00	38'W x 19'H	106653	859.00	989.00
105444	1,395.00	42'W x 17'3"H	106654	859.00	1,009.00
106629	1,495.00	42'W x 21'3"H	106655	1,039.00	1,189.00

\*Add W for White, N for Green, T for Tan, or G for Gray to the end of the STK# for desired color choice. \*\*Add 80 after color choice for vented end panel.



on 12.5 oz. covers.