

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, APRIL 8, 2014
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chair Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the March 25, 2014 –Regular Meeting.
6. NEW BUSINESS:
 - A. Site Plan Review – Riverside Cemetery Columbarium, located East of Gulch Street within the existing cemetery.
 - B. Expansion of a Nonconforming Building—Request by Amy Shaw to renovate and expand a former church building at 2202 Cougar Avenue into a duplex.
7. APPROVED SIGN APPLICATIONS:
 - A. Buffalo Bill’s Antler Inn, 1213 17th Street
8. P&Z Board Matters (announcements, comments, etc.)
9. Council Update: Steve Miller
10. Staff Items:
11. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings.
If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, March 25, 2014

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, March 25, 2014 at 12:00 PM

Present: Justin Lundvall, Chairperson; Vice Chairperson Justin Ness; Brad Payne; Bob Senitte; Kim Borer; Mark Musser, Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Utana Dye, Certified Engineering Technician II.

Absent: Buzzy Hassrick

Chairperson Justin Lundvall called the meeting to order at 12:00 PM, followed by the pledge of allegiance.

Kim Borer made a motion, seconded Mark Musser, to approve the agenda. Vote on the motion was unanimous, motion carried.

Kim Borer made a motion, seconded by Brad Payne, to approve the minutes for the March 11, 2014 meeting. Vote on the motion was unanimous, motion carried.

Brad Payne made a motion, seconded by Kim Borer, to remove the minor commercial review of the seasonal winter shelter at 1192 Sheridan Avenue for the Irma Hotel from the table. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the minor commercial review of the seasonal winter shelter at 1192 Sheridan Avenue for the Irma Hotel.

John Darby of the Irma Hotel spoke about the winter seasonal enclosure and the reason why they put up the enclosure. The main purpose was to provide a separated smoking room since the restaurant itself is non-smoking, which has helped business during the winter months.

Kim Borer made a motion, seconded by Mark Musser, for the Planning and Zoning Board to approve the seasonal winter shelter at 1192 Sheridan Avenue Irma Hotel to be up until April 27, 2014, and that approval for a permanent temporary shelter to be reviewed in September. Vote on the motion was unanimous. Motion carried.

Todd Stowell presented the staff report on the sign plan for Buffalo Bill Memorial Association (Buffalo Bill Center of the West) located at 720 Sheridan Avenue.

Paul Brock, Director of Operations for the Center of the West, spoke on the signage packet and noted that it is part of their branding package. They are matching the new image and branding with the directional signs.

Justin Ness made a motion, seconded by Kim Borer, to approve the sign plan for the Buffalo Bill Memorial Association (Buffalo Bill Center of the West) located at 720 Sheridan Avenue. Vote on the motion was unanimous. Motion carried.

Todd Stowell presented the staff report for Donny Anderson's 30'x32'x12' steel building for ice storage located at 5 Road 2AB.

Justin Ness made a motion seconded by Kim Borer to approve the site plan for the ice storage and distribution building with Conditions 1 through 3 of the staff report. Vote on the motion was unanimous. Motion carried.

Justin Ness recused himself from the next item.

Todd Stowell presented the staff report for the site plan revisions to the Good 2 Go gas pumps and canopy located at 1200 17th Street.

Kim Borer made a motion second by Mark Musser to approve the site plan revisions for the Good 2 Go gas pump and canopy located at 1200 17th Street, with the staff recommendations and requirement that the Board have a correct photometric map for review with the precise number of lights being 14. To make sure it falls within what was originally approved. Allow the Canopy construction to be continued, but the lights not to be installed until the Board sees the plan. Vote on the motion was unanimous. Motion carried.

Justin Ness returned to the meeting.

Todd Stowell presented the approved sign application for the Good 2 Go wall sign located at 1200 17th Street.

P&Z Board Matters: None
Councilman Steve Miller had nothing to report.

Todd talked to the Board about a future item that the Board will be taking action on. It will not be this next meeting, but possible the following meeting. Pertaining to an indoor gun range proposal. He just wanted to remind Planning and Zoning board: 1. His recommendation is for the board to try to avoid the any ex parte contacts--discussions with private individuals. The reason being if the Board members have those discussion they really should be disclosed at the public meeting. He noted that we want to be sure we have an unbiased Board that can consider the situation. The intent of these processes is to present all the same information to the all board members so that they are aware of that, and to have it presented in a public form. Where you have an ex parte contact that not in a public form, there can due process concerns. Todd recommends that if someone wants to talk to the board about the proposal simply ask them to submit an email or letter so that all the board members can hear it. It not for one member to know but for the whole board to know.

Justin Ness made a motion seconded by Brad Payne to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Justin Lundvall adjourned the meeting at 1:49PM.

Utana L. Dye
Certified Engineering Technician II

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 8, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	RIVERSIDE CEMETERY COLUMBARIUM GARDEN, FILE SPR 2014-09	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

The Riverside Cemetery has submitted a proposal to construct a columbarium (*a structure with recesses in the walls for holding urns containing cremated remains*). The columbarium is proposing to have a total of 626 niches in thirteen structures. The columbarium area measures approximately 35 feet by 100 feet. The installation of landscaping, masonry walls, overhead shade structures, lighting, and ADA access is also proposed. The project is located along the west border of the cemetery, on the west side of the internal loop road in the north end of the cemetery. Plans for the improvements are attached.

Existing conditions (looking north from loop road):



REVIEW CRITERIA:

As was noted in the last review for the cemetery in 2012, cemeteries are not listed in the zoning ordinance, and therefore this cemetery could be classified as a non-conforming use due to its pre-existing condition. Nevertheless, even if it is a nonconforming use the Planning and Zoning Board has the authority to authorize the improvements, provided the Board determines that the columbarium is an acceptable accessory use to the cemetery. The issue is mentioned so that the Board is aware of the apparent nonconforming use classification of the existing cemetery and of the need

to make a determination on the accessory nature of the columbarium. Under the nonconforming use chapter, the Planning and Zoning Board needs to authorize any “additions or structural changes” to a nonconforming use. The cemetery is located in the Residential A zoning district.

STAFF COMMENTS:

The proposal is in line with the purposes and activities of a public cemetery—providing a dedicated resting place for human remains. The columbarium garden is professionally designed, will be composed of quality materials, and appears to avoid any significant impacts to neighboring properties. Details of the project are included in the attached plans.

It is noted that the columbarium is located about 195 feet east of the Roger Smith residence (nearest house) and 45 feet east of the Gulch Street right-of-way that leads to the Cowan property. The installation of the masonry wall along the west, north and south sides of the columbarium will provide visual and sound isolation from traffic on Gulch Street, as well as protection from the west wind.

Landscaping:

Existing landscaping is being augmented with additional trees and hardscape improvements such as the raised landscape planter (planted with salvia and black-eyed Susan flowers initially), a shade structure, architectural lighting, etc. All disturbed areas around the site will be restored (sod). The underground sprinkler system will be altered to provide irrigation to the project.

Storm Water:

The cemetery has a storm water system in place. The grading plan for this project is designed to carry water into the system in the event of an extreme event, yet typically storm water will be retained by the surrounding grass areas. The flatness of the site eliminates any erosion concerns.

Parking:

No new parking is proposed. Parking demand is not expected to exceed historical levels for funeral events. Parking is currently provided along the internal roads.

ADA Access:

The site is designed for ADA access. Only one modification/addition to the ADA access has been identified at this point—tactile warning strips (truncated domes) will be needed at the curb cut next to the roadway.

Lighting:

Site lighting of the area will be provided by bollards next to the internal road, recessed lights within the columbarium structures, and lamp post caps on top of the masonry wall columns.

Utility Conflicts:

Sheet C-1 identifies utility easements and rights-of-way in the vicinity. The project stays outside of all identified easements. Modifications to the cemetery irrigation system are identified on the plans.

Cemetery Lots:

Cemeteries are required to maintain accurate plats of cemetery lots.

§ 35-8-101. Survey and platting of cemetery grounds.

Any person, firm, corporation or municipality desiring to maintain a cemetery or to sell lots or parcels of land for cemetery or burial purposes shall cause such land, or such portion thereof as may, from time to time be or become necessary for that purpose, to be surveyed into lots, blocks, streets, avenues and walks, and platted; and the lots and blocks shall be regularly numbered or designated and marked on such plat...

The columbarium will be located in an area previously identified as eight rectangular blocks with twelve cremation lots each. The lots are unsold. The proposed columbarium utilizes a different configuration than the plat of record. Both the cemetery's attorney and the city attorney are looking into what is needed, if anything, to map out the columbarium niches. (This is something new for all of us.) It is the city planner's thought that the property owner is responsible to provide an updated plat to reflect the changes to the cemetery lots.

State Requirements:

In addition, there are specific state requirements for columbariums (WY Statute 35-8-401-407) which pertain to everything from types of materials used to foundation depth and maintenance. Those state requirements are enforced by the State Department of Health and the applicant indicates they are aware of that process.

ATTACHMENTS:

Application materials.
Cemetery plat.

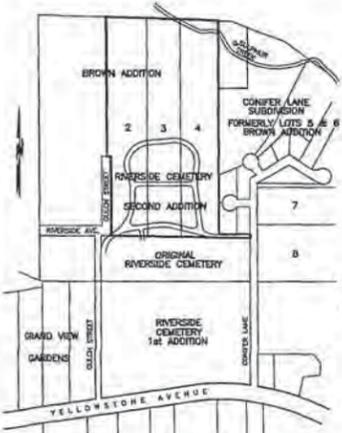
ALTERNATIVES:

Approve or deny the site plan.

RECOMMENDATION:

Authorize the Riverside Cemetery columbarium project as an expansion of a nonconforming use and approve the site plan subject to the following:

1. Add the required tactile warning strips to the ADA ramps next to the road.
2. Unless direction from the city attorney is otherwise, the property owner is responsible for filing an updated plat to reflect the changes for the columbarium units.



VICINITY MAP
SCALE: 1" = 600'

- LEGEND**
- BEARING BASE = NORTH LINE ORIGINAL RIVERSIDE CEMETERY
 - BIASS CAP FOUND
 - 2" AL CAP ON 5/8" x 18" REBAR SET FOR BOUNDARY CONTROL
 - 2" IRON PIPE WITH CAP SET IN CONCRETE FOUND
 - 2" AL CAP ON 5/8" x 18" REBAR SET FOR BURIAL PLOT CONTROL
 - COORDINATE COMPUTED NO MONUMENT SET
 - RECORD DIMENSIONS [S 85°40' E 701.9'] BROWN ADDITION
 - RECORD DIMENSIONS (N 89°51'42" E - 224.69') CONIFER LANE
 - MEASURED DIMENSIONS S 86°10'23" E 704.76'

CERTIFICATE OF SURVEYOR

STATE OF WYOMING } s.s.
COUNTY OF PARK } s.s.

I, DONALD J. LAMINGTON, A LAND SURVEYOR REGISTERED IN WYOMING BY REGISTRATION NUMBER 647, P.S. & L.S. HEREBY CERTIFY AS FOLLOWS:

BETWEEN JUNE 1, 1889 AND MARCH 25, 1981 THE SECOND ADDITION TO RIVERSIDE CEMETERY SHOWN HEREON WAS SURVEYED BY ME AND UNDER MY DIRECTION BY DAVID L. BRUBAKER AND RON HAZLEDOCK FOR WHOSE WORK I STAND INDIVIDUALLY RESPONSIBLE. THE LAND SURVEYED IS CORRECTLY DESCRIBED IN THE OWNERS CERTIFICATE OF DEDICATION AND THE ADDITION THEREOF IS CORRECTLY SHOWN ON THIS PLAN WHICH IS DRAWN TO THE SCALE INDICATED. DIMENSIONS ARE GIVEN IN FEET AND DECIMALS. CURVES ARE GIVEN IN DEGREES, MINUTES, AND SECONDS OF ARC AND ARE REFERRED TO THE TRUE MERIDIAN WHICH WAS DETERMINED FROM THE NORTH LINE OF THE ORIGINAL RIVERSIDE CEMETERY. MONUMENTS SHOWN AND ALL LOT CORNERS MARKING THIS SURVEY WERE ACTUALLY FOUND ON SET AND THE MONUMENTS ARE AS DESCRIBED HEREON. ALL ELEMENTS OF THE SURVEY CLOSE TO AN ACCURACY OF ONE PART IN TEN THOUSAND OR BETTER.



STATE OF WYOMING } s.s.
COUNTY OF PARK } s.s.

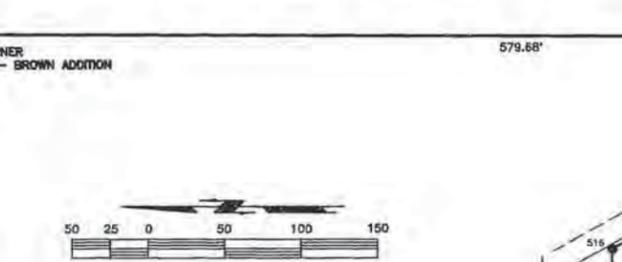
THE FOREGOING CERTIFICATE WAS ACKNOWLEDGED BEFORE ME BY DONALD J. LAMINGTON THIS 20th DAY of February, 1992, WHENCE MY HAND AND OFFICIAL SEAL.

Donna M. Shirley
NOTARY PUBLIC

BY COMMISSION EXPIRES: _____

COORDINATE LIST

POINT NO.	NORTHING	EASTING	POINT NO.	NORTHING	EASTING	POINT NO.	NORTHING	EASTING
501	11316.8787	8278.7308	531	10140.2581	10155.5175	541	10328.8485	10466.6189
502	11201.4095	10000.4518	532	10297.2214	10220.7708	542	10429.9445	10466.6283
503	11154.3719	10703.6409	533	10295.7219	10226.7746	543	10444.8443	10466.6187
504	11148.5940	10703.0170	534	10193.7232	10227.2849	544	10594.0726	10116.6984
505	10274.8927	10701.5558	535	10181.7234	10227.3591	545	10593.6138	10026.6686
506	10224.4443	10889.5785	536	10070.7247	10227.5753	546	10438.6158	10027.4550
507	8976.0000	10294.3550	537	10081.2242	10521.5725	547	10440.0745	10117.4539
508	8975.0000	8885.5970	538	10163.2228	10521.3522	548	10713.9478	10464.0818
509	10025.0000	10024.0768	539	10195.2227	10521.2910	549	10713.0004	10310.0541
510	10389.8000	10025.1248	530	10518.9397	10870.0296	550	10647.0012	10310.4007
511	10399.7163	10000.1350	531	10316.5113	10295.0600	551	10846.4492	10193.4022
512	10473.3463	10000.1541	532	10310.5140	10896.1208	552	10696.4496	10190.6572
513	10608.4264	10000.7948	533	10104.5187	10597.1715	553	10597.0618	10310.6557
514	10554.2222	10190.3737	534	10104.8451	10891.1704	554	10697.8493	10484.6334
515	10718.3245	10309.6079	535	10310.9424	10680.1197	555	10647.9487	10464.3884
516	10719.3913	10559.1638	536	10346.8430	10485.4699	556	10574.3257	10553.2648
517	10576.6085	10836.0825	537	10346.0249	10295.4999	557	10674.0503	10504.2855
518	10320.2538	10154.5995	538	10444.0263	10296.0191	558	10598.0013	10504.8633
519	10319.8254	10070.6958	539	10428.0265	10296.1007	559	10598.3267	10505.6936
520	10139.8277	10071.5155	540	10326.0278	10296.6209	560	10000.0029	10699.4886



CURVE DATA

NUMBER	DELTA	LENGTH	RADIUS	POINT COORD	COORD
				NORTH	EAST
1	60°29'56"	137.27	130.00	9866.957	10101.188
2	37°00'01"	116.33	218.00	10191.690	9986.829
3	27°00'01"	78.33	215.00	10275.188	9986.308
4	103°30'01"	243.67	133.00	10428.438	10225.258
5	103°00'03"	242.89	133.00	10443.378	10432.838
6	14°00'03"	52.53	215.00	10310.298	10706.832
7	16°45'34"	54.12	210.00	10186.773	10688.391
8	23°00'01"	90.32	225.00	9838.518	10363.117

CERTIFICATE OF DEDICATION

STATE OF WYOMING } s.s.
COUNTY OF PARK } s.s.

WE, THE OWNERS OF A TRACT OF LAND IN THE BROWN ADDITION TO THE TOWN OF CODY, PARK COUNTY, WYOMING DESCRIBED AS LOTS 2, 3, 4 AND THE SOUTH ONE-HALF OF THAT PART OF RIVERSIDE AVENUE LYING BETWEEN THE WEST LINE OF ALLEN STREET AND THE SOUTHERLY PROJECTION OF THE WEST LINE OF LOT 5 OF SAID BROWN ADDITION AND THAT PART OF RIVERSIDE AVENUE LYING BETWEEN THE SOUTHERLY PROJECTION OF THE EAST LINE OF GULCH STREET AND THE SOUTHERLY PROJECTION OF THE WEST LINE OF LOT 5 OF SAID BROWN ADDITION,

WE HAVE CAUSED SAID LANDS TO BE SURVEYED AND PLATED AS SHOWN HEREON. THE SUBDIVISION OF SAID LANDS AS APPEARS ON THIS PLAN IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDISPOSED OWNERS AND PROPRIETORS. THE ADDITION SHALL BE KNOWN HEREINAFTER AS THE SECOND ADDITION TO RIVERSIDE CEMETERY.

IN WITNESS WHEREOF I HAVE HEREUNTO SET MY HAND, THIS 13th DAY of February, 1992.

Christoph A. Taggart
PRESIDENT
RIVERSIDE CEMETERY DISTRICT

CITY OF CODY, WYOMING

APPROVED BY THE CITY COUNCIL OF THE CITY OF CODY, WYOMING, THIS 15th DAY of February, 1992.

Dorise Miller
MAYOR

James S. Smiley
CITY CLERK

COUNTY CLERK'S CERTIFICATE

THIS PLAN WAS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CLERK, PARK COUNTY, WYOMING, AT 3:00 P.M. ON THE 22nd DAY OF FEBRUARY, 1992. A.S. AND IS DULY RECORDED IN BOOK # _____ PAGE NUMBER # 295,306.

Marie Fontaine
PARK COUNTY CLERK

REVISED PLAT OF
RIVERSIDE CEMETERY SECOND ADDITION
BEING PART OF THE BROWN ADDITION TO THE CITY OF CODY

PREPARED BY
ENGINEERING ASSOCIATES - CODY, WYOMING
CONSULTING ENGINEERS & SURVEYORS

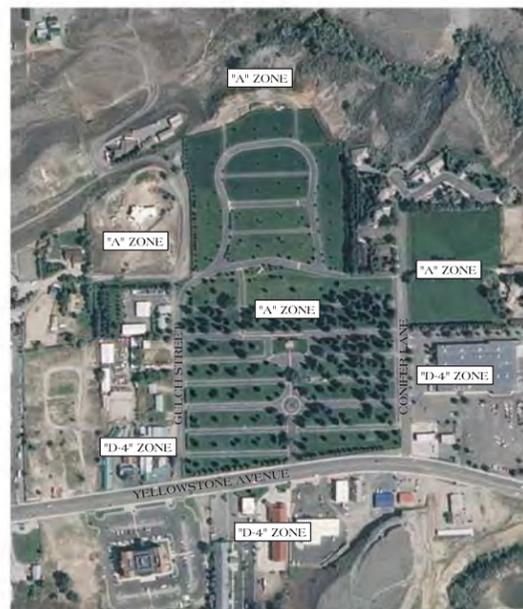
F:\DRAW\19A\R JANUARY 21, 1992 JOB. NO. PC018

Riverside Cemetery: Columbarium Garden

SITE DEVELOPMENT APPLICATION NOTES:

ARCHITECTURAL AND SITE PLAN COMPONENTS-

1. REFER TO THE 2nd SHEET OF THE DRAWING PACKAGE FOR A 3-D MODEL OF THE PROPOSED DEVELOPMENT INCLUDING SEVERAL KEYNOTES DESCRIBING KEY ELEMENTS OF THE PROJECT.
 2. SHEET C-1 SHOWS THE EXISTING SITE CONDITIONS.
 3. NO NEW FENCING IS INCLUDED IN THIS PROJECT. THERE IS AN EXISTING FENCE LOCATED WEST OF THE PROPOSED IMPROVEMENTS. SIX FOOT HIGH MASONRY WALLS WILL BE CONSTRUCTED ON THE NORTH, SOUTH, AND WEST SIDE OF THE PLAZA AREA WITH AN 18" HIGH SEAT WALL/PLANTER ON THE EAST SIDE. RIVER ROCK VENEER WILL BE USED.
 4. SITE ACCESS POINTS ARE EXISTING OFF OF YELLOWSTONE AVENUE AND GULCH STREETS.
 5. THE SHADE STRUCTURE WILL BE CONSTRUCTED OF TUBE STEEL AND WILL BE PRIMED AND PAINTED DARK BROWN. LIGHTING, TRASH RECEPTACLE, AND SHADE STRUCTURE WILL ALL BE THE SAME COLOR.
 6. THE GRANITE FEATURES (BENCHES, LECTURN, AND COLUBARIA) ARE PLANNED TO BE SENTIENL RED AND CASCADE GRAY. COLORS ARE SUBJECT TO CHANGE. REFER TO SHEET L-4 FOR COLUMBARIA DETAILS.
 7. A VICINITY MAP INDICATING, SURROUNDING LAND USE, STRUCTURES, AND ZONING IS INCLUDED.
 8. THE CEMETERY DOES NOT HAVE ANY DEDICATED PARKING SPACES. PARKING TAKES PLACE ALONG THE CEMETERY ROADWAYS. CURB CUTS AND ADA RAMPS WILL BE PROVIDED.
 9. SITE LIGHTING WILL BE PROVIDED BY TWO DIFFERENT TYPES OF FIXTURES. RECESSED LIGHTING AT WALLS. 10"x 12". LAMPS ARE METAL HALIDE. BOLLARD LIGHTING AT ENTRIES. LIGHTING CUT SHEETS ARE INCLUDED WITH THE SUBMITTAL PACKAGE. REFER TO E-1 & E-2 FOR ADDITIONAL INFORMATION.
 10. GRADING OF THE SITE CONSISTS OF SURFACE DRAINAGE TO THE EXISTING CURB AND GUTTER LOCATED EAST OF THE PROJECT AREA. FROM THERE, STORMWATER FLOWS TO A SERIES OF EXISTING VALLEY GUTTERS AND INTO THE EXISTING STORM DRAIN. PRECONSTRUCTION AND POST CONSTRUCTION DRAINAGE PATTERNS ARE UNCHANGED. THE MAJORITY OF SURFACE FLOW IS ROUTED INTO LANDSCAPE AREAS AND TO A LOW AREA JUST WEST OF THE IMPROVEMENTS. (REFER TO GRADING PLAN SHEET L-6 FOR ADDITIONAL INFORMATION).
- UTILITY COMPONENTS-
11. EXISTING UNDERGROUND ELECTRICAL SERVICE IS INDICATED ON SHEET C-1 AND E-1. THERE IS AN EXISTING JUNCTION BOX LOCATED TO THE WEST ACROSS GULCH STREET. POWER WILL BE ROUTED FROM THIS LOCATION EAST ACROSS GULCH STREET TO A NEW TRANSFORMER. POWER WILL CONTINUE FROM THE TRANSFORMER TO A NEW PANEL LOCATED AT THE GARDEN AREA. REFER TO SHEET E-1 FOR PROPOSED ROUTING OF NEW SERVICE.
 12. ELECTRICAL DIVISION REVIEW COMMENT FORM IS INCLUDED WITH THE APPLICATION.
 13. AN EASEMENT WILL PROVIDED FOR ACCESS AND MAINTENANCE OF THE TRANSFORMER BY THE CITY. FOLLOWING RECEIPT OF THE DIMENSIONAL REQUIREMENTS FROM THE CITY, SIGNED EASEMENT DOCUMENTS WILL BE PROVIDED.
 14. A TRASH RECEPTACLE WILL BE PROVIDED AT THE MEMORIAL AREA, REFER TO SHEET L-10.
 15. NO SPECIFIC SNOW REMOVAL LOCATIONS ARE PROVIDED.
- LANDSCAPE COMPONENTS-
16. REFER TO SHEET L-7 FOR THE PLANTING PLAN. PLANTINGS A LIMITED TO THE SEATWALL/RAISED PLANTER. MULCH WILL BE SHREDDED BARK.
 17. REFER TO SHEET L-8 FOR THE IRRIGATION PLAN. TURF IRRIGATION WILL BE ROTORS AND SPRAYS. PLANTER IRRIGATION WILL BE DRIP. THE EXISTING IRRIGATION SYSTEM WILL BE MODIFIED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS.
 18. A LANDSCAPE BOND AGREEMENT HAS NOT BEEN REQUIRED ON PREVIOUS PROJECTS OF THIS TYPE AT THE CEMETERY. PLEASE NOTIFY LANDSCAPE ARCHITECT IF A BOND IS REQUIRED FOR THIS PROJECT AND IT WILL BE PROVIDED.



1 VICINITY MAP

NOT TO SCALE

Prepared For:



1721 Gulch Street
Cody, Wyoming

Prepared By:

STEINER
THUESEN
P.L.L.C.

GOLF COURSE ARCHITECTURE
IRRIGATION DESIGN
LANDSCAPE ARCHITECTURE
1525 GRAND AVE, SUITE 105
P.O. BOX 2283
BILLINGS, MT 59104
406.252.5501 FAX 406.252.5503

March 16, 2014



LEGEND: (626 NICHES)

- A HARDSCAPE
- B OVERHEAD TRELLIS/SHADE STRUCTURE
- C RAISED WALL - 7' HIGH
- D LOWER WALL - 48" HIGH
- E SEATING
- F TRASH RECEPTACLE
- G LAWN AREA
- H PODIUM & CREMAINS STAND (NOT VISIBLE)
- I CEREMONY AREA
- J 50 NICHE ROUND COLUMBARIUM
- K 48 NICHE COLUMBARIUM
- L RAISED PLANTER AREA FOR INDIVIDUAL FLOWERS
- M RED SANDSTONE COLUMN TO MATCH EXISTING
- N FLAGPOLE
- O ORNAMENTAL TREE (FUTURE)
- P DECIDUOUS SHADE TREE (FUTURE)



**STEINER
THUESEN
PLLC**

GOLF COURSE ARCHITECTURE
IRRIGATION DESIGN
LANDSCAPE ARCHITECTURE

December 10, 2013

RIVERSIDE CEMETERY: COLUMBARIUM GARDEN

Cody, Wyoming

SURVEY INFORMATION PROVIDED BY GDA ENGINEERS, CONTRACTORS TO VERIFY ALL CONDITIONS PRIOR TO BEGINNING WORK.

50%
NOT FOR
CONSTRUCTION

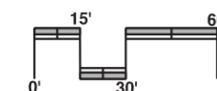
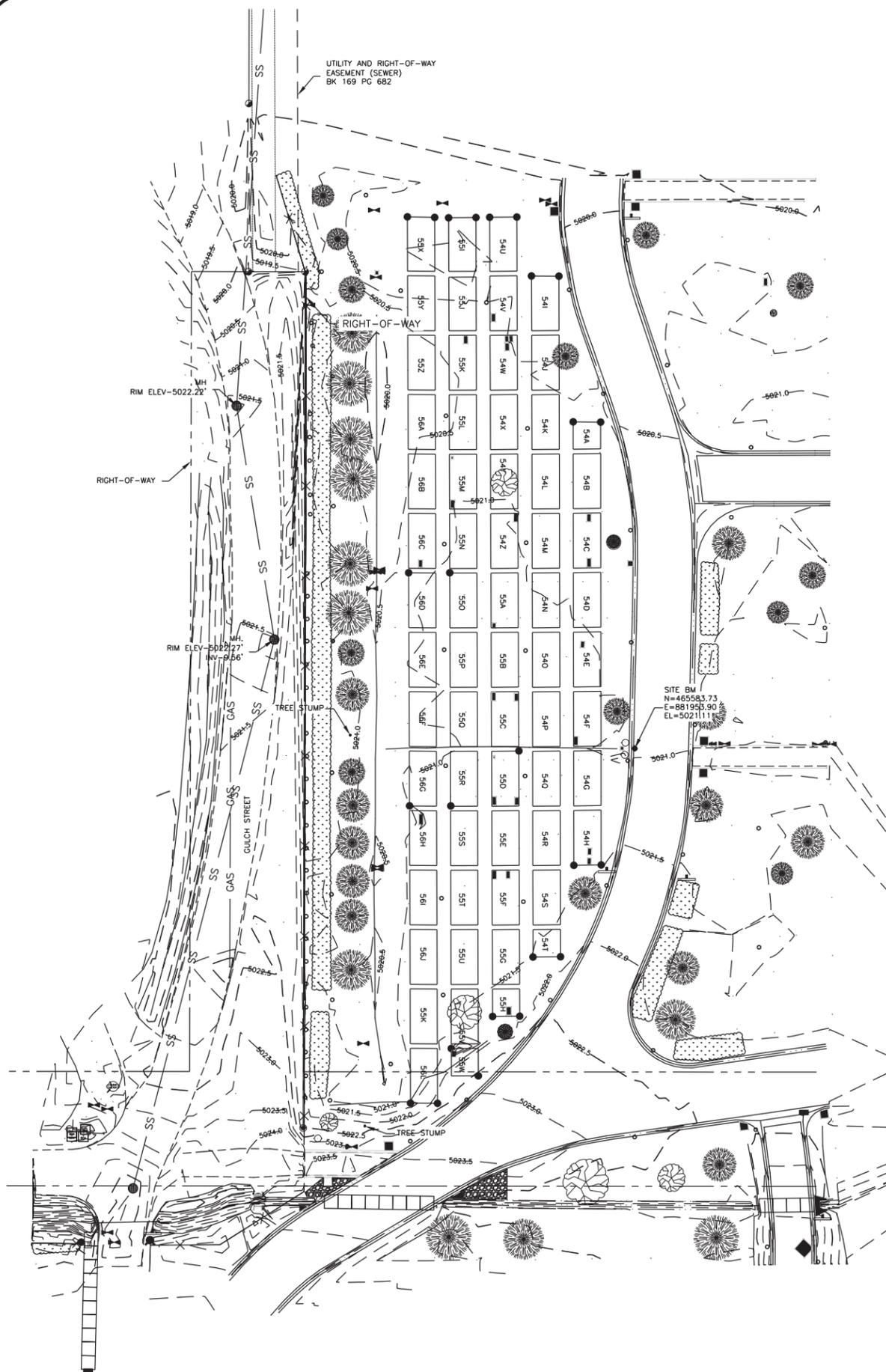
This drawing is the property of the Landscape Architect. It has been prepared specifically for this site and is not to be used for any other purpose, location, or Owner without written consent of the Landscape Architect.

LEGEND

- EXISTING BOUNDARY _____
- RIGHT-OF-WAY LINE _____
- FOUND BRASS CAP ●
- FOUND ALUMINUM CAP ●
- FOUND IRON PIPE ●
- FOUND REBAR ●
- SET 5/8"x24" REBAR WITH 2 1/2" ALUMINUM CAP ○

RECORD EASEMENTS

	GRANTEE	TYPE	BK. & PG.
1	THE CITY OF CODY	EASEMENT AND RIGHT-OF-WAY	BK169 PG682
2	CODY GAS COMPANY	EASEMENT	BK19 PG287
3	SHOSHONE RIVER POWER, INC.	ELECTRIC LINE RIGHT-OF-WAY EASEMENT	DOC. NO. 1998-5401
4	GREAT FALLS GAS COMPANY	QUITCLAIM DEED OF RIGHTS-OF-WAY AND EASEMENTS	BK163 PG122
5	PACIFIC POWER & LIGHT COMPANY	ASSIGNMENT	BK127 PG285



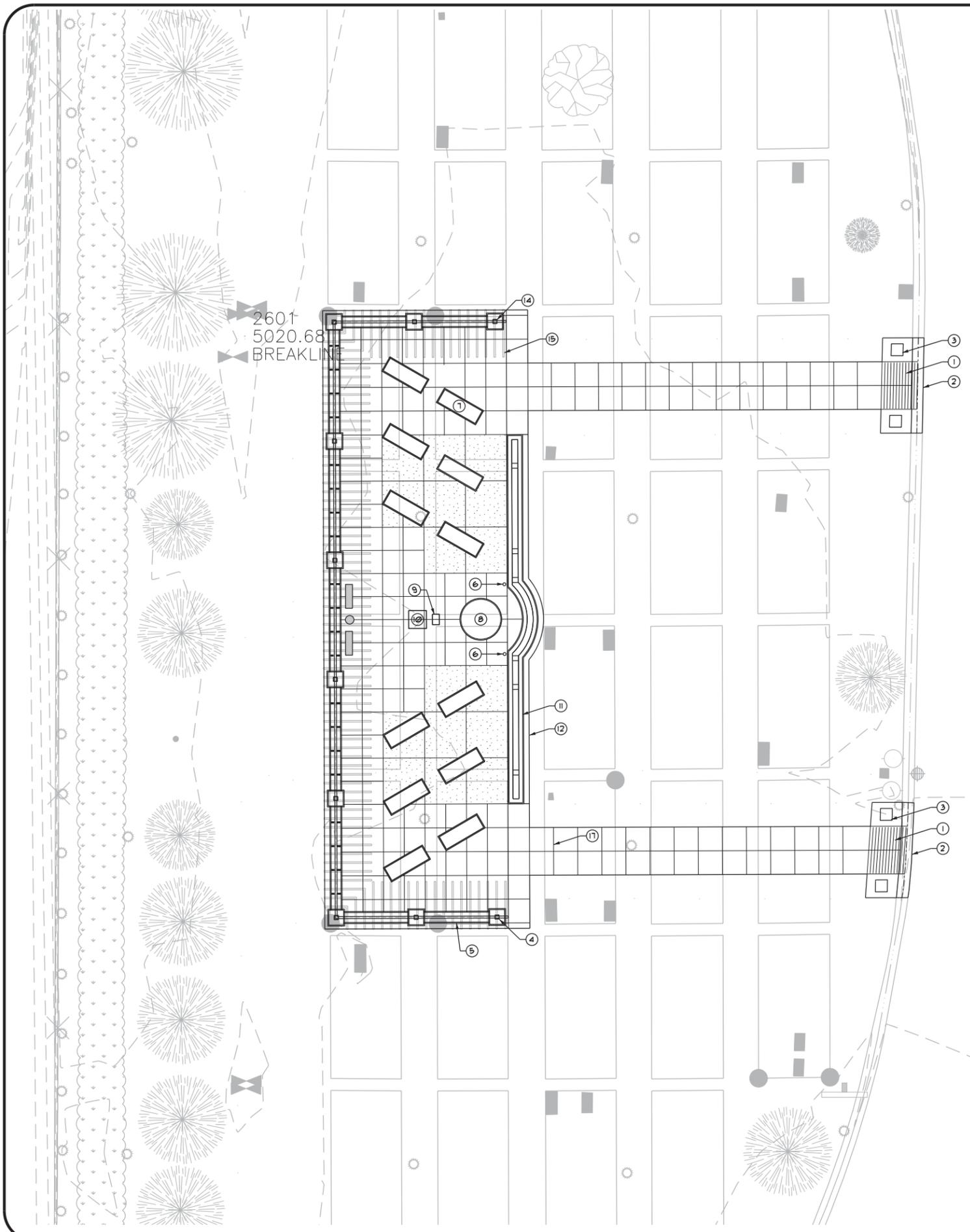
Riverside Cemetery
Columbarium Garden
Existing Conditions

COPYRIGHT
2014
STEINER THUESEN PLLC

**STEINER
THUESEN
PLLC**
GOLF COURSE ARCHITECTURE
IRRIGATION DESIGN
LANDSCAPE ARCHITECTURE
1925 GRAND AVE. SUITE 105
P.O. BOX 22943
BILLINGS, MT 59104
406/252-5545 FAX 245-9855

Drawn by: CSG
Date: 1/10/14
Checked by: NGS
Date: 3/7/14
Rev: _____
Rev: _____
File: SHEET C-LDGN

SHEET
C-1



2601
5020.68
BREAKLINE

LEGEND:

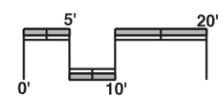
-  4" THICK CONCRETE FLAT WORK, SEE 1/L-3.
-  4" THICK INTEGRAL COLORED CONCRETE FLAT WORK, SEE 1/L-3.
-  BENCH AS SPECIFIED.
-  TRASH RECEPTACLE.

KEY NOTES:

- ① ACCESSIBLE RAMP SCORE RAMP SURFACE IN DIRECTION SHOWN @ 2" INTERVALS 1/4". EXISTING FLOWLINE AT GUTTER TO REMAIN, PROVIDE SMOOTH TRANSITION FROM ROAD SURFACE THROUGH GUTTER AND ONTO RAMP PER ADA GUIDELINES, VERIFY CITY REQUIREMENTS PRIOR TO CONSTRUCTION.
- ② REPLACE EXISTING CURB AND GUTTER TO PROVIDE RAMP AS INDICATED, MAINTAIN EXISTING FLOWLINES, CURB AT EACH SIDE OF RAMP TO SLOPE UP TO MATCH EXISTING CURB AND GUTTER ELEVATION, REPAIR ASPHALT PAVING AS REQUIRED WITH HOT MIX, CURB AND GUTTER PORTION OF RAMP TO BE GRAY CONCRETE.
- ③ MASONRY BOLLARD, SEE /.
- ④ MASONRY COLUMN, TYPICAL, SEE /.
- ⑤ MASONRY WALL, SEE /.
- ⑥ FLAGPOLE BASE, SEE /.
- ⑦ 48 NICHE COLUMBARIUM, TYPICAL, SEE /.
- ⑧ 50 NICHE COLUMBARIUM, SEE /.
- ⑨ LECTURN, SEE /.
- ⑩ 36"x36"x36"H GRANITE DISPLAY, SUPPLIER TO BE THE SAME AS THE COLUMBARIA SUPPLIER, COLOR TO BE -----, LEVEL AND SECURE TO FLATWORK PER MANUFACTURER'S RECOMMENDATIONS.
- ⑪ RAISED PLANTER, SEE /.
- ⑫ MOWSTRIP, SEE /.
- ⑬ MOWSTRIP, SEE /.
- ⑭ SHADE STRUCTURE POST, SEE /.
- ⑮ SHADE STRUCTURE, SEE /.
- ⑯ EXPANSION JOINT, TYPICAL, SEE /.
- ⑰ CONTROL JOINT, TYPICAL, SEE /.
- ⑱ --

NOTES:

1. REFER TO GRADING PLAN FOR SPOT ELEVATIONS, ETC.
2. COORDINATE WITH OTHER TRADES TO ENSURE ALL PIPING AND SLEEVES, ETC. ARE IN PLACE PRIOR TO POURING CONCRETE.
3. FINAL LOCATION OF KIOSK AND SIGN TO BE COORDINATED WITH OWNER'S REP.
4. COORDINATE COLUMN LOCATIONS WITH STRUCTURAL/FABRICATOR.
5. SERVICE SEALS TO BE INSTALLED ON SIDE OF MASONRY BASE THAT FACES THE CENTER OF THE PLAZA.



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406/252-5545 FAX 245-9855

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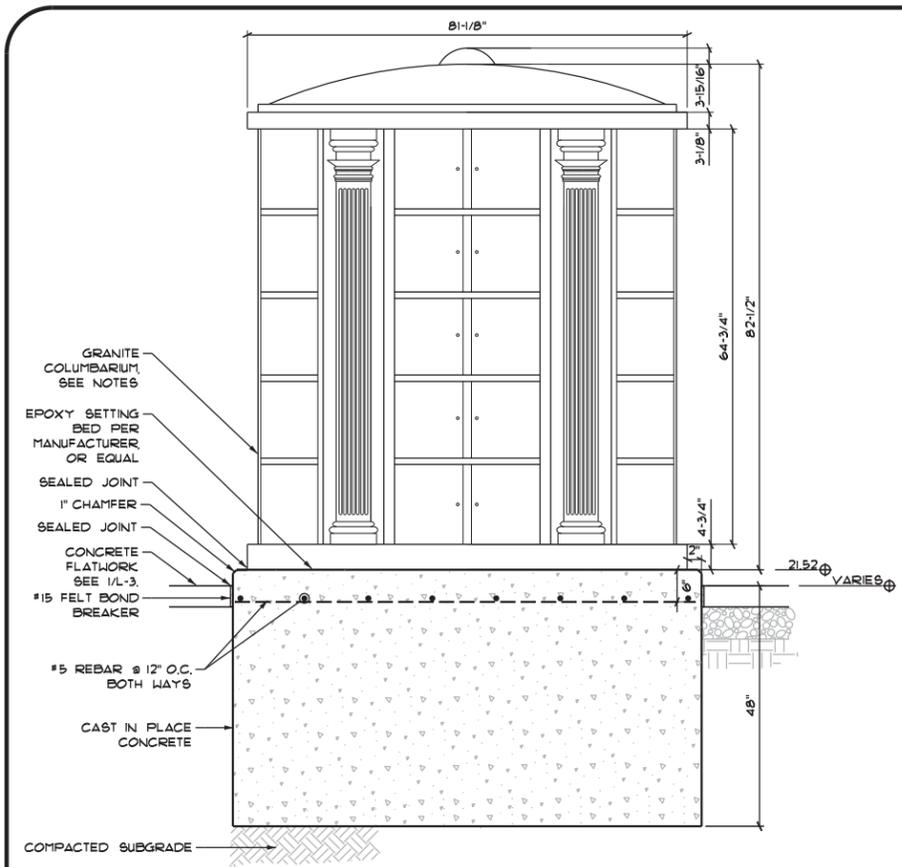
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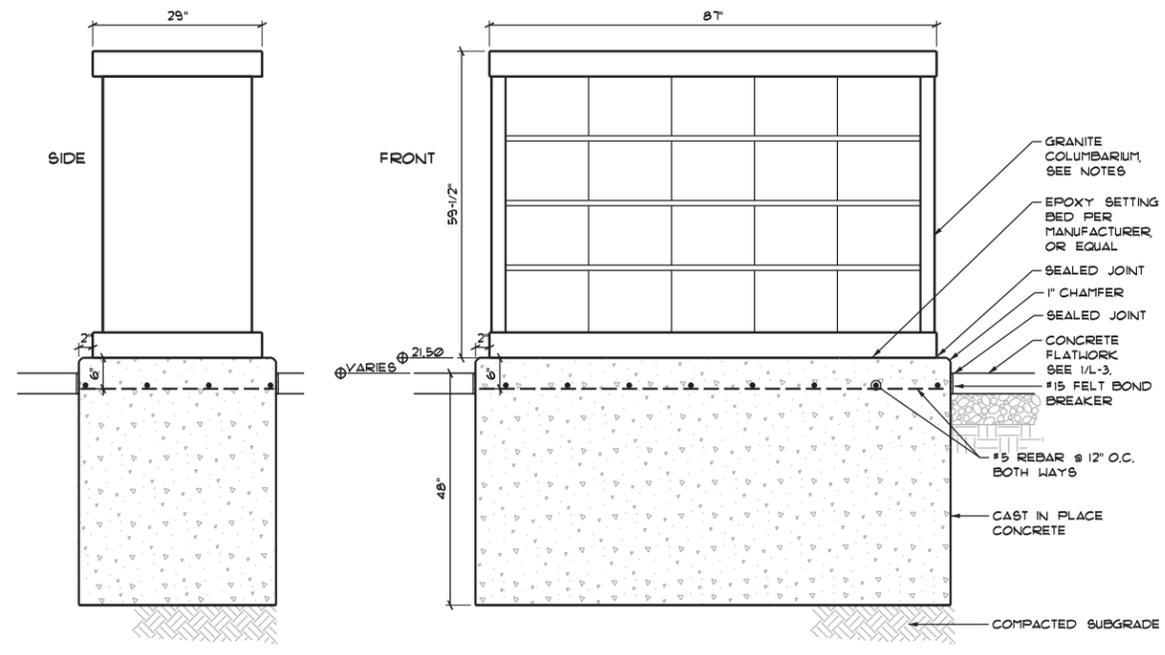
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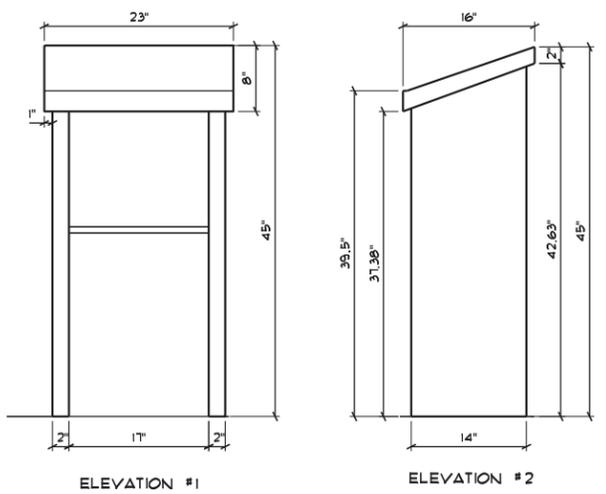
- NOTES:
1. COLUMBARIUM TO BE A 50 NICHE ROUND COLUMBARIUM (RKT-F-001E) AS SUPPLIED BY PREMIER COLUMBARIA 1-800-426-5913 OR EQUAL APPROVED IN ADVANCE. NICHE SIZE 12" X 12" X 12". COLOR TO BE SENTINEL RED WITH CASCADE GRAY COVER DOORS. PROVIDE SHOP DRAWINGS INDICATING ALL FINISHES, FASTENING, AND ANCHORING SYSTEMS, ETC. SHOP DRAWINGS TO INCLUDE THE FOUNDATION SYSTEM AND BE STAMPED BY A MONTANA LICENSED STRUCTURAL ENGINEER.
2. COORDINATE CONCRETE FOUNDATION DIMENSIONS WITH APPROVED COLUMBARIUM SHOP DRAWINGS. ANY ADJUSTMENTS TO FOUNDATION SHALL BE INCLUDED IN BID.
3. EXPOSED CONCRETE FOUNDATION FINISH TO BE SMOOTH STEEL. TOP OF FOUNDATION TO BE TROWELED SMOOTH.
4. PROVIDE 10 EXTRA COVER DOORS.
5. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS.

1 ROUND COLUMBARIUM NOT TO SCALE



- NOTES:
1. COLUMBARIUM TO BE A 48 NICHE HORIZONTAL COLUMBARIUM (RKT-F-002B-C-PM) AS SUPPLIED BY PREMIER COLUMBARIA 1-800-426-5913 OR EQUAL APPROVED IN ADVANCE. NICHE SIZE 12" X 12" X 12". COLOR TO BE SENTINEL RED WITH CASCADE GRAY COVER DOORS. PROVIDE SHOP DRAWINGS INDICATING ALL FINISHES, FASTENING, AND ANCHORING SYSTEMS, ETC. SHOP DRAWINGS TO INCLUDE THE FOUNDATION SYSTEM AND BE STAMPED BY A MONTANA LICENSED STRUCTURAL ENGINEER.
2. COORDINATE CONCRETE FOUNDATION DIMENSIONS WITH APPROVED COLUMBARIUM SHOP DRAWINGS. ANY ADJUSTMENTS TO FOUNDATION SHALL BE INCLUDED IN BID.
3. EXPOSED CONCRETE FOUNDATION FINISH TO BE SMOOTH STEEL. TOP OF FOUNDATION TO BE TROWELED SMOOTH.
4. PROVIDE 10 EXTRA COVER DOORS.
5. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS.

2 COLUMBARIUM NOT TO SCALE

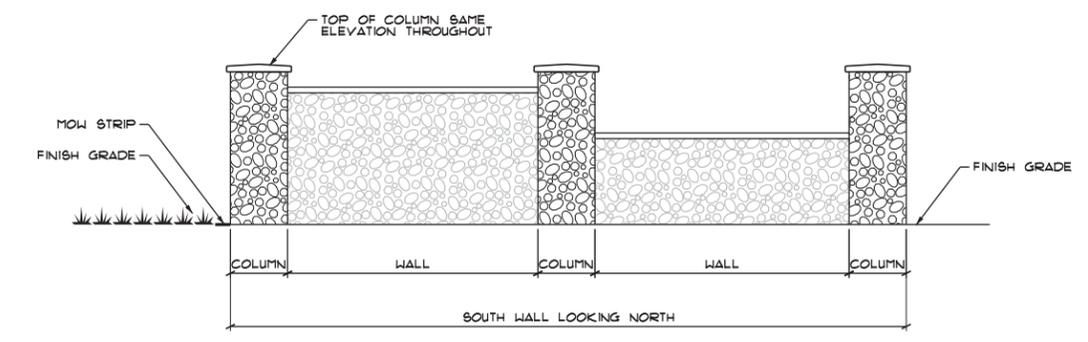
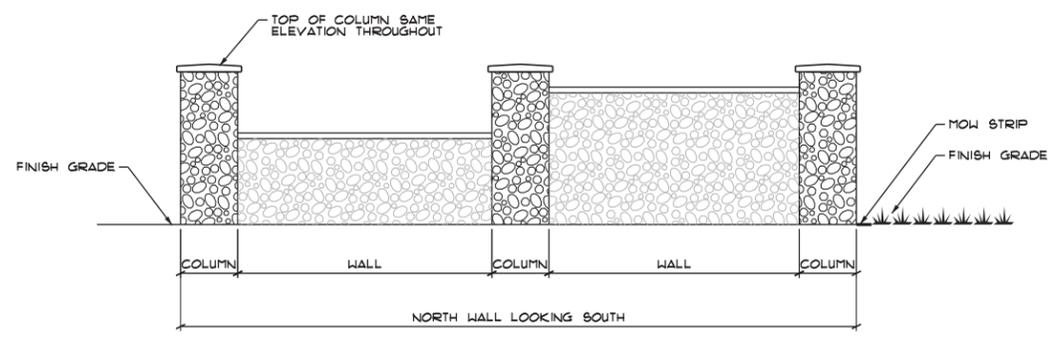


- NOTES:
1. LECTERN (PM113-08-13) SUPPLIED BY PREMIER COLUMBARIA 1-800-426-5913 OR EQUAL APPROVED IN ADVANCE. COLOR TO BE PROVIDE SHOP DRAWINGS INDICATING ALL FINISHES, FASTENING, AND ANCHORING SYSTEMS, ETC.
2. LOCATION TO BE COORDINATED WITH OWNER AND OWNER'S REPRESENTATIVE. LECTERN TO BE PERMANENTLY SECURED IN PLACE PER MANUFACTURER'S RECOMMENDATIONS.
3. REFER TO SPECIAL PROVISIONS FOR ADDITIONAL REQUIREMENTS.

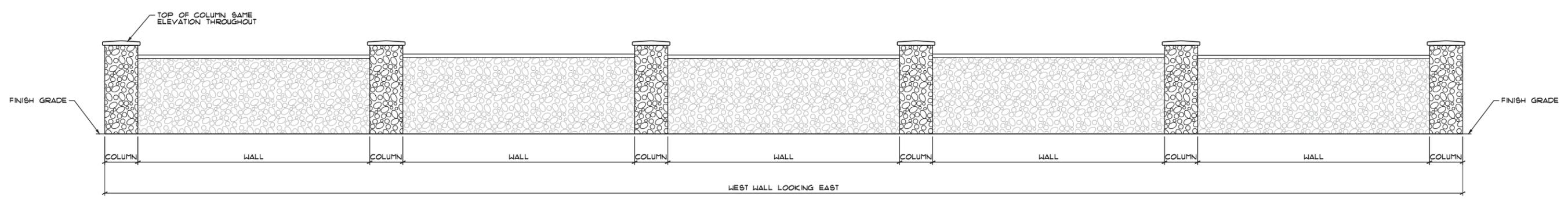
3 LECTERN DETAIL NOT TO SCALE

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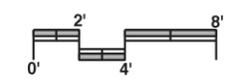
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1 WALL ELEVATION: NORTH AND SOUTH WALL



2 WALL ELEVATION: WEST WALL



Riverside Cemetery
 Columbarium Garden
 Wall Elevations

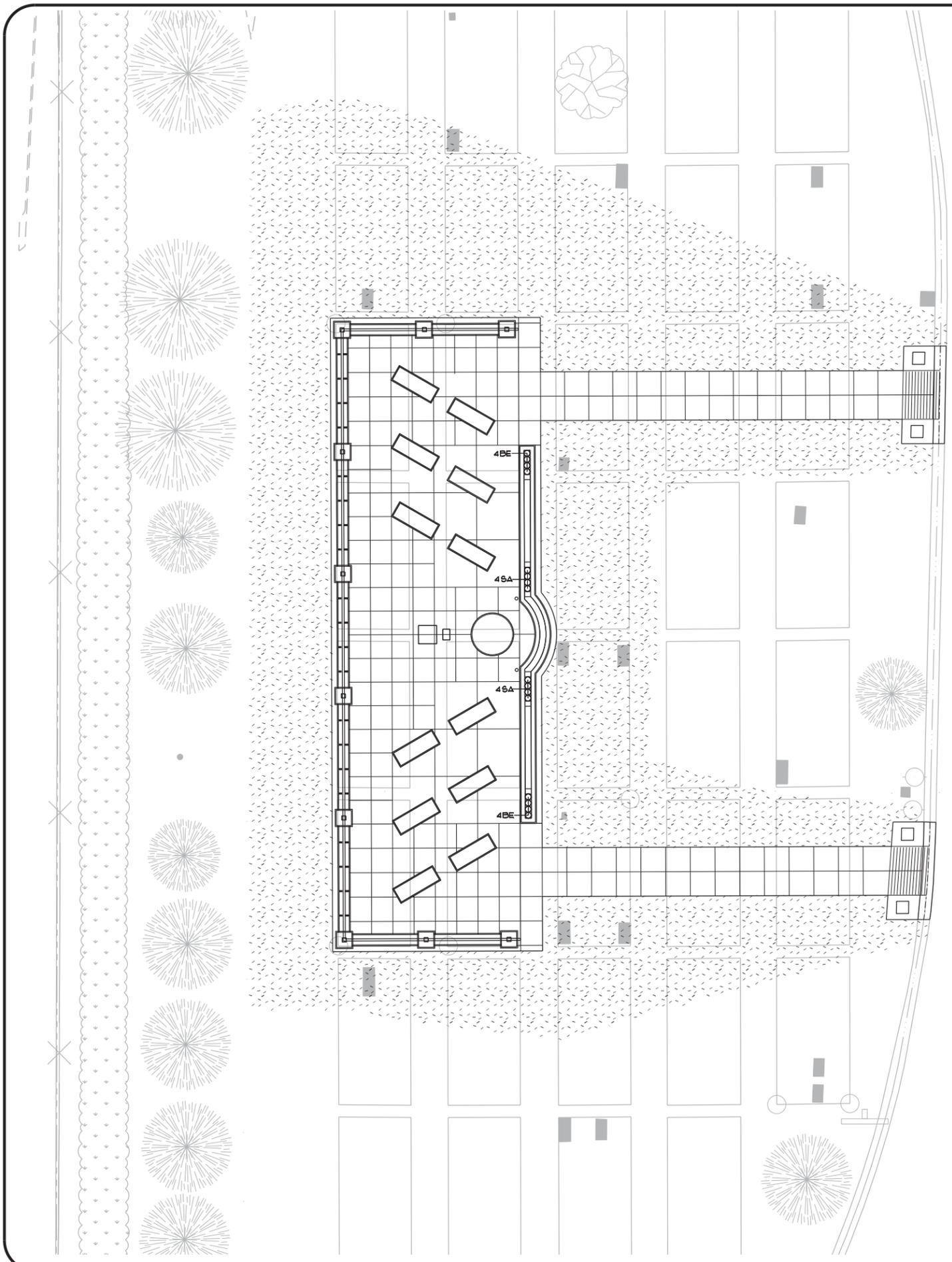
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LEGEND:

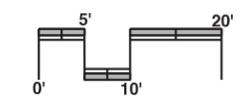
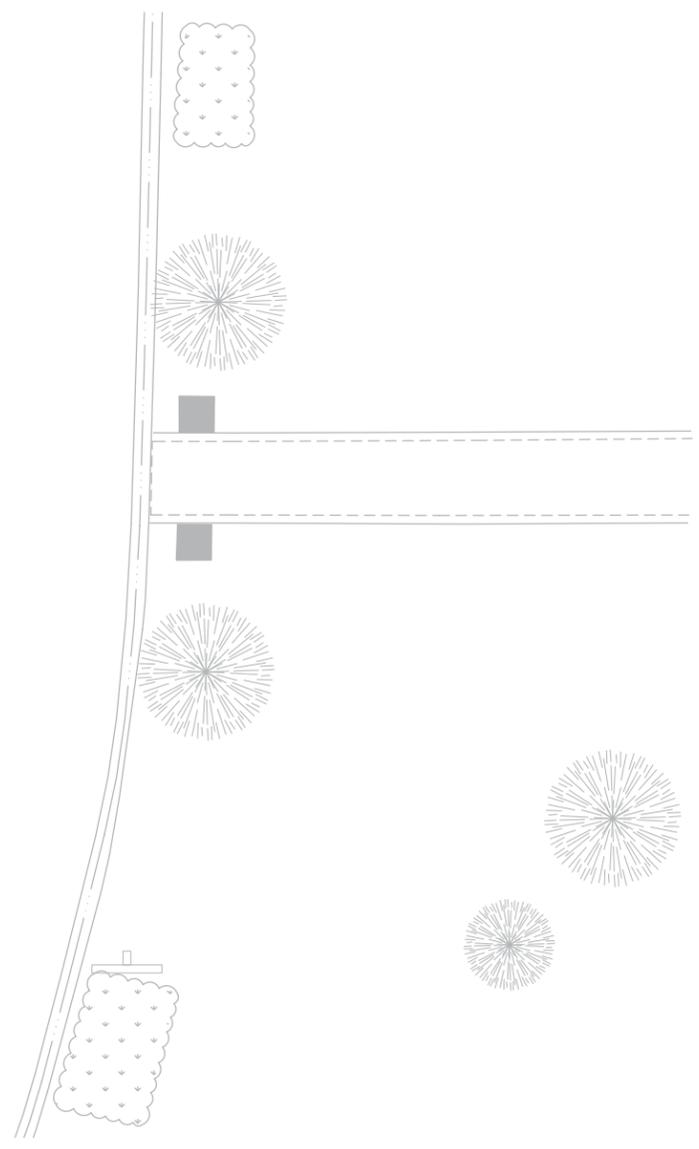
 SOD AS SPECIFIED, APPROXIMATE SOD AREA SHOWN, SEE NOTE 6.

NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INSTALLATION, EXCAVATION OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITIES.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
3. ALL PLANT MATERIAL SHALL BE INSTALLED AS DETAILED AND PER SPECIFICATIONS.
4. IN THE EVENT OF A DISCREPANCY NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.
5. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND SODED AS SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
7. THE INSTALLATION OF LAWN, PLANT MATERIAL AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
8. CONTRACTOR SHALL COORDINATE IRRIGATION SYSTEM LAYOUT WITH PLANTINGS.
9. WEED BARRIER AT PERENNIALS AND ORNAMENTAL GRASSES TO BE PULLED BACK TO PLANTS MATURE SIZE TO ALLOW PLANTS TO SPREAD.
10. SUBMIT PHOTOS OF GRANITE BOULDERS FOR APPROVAL.
11. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

PLANT SCHEDULE:

KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	NOTES
PERENNIALS						
BE		BLACK-EYED SUSAN	RUDBECKIA FULGIDA VAR. 'GOLDSTURM'	#1	CTN	
SA		SALVIA 'MAY NIGHT'	SALVIA NEMOROSA 'MAINACHT'	#1	CTN	



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Planting Plan**

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LEGEND:

SYMBOL	DESCRIPTION	SIZE	MANUF.	MODEL NUMBER
○	EXISTING SPRINKLERS			
○	SPRAY SPRINKLER	5' RADIUS	RAINBIRD	1806-SAM-5-MPR SERIES
○	SPRAY SPRINKLER	10' RADIUS	RAINBIRD	1806-SAM-10-MPR SERIES
○	ROTOR SPRINKLER	41' RADIUS	RAINBIRD	F4-PC/FC-4 4.0 GPM @ 60 PSI
○	ROTOR SPRINKLER	41' RADIUS	RAINBIRD	F4-PC/FC-6 6.0 GPM @ 60 PSI
○	ISOLATION VALVE	LINE SIZE	AS SPECIFIED	
○	MAINLINE DRAIN VALVE		AS SPECIFIED	
○	QUICK COUPLING VALVE	1"	RAINBIRD	44NP
○	ELECTRIC CONTROL VALVE	AS NOTED	RAINBIRD	FE5B SERIES
○	DRIP CONTROL VALVE	3/4"	RAINBIRD	XC2-075-PRF
○	EXISTING CONTROLLER	24 STATION	RAINBIRD	ESP24LXME
○	IRRIGATION MAIN-PVC	AS SHOWN		CLASS 160
○	LATERAL LINE -PVC	AS SHOWN		CLASS 200
○	SLEEVES -PVC	SEE NOTES		SCHEDULE 40

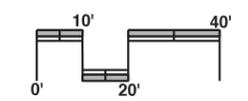
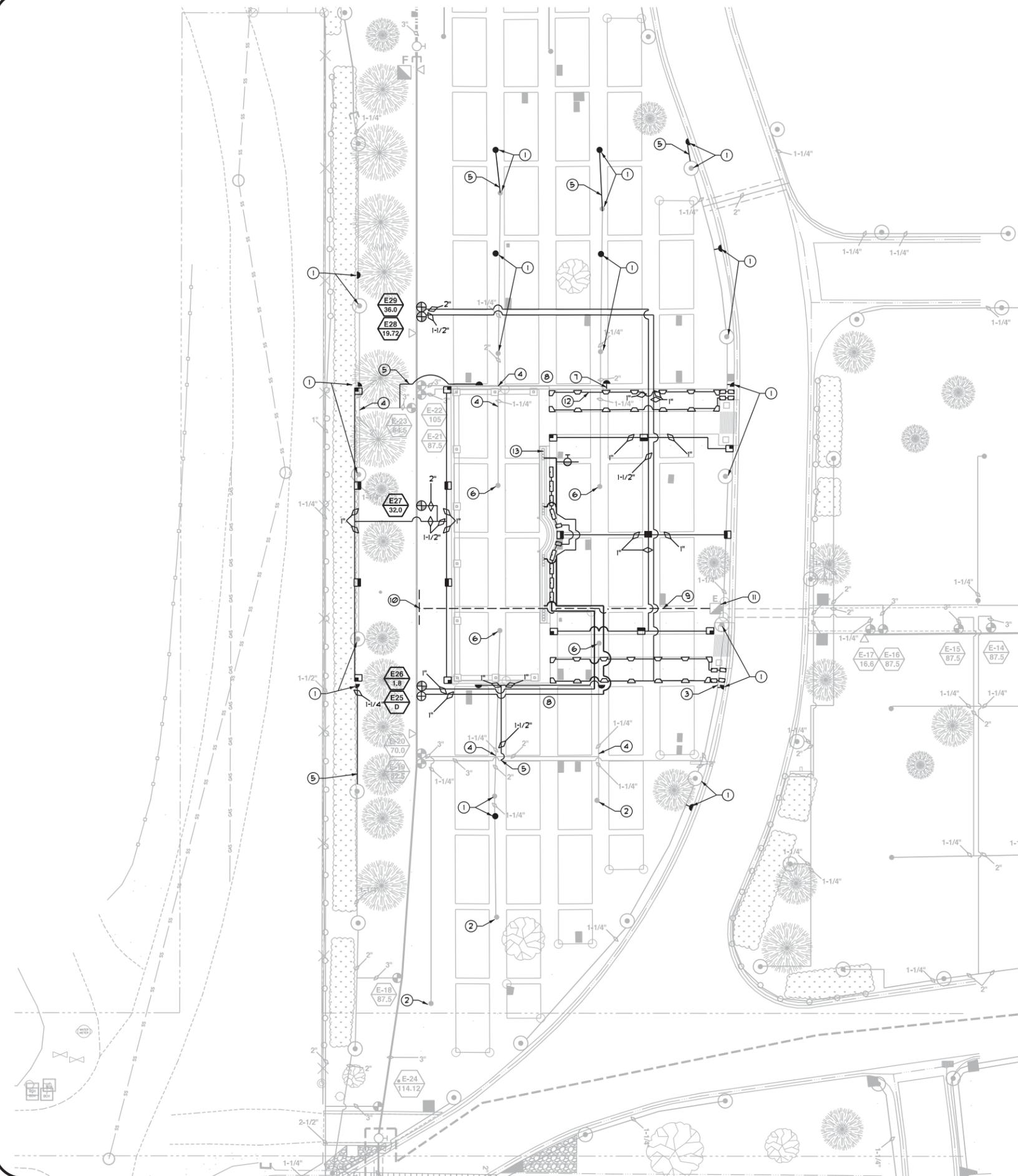
E27 ZONE #
 22.5 GPM
 GRAY SCALE IRRIGATION PIPE & EQUIPMENT IS EXISTING.

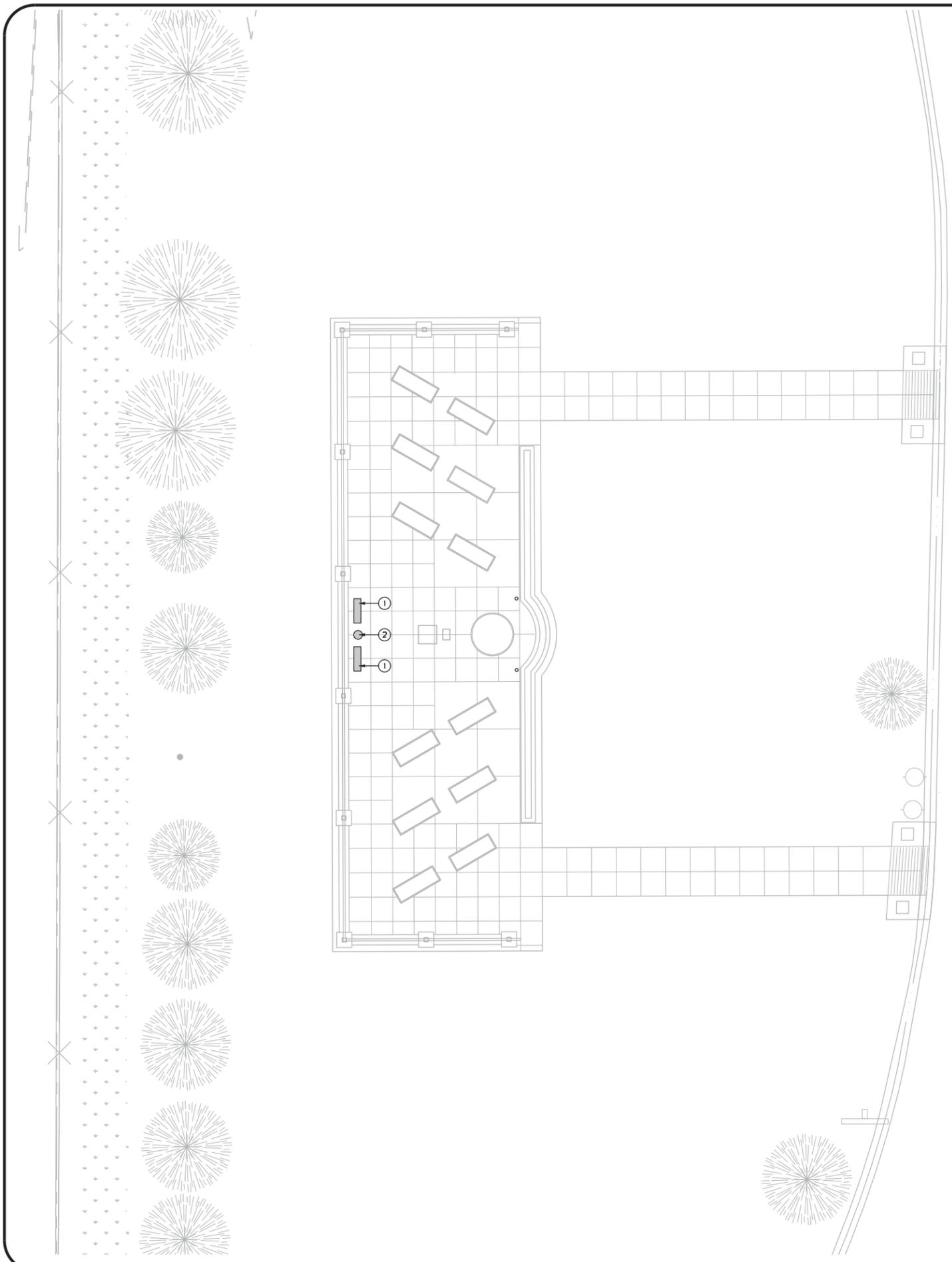
NOTES:

- IRRIGATION PLAN IS DIAGRAMMATIC IN NATURE, FIELD ADJUSTMENT OF IRRIGATION COMPONENTS MAY BE NECESSARY TO AVOID CONFLICTS WITH EXISTING SITE FEATURES, REASONABLE CHANGES IN PIPE LAYOUT MAY BE MADE BY THE CONTRACTOR WITH THE ADVANCE APPROVAL OF THE ARCHITECT. LINES SHOWN BELOW PAVEMENT ADJACENT TO TURF AREAS ARE TO BE LOCATED IN TURF AREAS.
- AS-BUILT DATA IS APPROXIMATE, CONTRACTOR TO FIELD VERIFY.
- SCHEDULE 40 PVC SLEEVES ARE REQUIRED UNDER ALL HARD SURFACES, EXISTING AND PROPOSED, LOCATION AND NUMBER OF SLEEVES IS THE RESPONSIBILITY OF THE CONTRACTOR FOR INSTALLATION OF THE IRRIGATION SYSTEM AS SHOWN, ALL PIPE SLEEVES TO BE 2 PIPE SIZES LARGER THAN PIPE TO BE INSTALLED THROUGH SLEEVE, PROVIDE SEPARATE SLEEVES FOR BOTH 120 V. AND 24 V. WIRING, WIRE SLEEVES TO BE 4" MIN.
- CONTRACTOR SHALL PROVIDE ALL DEVICES, WIRING AND PROGRAMMING FOR A COMPLETE OPERATIONAL SYSTEM.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY, SHALL BE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL MAINTAIN AN ACCURATE CURRENT AS-BUILT ON THE JOB AT ALL TIMES.
- ZONES WITH FLOWS THROUGH 20 GPM TO HAVE 1" CONTROL VALVES, ZONES WITH FLOWS 21 THROUGH 50 GPM TO HAVE 1 1/2" CONTROL VALVES, ZONES WITH FLOWS 51 GPM AND GREATER TO HAVE 2" CONTROL VALVES, ZONES WITH 0" FLOW TO HAVE 1 1/2" CONTROL VALVES.
- CONTRACTOR SHALL COORDINATE AND PAY FOR TECHNICAL SUPPORT NEEDS WITH CONTROL SYSTEM MANUFACTURER AND SERVICE PROVIDER, AS REQUIRED FOR COMPLETE AND FUNCTIONAL SYSTEM.
- ADJUST ALL HEADS AS REQUIRED TO PREVENT OVERSPRAY ONTO BUILDINGS, ETC.
- COORDINATE HEAD LAYOUT WITH PLANTINGS, ADJUST AS REQUIRED TO PROVIDE PROPER COVERAGE.
- ALL PIPING TO BE LOCATED IN ESTABLISHED ALLEYS, ETC.
- REFER TO / FOR ENLARGEMENTS

KEY NOTES:

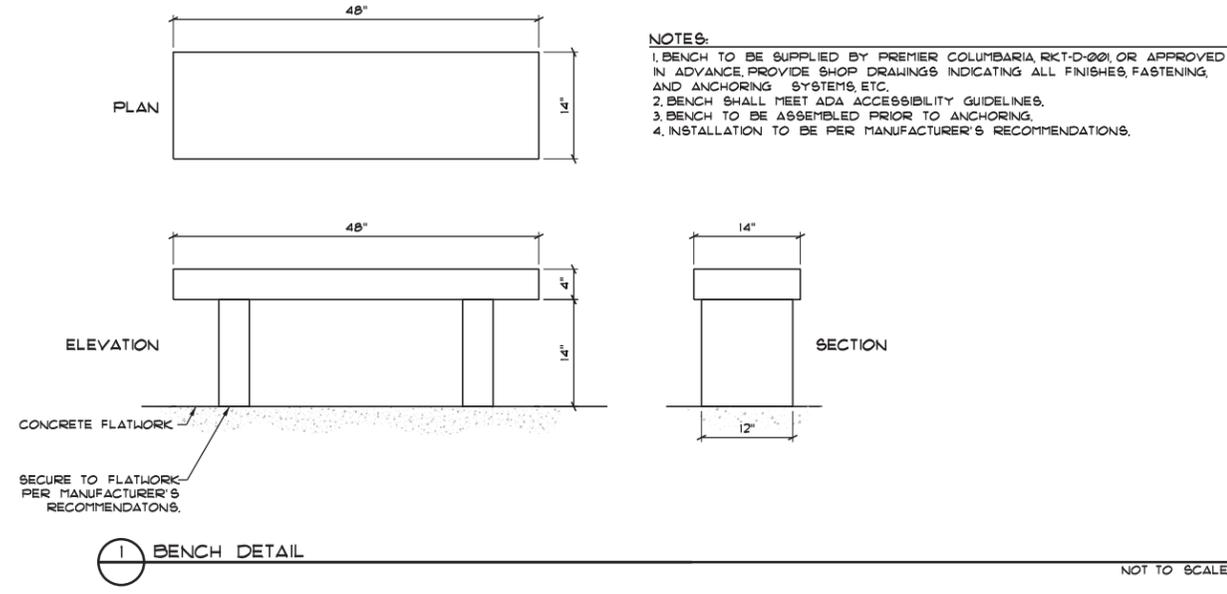
- RELOCATE HEAD AS SHOWN, ADJUST NOZZLE TO MATCH LEGEND, PLUG TEE AFTER SWING JOINT IS REMOVED.
- REPLACE EXISTING NOZZLE WITH NOZZLE #6.
- DISCONNECT AND CAP LATERAL AS CLOSE TO LAST HEAD AS POSSIBLE.
- DISCONNECT AND CAP LATERAL, REMOVE ANY EXPOSED LATERAL, ABANDON UNEXPOSED PIPING IN PLACE.
- CONNECT TO EXISTING LATERAL AND ROUTE AS SHOWN.
- REMOVE EXISTING ROTOR AND SWING JOINT, DELIVER TO OWNER.
- TIE TO EXISTING LATERAL, SERVICING E-21.
- ADJUST PIPING AS REQUIRED TO ACCOMMODATE IMPROVEMENTS.
- APPROXIMATE LOCATION OF EXISTING CONTROL WIRES FOR ZONES E18-E24.
- REPLACE EXISTING CONTROL WIRES & COMMON WIRE FROM MAINLINE BACK TO CONTROLLER, INSTALL ADDITIONAL CONTROL AND COMMON WIRES FOR ZONES E25-E29, INSTALL ALL WIRES 18" DEEP IN 1/2" CONDUIT FROM CONTROLLER TO MAINLINE, PROVIDE SPLICE BOX AT MAINLINE WHERE EXISTING WIRES ARE SPliced, DIRECT BURY WIRES FROM SPLICE BOX TO ZONES E25-E29 PARALLEL TO THE MAINLINE @ 12" DEEP, INCLUDE MARKER TAPE OVER WIRES.
- INSTALL ESP24LXME MODULE AT EXISTING CONTROLLER, ROUTE NEW WIRES THROUGH EXISTING CONDUIT, CORE DRILL THROUGH CONCRETE BASE IF EXISTING CONDUIT IS NOT LARGE ENOUGH FOR NEW WIRES.
- LATERAL AND HEADS SHOWN APPROXIMATELY 18" SOUTH OF WHERE THEY ARE TO BE INSTALLED FOR GRAPHICAL PURPOSES.
- REFER TO / FOR ENLARGEMENTS





- LEGEND:**
- ① BENCH AS SPECIFIED, SEE DETAIL 1/L10.
 - ② TRASH RECEPTACLE, RELOCATE EXISTING RECEPTACLE FROM NEARBY LOCATION.

NOTES:
 1. COORDINATE FINAL LOCATION OF SITE FURNISHINGS W/ OWNER AND OWNER'S REPRESENTATIVE. FINAL LOCATION TO BE APPROVED PRIOR TO INSTALLING.



- NOTES:**
1. BENCH TO BE SUPPLIED BY PREMIER COLUMBIA, RCT-D-001, OR APPROVED IN ADVANCE, PROVIDE SHOP DRAWINGS INDICATING ALL FINISHES, FASTENING AND ANCHORING SYSTEMS, ETC.
 2. BENCH SHALL MEET ADA ACCESSIBILITY GUIDELINES.
 3. BENCH TO BE ASSEMBLED PRIOR TO ANCHORING.
 4. INSTALLATION TO BE PER MANUFACTURER'S RECOMMENDATIONS.

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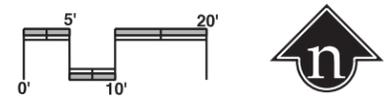
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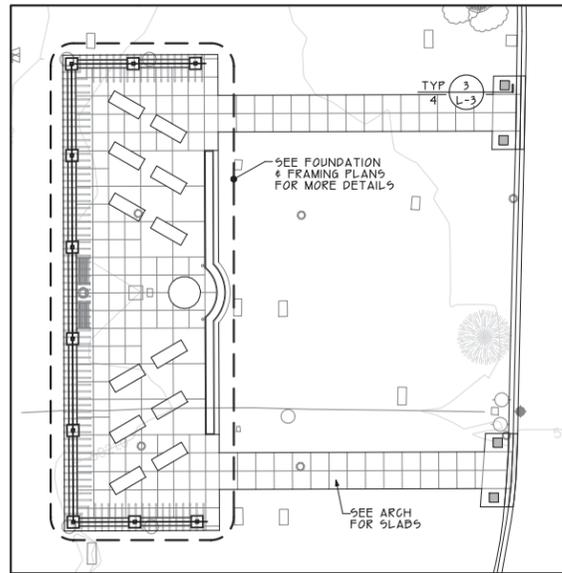
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 Columbarium Garden
 Site Furnishings Plan**

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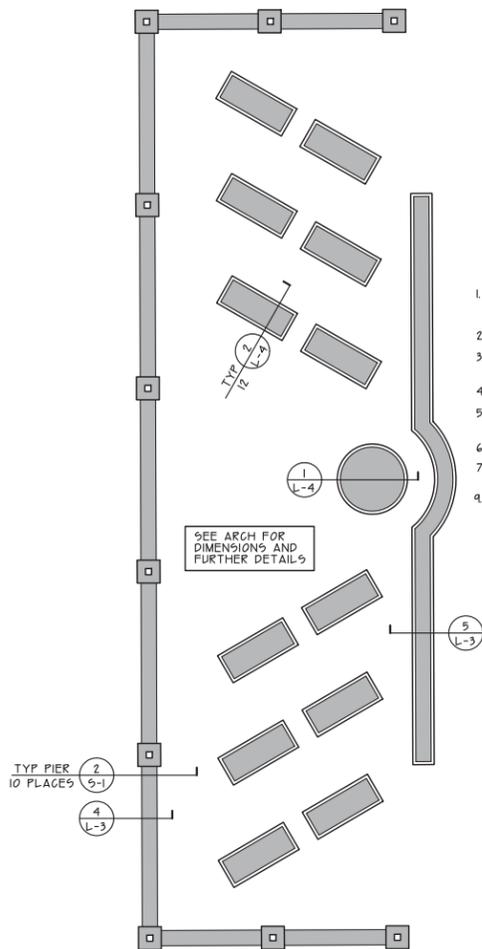
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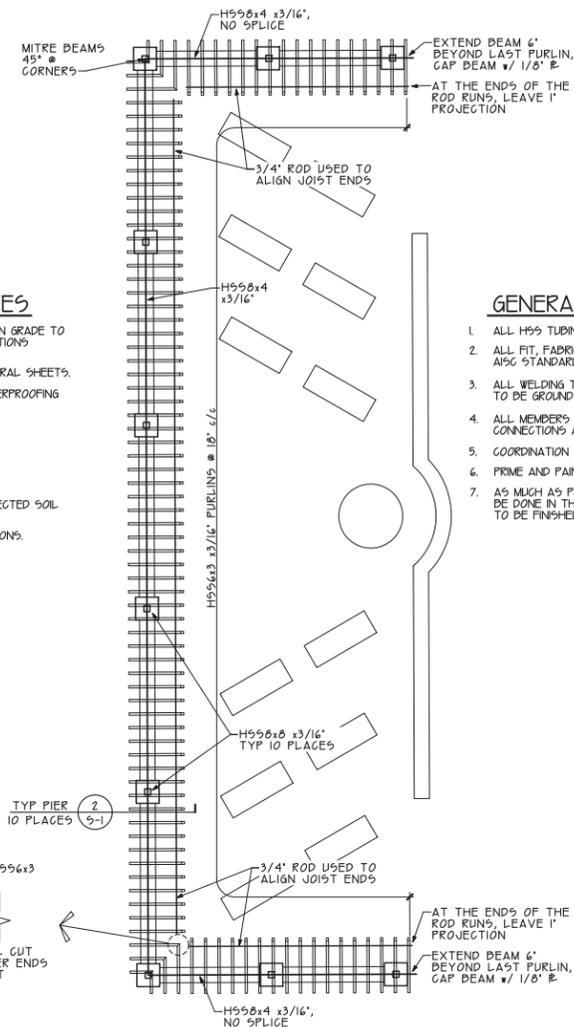
STRUCTURAL SITE PLAN

SCALE: 1"=20'-0"



FOUNDATION PLAN

SCALE: 1"=10'-0"



CANOPY FRAMING

SCALE: 1"=10'-0"



GENERAL FOUNDATION NOTES

- UNLESS SHOWN OTHERWISE, ALL EXTERIOR SLABS ON GRADE TO BE 4" CONCRETE WITH 6#4 @ 6" O/C. SEE SPECIFICATIONS AND PLANS FOR JOINT REQUIREMENTS.
- SLOPE AND/OR DEPRESS SLABS AS PER ARCHITECTURAL SHEETS.
- REFER TO SPECIFICATIONS FOR VAPOR BARRIER, WATERPROOFING AND FILL REQUIREMENTS UNDER SLABS ON GRADE.
- SEE ARCH SHEETS FOR SLABS ON GRADE.
- COORDINATION WILL BE REQUIRED FOR ELECTRICAL SUBGRADE SYSTEMS, EQUIPMENT PADS, ETC.
- SEE ARCH FOR CONTROL JOINT LOCATIONS.
- NOTIFY THE ARCHITECT OF ANY UNUSUAL OR UNEXPECTED SOIL CONDITIONS PRIOR TO CONTINUING.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS.

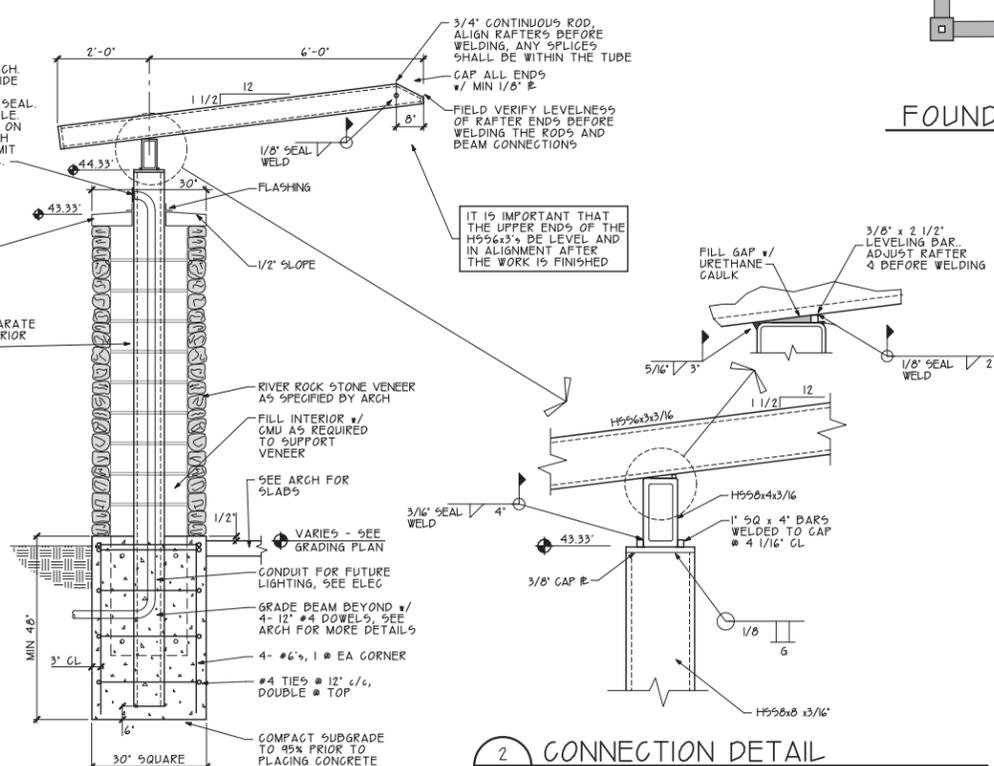
GENERAL STRUCTURE NOTES:

- ALL HSS TUBING TO BE ASTM A500 GRADE B.
- ALL FIT, FABRICATIONS, INSTALLATION ETC TO BE AS PER AISC STANDARDS.
- ALL WELDING TO BE AS PER AWS D-1. ALL VISIBLE WELDS TO BE GRIND SMOOTH E70 ELECTRODES.
- ALL MEMBERS TO BE ALIGNED AND PLUMB BEFORE FINAL CONNECTIONS ARE MADE.
- COORDINATION WILL BE REQUIRED WITH ELECTRICAL DRAWINGS.
- PRIME AND PAINT AS SPECIFIED BY ARCH.
- AS MUCH AS POSSIBLE, FABRICATION AND PAINTING SHALL BE DONE IN THE SHOP WITH REMAINING WORK, TOUCH UP ETC TO BE FINISHED IN THE FIELD.

4"x6" HAND HOLE ON ALL COLUMNS TO ACCESS CONDUIT. (SEE ELEC) TOP OF HOLE 6" BELOW TOP OF COL. GRIND EDGES. PROVIDE A 5"x7" REMOVEABLE METAL PLATE TO MATCH FASTEN #4 SCREWS, ETC. PROVIDE GASKET AND SILICONE CAULK TO PROVIDE A WEATHER TIGHT SEAL. MATERIAL SHALL NOT BE VISIBLE. PROVIDE A HOOK OR EYE-BOLT ON BACKSIDE OF COVER TO ATTACH CONDUIT FULL STRING TO. SUBMIT SHOP DRAWINGS FOR APPROVAL.

ONE-PIECE PRECAST CONCRETE CAP, MIN 3" THICK. FIT AROUND COL. #4 MIN 1/2" CAULK SPACE. SEE ARCH FOR DETAILS.

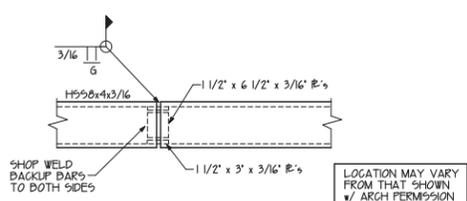
H590x8 x3/16", WRAP #4 MIN 2 LAYERS OF 15# FELT TO SEPARATE FROM CMU. ALIGN AND LEVEL PRIOR TO PLACING CONCRETE BASE.



2 CONNECTION DETAIL

10 PLACES

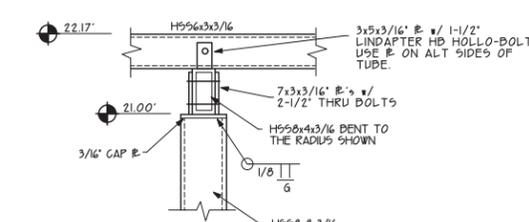
SCALE: 1/2" = 1'-0"



3 BEAM SPLICE

3 PLACES

SCALE: 3/4" = 1'-0"



4 COLUMN/BEAM CONNECTIONS

4 PLACES

SCALE: 1/2" = 1'-0"

1 COLUMN SECTION

10 PLACES

SCALE: 1/2" = 1'-0"



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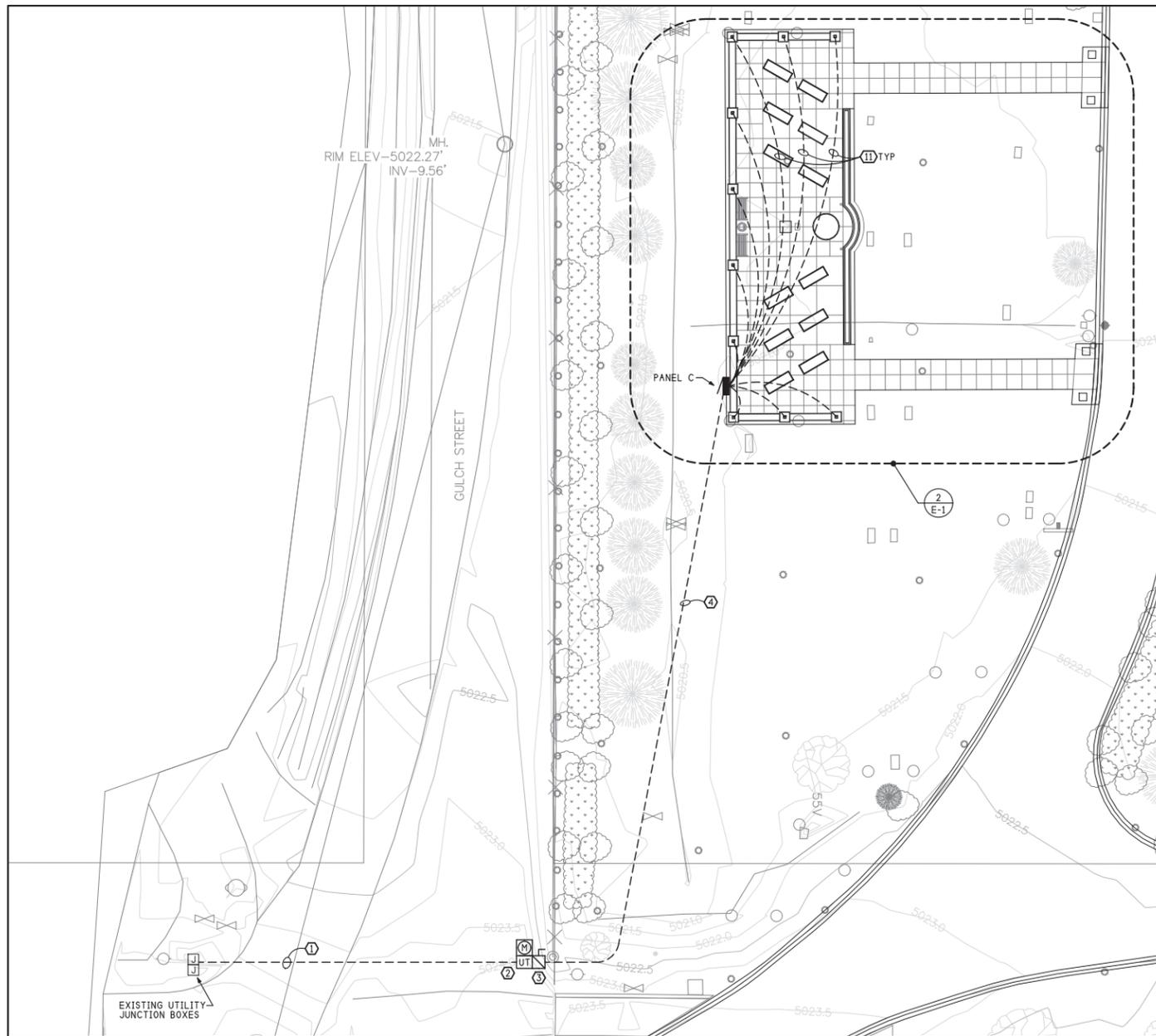
GOLF COURSE ARCHITECTURE
IRRIGATION DESIGN
LANDSCAPE ARCHITECTURE

1925 GRAND AVE. SUITE 105
P.O. BOX 22943
BILLINGS, MT 59104
406/252-3548 FAX 245-9855

Drawn by: DS
Date: MARCH 7, 2014
Checked by: WO
Date: MARCH 7, 2014
Rev: _____
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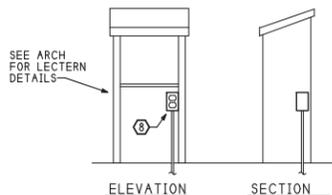
SHEET
S-1



1 ELECTRICAL SITE PLAN
E-1

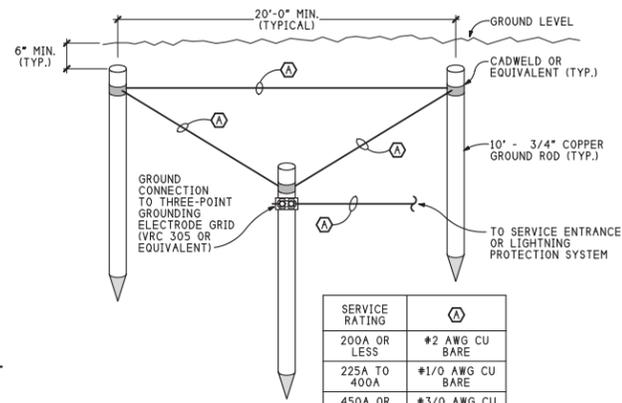
SCALE: 1" = 20'-0"

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	HOMERUN TO PANEL (ARROWS INDICATE CIRCUITS)		TRANSFORMER
	NUMBER OF HASH MARKS INDICATES NUMBER OF CURRENT CARRYING CONDUCTORS IN CONDUIT. NO HASH MARKS INDICATES TWO CURRENT CARRYING CONDUCTORS. GROUND WIRES ARE NOT SHOWN BUT ARE PULLED IN ALL CONDUIT RUNS. SEE PANEL AND FEEDER SCHEDULES FOR MINIMUM WIRE AND CONDUIT SIZES. AS WIRE SIZES ARE INCREASED TO PROPERLY ACCOMMODATE ALL WIRES MAINTAINING MAXIMUM 40% CONDUIT FILL.		CONNECTION - HARD WIRED TO EQUIPMENT LIGHT FIXTURE - IN-GROUND
	NEW UNDERGROUND LIGHTING CIRCUIT		SWITCH - WEATHERPROOF
	PANELBOARD - 120/208V		RECEPTACLE - GROUND FAULT PROTECTED WITH WEATHERPROOF BOX AND COVER
	DISCONNECT SWITCH - FUSED		GROUND MOUNTED JUNCTION/PULL BOX
			LIGHTING CONTACTOR IN NEMA 3R ENCLOSURE
			PHOTOCELL



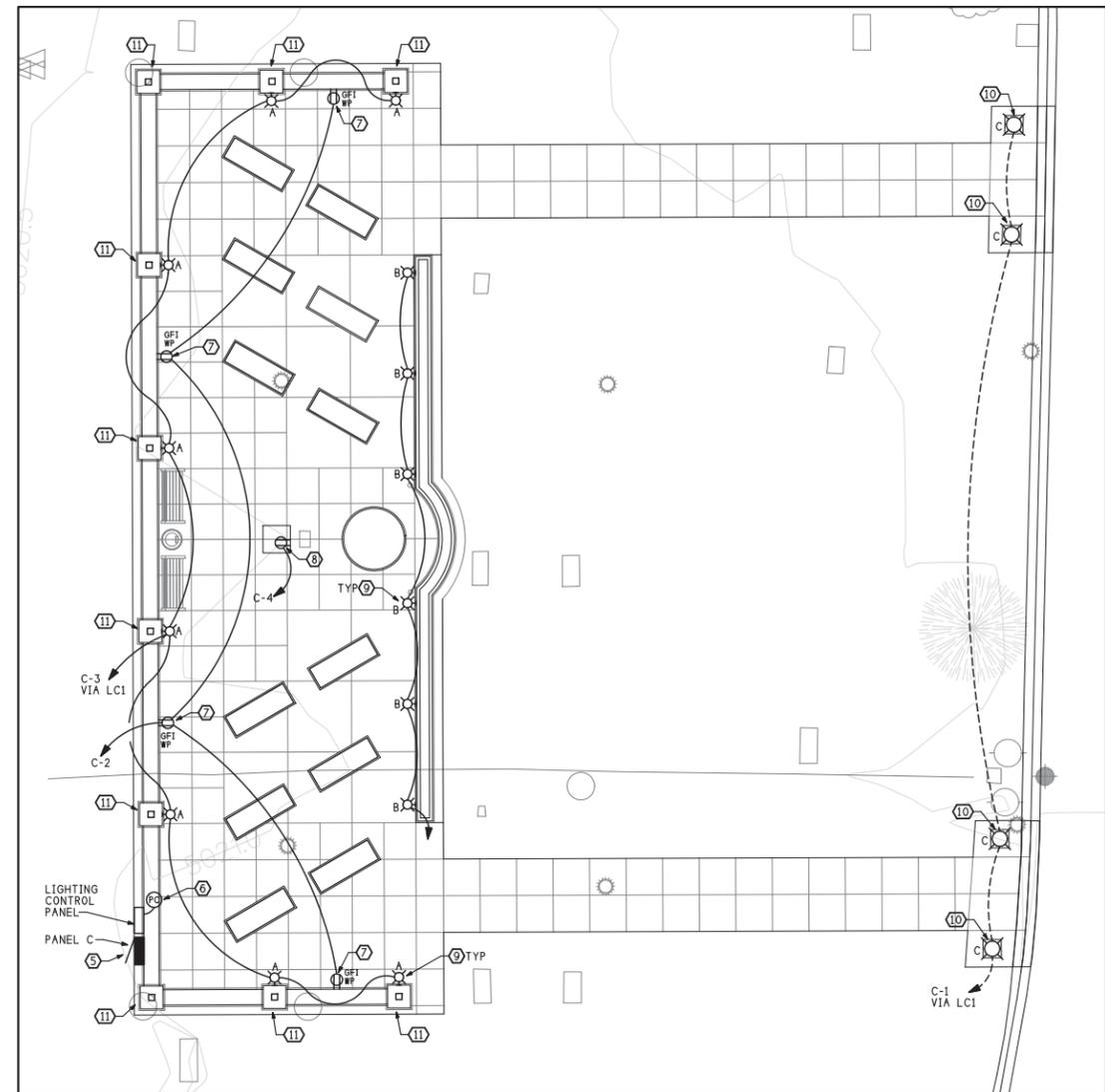
3 RECEPTACLE IN LECTERN
E-1

SCALE: 1/2" = 1'-0"



SERVICE RATING	AWG
200A OR LESS	#2 AWG CU BARE
225A TO 400A	#1/0 AWG CU BARE
450A OR GREATER	#3/0 AWG CU BARE

4 GROUNDING TERMINAL INSTALLATION
E-1 DE450A01 N.T.S.



2 COLUMBARIUM ELECTRICAL PLAN
E-1

SCALE: 1" = 10'-0"

WORK NOTES

- PROVIDE AND INSTALL TRENCHING TO ALLOW FOR BURIED UTILITY FEED FROM EXISTING UTILITY JUNCTION BOX TO NEW PAD MOUNTED UTILITY TRANSFORMER. PROVIDE AND INSTALL 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRINGS AT 48" BELOW GRADE. CONDUIT SWEEPS AND ELBOWS SHALL HAVE 36" RADIUS. REFILL TRENCH, COMPACT AND PATCH ASPHALT IN ACCORDANCE WITH CITY STREET STANDARDS.
- PROVIDE AND INSTALL CONCRETE PAD FOR UTILITY TRANSFORMER. COORDINATE WITH UTILITY AND INSTALL IN ACCORDANCE WITH THEIR STANDARDS AND GUIDELINES. PROVIDE AND INSTALL METER BASE THAT COMPLIES WITH UTILITY STANDARDS AND GUIDELINES AND MOUNT ADJACENT TO TRANSFORMER.
- PROVIDE AND INSTALL 60A, NEMA 3R DISCONNECT SWITCH WITH 60A FUSES. MOUNT ADJACENT TO TRANSFORMER. ESTABLISH GROUND IN ACCORDANCE WITH DETAIL 3/E-1.
- PROVIDE AND INSTALL TRENCHING TO ALLOW FOR BURIED SECONDARY FEED FROM DISCONNECT DS-1 TO NEW PANEL "C". PROVIDE AND INSTALL 3" SCHEDULE 40 PVC CONDUIT WITH (3) #2 & (1) #8 COPPER WIRES AT 24" BELOW GRADE. CONDUIT SWEEPS AND ELBOWS SHALL HAVE 36" RADIUS.
- PROVIDE AND INSTALL NEW PANEL "C" WITH NEMA 3R ENCLOSURE.
- PROVIDE AND INSTALL PHOTO CELL. MOUNT ON RIGID CONDUIT JUST ABOVE TRELLIS.
- PROVIDE AND INSTALL GFI RECEPTACLE WITH WATERPROOF-IN-USE COVER IN CONCRETE WALL AT 18" ABOVE ADJACENT GRADE. COORDINATE WITH CONCRETE SUPPLIER/FORMER TO ENSURE THAT THERE IS A FLAT AREA AT RECESSED BOX TO ALLOW FOR PROPER INSTALLATION OF COVER. CIRCUIT AS SHOWN.
- PROVIDE AND INSTALL GFI RECEPTACLE IN BELL BOX WITH DAMP LOCATION COVER INSIDE LECTERN.
- PROVIDE AND INSTALL WALL-MOUNT LIGHT FIXTURES. MOUNT FLUSH IN WALL AND CIRCUIT AS SHOWN.
- PROVIDE AND INSTALL POST-TOP LIGHT FIXTURE. CIRCUIT AS SHOWN.
- PROVIDE AND INSTALL BURIED 1" PVC CONDUITS (MIN. 24" DEEP) FROM PEDESTAL TO EACH OF (10) TUBE STEEL COLUMNS. SEE DETAIL 2/S-1. PROVIDE PULL-STRING FROM PANEL, THROUGH CONDUIT, UP EACH COLUMN AND CONNECT SECURELY TO INSIDE OF COLUMN PENETRATION COVER.

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Drawn by: DS
Date: MARCH 18, 2014
Checked by: GS
Date: MARCH 18, 2014
Rev: _____
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SHEET
E-1

EXTERIOR LIGHT FIXTURE SCHEDULE																									
NOTES TO THOSE BIDDING FIXTURES:																									
1. DO NOT BID FIXTURES WITHOUT FIRST CAREFULLY REVIEWING SPECIFICATION PREPARED FOR THIS PARTICULAR JOB. SPECIFICATION REQUIREMENTS CHANGE FROM JOB TO JOB WITHOUT NOTICE - DO NOT ASSUME ANYTHING!																									
2. REFER TO SPECIFICATION FOR ADDITIONAL INFORMATION REGARDING BALLASTS AND LAMPS. REFER TO LAMP SCHEDULE PREPARED FOR THIS JOB.																									
3. MAKE SURE YOU HAVE ALL PORTIONS OF THIS SCHEDULE. NOTE THAT THERE MAY BE OTHER SCHEDULES COVERING LIGHTING (LIGHT FIXTURE SCHED, EMERGENCY LIGHT FIXTURE SCHED, POLE SCHED, TRACK LIGHTING HARDWARE SCHED, ETC.)																									
ABREVIATIONS:																									
P.C. - PHOTO CELL			C.F. - CHARCOAL FILTERING			C.H. - CUTOFF HOOD			B.D. - BARN DOORS			Q.R. - QUARTZ RESTRIKE													
LTR	MFR	CATALOG NUMBER (A)	DESCRIPTION (A)	MANUFACTURERS W/ "POTENTIAL" EQUIVALENT FIXTURES (A)	ELECTRIC VOLT WATT	BALLAST QTY TYP	LAMP (B) QTY TYP	FUSE	P.C.	C.F.	C.H.	Q.R.	B.D.	VAN SURF	REC	PEND	STAN	ARM	YOKE	GND	SOFF	POLE	WALL	HEIGHT	NOTES
A	LIGHTECH	SL-8117-70MH-W	- NOM. 10" X 12" RECESSED, WALL-MOUNT STEP LIGHT WITH HEAVY DUTY CAST ALUMINUM FACE AND TEMPERED GLASS - 18 GA. ELECTRO GALVANIZED STEEL HOUSING EMBEDDING IN CONCRETE WALL - POWDER COAT FINISH (SPECIAL COLOR)	KIM LIGHTING	120 85	1 (C)	1 3K	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	WALL 48" TO CENTER	(D) ①
B	(SAME AS A)	(SAME AS A)	- SAME AS FIXTURE A, BUT WITH DIFFERENT MOUNTING HEIGHT	(SAME AS A)	120 85	1 (C)	1 3K	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	WALL 8" TO CENTER	(D) ①
C	ALLEN-ROTH	GRANDURA POST-TOP	- CAST ALUMINUM ORNAMENTAL POST-TOP FIXTURE WITH MARCADO BLACK FINISH AND SEEDED GLASS LENS - 20" HEIGHT X 9.5" WIDTH - MOUNT ON 2.5" RIGID STEEL CONDUIT (POWDER COATED BLACK) THAT EXTENDS DOWN INTO MASONRY COLUMN	NONE (FIXTURE NEEDS TO MATCH OTHERS IN CEMETERY)	120 180	1 (C)	3 1K	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	POST TOP	(E) ②

(A) CATALOG NUMBERS ARE NOT COMPLETE AND ARE ONLY INTENDED TO INDICATE ACCEPTABLE FIXTURE SERIES. CONTRACTOR SHALL PROVIDE ALL CHARACTERISTICS AND OPTIONS LISTED IN SPECIFICATION AND AS SHOWN ON SCHEDULE. REVIEW FIXTURE LOCATIONS ON PLANS AND ENSURE THAT FIXTURE WILL PROPERLY FUNCTION (FULL OUTPUT, PROPER RATING, NO PRE-MATURE LAMP OR BALLAST MORTALITY, ETC.) UNDER ENVIRONMENTAL CONDITIONS SHOWN AND AS LISTED IN SPECIFICATION SECTION 16010. LISTED FIXTURE CATALOG NUMBERS WILL REQUIRE AUGMENTATION IN ORDER TO MEET ALL REQUIREMENTS. ANY CHANGES IN LISTED FIXTURE SERIES REQUIRE PRIOR APPROVAL. MANUFACTURERS ATTEMPTING TO CROSS THEIR FIXTURE WITH THAT LISTED SHALL PROVIDE ALL NECESSARY OPTIONS AND CHARACTERISTICS TO MEET REQUIREMENTS. FIXTURES FAILING TO MEET REQUIREMENTS WILL BE REJECTED. IF IN DOUBT, REQUEST PRIOR APPROVAL.

(B) SEE SPECIFICATION FOR ADDITIONAL INFORMATION REGARDING BALLASTS. SEE LAMP SCHEDULE AND SPECIFICATION.

(C) HIGH POWER FACTOR, MAGNETIC, COLD-WEATHER BALLAST.

(D) PRIOR APPROVAL REQUIRED FOR SUBSTITUTION OF MANUFACTURERS NOT LISTED OR FOR DIFFERENT FIXTURE SERIES BY LISTED MANUFACTURER.

(E) FIXTURE CAN BE PURCHASED AT LOWES.

① POWDER COAT FINISH SHALL BE STANDARD FINISH CHOSEN BY ARCHITECT.

② CIRCUIT FIXTURE VIA 2.5" CONDUIT THAT FEEDS UP TO IT THROUGH THE MASONRY COLUMN.

LAMP SCHEDULE																	
LAMP	MFR	DESCRIPTION (A)	WATT	VOLT	LUMENS			C.B.C.P.	BEAM SPREAD	AVERAGE LIFE	COLOR TEMP	CRI	COATING	START-UP (MIN)	RESTRIKE (MIN)	BASE	REMARKS
					INITIAL	MEAN	PER WATT										
METAL HALIDE LAMPS																	
3K	G.E.	MXR70/U/MED	70	-	5500	4000	78.6	-	-	7500	3200	65	CLEAR	2 - 5	10 - 15	MEDIUM (E26)	UNIVERSAL POSITION
	OSRAM-SYLVANIA	MH70/U/MED															
	PHILIPS	MH70/U/M															
	VENTURE	MH70/U/MED															

(A) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

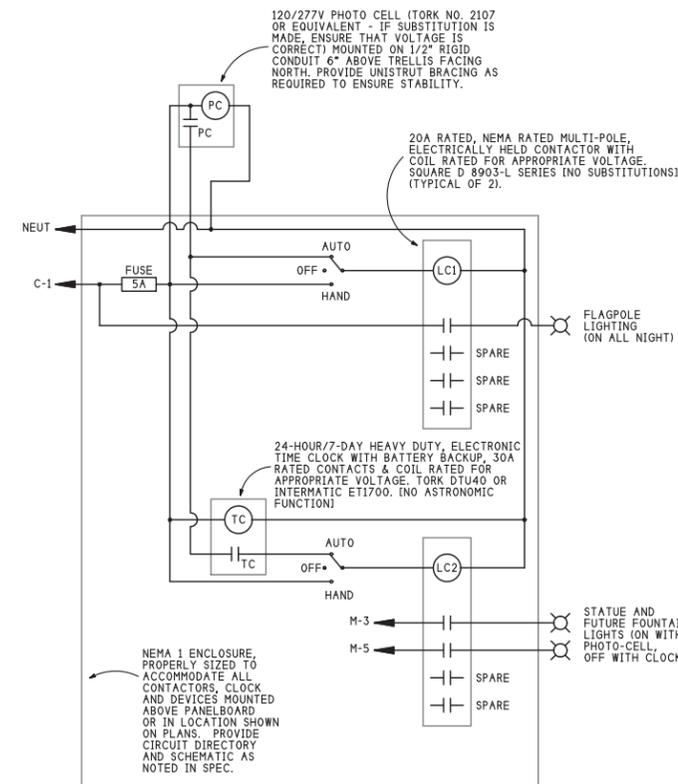
DISCONNECT SCHEDULE																			
NO.	EQUIPMENT (A)	MANUFACTURER	SERIES (B)	MANUFACTURERS W/ "POTENTIAL" EQUIVALENT EQUIPMENT	AMPS	POLES	VOLTS	NEUT	FUSE	WIRE RANGE (CU)		ACCESSORIES			ENCL. (NEMA)	DIMENSIONS			REMARKS
										BENDING SPACE	LUGS	NEUT. KIT	EO GND KIT	INTERLOCK		HEIGHT	WIDTH	DEPTH	
DS-1	SERVICE FOR COLUMBARIUM	SQUARE D	3110-H222NRB	CUTLER-HAMMER G. E. SIEMENS	60	2	240	YES	LPN-RK-60SP	#14 AWG THRU #3 AWG	#14 AWG THRU #2 AWG	A/R	YES	N/R	3R	15"	7"	5"	①

(A) NOTE THAT MORE THAN ONE UNIT MAY BEAR THE SAME DESIGNATION. SEE PLANS FOR QUANTITIES.

(B) CATALOG NUMBER IS NOT COMPLETE. CONTRACTOR SHALL PROVIDE ALL OPTIONS SHOWN ON SCHEDULE.

① RATED FOR SERVICE ENTRANCE.

PANEL SCHEDULE																		
PANEL C	COLUMBARIUM AREA WALL	AMP 100	BUS L-L VOL 240	NEUT 100%	MOUNT FEED 60A	SURFACE FEED 20"	FEEDER CIRCUT FEEDER AMPS	UTIL XFMR 60A										
JOB # A052.1401		WIRES 3	M.L.O.	NEMA 3R	SUB BKR AIC 10,000													
MANUFACTURER	PANEL TYPE	MAIN BREAKER	SUB BREAKER TYPES		NOTES													
SQUARE D	N00D	Q0B	Q0B		1													
GENERAL ELECTRIC	A-SERIES	TH0B	TH0B		1													
CUTLER-HAMMER	PRL10	BAB	BAB		1													
SIEMENS	S1	BL	BL		1													
REMARKS : 1 - ANY OTHER BREAKER TYPES REQUIRE PRIOR APPROVAL. 2 - BOLT-ON BREAKERS ONLY.																		
CKT NO.	BREAKER	WIRES	COND	LOAD (VA)	USE				LOAD DESCRIPTION									
1a	20 1 N	10 10 10 3/4"	340	4	RECLTS	IHDR	MTR	MISC	LIGHTS - POST TOPS									
3b	20 1 N	10 10 10 3/4"	680	8					LIGHTS - COLUMNS									
5a	20 1 N	10 10 10 3/4"	510	6					LIGHTS - PLANTER WALL									
7b	20 1 N								*									
9a	20 1 N								*									
11b	20 1 N								*									
2a	20 1 N	12 12 12 3/4"	1200	4					RECEPTACLES									
4b	20 1 N	12 12 12 3/4"	1200	1					RECEPT - INSIDE LECTERN									
6a	20 1 N								*									
8b	20 1 N								*									
10a	20 1 N								*									
12b	20 1 N								*									
TOTAL CONNECTED LOAD				2050	1880													
				3930VA														
BREAKER TYPES		LOAD CODES		LOAD/PHASE		CONNECTED LOAD		DIVERS.		DEMAND								
N - NORMAL	* - SPARE BKR	S - SHUNT-TRIP	* - SPACE W/	52% A	48% B	RECEPTACLES	2.4 KVA	50%	1.20 KVA	LIGHTING	1.5 KVA	125%	1.91 KVA					
A - ARC FAULT	HARDWARE					RES HEAT	KVA	125%	0.00 KVA	MOTORS	KVA	100%	0.00 KVA					
E - 30mA GF1-EQUIP						MISCELLANEOUS	KVA	100%	0.00 KVA	TOTAL DEMAND LOAD		3.11 KVA						
P - 6mA GF1-PEOPLE										DEMAND AMPS		13 AMPS						



① LIGHTING CONTROL SCHEMATIC
DE921A01 N.T.S.

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Steplights & Nightlights • SL-8117 & 8118 Series - Square Recessed Step Lights

SL-8117 & 8118 Series - Square Recessed Step Lights

- Glare free illumination for HID, incandescent and compact fluorescent lamps
- Specification-grade design and construction
- IBEW union made in the USA

Specifications

Construction:

Heavy duty cast aluminum face
 18 ga. electro galvanized steel housing suitable for embedding in concrete
 Sealed and gasketed for exterior use
 Tempered glass lens, sandblasted on one side

Face finishes:

Matte Black powder coat is standard
 Optional White, dark bronze or silver powder coat

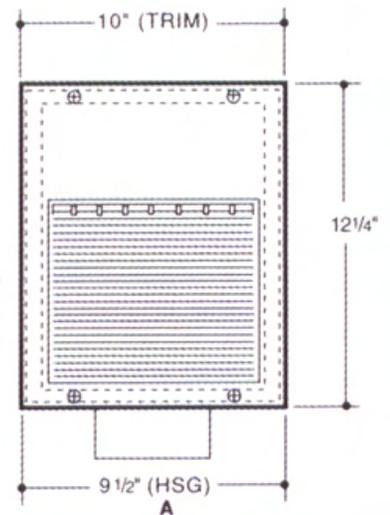
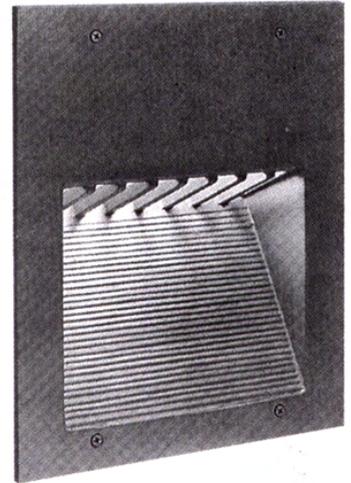
Illumination:

SL-8117:
 For use of 75-watt medium base incandescent lamp, up to 70-watt medium base ED-17 high pressure sodium lamp, or maximum 100-watt medium base ED-17 metal halide lamp.

SL 8118: Maximum 42-watt compact fluorescent lamp.

HOW TO ORDER

Example: SL-8117-50MH-W (An SL-8117 with 50 watt metal halide lamps for concrete pour/wet location with standard matte black face finish)

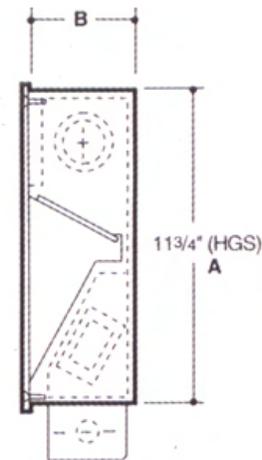


Catalog No. Lamp

Housing Dimensions

Catalog No.	Lamp	Housing Dimensions	
		A	B
SL-8117-W	One 75-Watt A-19 Incandescent Lamp One 35-Watt High Pressure Sodium Medium	9 1/2" x 11 3/4"	4"

SL-8117-35HPS-W	Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-50HPS-W	One 50-Watt High Pressure Sodium Medium Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-70HPS-W	One 70-Watt High Pressure Sodium Medium Base ED17 Lamp	9 1/2" x 11 3/4"	4"
SL-8117-50MH-W	One 50-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8117-70MH-W	One 70-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8117-100MH-W	One 100-Watt Metal Halide Medium Base ED17 Lamp	9 1/2" x 11 3/4"	5"
SL-8118-PLT18	One 18-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118- PLT32	One 26-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118-PLT32	One 32-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"
SL-8118-PLT42	One 42-Watt Triple Tube Compact Fluorescent Lamp	9 1/2" x 11 3/4"	4"



*For wet location or poured concrete use only. All HID units supplied with "J" box as standard equipment. For specifications, please see box below.

Options:

Catalog Suffix:

277 Volt Ballast
TAMPER RESISTANT SCREWS

277V
TP

ALTERNATE FACE FINISHES:

Silver White powder coat
White powder coat
Dark Bronze powder coat

SPC
WPC
DBPC

Add suffix to catalog number.
For additional specifications, see reverse side.

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allen + roth Grandura 20-in H Marcado Black Standard Post Light

Item #: 336271 | Model #: LWS1176D



\$79.91

Was: \$99.89

Save 20%

Bulb(s) not included

FREE
Store Pickup
Your order can be available for pickup in **Lowe's Of Billings, MT** today.

Lowe's Truck Delivery
Your order will be ready for delivery to you from your selected store.

Parcel Shipping
Sent by carriers like UPS, FedEx, USPS, etc.

allen + roth Grandura 20-in H Marcado Black Standard Post Light **\$79.91**

0
 0

Description

Grandura 20-in H Marcado Black Standard Post Light

- Uses 3 candelabra base 60 watt bulbs, sold separately
- Easy to install

Specifications

Collection Name	Grandura	Motion Sensor	No
Manufacturer Color/Finish	Marcado black	Number of Outlets	0.0
Color/Finish Family	Black	ENERGY STAR Qualified	No
Type	Post light	Solar Powered	No
Number of Fixture Heads	1.0	Fixture Material	Cast aluminum
Assembled Height (Inches)	20.0	Glass Type	Seeded
Assembled Width (Inches)	9.5	Post Light Base Material	Cast aluminum
Mounting Diameter (Inches)	0.0	UL Safety Listing	No
Lighting Technology	Standard	CSA Safety Listing	No
Number of Bulbs Required	3.0	ETL Safety Listing	Yes
Light Bulbs Included	No	Warranty	3-year limited
Maximum Bulb Wattage	60.0	Style	Traditional
Power Source	Hardwired	Recommended Light Bulb Shape	B10
Dimmable	No	Light Bulb Base Type	Candelabra base (E-12)
Photocell Sensor	No		

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	APRIL 8, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	NONCONFORMING EXPANSION REQUEST FOR 2202 COUGAR AVE. SUP 2014-02	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Amy Shaw as the property owner has submitted a request to expand a nonconforming building located at 2202 Cougar Avenue. The property is located within the Residential B zoning district, which requires a 15-foot front setback from Cougar Avenue and 5-foot side setback from the interior property line. The existing structure was constructed in 1943 and was most recently used as a church. It is located approximately five feet from the front property line.

Street view:



View from East:



View from SW:



Street View 2:



The applicant desires to construct a duplex, utilizing the existing building as one of the two dwelling units. The units would be separated by two, single-car garages. All of the proposed addition will meet the required zoning setbacks. Alterations to the existing building include new windows and shingles, although the existing siding is intended to remain as it is only about five years old. A conceptual site plan is provided. The division of the property identified on the site plan is not under consideration at this time—the building is currently located at the west end of a .58 acre parcel.

HISTORY AND REVIEW CRITERIA:

The 696 square foot building was originally constructed in 1943 according to the County assessor's records. It was under County jurisdiction until annexation in 1972. Cougar Avenue was previously known as Farnum Lane/Avenue and was originally constructed at a narrower width than it is currently. According to the 1992 road plan for the expanded construction of Cougar Avenue, the subject building was about 25 feet from the edge of the road. It is now about five feet from the property line and twelve feet from the edge of the road. I have been unable to confirm what the right-of-way width was at this location in 1943. It does not appear that there was a setback requirement at the time the building was constructed.

The County assessor has the market value of the building as \$47,215 and identified as "residential".

Since it appears that the building was legally constructed but does not meet current setback requirements, it is classified as nonconforming under the zoning ordinance. Pursuant to Cody City Code 10-13-1, *"Any nonconforming buildings in existence as of the date of this title may be kept in proper repair, but no additions or structural changes shall be permitted, except with the approval of the planning and zoning commission."*

In addition, the 696 square foot size of the building is less than required for new dwellings under Section 10-11-1(A), which requires a minimum size of 864 square feet per dwelling for new permanent dwellings. The structure is also considered nonconforming in this respect as well. The building was apparently a dwelling prior to use as a church. It is noted that the proposed addition is currently shown as slightly less than 864 square feet (approx. 796?). The new dwelling unit will need to meet the minimum size requirement, so modifications to the plan will be needed.

The impact of approving or denying the request to expand the nonconforming building would be as follows. Approval would obviously result in the ability to expand the building as contemplated. Denial would mean the property owner could either leave the building as it is and utilize it as a single-family dwelling or other permitted use; or, they could remove the non-conforming portion of the building (much of the 12' by 16' front extension) and still construct the duplex addition in accordance with city standards

without needing any Planning and Zoning Board approval (the modified dwelling unit would need to be at least as large as it is now).

Expansion of the building will need to involve modifications to utility services, such as connection to City sewer and potentially power, water and gas. Utility issues and building code issues with the expansion will need to be addressed, but the details of such can be worked out through the building permit site plan review process (conducted by staff).

STAFF COMMENTS:

The zoning ordinance does not yet include specific criteria for reviewing expansions of nonconforming buildings. Only the purposes of promoting health, safety, morals, and general welfare, as found in the purpose statement of the zoning ordinance, are available for guidance. Building setbacks help prevent overcrowding of land, provide safety from nearby hazards such as fire and traffic, and relate heavily to the character of neighborhoods.

Typically, nonconforming buildings are allowed to continue in their current situation until the building has served its useful purpose and market forces lead to its removal.

Staff is admittedly concerned about the extent of the nonconformity—approximately ten feet into the fifteen-foot setback. Any passerby can clearly identify it as the only “out of place” building in the neighborhood. Additionally, although the siding is new, the underlying structure is 71 years old and is of unknown condition to staff. I question whether the existing building will last as long as the portion that will be built. If not, approval of the current request would likely lead to a future request to reconstruct the older portion, and guess what, the only place it would fit is five feet from the front property line.

From a regulatory standpoint, if there is a time to correct the nonconformity it would be now, before additional expense is put into it and while the building is most readily modified.

All that being said, I think the decision really comes down to whether the public benefit of denying the request outweighs the hardship created for the property owner. To attempt to put a monetary value on it, the equivalent assessed value of the encroachment (approx. 160 sq. ft. of the 696 sq. ft. building) is approximately \$10,854.

ATTACHMENTS:

Site plan and letter.

RECOMMENDATION:

Staff is still thinking through this one. If approved, I do not see the need for any specific conditions, as everything would be covered through the building and utility plan review.

Lafe and Amy Shaw
Shaw Properties, LLC
1108 14th St. #436
Cody, WY 82414
406.571.7905

March 28, 2014

Planning and Zoning Board,

Please find enclosed a proposed plat of 2202 Cougar Ave. to add on the existing house to make it into a duplex. We plan to match the siding of the original house and re-shingle the old house to match the newly attached duplex. The addition shape would mirror the original house with two attached single car garages between the living space. We will be remodeling the original house to enhance its appearance. We will also be making a driveway to access the garages.

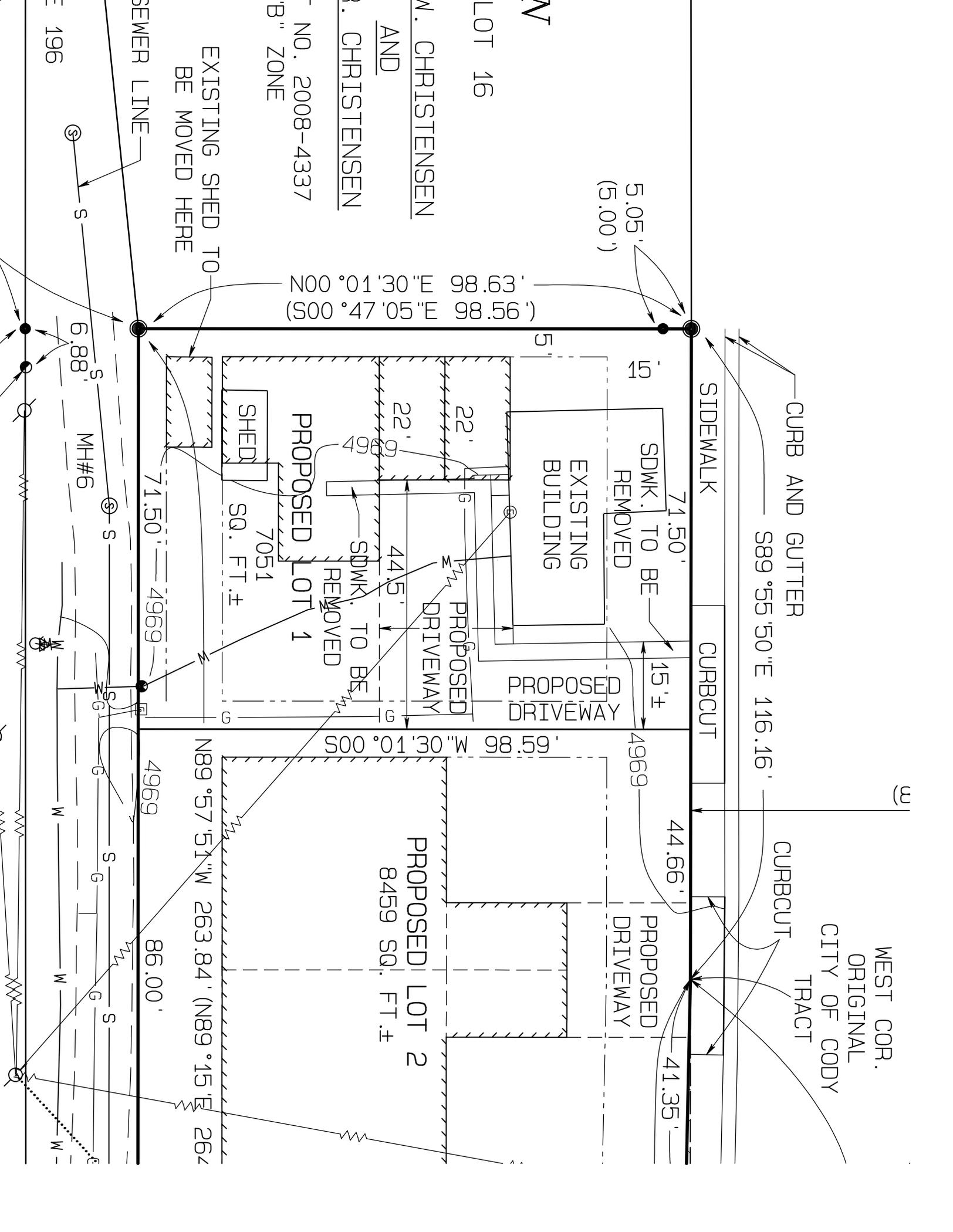
If you have any questions, please call me.

Respectively,

A handwritten signature in cursive script that reads "Amy D. Shaw". The signature is written in black ink and is positioned above the printed name.

Amy D. Shaw

Enclosure



WEST COR.
ORIGINAL
CITY OF CODY
TRACT

CURB AND GUTTER

$S89^{\circ}55'50''E$ 116.16'

SIDEWALK

CURBCUT

CURBCUT

5.05'
(5.00')

71.50'
SDWK. TO BE
REMOVED

15.00'
EXISTING
BUILDING

PROPOSED
DRIVEWAY

$N00^{\circ}01'30''E$ 98.63'
 $(S00^{\circ}47'05''E$ 98.56')

PROPOSED
LOT 1

PROPOSED
LOT 2

8459 SQ. FT. ±

SHED
7051
SQ. FT. ±

EXISTING SHED TO
BE MOVED HERE

SEWER LINE

6.88'

MH#6

71.50'

49.69'

86.00'

196

49.69'

86.00'

264

Buffalo Bill's Antler Inn Existing Sign:



Approved Sign (Sign Panel only, Additional 18' by 8' electronic sign to be mounted below):

