

CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
TUESDAY, MARCH 25, 2014
CITY HALL COUNCIL CHAMBERS @ 12:00 NOON

AGENDA

1. Call to Order by Chair Justin Lundvall
2. Roll Call, excused members
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes of the March 11, 2014 –Regular Meeting.
6. Table Item:
 - A. Minor Commercial Review-Seasonal Winter Shelter at 1192 Sheridan Avenue (Irma Hotel).
7. NEW BUSINESS:
 - A. Sign Plan Review - Buffalo Bill Memorial Association (Buffalo Bill Center of the West) located at 720 Sheridan Avenue.
 - B. Minor Commercial Review-Donny Anderson 30’x 32’x 12’ Steel Building located at 5 Road 2AB.
 - C. Minor Commercial Review-Good 2 Go Gas Pump and Canopy revisions located at 1200 17th Street.
8. APPROVED SIGN APPLICATIONS:
 - A. Good 2 Go Wall Sign. 1200 17th Street
9. P&Z Board Matters (announcements, comments, etc.)
10. Council Update: Steve Miller
11. Staff Items:
12. Adjourn

The public is invited to attend all Planning, Zoning and Adjustment Board meetings.
If you need special accommodations to participate in the meeting, please call the City office at (307) 527-7511 at least 24 hours in advance of the meeting.

City of Cody
Planning, Zoning and Adjustment Board
Tuesday, March 11, 2014

A regular meeting of the Cody Planning, Zoning and Adjustment Board was held in the Council Chambers of City Hall in Cody, Wyoming on Tuesday, March 4, 2014 at 12:00 PM

Present: Justin Lundvall, Chairperson; Buzzy Hassrick; Brad Payne; Bob Senitte; Kim Borer; Mark Musser, Sandra Kitchen, Deputy City Attorney; Steve Miller, Council Liaison; Todd Stowell, City Planner; Utana Dye, Certified Engineering Technician II.

Absent: Justin Ness

Chairperson Justin Lundvall called the meeting to order at 12:02 PM, followed by the pledge of allegiance.

Bob Senitte made a motion seconded Kim Borer to approve the agenda. Vote on the motion was unanimous, motion carried.

Kim Borer made a motion seconded by Mark Musser to approve the minutes for the February 25, 2014 meeting with the corrections to add a comma after “draft” and change the uppercase “W” to lower case “w” on “with”. Vote on the motion was unanimous, motion carried.

Kim Borer recommended a change to the March 4, 2014 minutes for the master plan adoption motion that Justin Ness made and she seconded to change item 1B (Moving the Expansion Area map boundary back to Sage Creek). The change would be to omit the sentence “Perhaps bring it back all the way to the crest of the hill between East Cooper Lane and Beacon Hill Road”.

Buzzy Hassrick wanted to correct page 2, fourth paragraph, which should be changed to say “the change of use of the property”.

Kim Borer made a motion seconded by Buzzy Hassrick to approve the Tuesday, March 4, 2014 minutes with the corrections to the two items as recommended. Vote on the motion was unanimous, motion carried.

Todd Stowell presented the minor commercial review of the seasonal winter shelter at 1192 Sheridan Avenue for the Irma Hotel.

Kim Borer made a motion for the Planning and Zoning Board to approve the Irma’s request for a minor commercial review for the seasonal winter shelter at 1192 Sheridan Avenue with the caveat that it would go up November 1st and be taken down before March 31st of each year, and that the necessary building and electrical permits are obtained and any required corrections are made as determined by the building official, and that use of the enclosure comply with any applicable liquor license requirements.

Motion failed due to a lack of a second.

Brad Payne made a motion seconded by Mark Musser to table the item until the next meeting and have the applicant come before the board for discussion. Buzzy Hassrick and Kim Borer opposed the motion. Mark Musser, Justin Lundvall, Brad Payne and Bob Senitte voted in favor of the motion. Motion carried for the item to be table until the next meeting.

Todd Stowell presented the staff report on the relocation of the existing Rocky Mountain Mudd Coffee Kiosk from 330 Yellowstone Avenue to 601 Yellowstone Avenue.

Rick and Ricki Westbrook are the business owner of Rocky Mountain Mudd. Mr. Westbrook spoke on the history of the different locations of the coffee stand and why they are moving back to the 601 Yellowstone location. He has no concerns about the recommended landscaping condition.

Kim Borer made a motion seconded by Buzzy Hassrick to approve the site plan for the Rocky Mountain Mudd Coffee Kiosk to be located at 601 Yellowstone Avenue with the following conditions, as staff recommended:

1. The Rocky Mountain Mudd freestanding sign must be located at least ten feet behind the sidewalk.
2. If the coffee stand is to remain on the property after March 15, 2016, the business owner and/or property owner must submit a landscape plan for review and approval by the Planning and Zoning Board.

Vote on the motion was unanimous. Motion carried.

Todd presented the sign plan review of Treasured Memories wall sign to be located at 1280 Sheridan Avenue.

Kim Borer made a motion seconded by Brad Payne to approve the sign plan review for the Treasured Memories wall sign to be located at 1280 Sheridan Avenue, with the option for future illumination of the sign as long as it meets the existing lighting code at the time. Vote on the motion was unanimous. Motion carried.

In regards to the master plan, Buzzy Hassrick made a motion to have the church on 29th Street removed from neighborhood mix use and changed back to residential use. Motion failed due to a lack of a second.

Mayor Nancy Brown explained what happened at the last Council Meeting, including comments from Glenn Borkenhagen. She discussed the church property and gave some history on what has taken place over the years for the property.

The Board had discussion on some of the comments and changes to the Master Plan from the council meeting hearing.

Todd noted some of the public comments that were made at the council meeting hearing. Todd also talked about the changes the Board directed that were made to the master plan in preparation for this meeting, as well as a concern by the owners of the south end of the Rocky Mtn. Business Park. He noted that he feels some are looking at the boundaries of the land use map too closely and not making note of the accompanying language about how the boundaries are not set in stone but intended to be only representative and flexible. It is not a zoning map and we would need to have neighborhood meetings and future processes in order to change the zoning map.

Harold Musser noted his concern for the properties along the Powell Highway and the depth of the commercial zones. He feels the lots east of Freedom Street are way too shallow and that you can't build something of quality on the properties. He asks that they try to make them of a decent size for commercial. He feels that you should get the lines on the future land use map as close as you can to future zoning boundaries. He feels that if a developer comes in with something different then it is harder

to deviate from the master plan once it is approved. He thinks it is important to try and get these lines as close as we can today. (Referring to the commercial use lines along Big Horn Avenue on the south side of the highway.)

Todd talked a little bit about the reasoning of where the boundaries are shown for the area.

The board had some discussion on changing the land use boundary line so that it matches the property lines immediately west of the west properties.

Harold Musser made another point that the people that are there now own the property and he questions whether they are aware that this plan is going to infringe on their existing uses that they have now.

Bob Senitte made a motion seconded by Brad Payne to approve and adopt the Master Plan Resolution with the provision that the property just east of the Middle School along Big Horn Avenue be changed at the west boundary line along the southern boundary line where the commercial property is be extended straight across to the east to include that as commercial use (see attached map). Buzzy Hassrick and Kim Borer opposed the motion. Mark Musser, Justin Lundvall, Brad Payne and Bob Senitte were in favor of the motion. Motion carried.

Todd Stowell noted the approved sign application for the Majestic Lube freestanding electronic reader board sign.

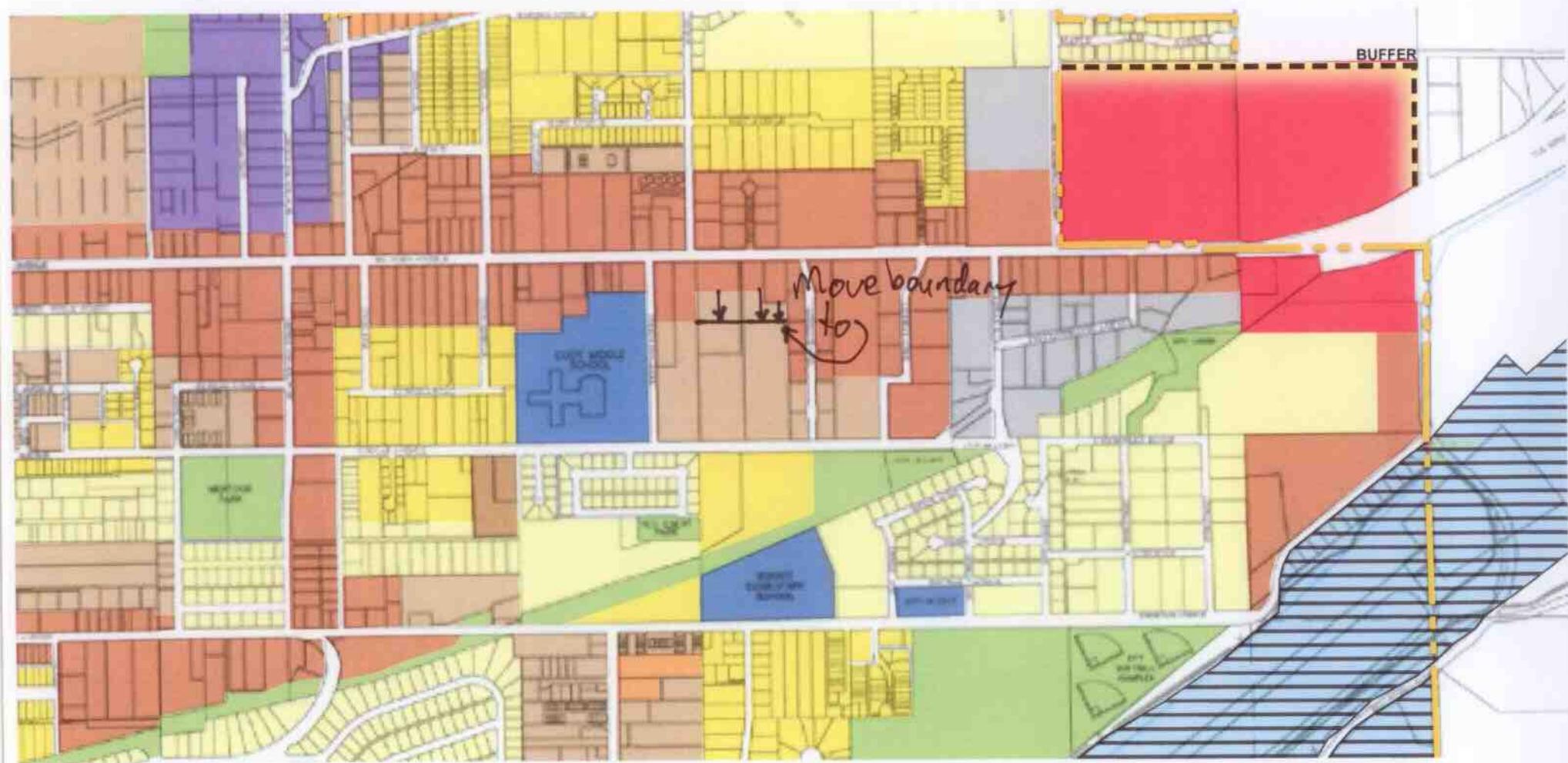
P&Z Board Matters:

Councilman Miller noted that the master plan is finally done. He thanked everyone for their extra effort. He also wanted to thank the staff and the current and past P&Z members.

Buzzy Hassrick made a motion seconded by Kim Borer to adjourn the meeting. Vote on the motion was unanimous, motion carried.

There being no further business to come before the board, Chairperson Justin Lundvall adjourned the meeting at 1:18 PM.

Utana L. Dye
Certified Engineering Technician II



**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	MARCH 11, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	IRMA HOTEL SEASONAL ENCLOSURE, DOWNTOWN ARCHITECTURAL DISTRICT REVIEW SPR 2014-05	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

John Darby of C.I.H. Inc. as owner of the Irma Hotel has submitted an application to authorize a seasonal enclosure on the east porch of the Irma Hotel. Based on verbal conversation with the applicant, the enclosure is intended to be in place only during the winter months. The structure is an uninsulated, wood-framed and sheathed enclosure with plastic "windows". Photos are below. It primarily serves as a smoking area and is posted 18+ years of age only.



REVIEW CRITERIA:

Section 10-10B-4 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

The project is also within the Downtown Architectural District established by Section 9-2-2 of the Cody City Code. Pursuant to Subsection B of 9-2-2, *"The planning, zoning and adjustment board shall examine and evaluate applications and plans involved in building and sign permits insofar as they pertain to the exterior of commercial buildings*

within the downtown district as herein described and shall make recommendations and suggestions to the applicants, property owners or occupants.

It is noted that the Irma Hotel is on the National Register of Historic Places. This does not prohibit modifications to the building; provided, if federal funds have been utilized on the building the Advisory Council on Historic Preservation must be given the opportunity to comment on the project. This would be the applicant's responsibility to determine.

Architecture:

The exterior of the Irma Hotel is an anchor of the downtown's architectural character. Its' sandstone and cobble rock walls have been duplicated in several old buildings in the downtown area. The woodwork of the cornice and balustrade represent the work of skilled tradesmen and provide ornamental detail to the historic building. The enclosure on the other hand lacks any significant architectural features. Nevertheless, the 12'4" by 16' structure only occupies a portion of the building elevation and would not be in place during the primary tourist season. The brown color and the black riveted window perimeters have a western flavor, although the brown color does not clearly match the rest of the hotel.

Development Standards:

Storm Water

There is no increase in impervious area, so no storm water requirements are applicable.

Parking

The Irma Hotel is located in the downtown parking district and the enclosure does not include sleeping rooms or dining area, so no additional parking is required.

Setbacks

The location is within the property boundaries and meets applicable zoning and building setbacks. There is sufficient room on the porch to walk around (rather than through) the enclosure if desired.

Lighting

No new exterior lighting is indicted.

Landscaping

No landscaping is proposed.

Signs

No additional signage is proposed at this time.

ATTACHMENTS:

Application.

ALTERNATIVES:

Approve or deny the project.

RECOMMENDATION:

Approve the installation of the seasonal enclosure to be in place during the winter season approximately October 31 (?) through April 1 (?) (5 months) subject to the following:

1. That the necessary building/electrical permits be obtained and any required corrections be made as determined by the building official.
2. That use of the enclosure comply with any applicable liquor license requirements.

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	MARCH 25, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	BUFFALO BILL CENTER OF THE WEST SIGN, SIGN REVIEW. SGN 2014-14	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

The Buffalo Bill Center of the West at 720 Sheridan Avenue proposes to replace their exterior directional signs located in and around their parking lots on the east and south sides of the facility. The proposed signs are depicted in the attached materials, along with a map of their proposed locations. Each of the proposed fifteen signs will replace an existing sign of approximately the same size. The total number of directional signs will be reduced by eight. In addition five, 2-foot by 3-foot moveable sign, mounted on a 5-foot tall aluminum structure are proposed. The signs will be placed near, or on the way to, the customer entrances and display changeable information, such as hours of operation and special events. None of the proposed signs would have internal illumination.

Sample of Existing Signs:



REVIEW CRITERIA:

Pursuant to the Section 10-15-9 of the sign ordinance, all signage for museums "*must be approved through planning and zoning board.*" There are no specific regulations for size or number of signs on the museum property.

STAFF COMMENTS:

Under the sign code, directional signs appear to fall within the definition of "convenience signs", as they are designed to be viewed on site and are for the purpose of directing customers within the property. Convenience signs are not a type of exempt sign, so review is required. However, the sign tables do not include any standards for convenience signs.

Staff has no concerns because the signs are roughly the same size as the existing signs, the information displayed is beneficial to visitors, the number of signs is not excessive in that there is a specific purpose for each sign, and the existing signs are showing signs of wear.

ATTACHMENTS:

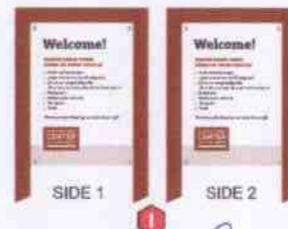
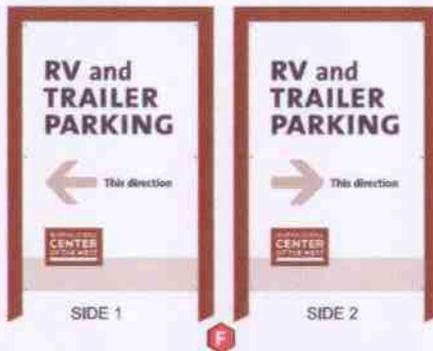
Application materials.

ALTERNATIVES:

Approve or deny the requested signs.

RECOMMENDATION:

Approve the signs as proposed.



DESIGN

Approved by Customer

In Progress

With Changes

DATE: _____

BY: _____

DIRECTIONAL SIGN LAYOUTS SCALE 1/8" = 1'-0" ON LARGE SIGNS SCALE 1/16" = 1'-0" ON SMALL SIGNS
 SIGN MOUNTING LOCATIONS SHOWN ON PAGE #7

This design is the property of Sign Products, Inc. and all rights to its use or reproduction are reserved.

DESIGN # 17668-13

REVISION # 02-05-14

DATE 02-05-14

SCALE 3/8" = 1'-0"

CLIENT BUFFALO BILL CENTER CODY, WY

SALES MIKE N.

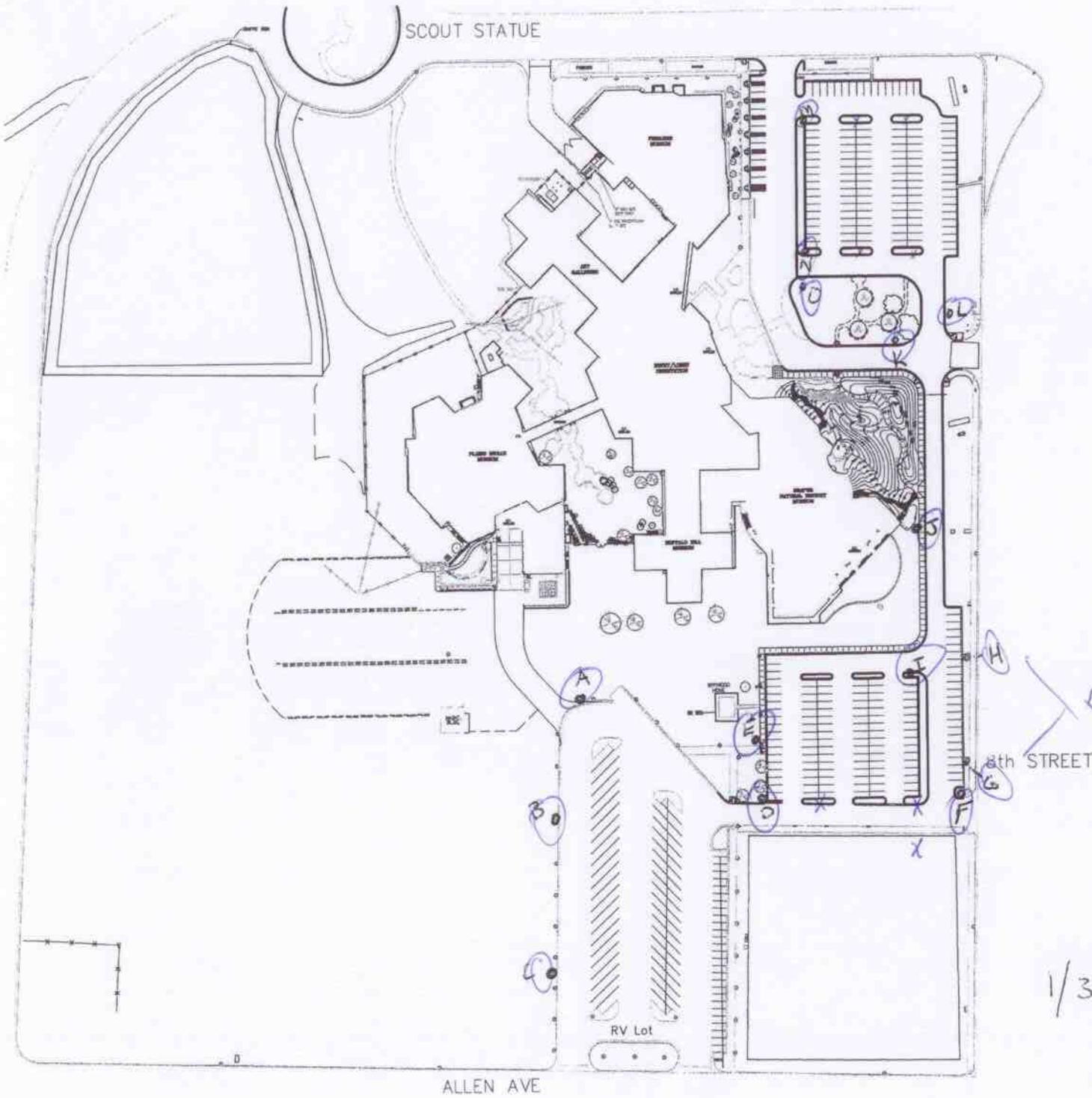
SHOWN

TP

SHEET # 6 OF 7

SIGN PRODUCTS, INC. 1425 MONROE BILLINGS, MT 59104

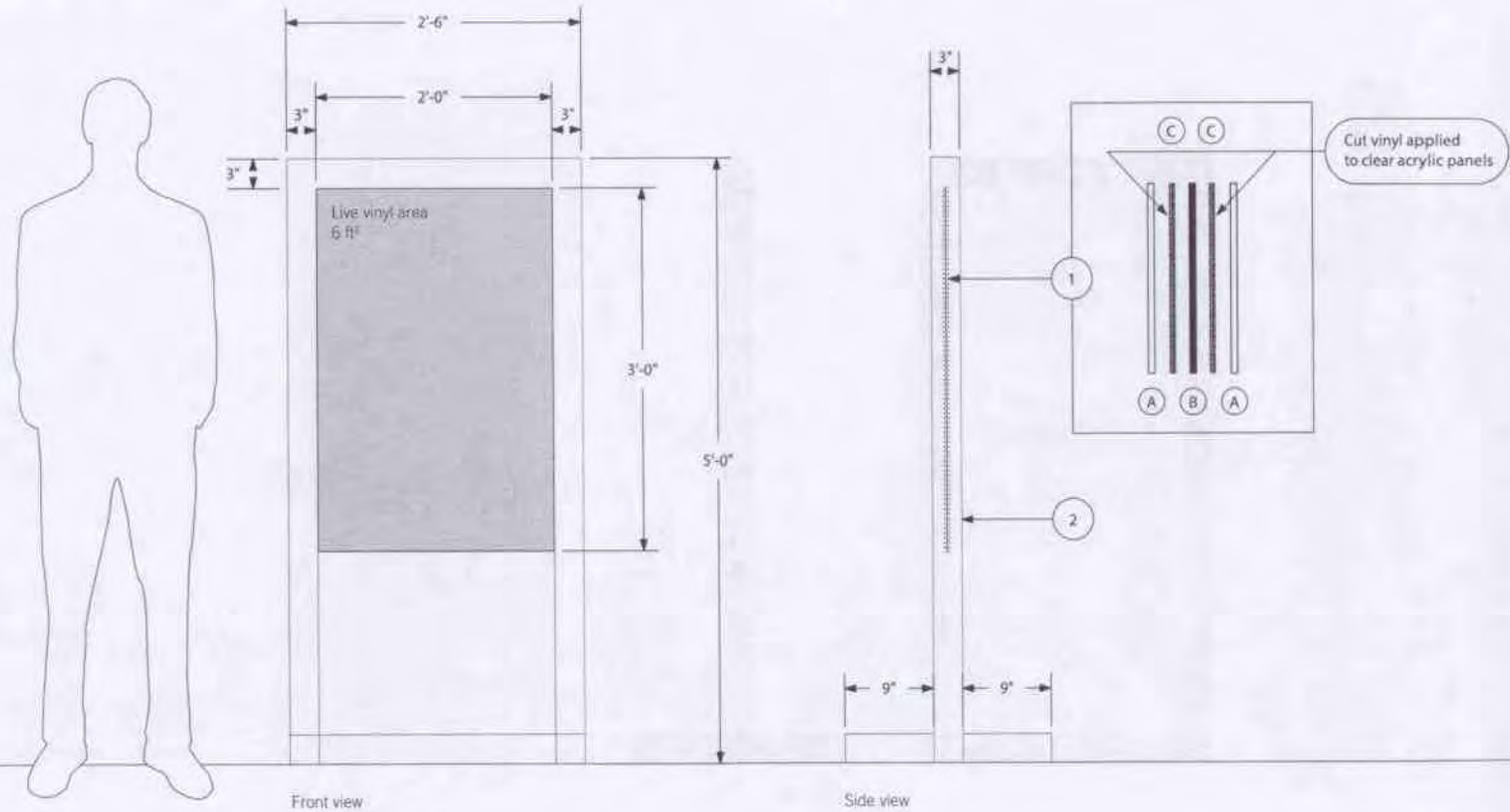
Phone: (406) 233-8888 Fax: (406) 233-8889



From 3 to 2

1/31/14

Free standing, movable sign diagram (Quantity = 6 – Two-sided)



Scale: 1" = 1'

Front view

Side view

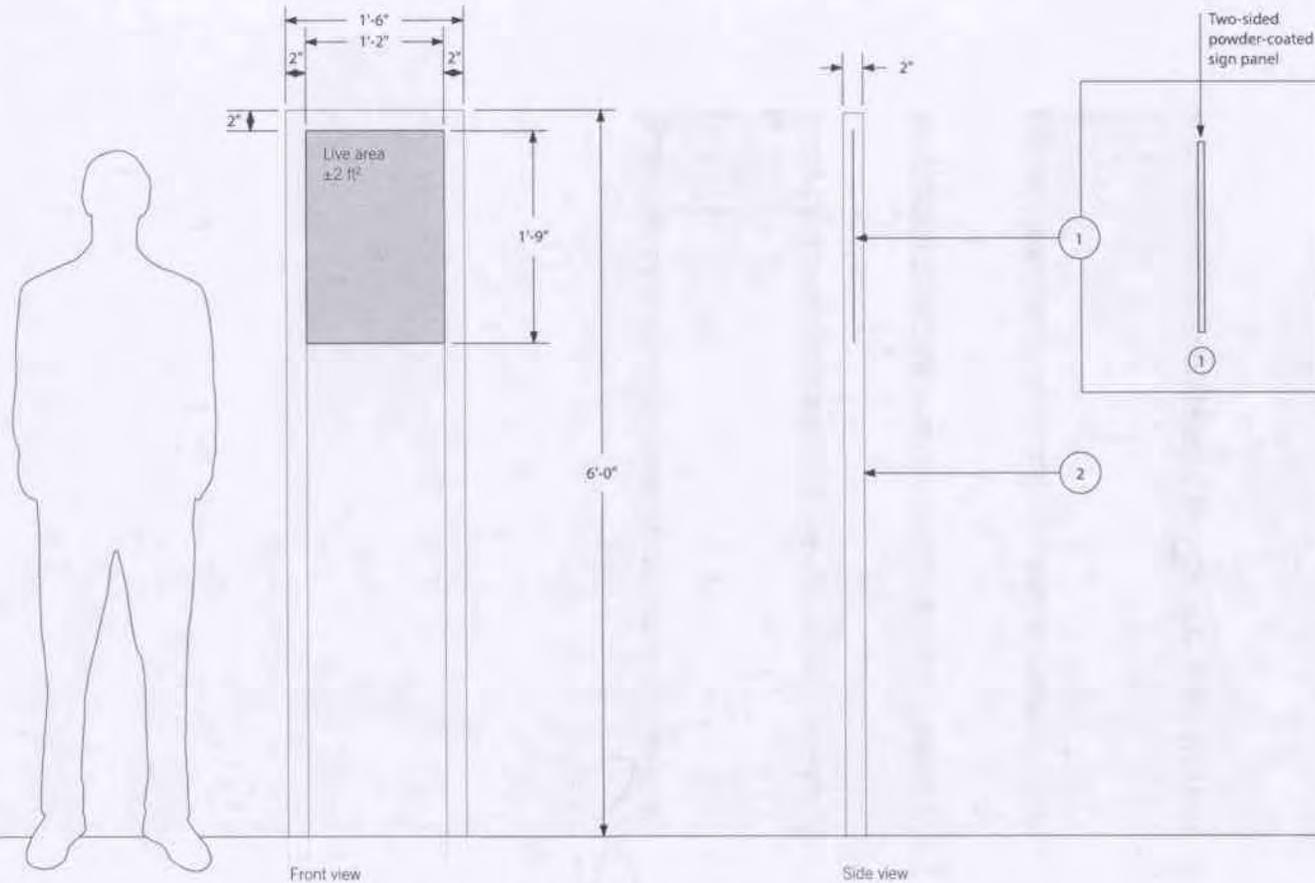
1) Message Panel

- Two-sided updatable sign.
- A) Permanent clear glass panels
- B) Permanent Opaque painted aluminum panel, Mathews Paint 7530 C (Appendix 1)
- C) Removable acrylic panels for updatable messaging

2) Structure

Sealed 3" aluminum square tube, 1/8" thick. Paint to match bronze patina of front entrance façade. Apply clear coat finish.

Small, fixed sign diagram (Quantity = 12 – Two-sided)



Scale: 1" = 1'

Front view

Side view

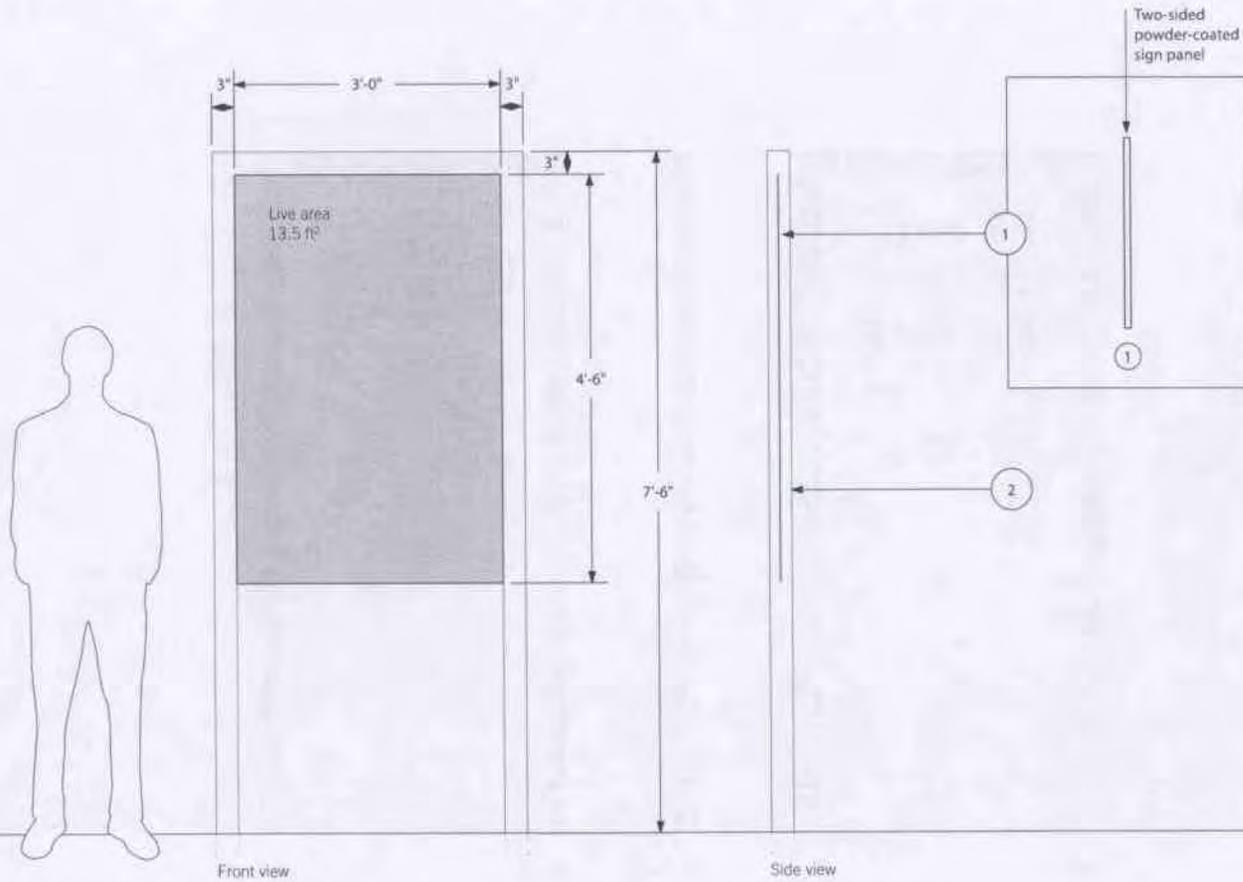
1) Powder-coated Sign Panels

FullMetal Imaging is a process that allows for a full-color image on a powder coated metal panel, making a sign that is graffiti-proof, waterproof and virtually indestructible. The clarity of the full-color image is photo quality.

2) Structure

Sealed 2" aluminum square tube, 1/8" thick. Paint to match bronze patina of front entrance façade. Apply clear coat finish. Anchor into ground.

Large, fixed sign diagram (Quantity = 6 – Two-sided)



Scale: 3/4" = 1'

Front view

Side view

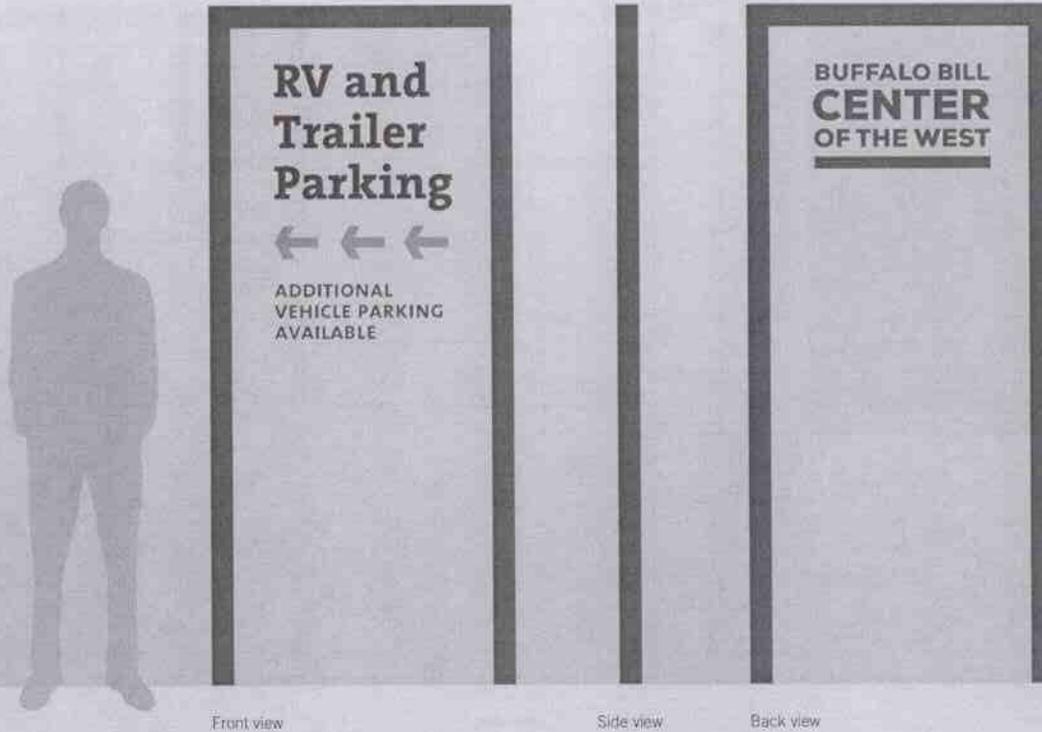
1) Powder-coated Sign Panels

FullMetal Imaging is a process that allows for a full-color image on a powder coated metal panel, making a sign that is graffiti-proof, waterproof and virtually indestructible. The clarity of the full-color image is photo quality.

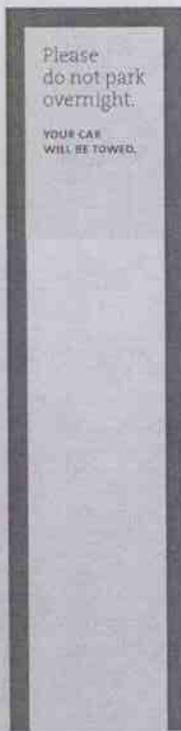
2) Structure

Sealed 3" aluminum square tube, 1/8" thick. Paint to match bronze patina of front entrance façade. Apply clear coat finish. Anchor into ground.

Large, fixed sign mockup (Two-sided)



Small, fixed sign mockup (Two-sided)



Front view



Side view

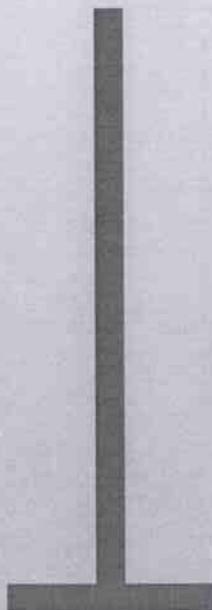


Back view

Free standing, movable sign mockup (Two-sided)



Front and back view



Side view

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	MARCH 25, 2013	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	SITE PLAN REVIEW: ICE STORAGE AND DISTRIBUTION BUILDING SPR 2014-06	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

Donny Anderson as owner of a .88 acre property at 5 Road 2AB has submitted an application to construct a 30-foot by 32-foot (960 sq. ft.) steel building which he intends to rent to an ice distribution business. The building would be located in the back end of the Anderson Masonry equipment yard, next to the Belfry Highway, as shown on the attached site plan. The facility would only operate from approximately May through September, when it would receive ice about once a month from a semi-truck. Distribution would be by smaller vehicles, such as a box truck a couple of times a week.

Existing equipment yard:



View from Belfry highway:



View from SE, across neighboring lot:



Landscape boulders:



REVIEW CRITERIA:

The property is located within the Industrial "E" zoning district.

Section 10-10E-3 of the zoning regulations states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

Section 9-2-3 is as follows:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

Architecture:

An elevation drawing of the building is included, which shows a 12-foot perimeter wall with a 4:12 pitch gable roof. The application indicates the walls will be "Regal White" and the trim "Charcoal Gray". A white overhead door and man door would be on the front (south side) of the building. No other openings are proposed.

The property is the first developed lot on the north side of Road 2AB off of the Belfry Highway. The location of the building is not highly visible from Road 2AB as it is at the opposite end of the property. The building will be visible from the highway when headed northbound, but because the highway rises above the property, only the roof would be visible to persons headed southbound.

Surrounding land uses include vacant industrial land to the west, the highway to the north, both residential and industrial to the east, and equipment storage across Road 2AB to the south.

The P&Z Board will need to determine if the proposed materials, colors, and architecture are suitable to the situation.

Landscaping:

No modifications to the existing landscaping are proposed. Existing landscaping is shown in the photo above and consists of stacked large rocks.

Parking:

Parking for one vehicle can be accommodated by the loading area in front of the door to the building. The occasional use by a second vehicle can be accommodated by the open area of the equipment yard or the parking spaces in front of the masonry

business. Surfacing of the access road and maneuvering area is gravel. The off-street loading area meets the requirements of the parking ordinance (doesn't encroach into street, etc.).

Lighting

Exterior lighting is not indicated on the plan, but described as being over the loading door. The exterior lighting should be of a down-lit style, so as to avoid any conflicts with the highway traffic.

Neighborhood Compatibility, Setbacks and Buffers, and Height Requirements

There are no specified zoning setbacks or height limits for the Industrial E zone. No buffers are required for this proposal. The 5-foot setbacks are to accommodate building code fire separation requirements.

Storm Water Plan:

Due to the small size of the building, a full storm water plan is not required. A 6-foot diameter drywell and ditch around the building is proposed to capture and retain storm water from the building. Site plan details are not adequate to show exactly how this will occur, but so long as the storm water from the building is directed to the drywell (typically by a gutter system or ditch) storm water control will meet the City storm water policy.

Utility Services

The applicant indicates no new utility services are needed. Electrical service will come off the existing Anderson Masonry building.

Signage

No signs are proposed at this time.

Snow Storage

The storage building will not be used in the winter.

ATTACHMENTS:

Site plan, floor plan.

ALTERNATIVES:

Approve or deny the project with or without changes.

RECOMMENDATION:

If the Planning and Zoning Board is agreeable to approving the application, it is recommended that it be subject to following.

1. That details of the roof drainage and storm water retention system be submitted no later than at the time of building permit review, for approval by the Building Official

and City Engineer; and, that the storm water retention system be installed prior to occupancy of the building.

2. That any exterior lighting be of a down-lit style.
3. That the project must otherwise comply with the submitted site plan and applicable building, fire, and electrical codes.



PLANNING, ZONING AND ADJUSTMENT BOARD
COMMERCIAL SITE DEVELOPMENT APPLICATION

STAFF USE
File #: SPR2014-
P&Z Invoice: 18-5
Date Submitted:

Applicant's Name: Donny Anderson Business Name:
Applicant's Mailing Address: PO Box 484 City: Cody State: Wy Zip: 82414
Phone: 307-272-1023 Cell: Email:
Project Address: 5 ROAD 2AB, Cody City, WY Zoning: E
Property Owner's Name: Donald Anderson Phone/Cell:
Property Owner's Mailing Address: PO Box 484 City: Cody State: Wy Zip: 8241
Description of Proposal (attach additional sheets as necessary):

30' x 32' X 12' Steel Building see layout pictures for measurements and see scale drawing for location on property. A1, S1, S2, S3, S4, S5 Attachments

Legal Description of Property (or attach copy of deed): Date sub. pt. of lot 3 des. as the 110' lying westerly of theof the W. line of "Ex. Parc #4" & S. of the N. line of said Ex. Parc extended W. to the SE line of the State Highway Ex. a Parc 25' wide running along said Highway & connecting the remaining pts. of lot 3.

Estimated Construction Start Date: March 17, 2014

Representative Attending Planning and Zoning Meeting: Donny Anderson & Randy Smith

Signature of Property Owner: Donald R. Anderson 3/5/14
Signature Date

APPLICATION MATERIALS:

Applicants are encouraged to arrange a pre-application meeting with staff to ensure a complete submittal. Re-submittal of an application may result in additional fees. The following items are to be submitted with the application.

1) FEE: Each application shall be accompanied by one of the following review fees as set forth by Resolution 2011-09. Payment may be made by cash, check, or credit card (Visa, MasterCard, Discover).

- Site Plan Review (also includes Landscape, Architecture, and Sign Plan). Size of Building/Addition: S.F. @\$0.05 per square foot \$250.00 minimum
Landscape, Architecture and Sign Plan only. (Typically modifications to existing development.) \$100.00
Minor Commercial Review. (Windows, doors, awnings, building access or exterior finish only.) \$50.00

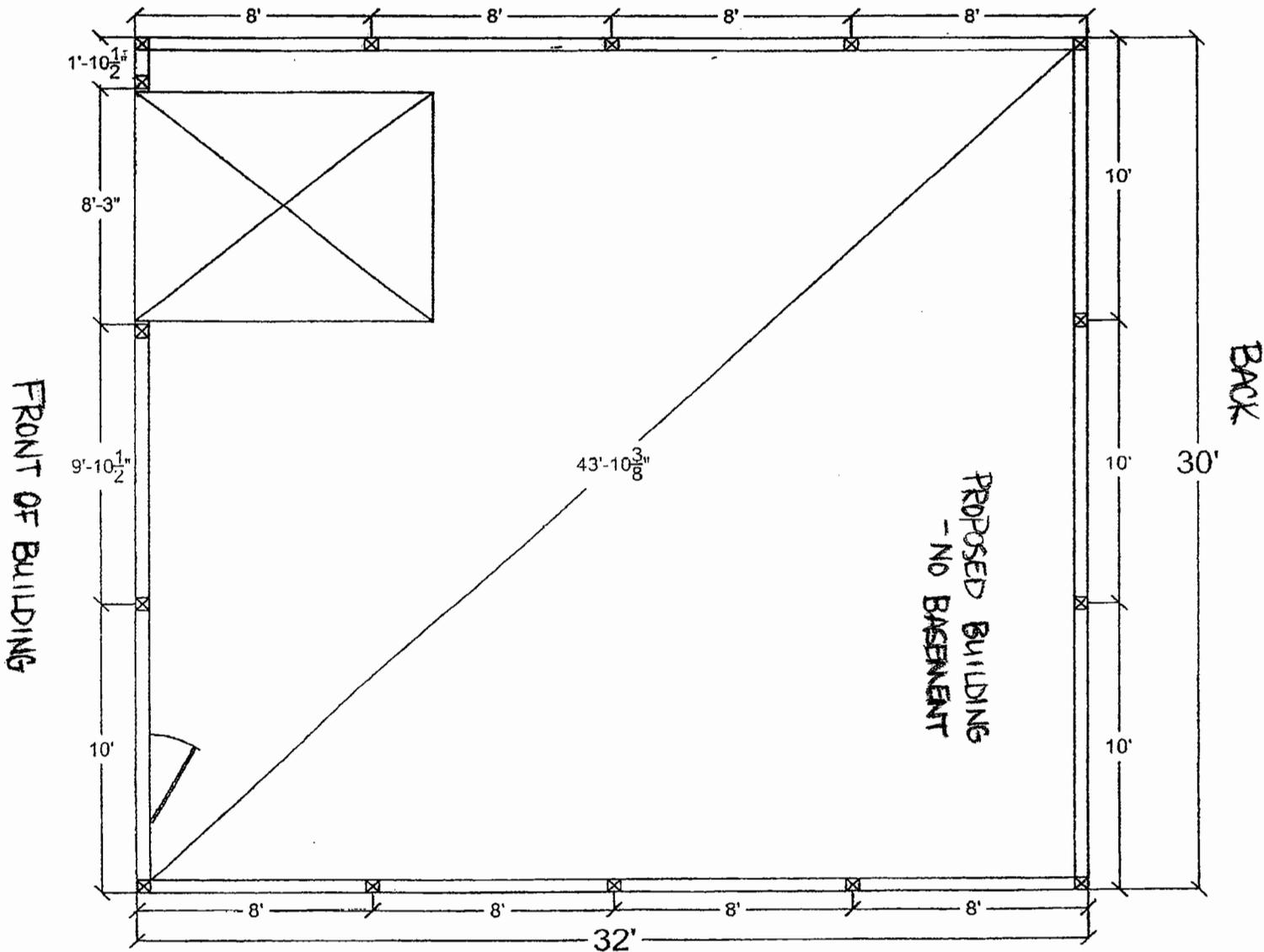
2) COPIES:

Twelve (12) paper copies* of the application materials (plans, project description, sign plan, and other required information).

A digital copy (PDF) of each of the application documents.

*For complex projects, or if the applicant wishes, submit only two full-size paper copies and the electronic copy for staff review and wait until staff review is complete before providing the 12 copies for the Planning and Zoning meeting. This allows for corrections and changes to the plans before the 12 copies are printed. The 12 copies and an updated PDF will need to be submitted well before the Planning and Zoning meeting, as coordinated with staff.

3) PLANS AND ADDITIONAL FORMS: Commercial Site Plan Review requires all of the following, whereas minor commercial reviews and landscape/architectural plans need only include applicable items. All plans must be dimensioned, clearly legible, and to a standard scale.



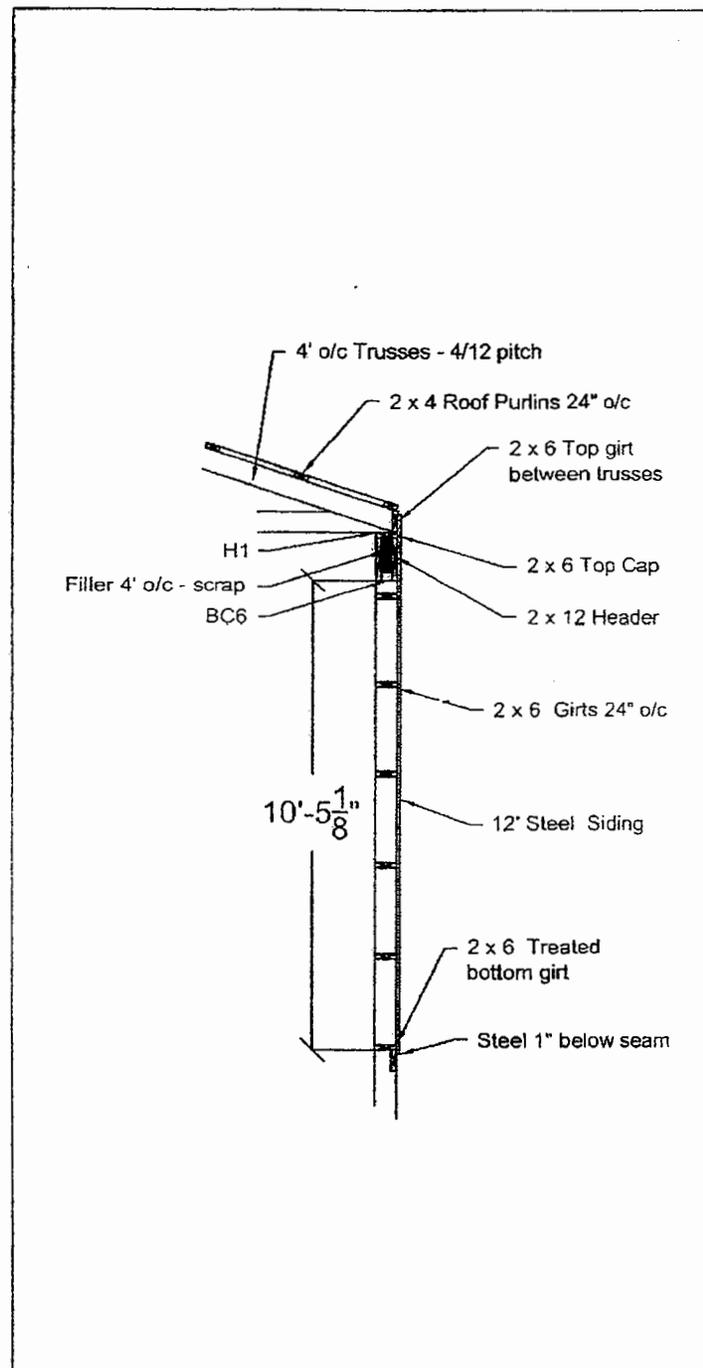
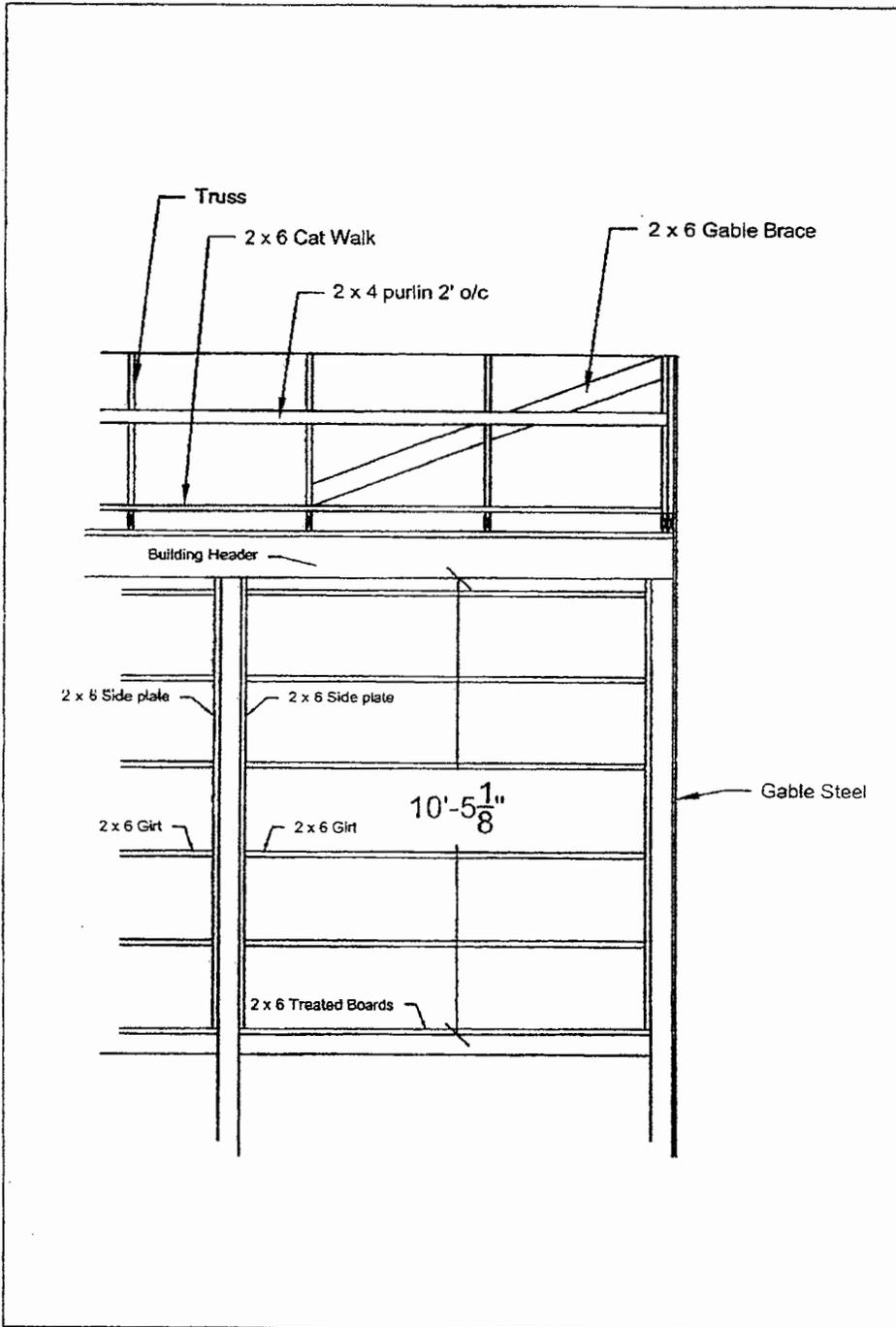
2032 Old Hardin Rd.
 Billings, Montana 59101
 www.s-bar-s.com
 (406) 259-3391



Donny Anderson
 30' x 32' x 12' Turned Girt Pole
 Building - Kit
 Building Layout

Project #23602
 Date 1/29/14
 Scale 3/16"=1'

A1
 Scale No.



2032 Old Hardin Rd.
 Billings, Montana 59101
 www.s-bar-s.com
 (406) 259-3391

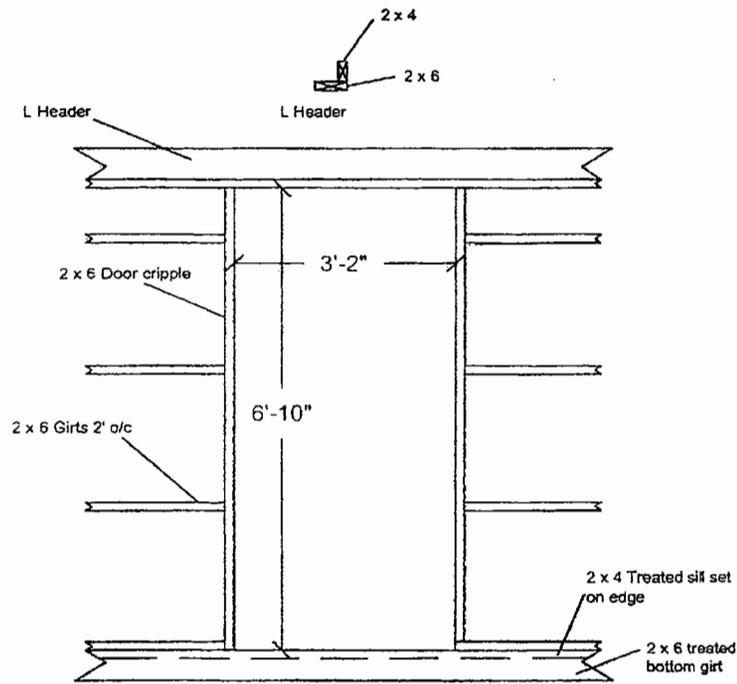
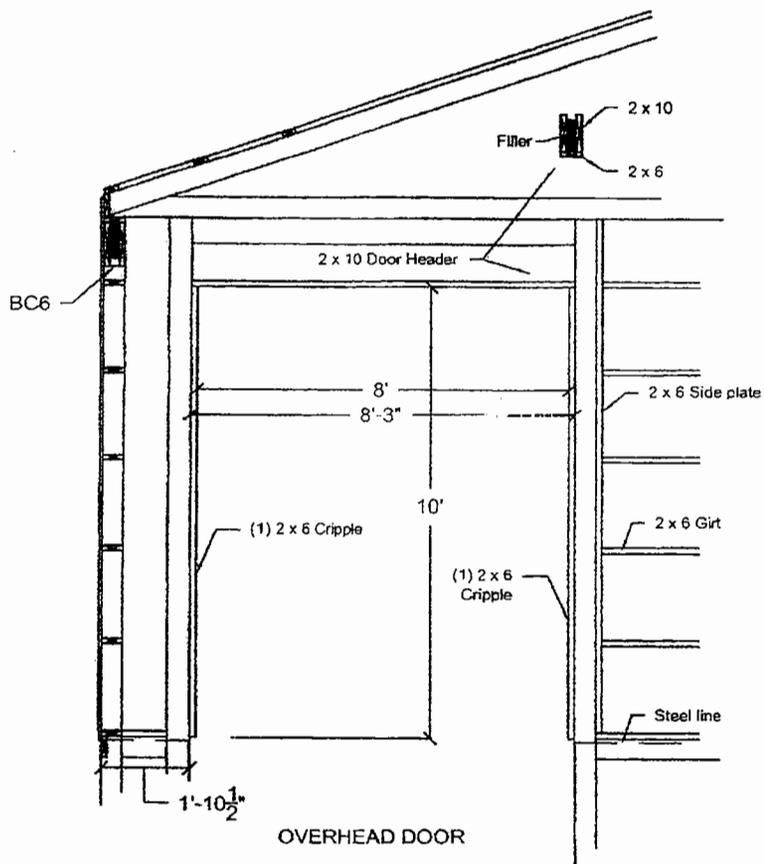


Donny Anderson
 30' x 32' x 12' Turned Girt Pole
 Building - Kit

Cut-Off

Project #23602
 Date 1/29/14
 Scale 1/4"=1'

S1
 Scale No.



2032 Old Hardin Rd.
 Billings, Montana 59101
 www.s-bar-s.com
 (406) 259-3391

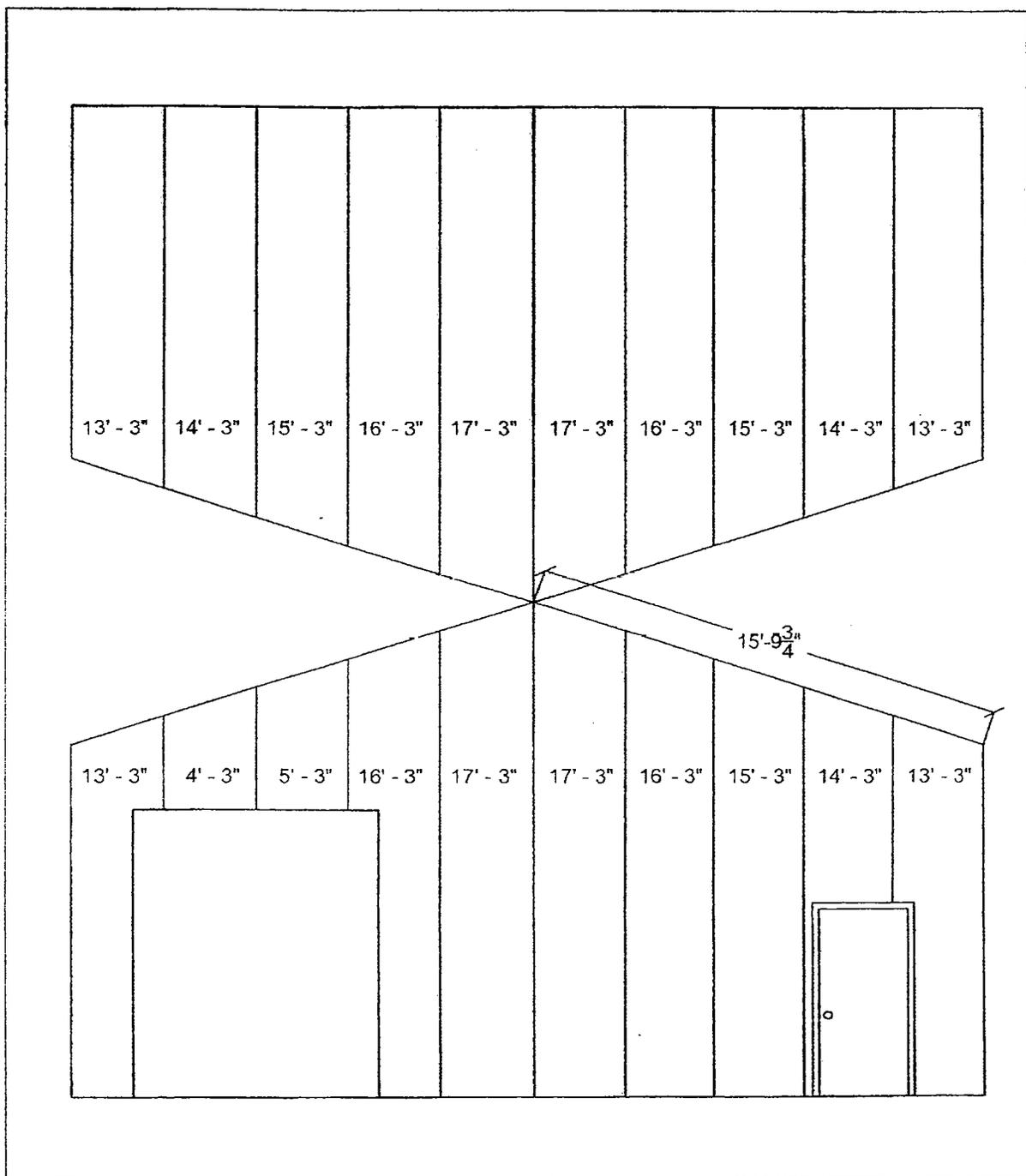
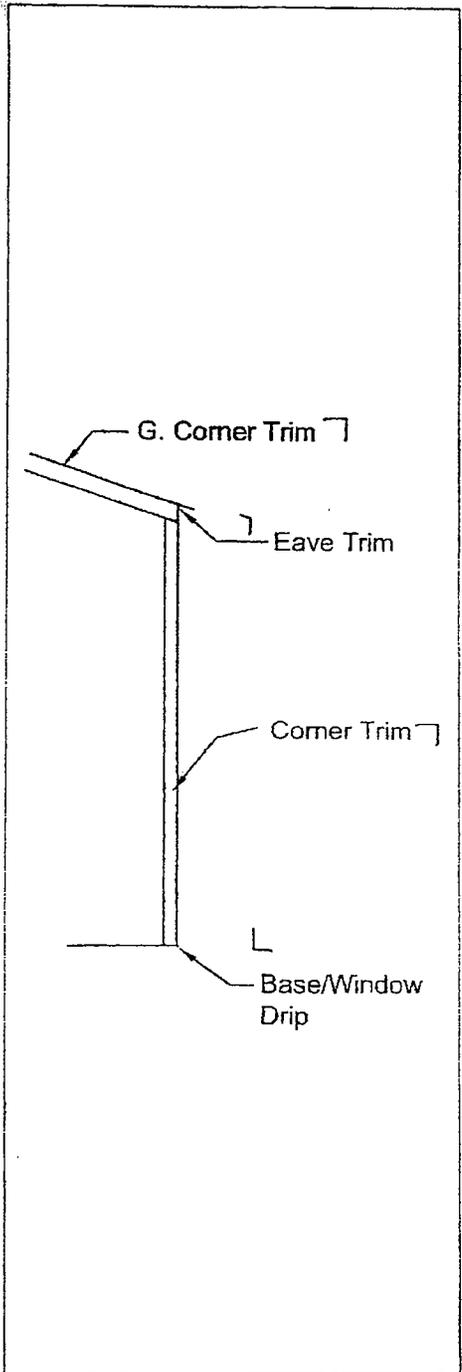


Donny Anderson
 30' x 32' x 12' Turned Girt Pole
 Building - Kit
 Door Framing

Project
 #23602
 Date
 1/29/14
 Scale
 3/16"=1'

S2

Scale No.



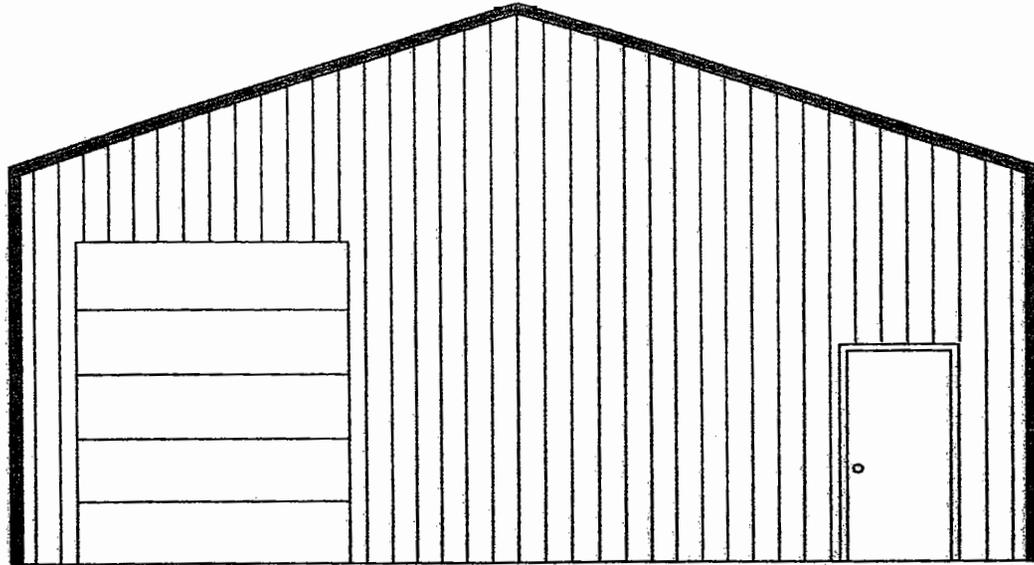
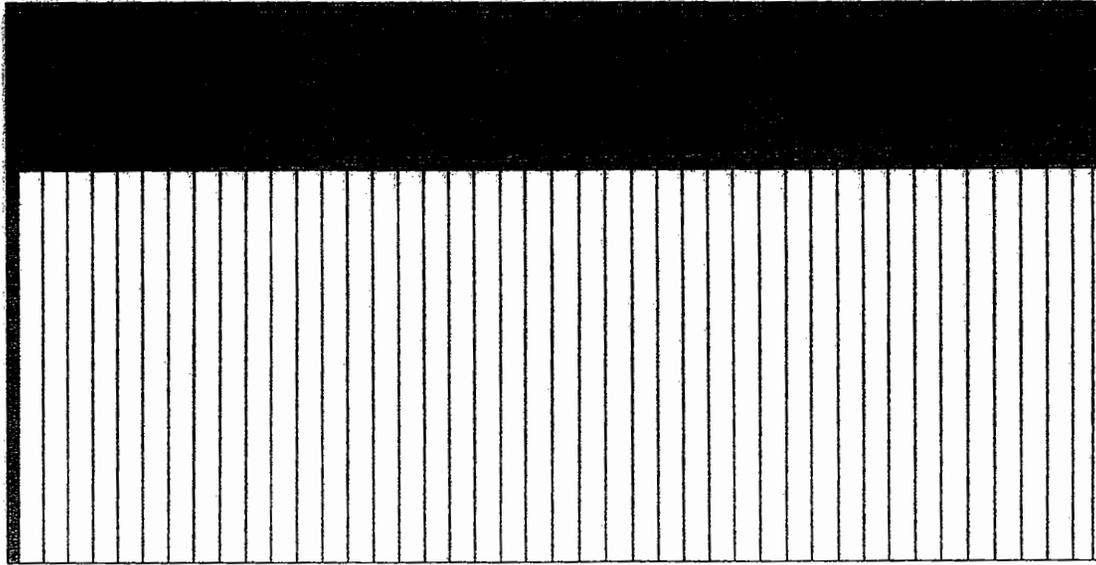
2032 Old Hardin Rd.
 Billings, Montana 59101
 www.s-bar-s.com
 (406) 259-3391



Donny Anderson
 30' x 32' x 12' Turned Girt Pole
 Building - Kit
 Steel Layout

Project
 #23602
 Date
 1/29/14
 Scale
 3/16"=1'

S3
 Scale No.



2032 Old Hardin Rd.
Billings, Montana 59101
www.s-bar-s.com
(406) 259-3391



Donny Anderson

30' x 32' x 12' Turned Girt Pole
Building - Kit

Steel Layout

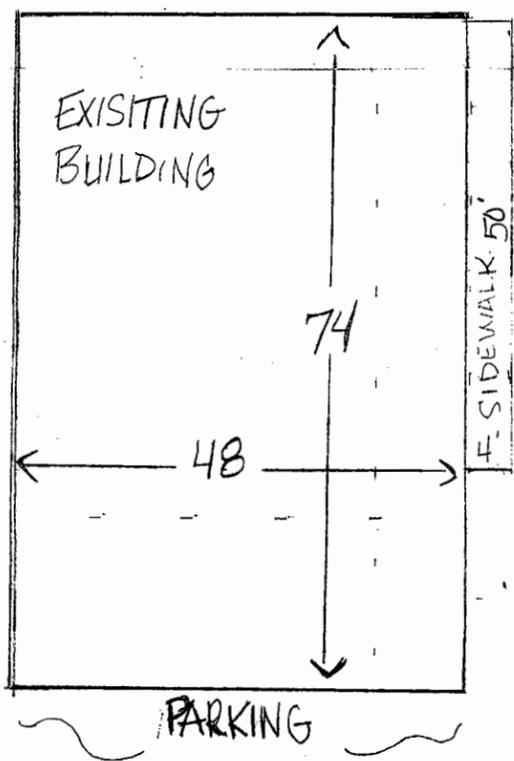
Project
#23602
Date
1/29/14
Scale
3/16"=1'

S4

Scale No.

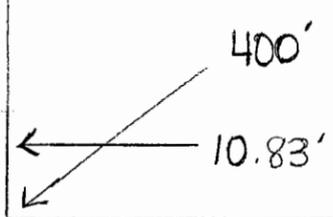
11' →

← 389.17'



UTILITY EASEMENT

110'



ROAD 2A B

PROPERTY OWNER: DONALD R. & KAREN J. ANDERSON
 ADDRESS: 5 ROAD 2AB, CODY WY 82414

DATE SUBDIVISION
 TRACT 47
 T.53N. R.101W.
 ZONE: E

LEGAL:

DATE SUB. PT. OF LOT 3 DES. AS THE 110' LYING WESTERLY OF THE W. LINE OF "EX. PARC #4" & S. OF THE N. LINE OF THE SAID EX. PARC EXTENDED W. TO THE SE LINE OF THE STATE HIGHWAY EX. A PARC 25' WIDE RUNNING ALONG SAID STATE HIGHWAY & CONNECTING THE REMAINING PTS. OF LOT 3.

BACK OF PROPERTY

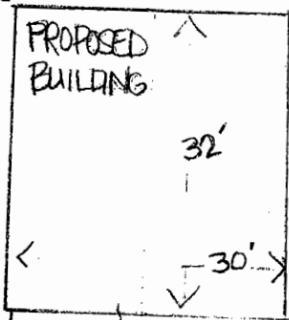
1-4' DIAMETER 6' DEEP DRYWELL



UTILITY EASEMENT

133'

5'



(GRAVEL ALL AROUND)

12'

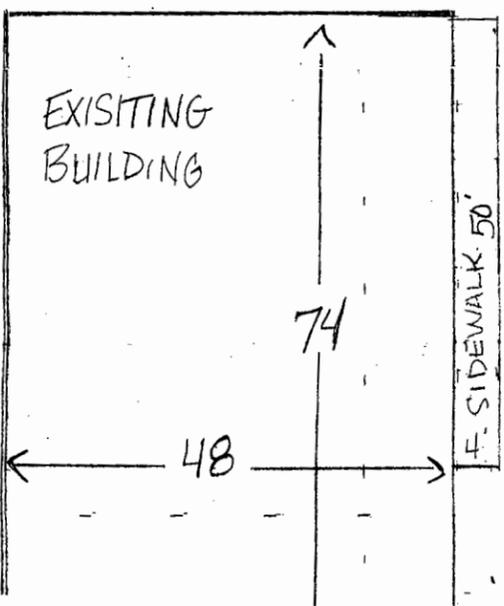
30'

5'

GASLINE & BURIED TELEPHONE LINE

11' →

← 389.17'



EXISTING BUILDING

74

48

F. SIDEWALK 50'



AMERICAN BUILDING COMPONENTS



Millennium® 3000 Paint System

PREMIUM PANEL COLORS NOW WITH COOL ROOF PIGMENTS

Color shown may vary slightly from the actual color. Please call ABC for a metal color chip to verify color selection.

29-Gauge

- See our website for information on Solar Reflectance Index (SRI), Solar Reflectivity (SR) and Emissivity values.
- Final color selection should be made from actual color chips.
- Limited paint warranty available upon written request.
- A copy of the warranty is available from the point of purchase or from the nearest ABC office.
- Polar White is a straight polyester.
- Although Galvalume Plus® is ENERGY STAR Qualified, it does not meet the requirements of the Non-Business Energy Property tax credit per an IRS ruling.

POLAR WHITE*
SR .58 SRI .69

IVORY*
SR .65 SRI .78

BUCKSKIN*
SR .34 SRI .38

HAWAIIAN BLUE*
SR .32 SRI .35

GALLERY BLUE*
SR .28 SRI .30

REGAL WHITE*
SR .52 SRI .61

LIGHT STONE*
SR .50 SRI .58

BURNISHED SLATE*
SR .28 SRI .29

BURGUNDY*
SR .28 SRI .30

IVY GREEN*
SR .28 SRI .30

GRAY*
SR .46 SRI .53

SADDLE TAN*
SR .48 SRI .56

KOKO BROWN*
SR .28 SRI .29

RUSTIC RED*
SR .36 SRI .40

GALVALUME PLUS*
SR .68 SRI .56

DESERT SAND*
SR .42 SRI .48

CHARCOAL GRAY*
SR .28 SRI .29

COAL BLACK*
SR .28 SRI .29

CRIMSON RED*
SR .33 SRI .36

GALVANIZED

26-Gauge

REGAL WHITE*
SR .52 SRI .61

LIGHT STONE*
SR .50 SRI .58

CHARCOAL GRAY*
SR .28 SRI .29

RUSTIC RED*
SR .36 SRI .40

IVY GREEN*
SR .28 SRI .30

GRAY*
SR .46 SRI .53

SADDLE TAN*
SR .48 SRI .56

KOKO BROWN*
SR .28 SRI .29

ENERGY STAR
Qualified Color*



S5

Please inquire for additional color availability, pricing and lead-times.

S-Bar-S Building Center

2032 Old Hardin Road | Billings, Montana 59101-6594
Phone: 406.259.3391 | Fax: 406.259.1564 | Toll Free: 800.259.3391
www.s-bar-s.com
S-Bar-S Building The West

**CITY OF CODY
PLANNING, ZONING AND ADJUSTMENT BOARD
STAFF REPORT**

MEETING DATE:	MARCH 25, 2014	TYPE OF ACTION NEEDED	
AGENDA ITEM:		P&Z BOARD APPROVAL:	X
SUBJECT:	REVISIONS TO SITE PLAN FOR GOOD 2 GO GAS STATION AND CONVENIENCE STORE (1200 17 TH STREET) SPR 2014-08	RECOMMENDATION TO COUNCIL:	
PREPARED BY:	TODD STOWELL, CITY PLANNER	DISCUSSION ONLY:	

PROJECT DESCRIPTION:

GDA Engineering, on behalf of Brad Hall and Associates, has submitted an application for some modifications to the Good 2 Go gas station and convenience store that is under construction at 1200 17th Street. The primary change is a reconfiguration of the gas pumps and an enlarged canopy. The change is reflected on the site plan with the prior proposed canopy shown by light double lines and the new canopy in a thicker bold line. The prior proposed gas pump locations are the three boxes centered left to right on the new canopy, and the new gas pump locations are to the boxes left of and in line with the canopy support posts. The new pumps are now shown at an angle closer to perpendicular to 17th street (25 degrees instead of 45 degrees), which allows them to be placed closer together and all fit under the extended canopy.

The new canopy would be approximately 84' by 24' (prior proposal was about 68' by 38'), with 16' of clearance below and a 3' tall non-illuminated fascia (the "typical" plan from the manufacturer indicates illumination). The new canopy proposes eighteen light fixtures.

Other minor changes to the project include relocating the sidewalk along Beck Avenue to the curb line, updating the pedestrian ramps at the corner of the intersection, and moving the fire hydrant. Although we do not have an application for it yet, there is also a proposed change in the signage, as they plan an electronic message board (TV) on the building above the front entry (recessed area). Staff plans to review the electronic message board sign application separately—P&Z review of the sign would not be required.

REVIEW CRITERIA:

The property is in the General Business "D-2" zoning district, which permits gas stations and retail stores. Section 10-10B-4 of the zoning ordinance states:

All structures within the district shall be architecturally compatible. Architectural and landscaping plans shall be submitted to the planning and zoning commission for approval. Architectural and landscaping details shall be maintained as shown by the approved plans.

In addition, Section 9-2-3 of the City code states:

Before the issuance of any permit under the international building code for commercial buildings situated within the city, the applicant, property owner and occupant shall meet with the planning, zoning and adjustment board to review the application and plans insofar as they pertain to the exterior of a commercial building and site plan conditions. The issuance of a permit shall be conditioned upon the applicant receiving an affirmative vote of a majority of the planning, zoning and adjustment board members in attendance at said meeting.

STAFF COMMENTS:

The changes to the gas pump locations appear to improve customer vehicle movement by providing more room for vehicles to maneuver around the ends of the canopy area.

Architecture:

No changes are proposed, other than the potential electronic sign. The sign location and size will meet city sign requirements. Other standards such as illumination settings will be verified through the sign review process, which does not require P&Z action. As only one electronic message sign is allowed per property, the electronic reader board they had planned to be mounted on the freestanding sign will not be installed.

Lighting:

A photometric plan was submitted with the building permit to demonstrate that illumination was largely being retained within the property. It included a "template" layout for the canopy lighting, which actually closely matches the current canopy size and location. The plan included twelve light fixtures on the underside of the "template" canopy, which resulted in illumination levels of about 25 lumens under the canopy. That level resulted in minimal light emissions beyond the property lines, with the exception of near Beck Avenue just north of the canopy.

It is estimated that anything more than about 30 lumens under the canopy will begin to impact the motel to the south. Therefore, the number of light fixtures should be specified. The applicant was thinking of eighteen light fixtures in the area of the twelve shown on the photometric plan. However, I think a new plan would be needed to determine the impacts of that much lighting. If the original 12, or maybe up to 14 were proposed, staff would not be concerned.

Landscaping:

No changes to the landscaping are proposed.

Storm Water/Drainage:

The gutter and sidewalk section along Beck Avenue is being redesigned, but the change does not affect the storm water and drainage plan that was previously approved.

Parking:

No changes are proposed. The updated plan does not show the parallel parking spaces that were to be along the south end of the project, but that does not change the requirement to provide them.

ATTACHMENTS:

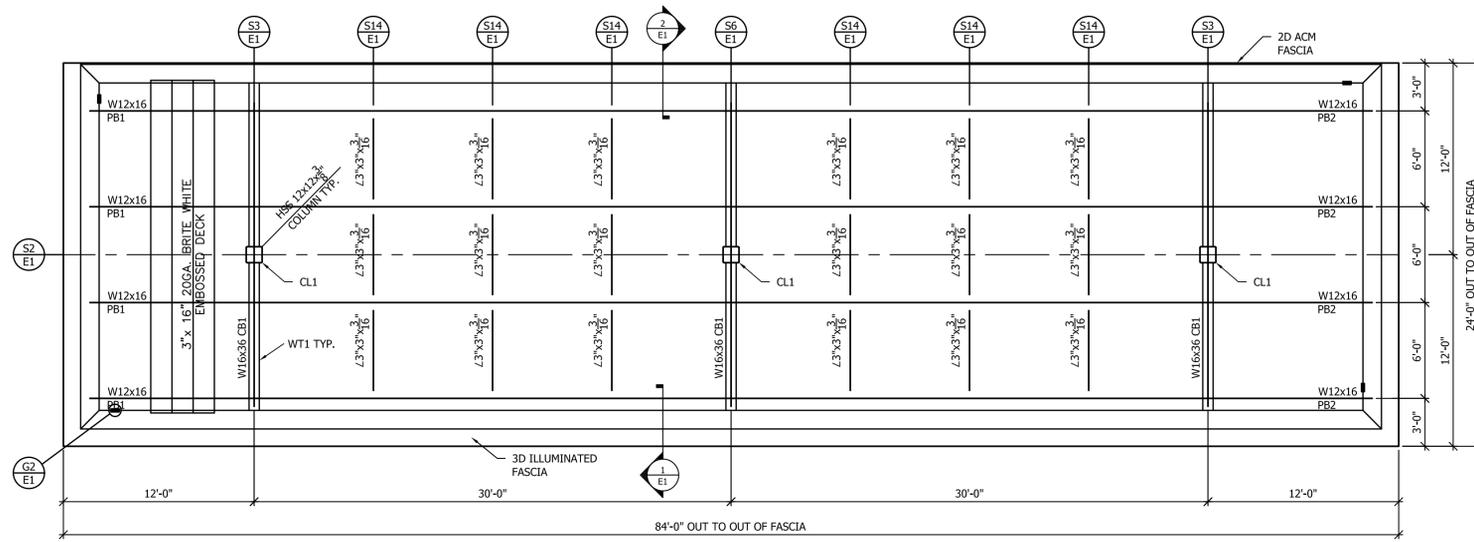
Application materials.

ALTERNATIVES:

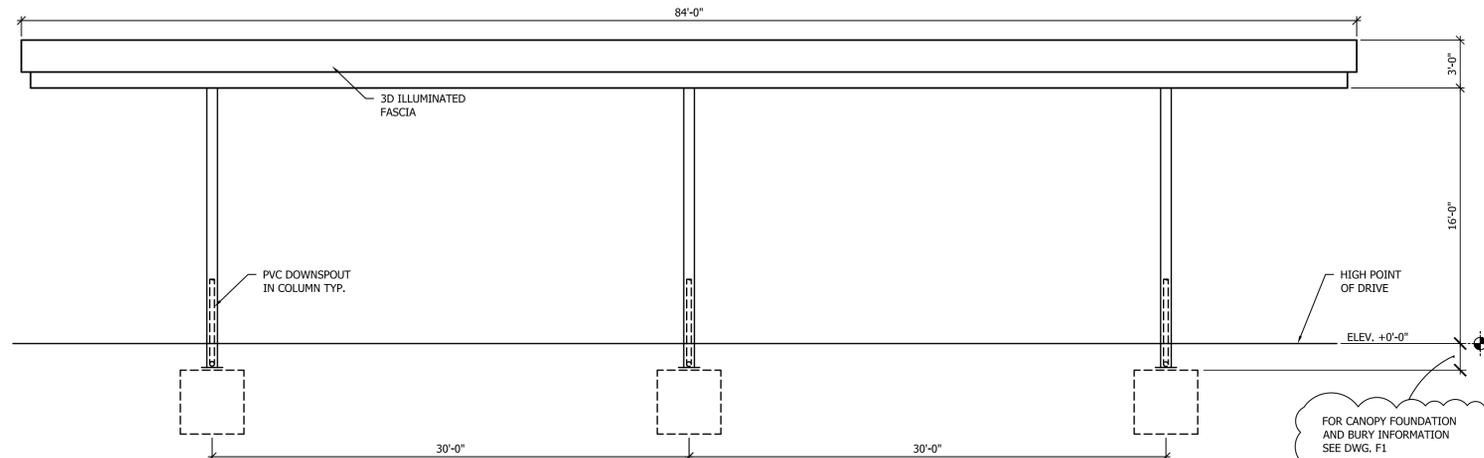
Approve, deny, or require changes to the site plan modifications.

RECOMMENDATION:

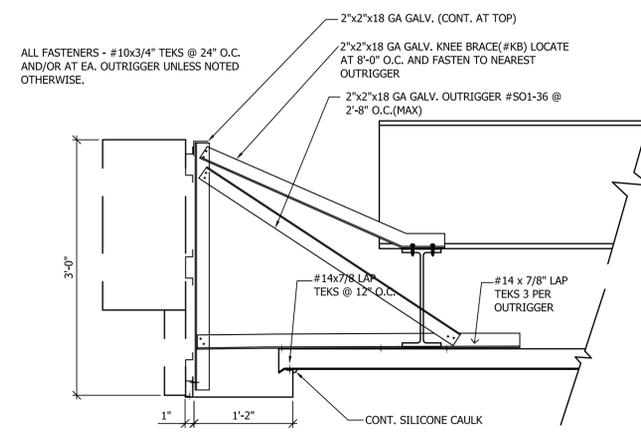
Approve the modifications to the site plan, including the gas pump layout, the 84' by 24' non-illuminated canopy, the revised sidewalk location along Beck Avenue, and new hydrant location, with the condition that the canopy have no more than (12/14?) light fixtures of the type proposed.



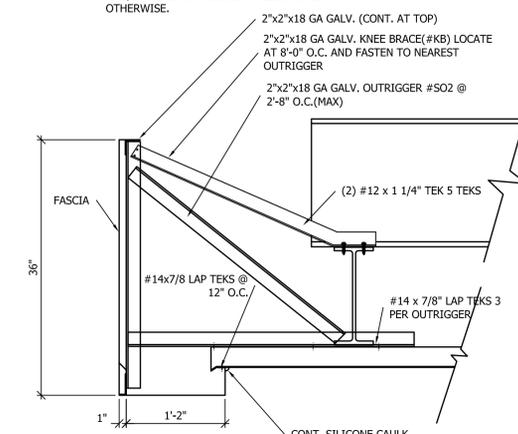
FRAMING PLAN
Scale: 3/16"=1'-0"



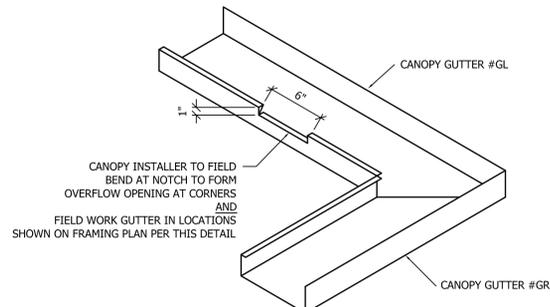
FRONT ELEVATION
Scale: 3/16"=1'-0"



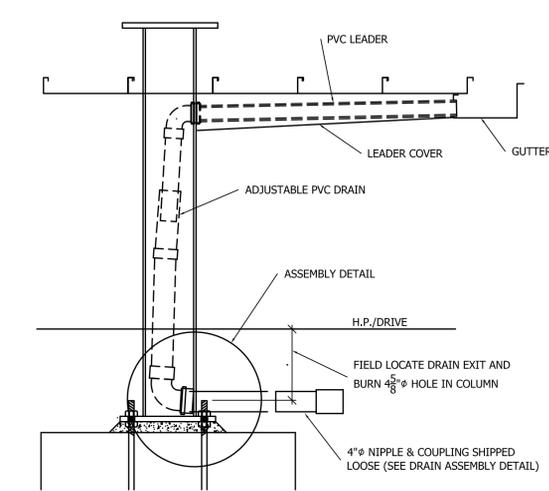
1 FASCIA SECTION
E1



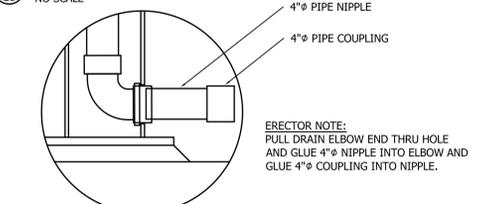
2 FASCIA SECTION
E1



G2 SECONDARY DRAIN OVERFLOW DETAIL
E1

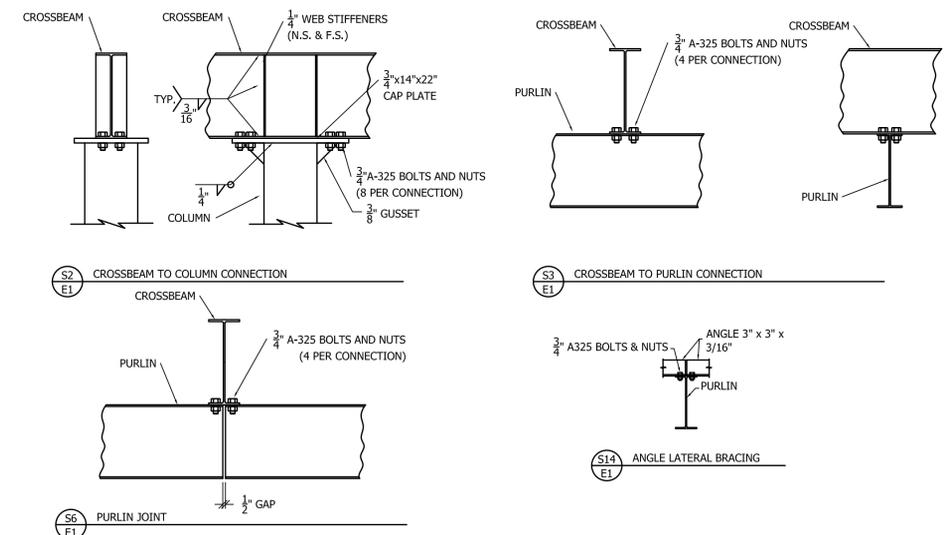


G9 ADJUSTABLE DRAIN DETAIL
NO SCALE



DRAIN ASSEMBLY DETAIL

STEEL NOTES
 1. DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
 2. STRUCTURAL MATERIALS:
 WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)
 ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)
 HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)
 PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)
 PLATE - ASTM A36 (Fy = 36 KSI)
 ROOF DECK - ASTM A653, GRADE 40 (Fy = 40 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH
 STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924
 STRUCTURAL BOLTS - ASTM A325
 ANCHOR BOLTS - ASTM F1554 GR. 36; ASTM A36; OR ASTM A307 MATERIAL (Fy = 36 KSI)
 3. WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1
 4. FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
 5. ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.
 6. STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
 7. DESIGN LOADS PER LOCAL BUILDING CODE REQUIREMENTS:
 ROOF LIVE LOAD = 20 PSF
 FLAT ROOF SNOW LOAD = 30 PSF
 BASED ON GROUND SNOW LOAD = 30 PSF
 WIND LOADS:
 LATERAL = 25 PSF
 UPLIFT = 20 PSF
 BASED ON 100 MPH, EXPOSURE "B"-(3) SECOND GUST WIND SPEED PER ASCE 7-05, 2006 IBC
 SEISMIC LOADS:
 SEISMIC USE GROUP I, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "D"
 Sds = 0.72G, Sd1 = 0.36G
 SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 2.0
 Cs = 0.427 DESIGN BASE SHEAR = CsW = 2.59 K/COL USING EQUIVALENT LATERAL FORCE PROCEDURE
 DEAD LOADS:
 DECK / GUTTER / LIGHTS - 5 PSF
 FASCIA - 5 TO 15 PLF (PER DESIGN)
 STRUCTURAL STEEL - SELF WT
 CONCRETE - 145 PCF



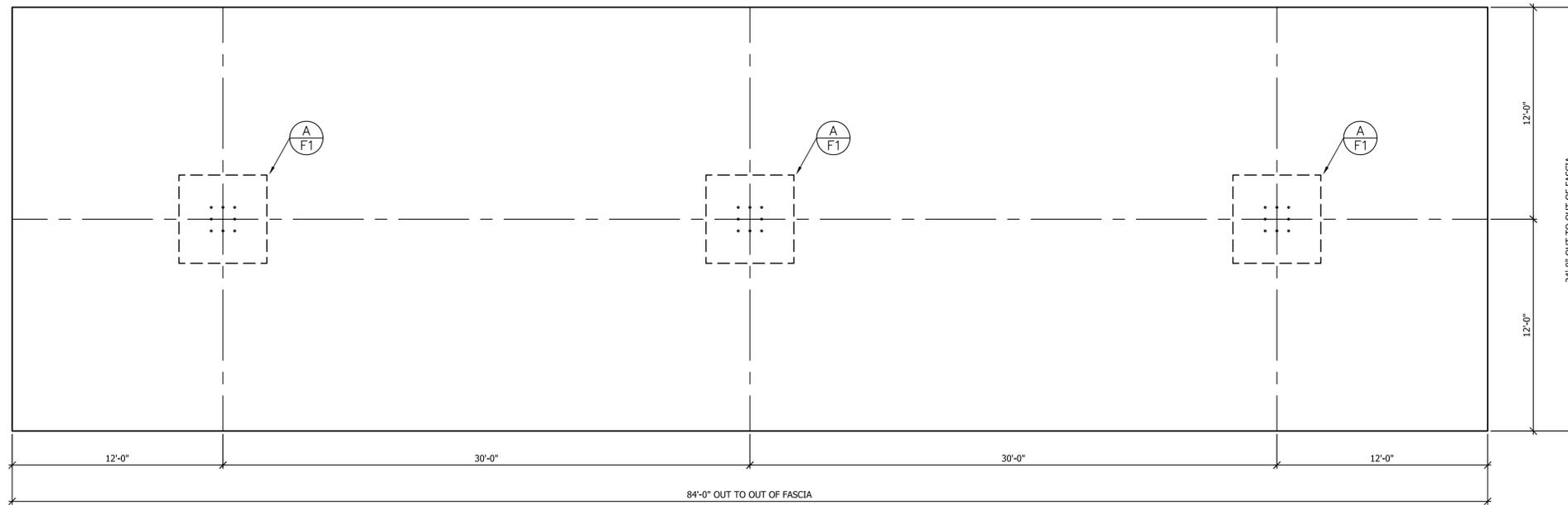
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 ANY USE OF SAME WITHOUT THE
 EXPRESS WRITTEN PERMISSION OF
 FASHION INC. IS PROHIBITED

ISSUE	DESCRIPTION	BY	CHK.	DATE
B	REVISED CANOPY SIZE	TJH	LRP	3/17/2014
A	APPROVAL / PERMIT	FCS	DES	12/3/2013

1019 NORTH STREET - P.O. BOX 1050
 OTTAWA, KANSAS 66067
 (800)255-1009

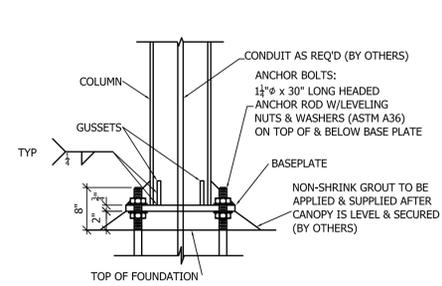
Fashion
 a member of the Image Resource Group

SITE: EXXON/MOBIL		JOB NO.	
CODY, WY		28312	
SIZE: 24'-0"X84'-0" 3-COLUMN CANOPY		DRAWING NO. E1 OF 1	
TITLE: FRAMING PLAN AND DETAILS			

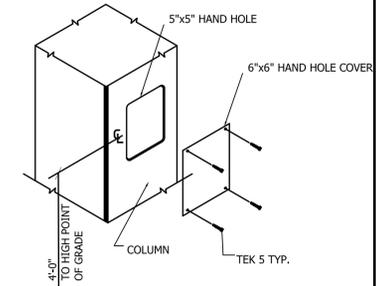


FOUNDATION PLAN

Scale: 1/4"=1'-0"

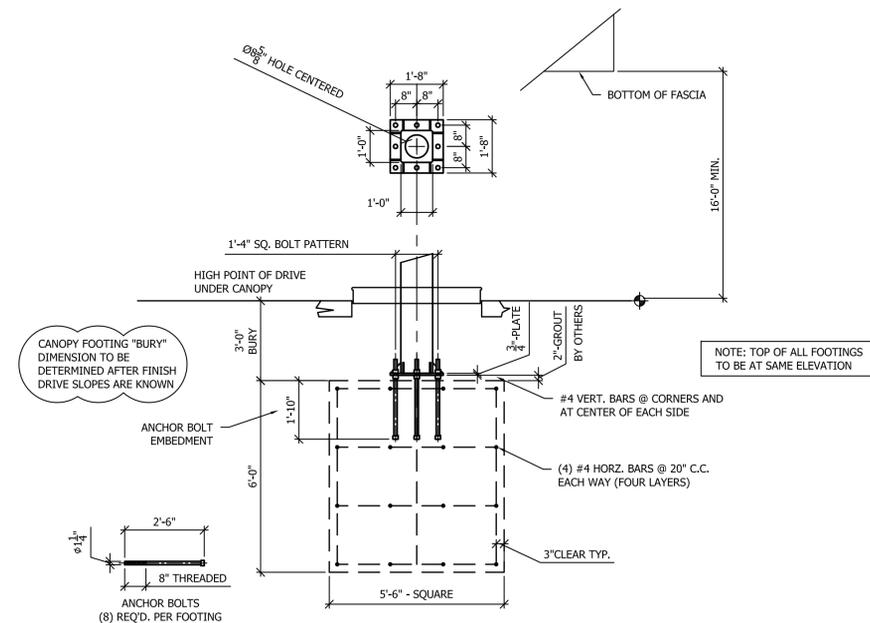


D1
F1
BASE PLATE DETAIL
TYP. ALL COLUMNS



D2
F1
HAND HOLE & COVER DETAIL
TYP. ALL COLUMNS

- FOOTING NOTES**
- OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
 - ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK OR PROPERLY COMPACTED SUBGRADE. FOOTING SIZE BASED ON MINIMUM 1500 PSF SOIL BEARING AT BASE AND 150 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PARAMETERS.
 - FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
 - FOOTING DESIGN BASED ON AN ASSUMED 1'-0" BURY OF THE COLUMNS FROM THE BOTTOM OF BASEPLATE TO FINISHED GRADE. ANY AMOUNT OF BURY LESS THAN 1'-0" WILL RESULT IN A LARGER FOOTING SIZE.
 - TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION. OWNER / GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE UNDER CANOPY, WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER / GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATION PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDER SIZED FOOTINGS.
 - OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
 - FOOTING REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
 - FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY FUEL ISLAND AND DRIVE MAT CONCRETE, WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
 - ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING. TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 8" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTER.
 - ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO THE CANOPY MANUFACTURER IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE NOTE MEET LOCAL BUILDING CODE REQUIREMENTS.



A
F1
FOUNDATION DETAIL
Scale: N.T.S.

FOR ANCHOR BOLT SHIPMENT	
16	-A83 (1 1/4" x 30" ANCHOR BOLT)
ABT4 (WOOD TEMPLATE)	
2	WOOD TEMPLATE

ISSUE	DESCRIPTION	BY	CHK.	DATE
B	REVISED CANOPY SIZE	TJH	LRP	3/17/2014
A	APPROVAL / PERMIT	FCS	DES	12/3/2013

REVISIONS

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(800)255-1009

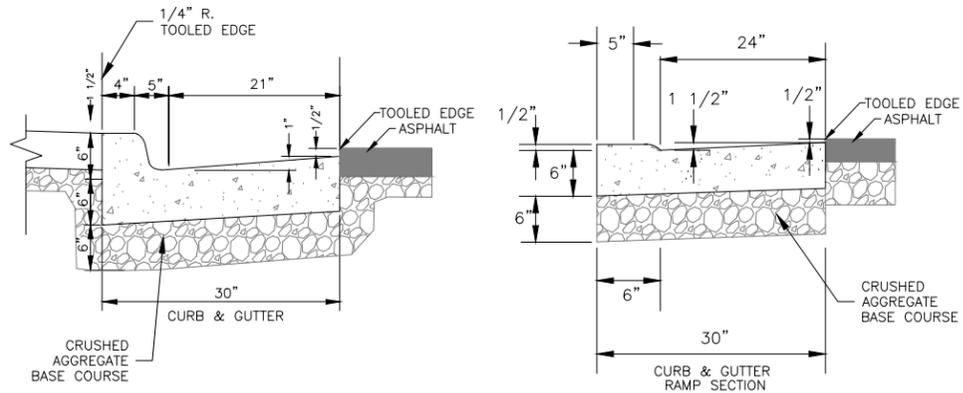
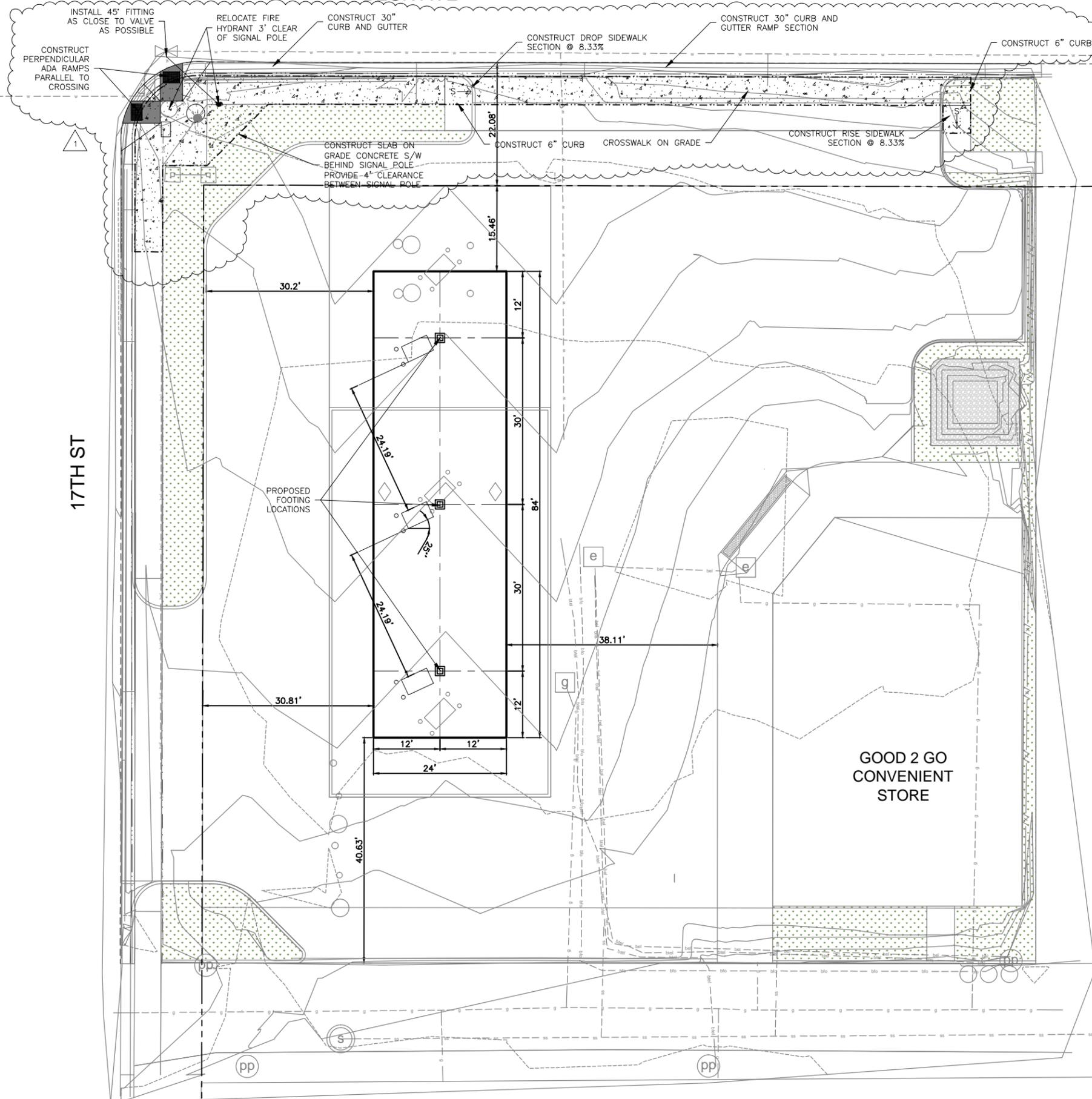
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SITE: EXXON/MOBIL	
CODY, WY	
SIZE: 24'-0" X 84'-0" 3-COLUMN CANOPY	JOB NO. 28312
TITLE: FOUNDATION PLAN AND DETAILS	DRAWING NO. F1 OF 1

BECK AVE

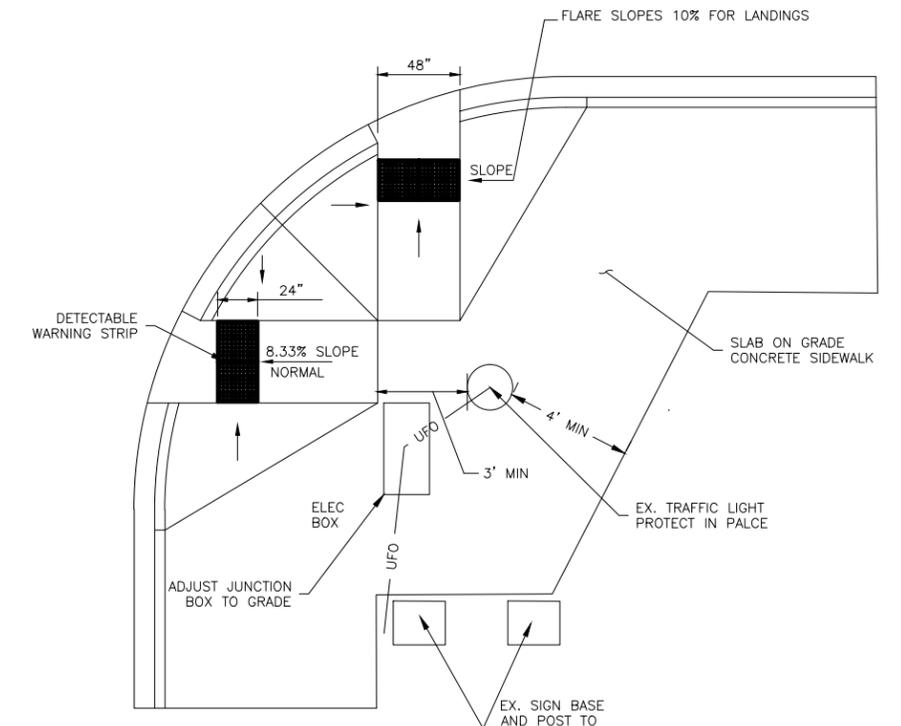
17TH ST



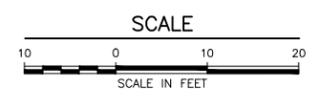
TYPICAL CURB AND GUTTER SECTIONS
N.T.S.

NOTES:

1. SUBGRADE COMPACTION SHALL CONFORM TO THE WYOMING PUBLIC WORKS STANDARD SPECIFICATION.
2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT POINT OF CURVATURE, POINT OF TANGENCY, AND CURB TURNS. CONTRACTION JOINTS SHALL BE 5 FT. O.C. TO COMPLY WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM OF INSPECTION FROM THE ENGINEER.
4. CLASS 4000 (TABLE 03304-2.08 W.P.W.) CONCRETE SHALL BE USED.

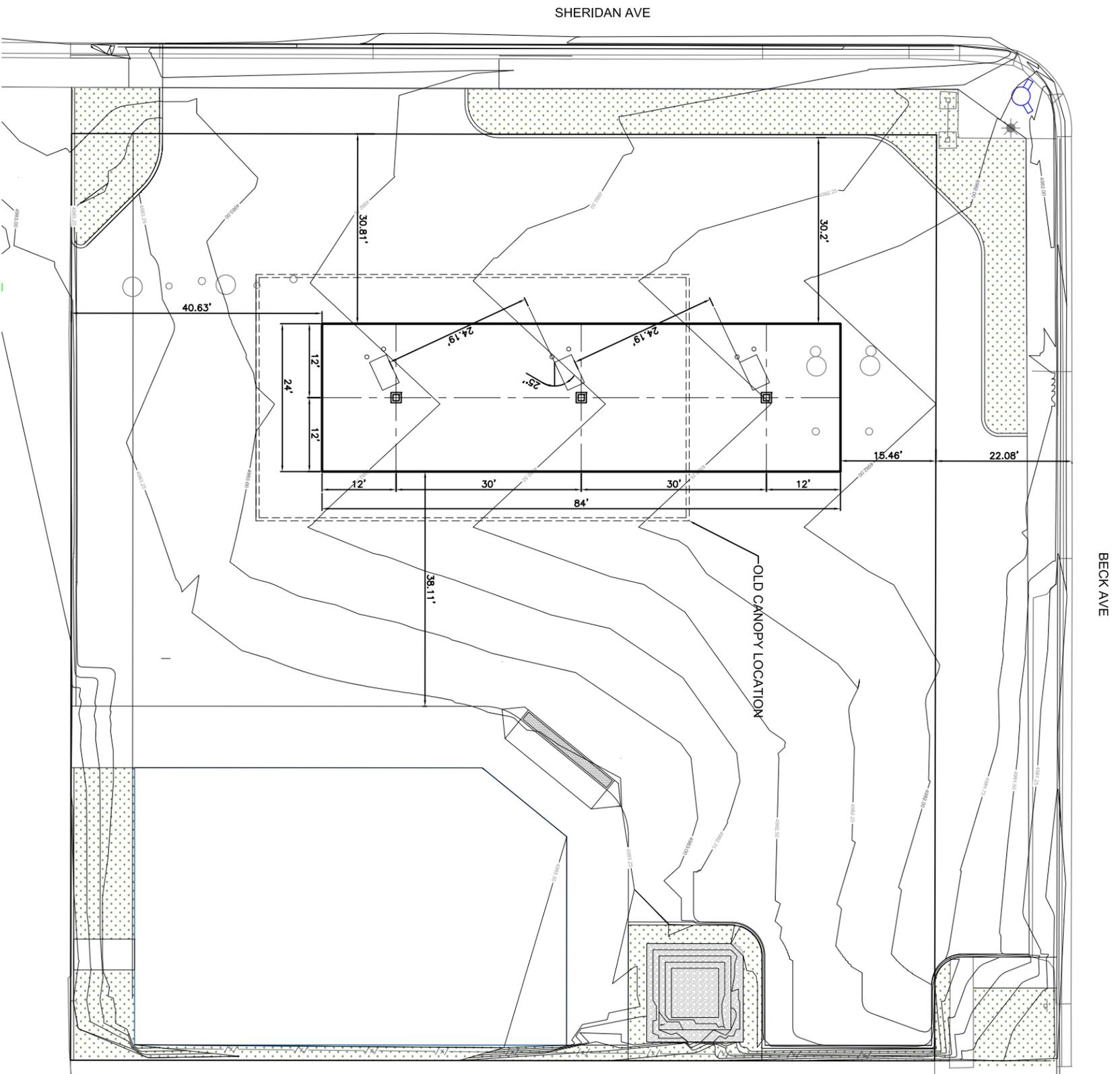


48" PERPENDICULAR RAMPS PARALLEL TO CROSSING
N.T.S.



W:\Survey\Projects\131270-Cody 4 Good 2 Go Staking\CAD\C1.1 - Site Plan.dwg, 3/21/2014 09:18:01

APPR. BY: DB	DRAWN BY: DB	GDA ENGINEERS	CODY, WYOMING	PROJ. NO.: 131270
	CHKD BY: JN	GDA	ENGINEERS	
1	S.W. C&G. ADA RAMP	REVISION	DATE	BY
		REVISIONS		
		CODY	WYOMING	
		REVISED SITE PLAN		
		CODY 4 - GOOD 2 GO		
		SHEET NUMBER	1	OF ## SHEETS



BECK AVE

SHERIDAN AVE

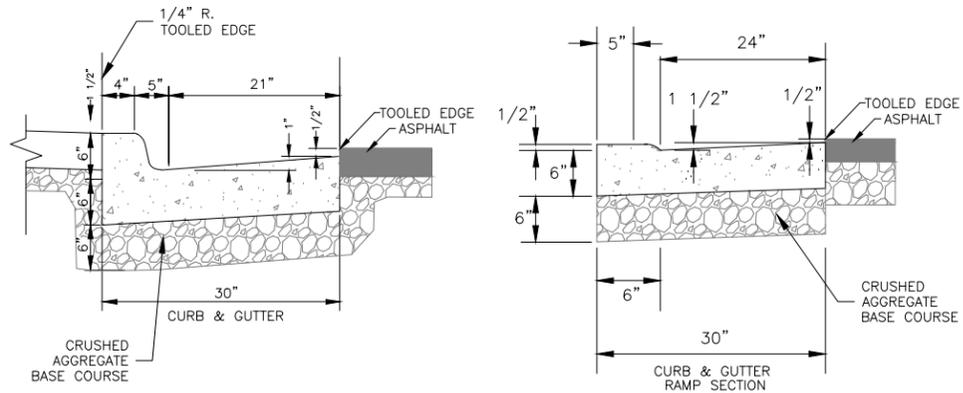
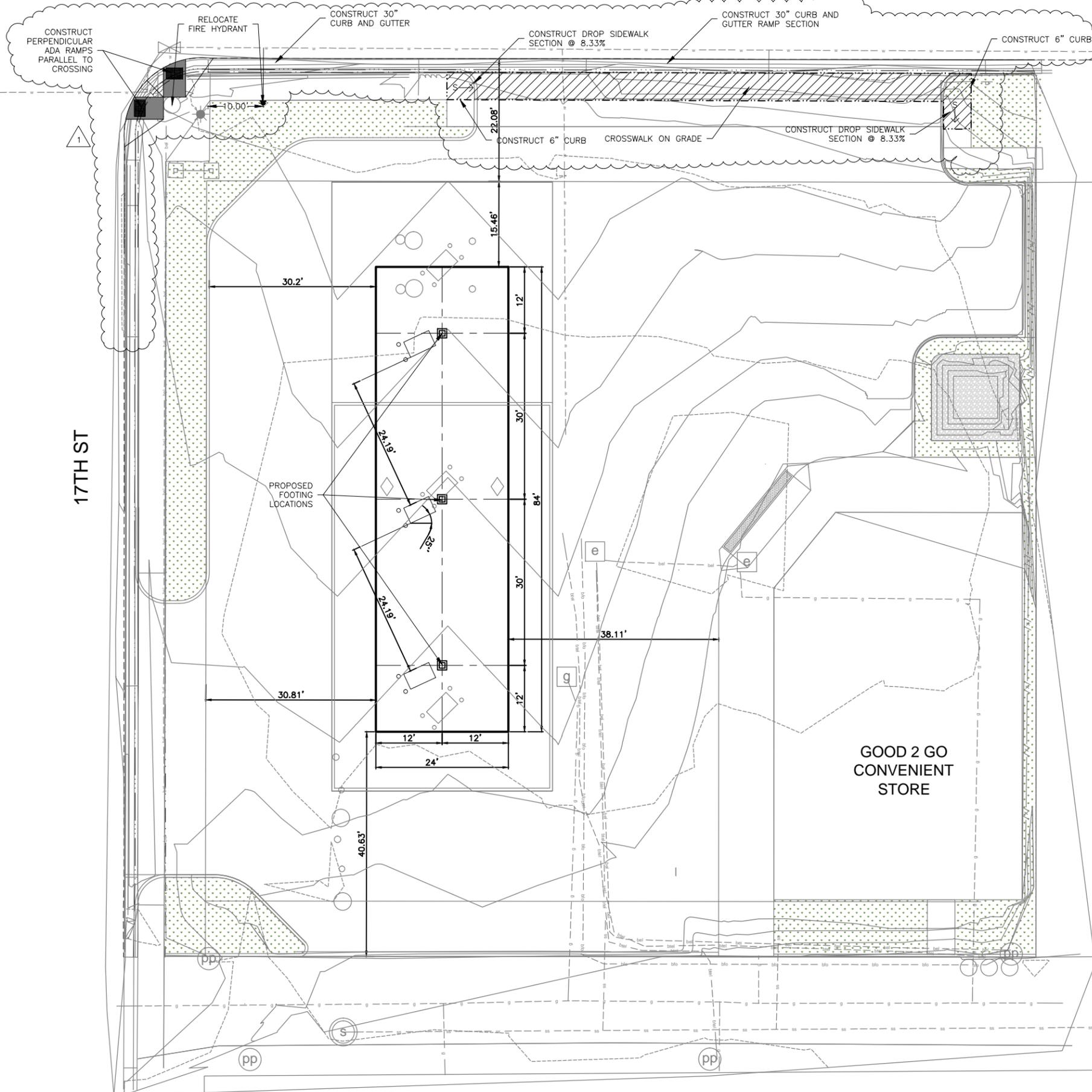
OLD CANOPY LOCATION



EXHIBIT
 SHOWING
FUEL CANOPY AND DISPENSER LAYOUT
 CODY GOOD 2 GO NO. 4
 1200 17TH STREET
 CODY, WYOMING

PROJECT NO.: 131270

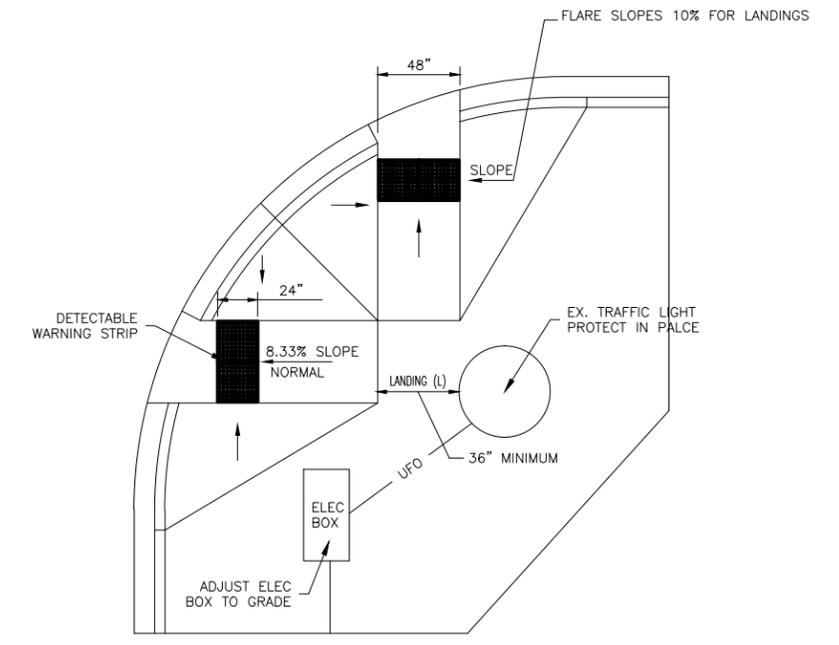
BECK AVE



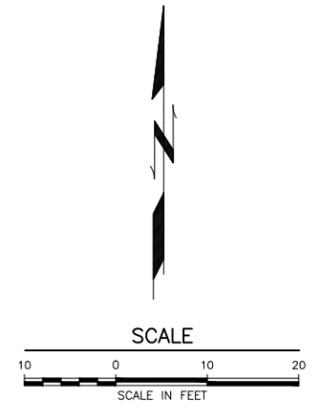
TYPICAL CURB AND GUTTER SECTIONS
N.T.S.

NOTES:

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2. 1/2" EXPANSION JOINT MATERIAL SHALL BE PLACED AT POINT OF CURVATURE, POINT OF TANGENCY, AND CURB TURNS. CONTRACTION JOINTS SHALL BE 5 FT. O.C. TO COMPLY WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS.
3. NO CURB AND GUTTER SHALL BE PLACED WITHOUT A FINAL FORM OF INSPECTION FROM THE ENGINEER.
4. CLASS 4000 (TABLE 03304-2.08 W.P.W.) CONCRETE SHALL BE USED.



48" PERPENDICULAR RAMPS PARALLEL TO CROSSING
N.T.S.



W:\Survey\Projects\131270-Cody 4 Good 2 Go Staking\CAD\C1.1 - Site Plan.dwg, 3/20/2014 15:10:51

GDA ENGINEERS CODY, WYOMING	DRAWN BY: DB CHKD BY: JN	APPR. BY: DB	PROJ. NO.: 131270
CODY WYOMING	DATE: 3/20/14	REVISION	NO.
REVISED SITE PLAN CODY 4 - GOOD 2 GO	DESCRIPTION	S.W. C&G. ADA RAMP	1
SHEET NUMBER	1	OF ## SHEETS	



COMMUNITY DEVELOPMENT DEPARTMENT
SIGN PLAN REVIEW APPLICATION

STAFF USE
File #: SGN2014-_____
P&Z Invoice: _____
Approved By: _____
Date: _____

Applicant's Name: ERIC SHINSATO Business Name: ALLIED ELECTRIC SIGN AND AWNING
Applicant's Address: 1920 S. 900 W. City: SALT LAKE State: UT Zip: 84104
Phone: 801 972 5503 Cell: _____ Email: eric@allied-sign.com
Project Address: 1204 17TH ST. Cody, WY Zoning: _____
Property Owner's Name: BRAD HALL Phone/Cell: _____
Property Owner's Mailing Address: _____ City: _____ State: _____ Zip: _____
Sign Installer (Commercial signs require a licensed installer): ALLIED ELECTRIC SIGN AND AWNING

- Types of Signs: Attached Wall Projecting Awning Banner (Temporary) Inflatable (Temporary)
 Freestanding Monument Electronic Message Board Temporary A-Frame
 Other (Marquee, Suspended, Bulletin, Billboard, Subdivision, etc.)—Please describe _____

Is the sign in the Downtown Sign District? (1/2 block each side of Sheridan Avenue, from 9th St. to 16th St.) No Yes
Will an existing sign be replaced by the proposed sign(s)? No Yes (If yes, note which sign in description below.)
Brief Description of Proposal: INSTALL NEW WALL SIGN.

Property Owner:  2-10-14 OR Letter of authorization from property owner
Signature Date

FEE SCHEDULE:

Each application for a sign review shall be accompanied by a review fee as set forth by Title 10 Chapter 15 of the city code.

- Off Premise Temporary A-Frame Signs No Fee
- Sign Application Submitted with Commercial Site Development Application No Additional Fee*
- Flush/Wall Mount Signs, without Electricity \$25.00*
- Sign Plans with Electrical, Requiring Base Structure or Projecting Sign Plans \$50.00*

* A building permit fee, based on the valuation of the sign, is required in addition to the fee noted above. The building permit fee is calculated and collected when the permit is ready to be issued.

MATERIAL REQUIRED FOR SUBMITTAL & REVIEW

- Two* copies of a drawing or graphic rendering of the proposed sign(s) that indicate the sign content, design, colors, dimensions, area per sign face, materials, lighting and anchoring/mounting details. (* 12 copies if Planning & Zoning Board Review is needed.)
- Identify any existing signs that will be removed or replaced by the proposed signs.
- If the proposed sign is under the general category of "freestanding" (not attached to a building), submit:
 - A site plan that identifies the location of the freestanding sign and its distance to all property lines and utility easements in proximity.
 - The dimensions and square footage of any freestanding sign that will remain on the premises.
- If the proposed sign is attached to a building or something on a building, submit:
 - Drawings or photo renderings of the building elevations with all proposed signs depicted.
 - If the sign is permanent (>120 days), note the dimensions and square footage of any existing attached signs that will remain on the premises.
- A Building Permit Application for the sign(s).

Please provide any additional information pertaining to the specific sign type, as necessary to demonstrate compliance with the city sign code (Chapter 10-15). Some of the requirements for specific sign types include:

Banners and Advertising Flags:

- Banners must be displayed as a wall sign or attached to railings, and must be securely fastened so that it may not be blown down, in whole or in part. Any other location for display of a banner or advertising flag must be approved through the planning, zoning and adjustment board.
- Advertising flags must be securely fastened.
- Banners and advertising flags must be of professional quality construction and appearance pursuant to the definition in section [10-15-2](#).
- If the banner/advertising flag becomes damaged or detached, it must be removed or repaired within 48 hours.
- Banners are subject to the 120-day time limit for temporary/seasonal signs.

Electronic Message Boards and Animated Signs:

- Not more than one electronic message board sign may be permitted per zoning lot.
- Shall not display off-premise commercial advertising.
- Are not permitted in residential sign districts.
- The leading edge of the sign must be a minimum distance of 100 feet from an abutting residential zoning district.
- Electronic message boards must utilize an automatic dimmer control so as to not exceed a maximum luminance of 5,000 nits from sunrise to sunset, and a maximum luminance of 500 nits from sunset to sunrise.
- The use of audio speakers is prohibited in association with a sign.
- Electronic message boards and animated signs shall be permitted only in the following sign districts: D-2, D-3, and E industrial. In addition, electronic message boards and animated signs may be permitted in the downtown business district, but must have special approval by the planning and zoning board. Approval will be based on consideration of adjacent signage, the size of the proposed signage, and compliance with applicable sign requirements of WYDOT.

Temporary A-frame Signs:

- Each organization and/or business may receive one permit per year and will be valid for 7 consecutive days.
- Dates requested: _____
- No more than 5 permits will be issued for the same 7 day period. Permits are issued on a first come first served basis.
- No signs shall be placed within the public right of way except for as otherwise allowed by the City Code.
- No applicant is allowed to place more than 6 temporary A-frame signs. Please provide a site plan of the locations.
- Provide a signature or letter of authorization from each property owner.

Address	Signature

Address	Signature

Billboards: Applications must also include:

- Legal lease between the property owner and the billboard company which addresses the removal of the billboard (both the sign itself and the support structure for the billboard) at the termination of the lease.
- Bond suitable in value to cover the removal of all portions of the sign and support structure at the end of the lease.

Inflatable Signs: Applications must also include:

- Design and construction details to demonstrate compliance with City wind load requirements.
- How the electricity will be supplied to the inflatable.
- Demonstrate that the anchoring mechanisms will not present a danger to the public.
- Site plan showing existing structures, power poles, trees, street and pedestrian paths and all other features which may be impacted.
- Altitude: _____

**MANUFACTURE AND INSTALL
(1) SET OF CHANNEL LETTERS READING "GOOD 2 GO"**



MAIN ENTRY
SCALE: 1/4" = 1'-0"

Utah Contractors: 375809-5501 • Nevada:60486 • Colorado:23778 • Idaho:RCE-29969

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DRAWING STEPS <input type="checkbox"/> CONCEPT <input type="checkbox"/> ESTIMATING <input type="checkbox"/> PERMIT/LANDLORD <input type="checkbox"/> PRODUCTION	DRAWING REVIEW <input type="checkbox"/> SURVEY <input type="checkbox"/> PRODUCTION REVIEW	Client: Brad Hall #4	SALES APPROVAL:	CUSTOMER APPROVAL:
		Address: 1204 17th Street	Designer: Jason	
	Cody, WY	Acct. Exec.: Cindy		
	File Name: Brad Hall #4 (Cody) - CLs and Interior - 3-3-14			

SALT LAKE CITY:
1920 S 900 W
(801) 972-5503
WWW.ALLIED-SIGN.COM

ALLIED ELECTRIC SIGN & Awning
Signs that build business!

UTAH COUNTY: 1852 N. Parkway Court, Springville, UT 84663 • (801) 489-3645 OGDEN: 2924 Pennsylvania Avenue • (801) 621-4612

CHANNEL LETTERS

MANUFACTURE AND INSTALL (1) SET OF CHANNEL LETTERS

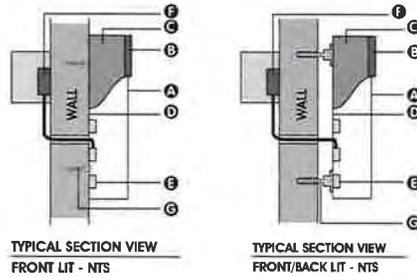
FRONT LIT CHANNEL LETTERS READING "GOOD GO"

- Ⓐ FACES: 3/16" TRANS WHITE SG PLEX WITH V1 APPLIED
- Ⓑ TRIM: 1" METALLIC SILVER TRIMCAP
- Ⓒ RETURNS: .040 PREPAINTED METALLIC SILVER ALUMINUM 5" DEEP
- Ⓓ BACKS: .063 ALUMINUM STOCK COLOR
- Ⓔ ILLUMINATION: WHITE CAO LEDs
- Ⓕ POWER SUPPLY: REMOTE HOUSED IN POWER SUPPLY BOX
- Ⓖ MOUNTED TO FASCIA (SEE ATTACHMENT DETAIL)

FRONT/BACK LIT CHANNEL LETTERS READING "2"

- Ⓐ FACES: 3/16" TRANS WHITE SG PLEX WITH V2 APPLIED
- Ⓑ TRIM: 1" METALLIC SILVER TRIMCAP
- Ⓒ RETURNS: .040 PREPAINTED METALLIC SILVER ALUMINUM 5" DEEP
- Ⓓ BACKS: 3/16" CLEAR LEXAN
- Ⓔ ILLUMINATION: WHITE LEDs
- Ⓕ POWER SUPPLY: REMOTE HOUSED IN POWER SUPPLY BOX
- Ⓖ STANDOFFS: 1 1/2" LONG 1024 BOLT, SPACERS & PADS (SEE ATTACHMENT DETAIL)

120V SERVICE SUPPLIED BY OTHERS



VINYL SCHEDULE	
[SCREEN AND PRINT COLORS MAY VARY FROM FINISHED PRODUCT]	
■	V1: 3M TRANS INTENSE BLUE
■	V2: PRINTED TRANS VINYL GRADIENT PMS 186 TO PMS 151



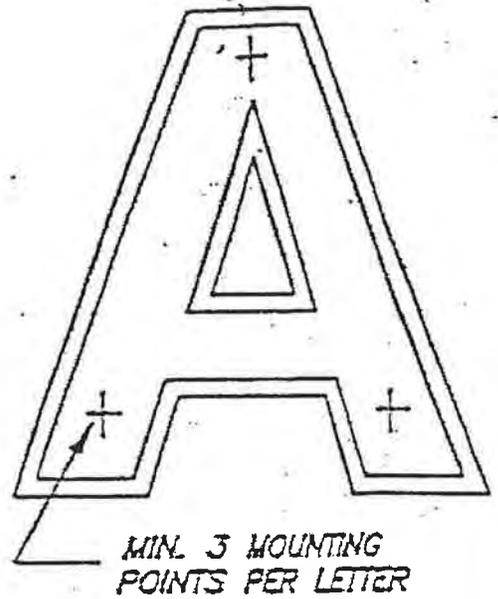
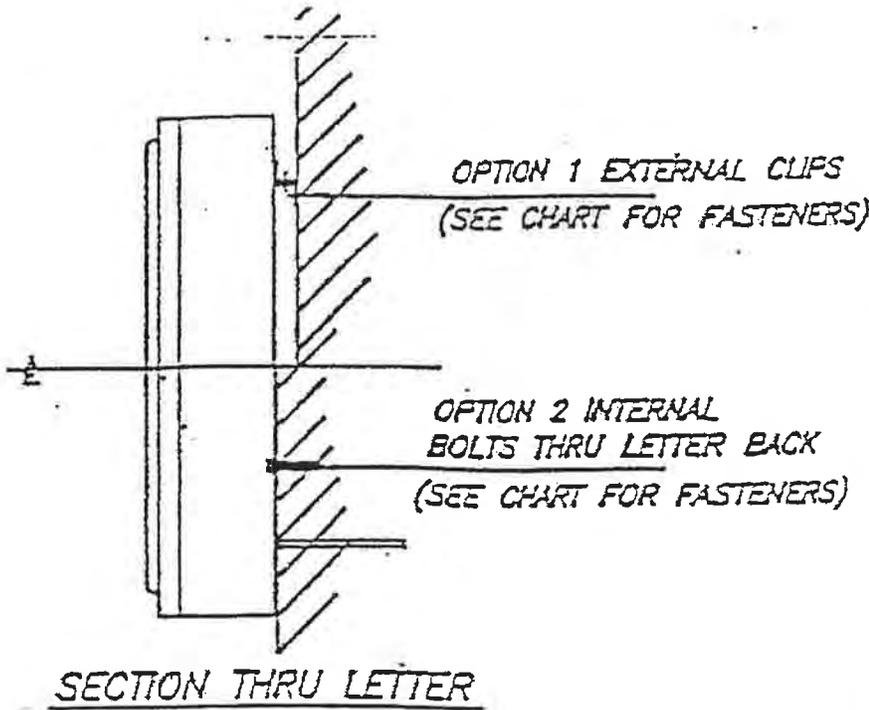
LAYOUT

SCALE: 3/4" = 1'-0"

	Utah Contractors: 375809-5501 • Nevada:60486 • Colorado:23778 • Idaho:RCE-29969	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ALLIED ELECTRIC SIGN. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH THE PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE REPRODUCED, COPIED OR EXHIBITED.				
	SALT LAKE CITY: 1920 S 900 W (801) 972-5503 WWW.ALLIEDSIGN.COM	DRAWING STEPS <input type="checkbox"/> CONCEPT <input type="checkbox"/> ESTIMATING <input type="checkbox"/> PERMIT/LANDLORD <input type="checkbox"/> PRODUCTION	DRAWING REVIEW <input type="checkbox"/> SURVEY <input type="checkbox"/> PRODUCTION REVIEW	Client: Brad Hall #4 Address: 1204 17th Street Cody, WY File Name: Brad Hall #4 (Cody) - CLs and Interior - 3-3-14	SALES APPROVAL: Designer: Jason Acct. Exec.: Cindy	CUSTOMER APPROVAL:
		UTAH COUNTY: 1852 N. Parkway Court, Springville, UT 84663 • (801) 489-3645		OGDEN: 2924 Pennsylvania Avenue • (801) 621-4612		

LETTER ATTACHMENT TO BUILDING

ALLIED ELECTRIC SIGN AND AWNING



LETTER SIZE HEIGHT	LAG BOLTS INTO WOOD STUDS		TOGGLE BOLT THROUGH 1/2" WALLBOARD		HILTI KWIK-CON II INTO CONCRETE		HILTI KWIK-BOLT 3 INTO CONCRETE		HILTI HLC (HX OR AC) INTO HOLLOW CMU MASONRY		POWERS BANTUM PLUG FASTENER IN CONCRETE		POWERS BANTUM PLUG FASTENER IN HOLLOW CMU MASONRY	
	NUMBER/DIA.	EMB.	NUMBER/DIA.	EMB.	NUMBER/DIA.	EMB.	NUMBER/DIA.	EMB.	NUMBER/DIA.	EMB.	NUMBER	SIZE	NUMBER	SIZE
UP TO 18"	THREE 1/4"	1"	THREE 3/16"	1/2"	THREE 3/16"	1"	THREE 1/4"	1 1/8"	THREE 1/4"	1"	3	#6	3	#6
19" TO 30"	THREE 1/4"	1"	THREE 1/4"	1/2"	THREE 3/16"	1"	THREE 1/4"	1 1/8"	THREE 1/4"	1"	4	#10	4	#10
31" TO 48"	THREE 1/4"	1"	FIVE 5/16"	1/2"	THREE 3/16"	1 3/4"	THREE 1/4"	1 1/8"	THREE 1/4"	1"	6	#10	7	#10
49" TO 60"	FOUR 1/4"	1"	SEVEN 3/8"	1/2"	FOUR 3/16"	1 3/4"	THREE 1/4"	2"	THREE 1/4"	1"	7	#12	9	#12
61" TO 96"	FIVE 1/4"	2"	FOURTEEN 1/2"	1/2"	SIX 1/4"	1 3/4"	FOUR 1/4"	2"	FIVE 1/4"	1"	15	#12	18	#12
OVER 96"	REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING		REQUIRES SPECIAL ENGINEERING	

NOTES:

- 1) Doug Fir/Larch wood (G=0.49 or greater) no end grain placement
- 2) $f_m \geq 1500$ psi masonry, anchors in grouted cells
- 3) $f_c \geq 2000$ psi concrete
- 4) $f_m \geq 1500$ psi masonry, anchors in hollow cells @ 8" O/C min. spacing
- 5) Install all HILTI and Powers products according to manufacturer recommendations and specifications
- 6) 105 MPH wind, Exposure C, up to 50' tall building
- 7) Embedments shown are the minimum actual depths into the specified material
- 8) This chart is valid for one year from the date sealed by engineer
- 9) Toggle bolts are Powers Fasteners, or equal, through 1/2" min plywood, OSB or drywall
- 10) IBC 2012 and ASCE 7-10 codes
- 11) Use Hilti and Powers fasteners, or equal

REVISION: February 2014

